

Bureau of Environmental Health
 8930 Stanford Boulevard, Columbia, MD 21045
 Main: 410-313-2640 | Fax: 410-313-2648
 TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
 Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 2-8-18 **ONSITE SEWAGE DISPOSAL SYSTEM** P 562422-A

APPROVAL DATE: 4/3/18 SEC **PERMIT: CONSTRUCTION** A _____

PROPERTY ADDRESS: 1011 Fairlane Road

SUBDIVISION: Fairlane Farms LOT: 15 TAX ID: _____

CONTRACTOR: South Carroll Backhoe EMAIL: scbackhoe@comcast.com

CONTRACTOR ADDRESS: 4410 Salem Bottom Road, Westminster, MD 21157 PHONE: 410-596-3618

PROPERTY OWNER: NV Homes EMAIL: _____

OWNER ADDRESS: 9720 Patuxent Woods Drive, Columbia, MD 21046 PHONE: 410-379-5956

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Babylon Vault or equivalent

PUMP MODEL: N/A PUMP SIZE: N/A PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 5 APPLICATION RATE: 1.2

TRENCHES:	LINEAR FEET REQUIRED: <u>130</u>	INLET DEPTH: <u>3</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>5</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>2</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:		

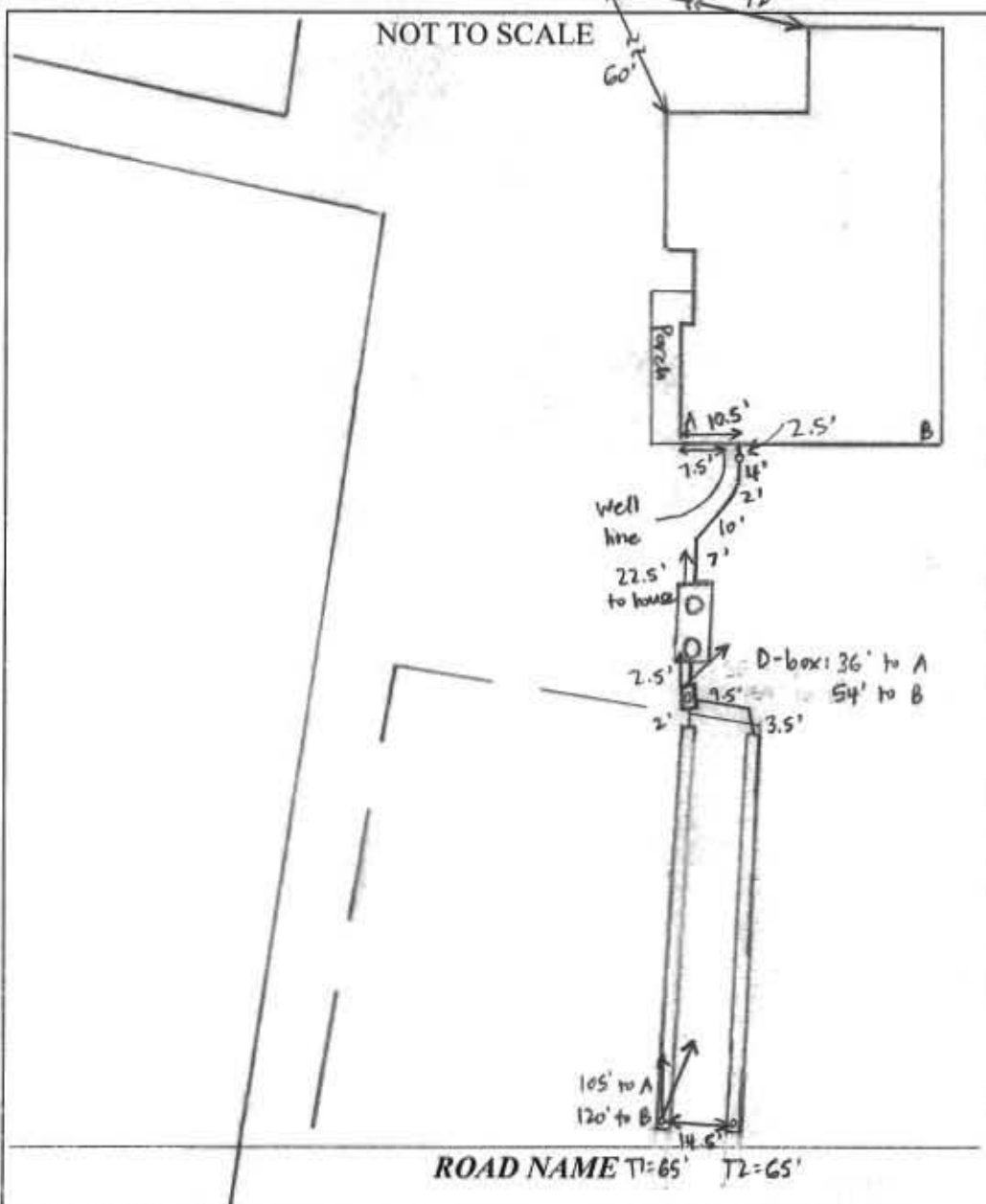
ISSUED BY: Dana Bernard ISSUE DATE: 2-8-18 EXPIRATION DATE: 2-8-19

