



HEALTH

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

OILP 2017 NOV 20 AM 10:0

Date Received: _____

Permit No.: B17004133

Building Address: 5302 Catalpa Ct.
 City: Ellicott City State: MD Zip Code: 21042
 Suite/Apt. #: _____ SDP/WP/BA #: GP-17-28
 Census Tract: _____ Subdivision: Walnut Creek
 Section: _____ Area: _____ Lot: 88
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Vacant lot
 Proposed Use: Single family home
 Estimated Construction Cost: \$ 240,000
 Description of Work: New 2 story "Monticello II" with 3 car garage, 4' EXT to family Rm, Morning Rm, Conservatory, finished lower level (Rec Rm, Bath, Media Rm, Exercise Rm)
 Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: NVR Inc
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 Phone: 410-379-5956 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Decatur Building Services
 Address: PO Box 552
 City: Wedding State: MD Zip Code: 21777
 Phone: 443-309-7792 Fax: _____
 Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes
 Contact Person: Frankie Paris Clint Cagle
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 License No.: 56
 Phone: 410-379-5956 Fax: _____
 Email: Frankie@NVHomes.com CC cagle@NVRInc.com

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input checked="" type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>5</u>	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>617000358</u>	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin
 Applicant's Signature
Jim@DecaturbuildingServices.com
 Email Address
AGENT NV Homes
 Title/Company

Jim Kerwin
 Print Name
11/20/2017
 Date

RECEIVED
 NOV 20 2017
 LICENSES & PERMITS
 DIVISION

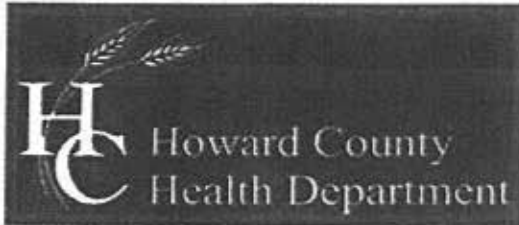
Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>12/1/17</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ 100
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>118931</u>



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: *Clint Cagle, NV Homes*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*
Well & Septic Program

RE: *5302 Catalpa Court, Walnut Creek subdivision – Lot 88*, Basement Bedroom issue

DATE: December 11, 2017

I have reviewed the floor plans in support of Building Permit **B17004133** for a new home at *5302 Catalpa Court* and noted that there is conflicting information between the application and the floor plan. The application indicates a "finished lower level" while the floor plan has been marked-up to indicate two areas as unfinished. To further complicate the issue, one of the areas marked as "unfinished" would otherwise meet the definition of bedroom in Howard County Code [3.302.B.], and thus the proposed structure would not be approvable as it would have six (6) bedrooms. As you are aware there is a strict limitation of five (5) bedrooms per lot for lots in the Walnut Creek subdivision. For this room to ever be permitted to be 'finished', either it, the basement bath, or one of the rooms identified as a bedroom on the First Floor or the Second Floor would have to be redesigned and remodeled so that there would not be six (6) bedrooms in the residence.

Prior to Health Department approval of B17004133, the Health Department requires

1. That the permit application be resubmitted or edited so that it indicates a 'partially finished basement', AND
2. that the owner (buyer) acknowledge in writing that they are aware of the issue and that they do not intend to finish the area identified on the floor plan as STORAGE/HOME OFFICE without a building permit proposing a redesign as stated above.

I Lohiya Atluri acknowledge this issue.

Furthermore, the Health Department will conduct an inspection of the basement area prior to approval of 'Use and Occupancy' to assure that the area is not finished prior to occupation of the property.

A. Lohiya

12/14/2017

Bricker, Robert

From: Cagle, Clint <ccagle@nvrinc.com>
Sent: Thursday, December 14, 2017 11:17 AM
To: Bricker, Robert
Cc: Hanauer, Brent; Jim Kerwin (jim@decaturbuildingservices.com)
Subject: RE: 5302 Catalpa Ct_B17004133
Attachments: 5032 Catalpa Court Customer Signed Memorandum.pdf

Hello Robert,

I have attached the memorandum signed by this buyer for your file and Howard County Records. Please let me know if anything else is needed. Any help in signing off on this permit would be appreciated as we are trying to get a jump on this house start before the holidays and colder weather. Thank you.