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
 ELECTRICAL PERMIT ISSUED E _____
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

NOT TO SCALE

HO-15-0350



TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
3'	3'	5'
NUMBER OF TRENCHES		2
TOTAL LENGTH		165'
ABSORPTION AREA		495' - SIDEWALL
DISTRIBUTION BOX LEVEL		YES
DISTRIBUTION BOX BAFFLE		YES
DISTRIBUTION BOX PORT		YES

SEPTIC TANK DATA

SEPTIC TANK I LEVEL	YES
MANUFACTURER	BABYLON
CAPACITY	2000 GAL
SEAM LOC	TOP
TANK LID DEPTH	0.5-1'
BAFFLES	YES
BAFFLE FILTER	NO
MANHOLE LOC	FRONT + REAR
6" PORT LOC	NONE
WATERTIGHT TEST	NO
SLOTTED	YES
DATE ON LID	2-5-18

PUMP/SEPTIC TANK LEVEL	
MANUFACTURER	_____
CAPACITY	_____ GAL
SEAM LOC	_____
TANK LID DEPTH	_____
BAFFLES	_____
BAFFLE FILTER	_____
MANHOLE LOC	_____
6" PORT LOC	_____
WATERTIGHT TEST	_____
SLOTTED	_____
DATE ON LID	_____

PRE-CONSTRUCTION:

2/28/18 Met S. Carroll on site for layout. SDA corners staked, pipe out of house at location shown on plan, ~10' farther from porch/downhill. Shot elevations: bottom of pipe @ house = 82.5"; grade at tank inlet = 58"; grade at T1 inlet = 13". Line will not make 3' inlet at trenches. Will contact engineer to revise plans. (SC) 3/6/18 Swale filled in between house + SDA, sewer line can come up to within 30" of top of foundation wall. Shot elevations and will make 3' inlet at T1 with minimal

INSTALLATION: cover on tank + fall in line. Laid out 2 x 65' trenches on contour at bottom of SDA. (SC) 3/9/18 Tank set. House connection not yet made. (SC) 3/12/18 Trenches complete, T1 left open for inspection + T2 left open at ends. 3' wide, 2.5' to stone. Levelled speed levelers in D-box. Need house connection. (SC) Verify that drywells meet 25' setback to tank + SDA prior to permit approval. (SC) 4/3/18 House connection made. Drywells installed >25' from septic. (SC)

FINAL INSPECTOR Sarah Collins DATE OF APPROVAL 4/3/18

Collins, Sarah

From: Collins, Sarah
Sent: Thursday, March 01, 2018 9:19 AM
To: Tony Fertitta (tonyf@fcc-eng.com)
Cc: Bernard, Dana
Subject: Fairlane Farms lot 15 septic plan

Hi Tony,

I met South Carroll on site at lot 15 at Fairlane Farms to layout the septic system yesterday. We shot elevations and determined that the line from the house will not make fall to a 3' inlet at the upper trench.

Here are the relative elevations that we shot:
Bottom of the sewer line at the house = 82.5"
Grade at the tank inlet = 58"
Grade at the upper trench start = 13"

The sewer line is coming out of the house on the same wall as shown on the plan, maybe ~10' farther away from the porch. The line could be at a lower elevation than shown on the plan.

Let me know if you have any questions. Please get in touch with Dana regarding plan revisions.

Thanks,
Sarah

Sarah Collins, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
8930 Stanford Blvd.
Columbia, MD 21045
SCollins@howardcountymd.gov
410-313-6287

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Transmittal

Via: Fax Mail Messenger E-Mail To Be Picked Up
 Fax (original to follow via U.S. Mail)

To: Bureau of Environmental Health 8930 Stanford Blvd. Columbia, Maryland 21046-4544	Attn: Sharhonda Fax: Phone: 410-313-2640
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From: Tony Fertitta	CC:
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Re: Fairlane Farms, Lot 15	W.O.# 05106-3003
Date: Nov. 17, 2017	Pages: 0 Page(s) Including this cover

We are forwarding: <input checked="" type="checkbox"/> Prints <input type="checkbox"/> Copy of Letter <input type="checkbox"/> Specifications <input type="checkbox"/> Shop drawings <input type="checkbox"/> Other
<input type="checkbox"/> Urgent <input type="checkbox"/> For your use <input type="checkbox"/> As requested <input checked="" type="checkbox"/> For Review & Comment

Remarks:

Re: Fairlane Farm, Lot 15, 1011 Fairlane Rd.

Provided here are 3 copies of a Septic Installation Site Plan for Lot 15, for your review. If approved as is, please leave 1 signed copy up front for us.

Thank You,

Tony

Fisher, Collins, & Carter, Inc. Ph. 410-461-2855

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GENERAL NOTES:

- THIS LOCATION DRAWING IS PREPARED FOR THE BENEFIT OF THE CLIENT SIGNING THE HOUSE LOCATION SURVEY APPROVAL FORM INSOFAR AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING OF THE PROPERTY SHOWN HEREON. UNLESS INDICATED AS BEING A BOUNDARY SURVEY, THIS LOCATION DRAWING IS NOT INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES AND IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATIONS OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. AS A RESULT, THIS LOCATION DRAWING DOES NOT PROVIDE FOR ACCURATE IDENTIFICATION OF PROPERTY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING FOR RE-FINANCING.
- SUBJECT PROPERTY IS SHOWN IN ZONE X ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP OF HOWARD COUNTY, MARYLAND, COMMUNITY PANEL No. 24027C00350 EFFECTIVE 11-06-2013.
- THE OFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THE PLAT HEREON ARE TO AN ACCURACY OF PLUS OR MINUS 1'.
- NO TITLE REPORT FURNISHED. SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD.
- THE EXISTING WELL(S) SHOWN ON THIS PLAN (IDENTIFIED WITH THE ATTACHED WELL TAG NUMBER HO-12-0350 HAS BEEN FIELD LOCATED BY FISHER, COLLINS AND CARTER, INC. PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.
- PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 339, EXPIRATION DATE 10/04/2018.
- BUILDING PERMIT NUMBER B-17003802

Legend

- Public Forest Conservation Easement (Retention)
- Public Forest Conservation Easement (Reforestation)
- Private Drainage & Utility Easement
- 10' Public Tree Maintenance Easement
- 36' Private Access And Stormwater Management Easement For Lots 15 Thru 18
- Private Use-In-Common Access Easement

Public And Private Drainage & Utility Easement Line Table

LINE	BEARING	LENGTH
D22	S85°37'32"E	106.11'
D26	N85°37'32"W	112.08'
D27	N03°18'26"E	20.00'

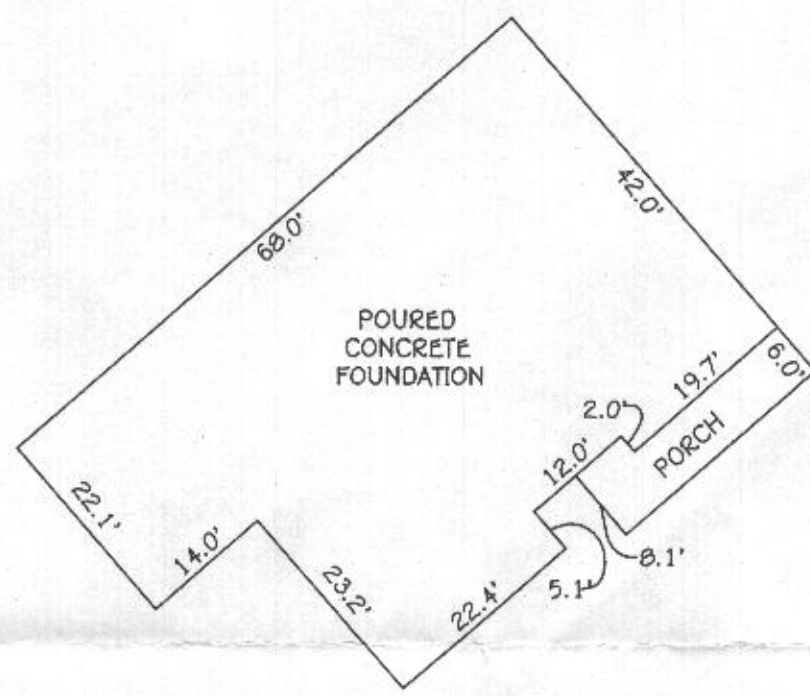
24' Private Use-In-Common Access Easement Line Table

LINE	BEARING	LENGTH
UIC-1	N03°18'26"E	234.62'
UIC-2	N28°30'06"W	186.50'
UIC-3	N61°29'54"E	24.00'
UIC-4	S28°30'06"E	193.34'
UIC-5	S03°18'26"W	237.32'