Thanks,

Clint Cagle | NVHomes | 301-237-5776

From: Bricker, Robert [<mailto:RBricker@howardcountymd.gov>]
Sent: Thursday, December 14, 2017 8:56 AM
To: Cagle, Clint <ccagle@nvrinc.com>
Subject: [Ext] RE: 5302 Catalpa Ct_B17004133

The acknowledgement we require is a written statement signed by the person purchasing the property. You may send a copy of the memo to that person so they understand what we are requiring.

Robert Bricker, REHS/RS, L.E.H.S.

From: Cagle, Clint [<mailto:ccagle@nvrinc.com>]
Sent: Tuesday, December 12, 2017 3:58 PM
To: Bricker, Robert
Subject: RE: 5302 Catalpa Ct_B17004133

Robert,

I just left you a voicemail, but Jim Kerwin just informed that he did not submit any plans as the person he spoke to said that the County's Excela file has been updated to reflect a "partially finished basement". Also, I am acknowledging that the homeowner does not intend to finish the area identified on the floor plan as STORAGE/HOME OFFICE without a building permit proposing a redesign as stated above. Please let me know if you have any questions.

Thanks,

Clint Cagle | NVHomes | 301-237-5776

From: Bricker, Robert [<mailto:RBricker@howardcountymd.gov>]
Sent: Monday, December 11, 2017 3:42 PM
To: Cagle, Clint <ccagle@nvrinc.com>
Subject: [Ext] 5302 Catalpa Ct_B17004133

B17004133 'On Hold'; see attached PDF

ROBERT BRICKER, REHS/R.S., L.E.H.S.
ENVIRONMENTAL SANITARIAN II
BUREAU OF ENVIRONMENTAL HEALTH, WELL AND SEPTIC PROGRAM
8930 STANFORD BLVD., COLUMBIA, MD 21045

Phone: Desk, 410-313-2691; Program, 410-313-1771; Bureau, 410-313-1774
Fax: 410-313-2648

E-mail: rbricker@howardcountymd.gov

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Bricker, Robert

To: Cagle, Clint
Cc: Hanauer, Brent
Subject: RE: NV Homes_finished basement areas

Thank you Clint.

From: Cagle, Clint [<mailto:ccagle@nvrinc.com>]
Sent: Wednesday, December 06, 2017 12:57 PM
To: Bricker, Robert
Cc: Hanauer, Brent
Subject: RE: NV Homes_finished basement areas

Robert,
Please see comments in your below email in red.

Thanks,

Clint Cagle | NVHomes | 301-237-5776

From: Bricker, Robert [<mailto:RBricker@howardcountymd.gov>]
Sent: Wednesday, December 6, 2017 9:16 AM
To: Cagle, Clint <ccagle@nvrinc.com>
Cc: Hanauer, Brent <bhanauer@nvrinc.com>
Subject: RE: NV Homes_finished basement areas

So a finished area would have sheet rock on the walls.
Correct

Would a finished floor be anything except bare concrete? For example, would carpet on concrete satisfy the description?
Correct

What about ceiling characteristics?
Drywall Finished(same as wall)

From: Cagle, Clint [<mailto:ccagle@nvrinc.com>]
Sent: Wednesday, December 06, 2017 9:06 AM
To: Bricker, Robert
Cc: Hanauer, Brent
Subject: RE: NV Homes_finished basement areas

Good Morning Robert,

A finished area would be an area(room) that will be conditioned with finished walls and flooring. I understand it can be confusing based on our plans from house type to house type(larger house types have many options). I have attached two different house types with basement plans and marked them up with a pink highlighter for unfinished and a yellow

highlighter for finished, with optional areas in both colors. That said, I will make it more clear when submitting plans for permits in the future for you. Please let me know if you have any further questions.

Thanks,

Clint Cagle | NVHomes | 301-237-5776

From: Bricker, Robert [mailto:RBricker@howardcountymd.gov]

Sent: Tuesday, December 5, 2017 2:55 PM

To: Cagle, Clint <ccagle@nvrinc.com>

Subject: NV Homes_finished basement areas

Mr Cagle,

When I review construction proposals in the Walnut Creek subdivision, I often find inconsistencies in labeling of finished and unfinished basement areas.

By what standards or characteristics does NV Homes consider a basement area to be finished?

ROBERT BRICKER, REHS/R.S., L.E.H.S.