36' Private Access And Stormwater Management Easement Line Table

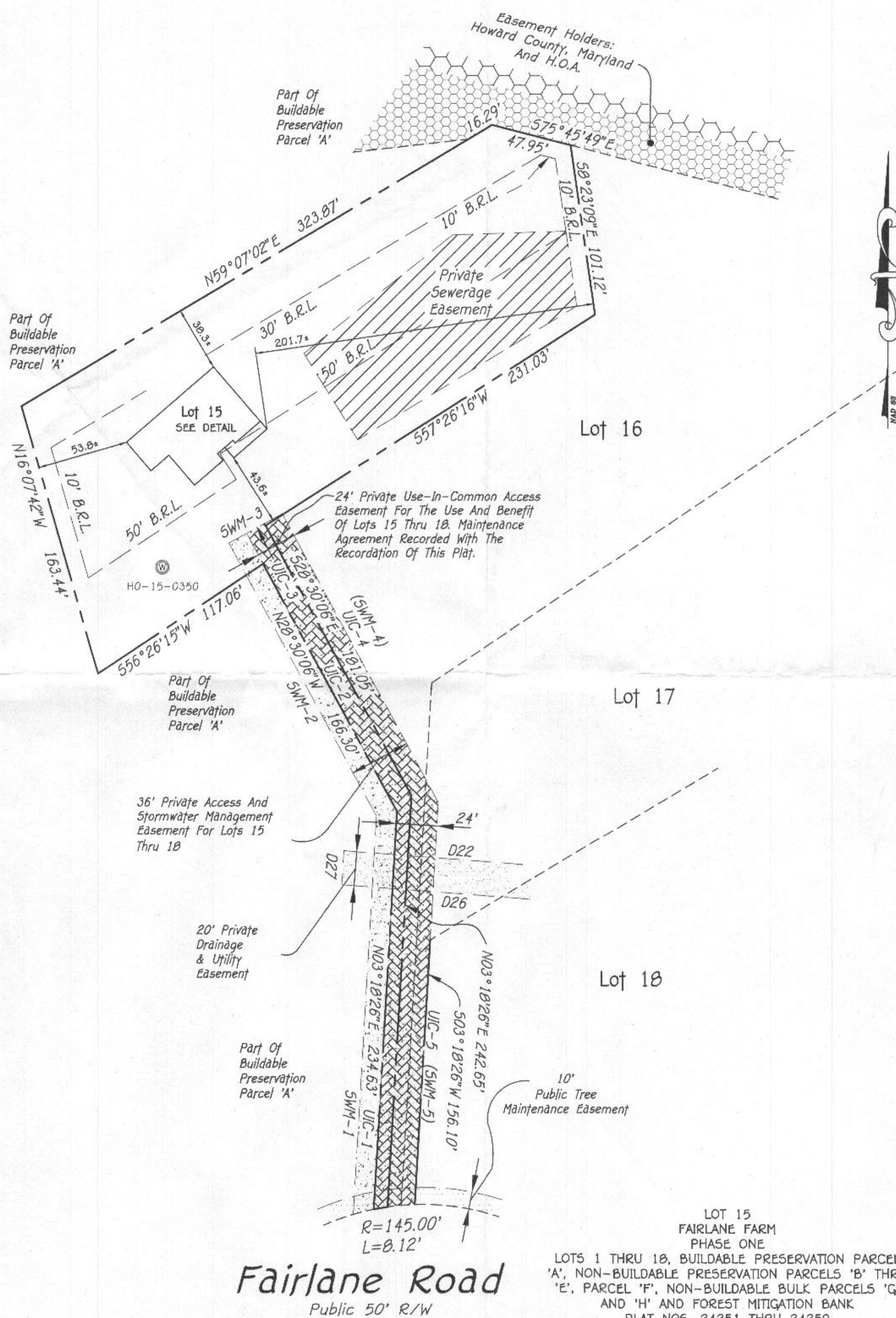
LINE	BEARING	LENGTH
SWM-1	N03°18'26"E	234.90'
SWM-2	N28°30'06"W	183.08'
SWM-3	N61°29'54"E	36.00'
SWM-4	S28°30'06"E	193.34'
SWM-5	S03°18'26"W	237.32'

#1101 FAIRLANE ROAD
B.R.L. = BUILDING RESTRICTION LINE
TOP OF FOUNDATION ELEVATION = 607.0'



DETAIL:
1"=20'

Wall Check
OK
RAC 2/8/18



Fairlane Road
Public 50' R/W

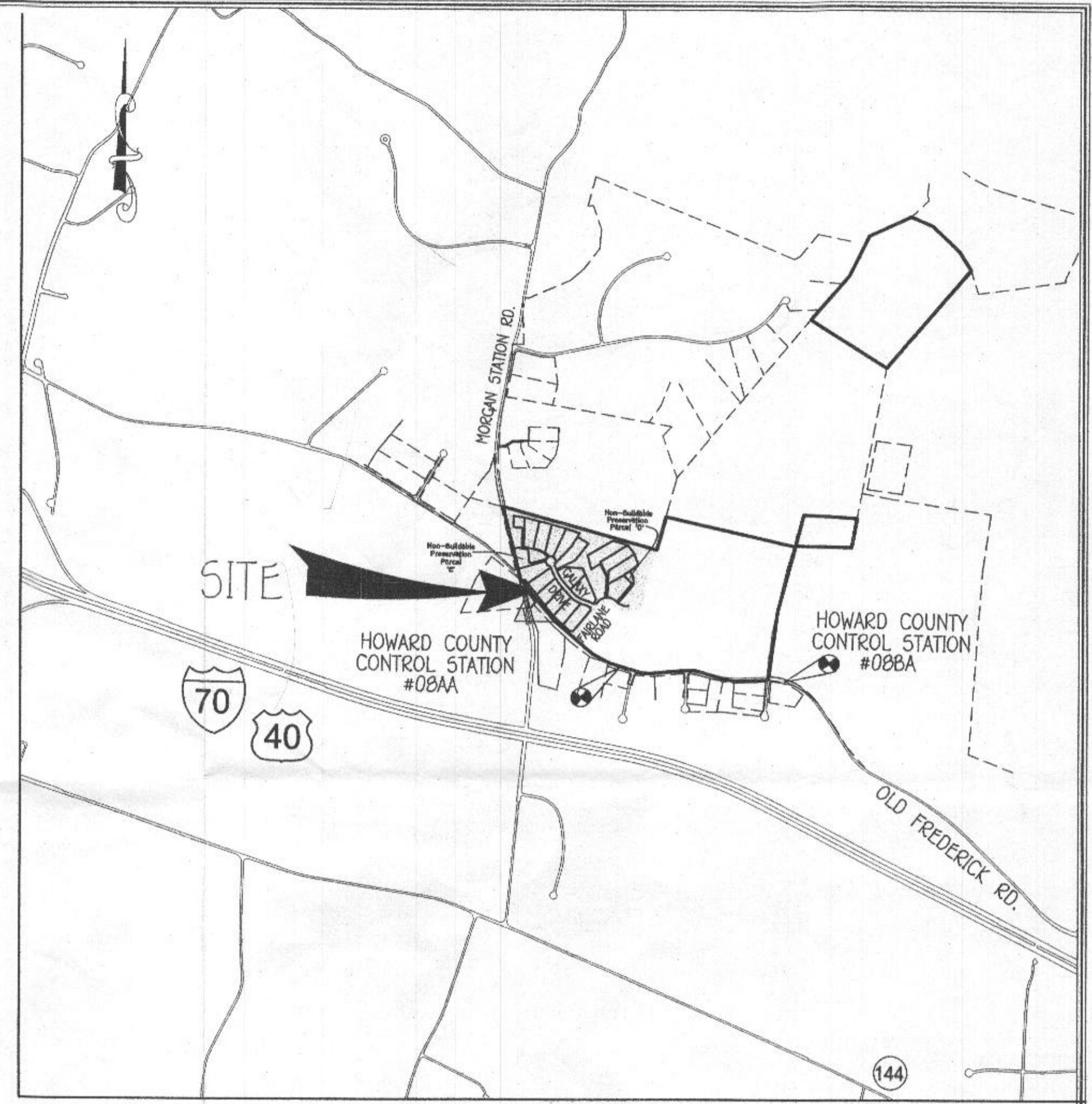
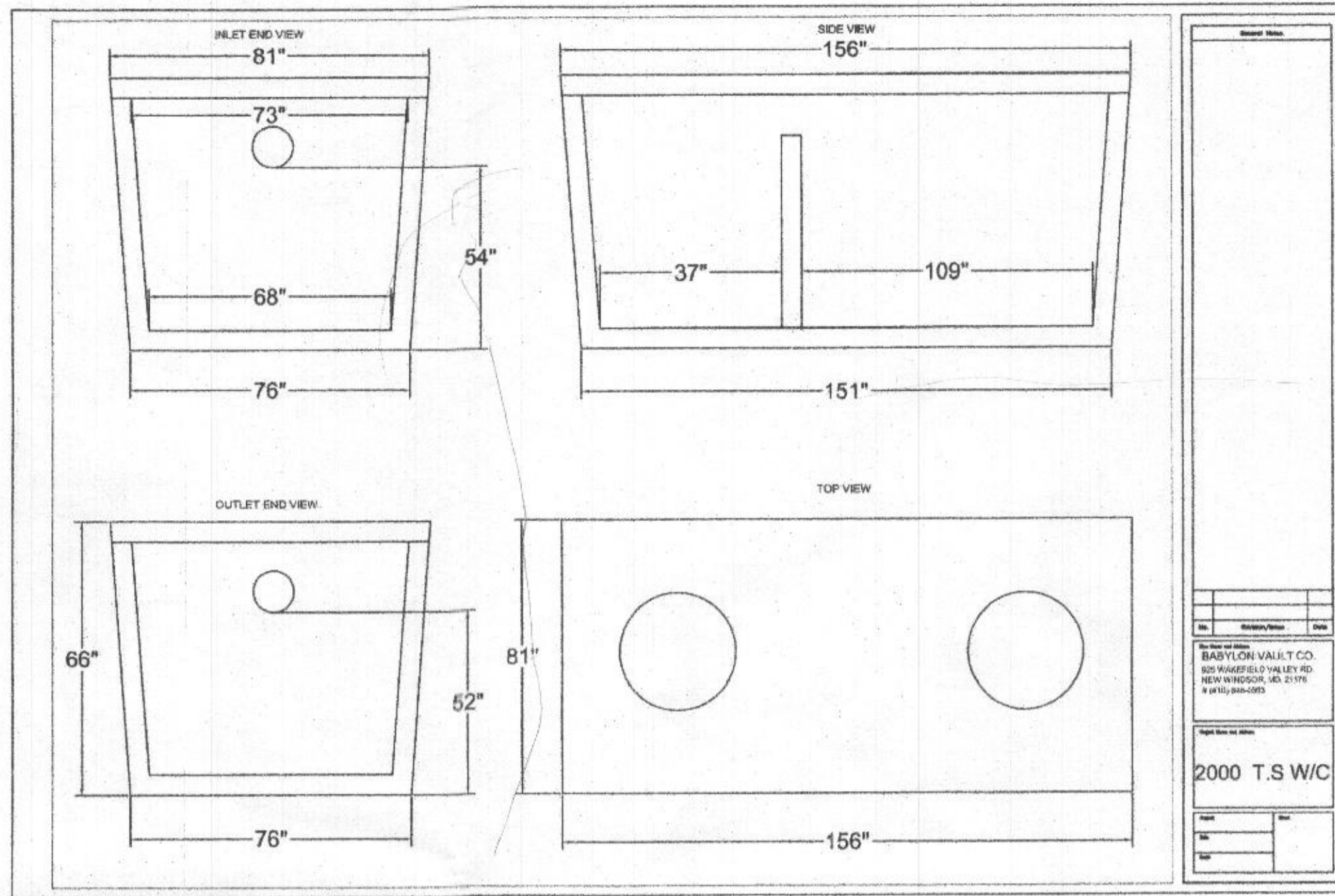
LOT 15
FAIRLANE FARM
PHASE ONE
LOTS 1 THRU 18, BUILDABLE PRESERVATION PARCEL 'A', NON-BUILDABLE PRESERVATION PARCELS 'B' THRU 'E', PARCEL 'F', NON-BUILDABLE BULK PARCELS 'G' AND 'H' AND FOREST MITIGATION BANK
PLAT NOS. 24251 THRU 24259
FOURTH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FRIE
ELLCOTT CITY, MARYLAND 21042
(410) 461 - 2895

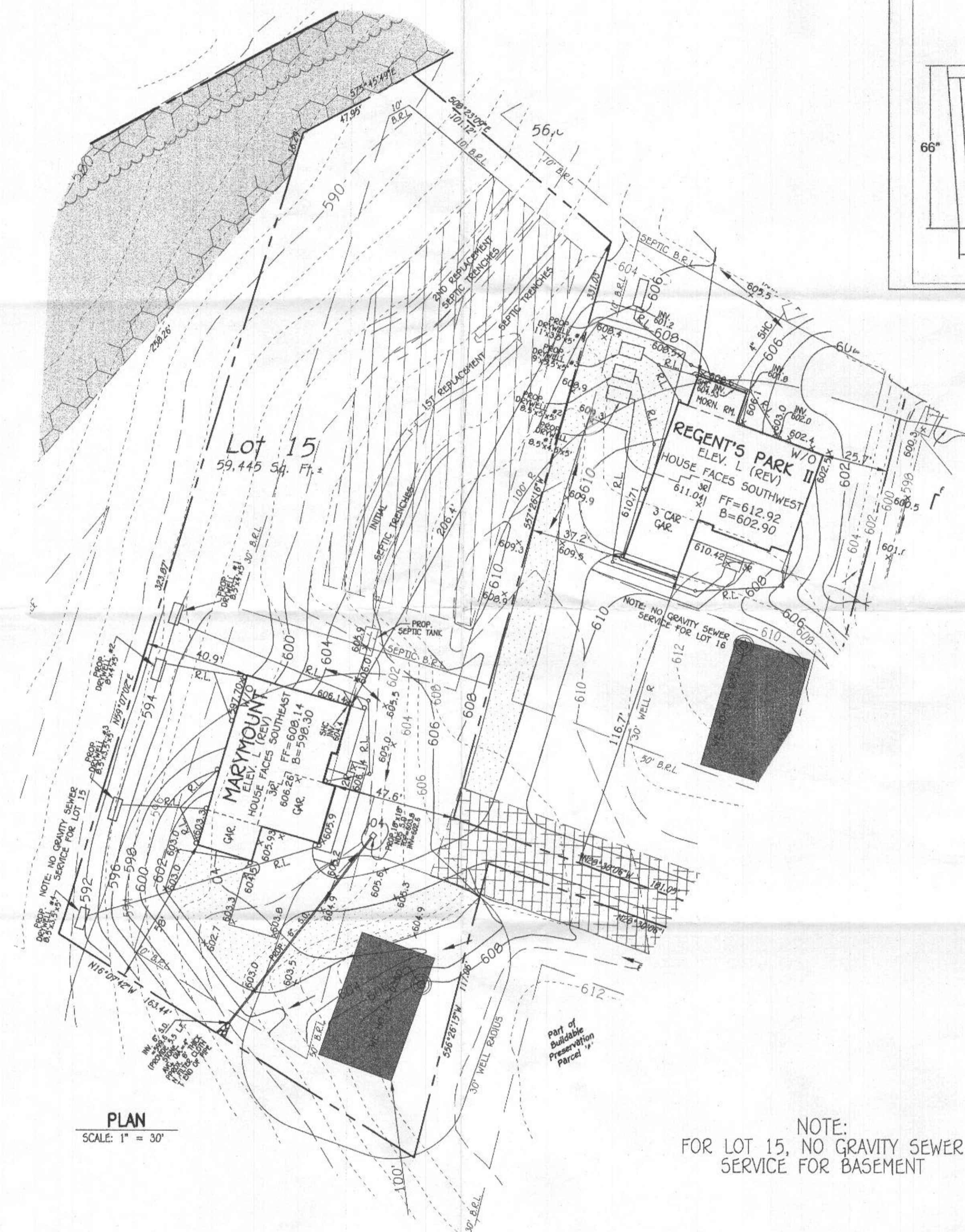
STATE OF MARYLAND
MARK L. ROBE
PROPERTY LINE SURVEYOR
No. 339
1/11/18

HOUSE LOCATION DRAWING
FOUNDATION LOCATION: 1/10/18
FINAL LOCATION:
BOUNDARY SURVEY:
SCALE: 1"=50'
DATE: 1/11/18
DRAWN BY: MSD
CHECKED BY: MLR
PROJECT No.: 05106-3023

NOTE:
THE EXISTING WELLS SHOWN ON THIS PLAN, HO-15-0350 HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

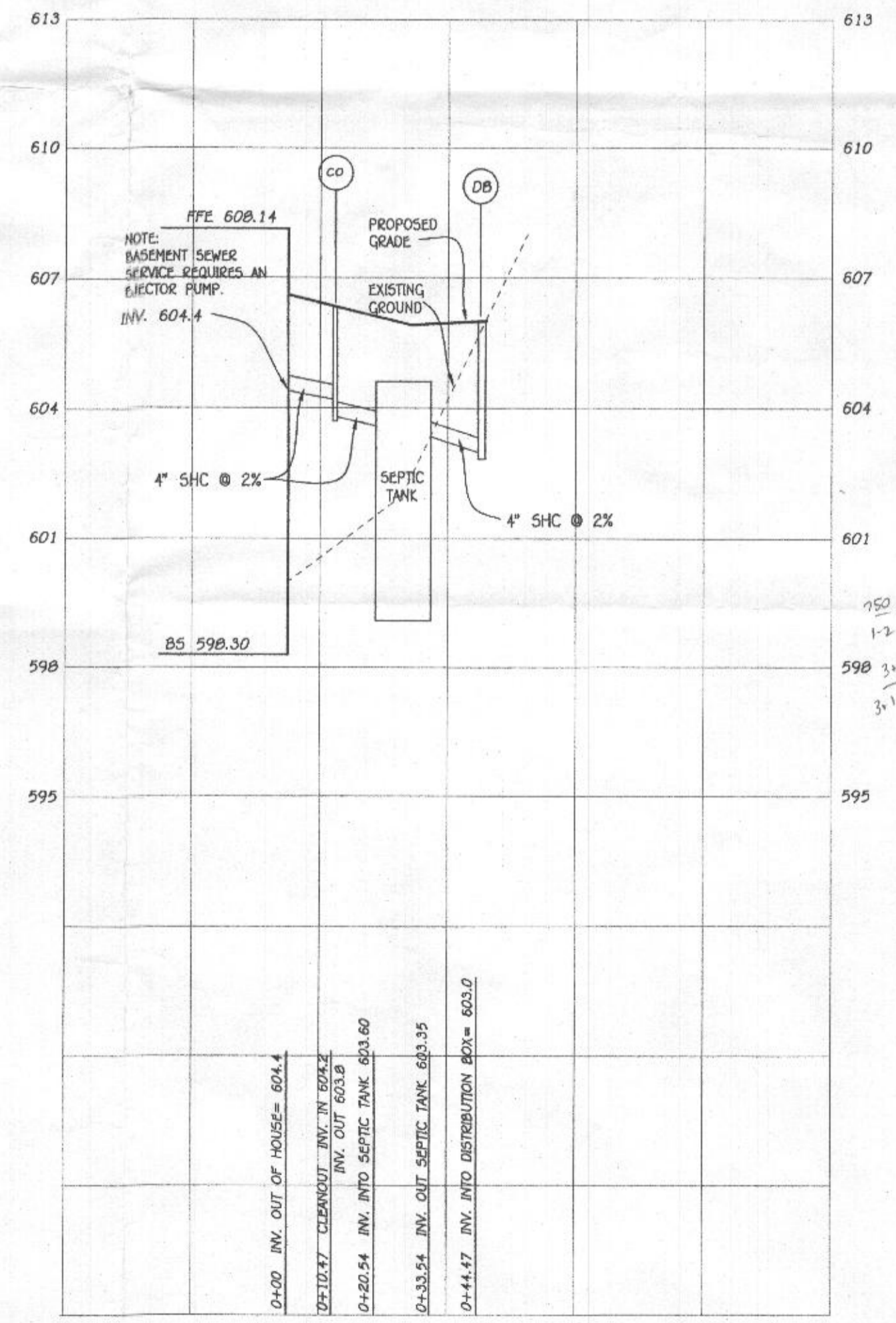


VICINITY MAP
SCALE: 1" = 1200'



PLAN
SCALE: 1" = 30'

NOTE:
FOR LOT 15, NO GRAVITY SEWER SERVICE FOR BASEMENT



SEPTIC PROFILE
SCALE: 1" = 30'

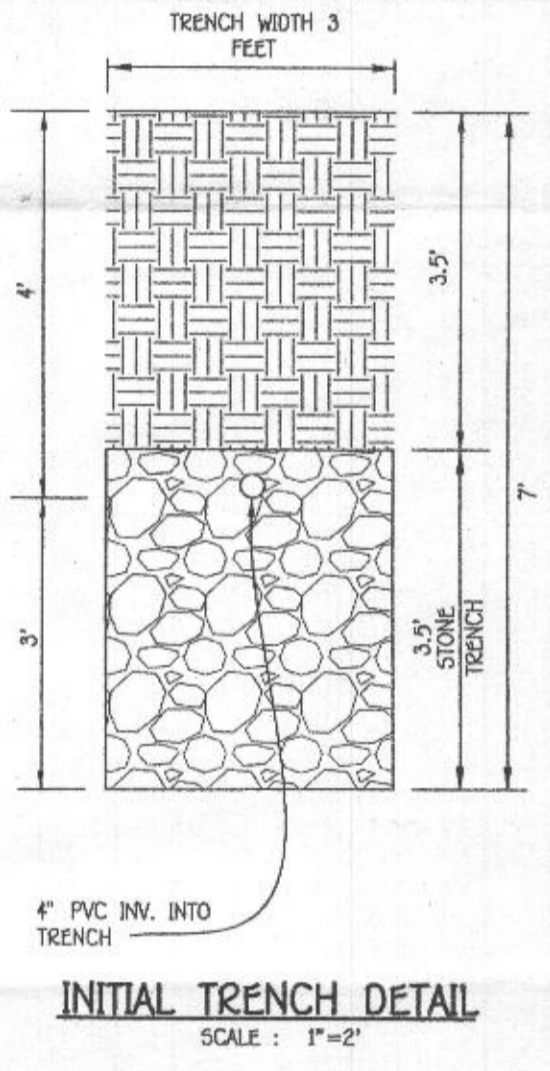
FFE 608.14
BSE 598.30
INV. OUT OF HOUSE = 604.40
PROP. GROUND AT CLEANOUT = 606.00
INV. INTO CLEANOUT = 604.2
INV. OUT OF CLEANOUT = 603.80
EX. GROUND AT SEPTIC TANK = 600.0
PROP. GRADE ABOVE SEPTIC TANK = 605.9
TOP OF SEPTIC TANK = 604.6
INV. INTO SEPTIC TANK = 603.60
INV. OUT OF SEPTIC TANK = 603.35
GROUND AT DISTRIBUTION BOX = 603.1
INV. INTO DISTRIBUTION BOX = 603.0

INITIAL SYSTEM
SEWAGE DISPOSAL SYSTEM DATA DESIGN FOR 5 BEDROOMS
LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD
APPLICATION RATE = 1.2
EFFECTIVE SIDEWALL BEGINS AT 3 FEET
TRENCH DEPTH = 5 FEET
TRENCH WIDTH (W) = 3 FEET
EFFECTIVE DEPTH (D) = 2 FEET
SF OF DRAINFIELD = 750 GPD / 1.2 = 625 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH = (W+2)/(W+1+2D) = (3+2)/(3+1+(2x3)) = 0.4
TRENCH LENGTH = 208.33 SF x 0.625 = 130.21 FEET
(USE 2 TRENCHES AT 65.1 L.F.)
TRENCH SPACING = 2D+W = ((2x2.5) + 3) = 8' USE 10'

1ST REPLACEMENT SYSTEM
SEWAGE DISPOSAL SYSTEM DATA DESIGN FOR 5 BEDROOMS
LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD
APPLICATION RATE = 1.2
EFFECTIVE SIDEWALL BEGINS AT 3 FEET
TRENCH DEPTH = 6 FEET
TRENCH WIDTH (W) = 3 FEET
EFFECTIVE DEPTH (D) = 3 FEET
SF OF DRAINFIELD = 750 GPD / 1.2 = 625 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH = (W+2)/(W+1+2D) = (3+2)/(3+1+(2x3)) = 0.4
TRENCH LENGTH = 208.33 SF x 0.5 = 83.33 FEET
(USE 2 TRENCHES AT 78.12 L.F.)
TRENCH SPACING = 2D+W = ((2x3) + 3) = 9' USE 10'

2ND REPLACEMENT SYSTEM
SEWAGE DISPOSAL SYSTEM DATA DESIGN FOR 5 BEDROOMS
LOADING RATE = 5 BEDROOMS X 150 GPD/BEDROOM = 750 GPD
APPLICATION RATE = 1.2
EFFECTIVE SIDEWALL BEGINS AT 3 FEET
TRENCH DEPTH = 6 FEET
TRENCH WIDTH (W) = 3 FEET
EFFECTIVE DEPTH (D) = 3 FEET
SF OF DRAINFIELD = 750 GPD / 1.2 = 937.5 SF
COEFFICIENT OF REDUCTION OF TRENCH LENGTH = (W+2)/(W+1+2D) = (3+2)/(3+1+(2x3)) = 0.4
TRENCH LENGTH = 312.50 SF x 0.4 = 86.00 FEET
(USE 2 TRENCHES AT 62.5 L.F.)
TRENCH SPACING = 2D+W = ((2x3) + 3) = 9' USE 10'

INITIAL TRENCH DATA:
TRENCH 1:
EX. GROUND ABOVE = 606.0
INV. IN = 603.0
BOTTOM TRENCH = 601.0
TRENCH 2:
EX. GROUND ABOVE = 604.0
INV. IN = 602.0
BOTTOM TRENCH = 599.0



INITIAL TRENCH DETAIL
SCALE: 1" = 2'

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20748, EXPIRATION DATE: 02/22/2019.

Paul W. Kriebel
PAUL W. KRIEBEL
11/17/17
DATE



OWNER/DEVELOPER
NV HOMES
9720 PATRIOT WOODS DRIVE
COLUMBIA, MD 21046
410-379-5956

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10275 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2895

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
15	1011 FAIRLANE ROAD

Approved Septic System Plan
Howard County Health Department
Rana Bernard 11-17-17
Signature Date

**SEPTIC SYSTEM
INSTALLATION SITE PLAN**
LOT 15
1011 FAIRLANE ROAD
FAIRLANE FARMS
PHASE ONE
LOADING: RC-DEO
TAX MAP NO.: B GRID NO.: 2 PARCEL NO.: 8
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1"=30' DATE: NOV. 13, 2017
SHEET 1 OF 1