ENVIRONMENTAL SANITARIAN II

BUREAU OF ENVIRONMENTAL HEALTH, WELL AND SEPTIC PROGRAM

8930 STANFORD BLVD., COLUMBIA, MD 21045

Phone: Desk, 410-313-2691; Program, 410-313-1771; Bureau, 410-313-1774

Fax: 410-313-2648

E-mail: rbricker@howardcountymd.gov

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including but not limited to, pricing, financing, features of a property and/or community, is not to be construed as the basis of the bargain for the purchase and sale of any such property.

Bricker, Robert

From: Bricker, Robert
Sent: Tuesday, December 05, 2017 2:55 PM
To: 'ccagle@nvrinc.com'
Subject: NV Homes_finished basement areas

Mr Cagle,

When I review construction proposals in the Walnut Creek subdivision, I often find inconsistencies in labeling of finished and unfinished basement areas.

By what standards or characteristics does NV Homes consider a basement area to be finished?

ROBERT BRICKER, REHS/R.S., L.E.H.S.
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BUREAU OF ENVIRONMENTAL HEALTH, WELL AND SEPTIC PROGRAM
8930 STANFORD BLVD., COLUMBIA, MD 21045

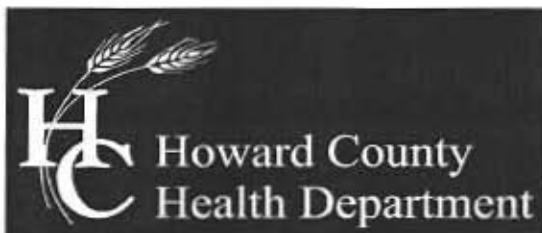
Phone: Desk, 410-313-2691; Program, 410-313-1771; Bureau, 410-313-1774

Fax: 410-313-2648

E-mail: rbricker@howardcountymd.gov

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Bureau of Environmental Health

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Twitter: [HowardCoHealthDep](https://twitter.com/HowardCoHealthDep)

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: *Clint Cagle, NV Homes*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*
Well & Septic Program

RE: *5302 Catalpa Court, Walnut Creek subdivision – Lot 88, Basement Bedroom issue*

DATE: December 11, 2017

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Furthermore, the Health Department will conduct an inspection of the basement area prior to approval of 'Use and Occupancy' to assure that the area is not finished prior to occupation of the property.

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/New/SPD	B17004133	11/20/2017
Description of Work		
SPD/ MODEL MONTICELLO #7		

check spelling

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
5302	CATALPA	CT	
Unit Type	Unit #	X Coordinate	Y Coordinate
-Select-		-78.95173	39.23995
City	State	Zip Code	Primary
ELLCOTT CITY	MD	21042	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	plan Area
1104009	49	0	0	0	0	RURAL
Legal Description						

check spelling

Block	Lot	Census Tract	Council Dist	Supervisor Dist	Map #	DAP Zone	Primary
	86	005101	5				Yes
Plan Area	State Tax Id	Subdivision Name					
		Walnut Creek					
Section	Area	Tax Map					
		28					
Grid	Zoning District	ADC Map					
28-11	RC-GEO	4933-10					
SDP No.	Final Plan No.	WP File No.					
	F-07-075						
Record Plat No.	WS Contract No.	FDP No.					
23233-2324							
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-02A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *

NVR INC

Address Line 1

9720 PATUXENT WOODS DRIVE

Address Line 2

Address Line 3

Mail City

COLUMBIA

Mail State

MD

Mail Zip Code

21046

Phone	Primary
410-379-5956	Yes
E-mail	
CCAGLE@NVRINC.COM	
Cell Number	Fax Number

Professionals (This section is not required.)

Search Reset Clear

License # *	Business Name		
56	NVR, INC. TIA NV HOMES		
License Type *	First Name	Middle Name	Last Name
Home Bldr	CLINT		CAGLE
Primary	Address Line 1		
Yes	11700 PLAZA AMERICA DRIVE, SUITE #500		
	Address Line 2		
	City	State	ZIP Code
	RESTON	VA	20190
	Phone 1	Phone 2	Fax
	703-956-4000	410-379-5956	
	E-mail		
	CCAGLE@NVRINC.COM		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	JIM		KERWIN
Relationship	Full Name		
Applicant	JIM KERWIN		
Primary	Organization Name		
No	DECATUR BUILDING SERVICES		
	Street Address		
	P.O. BOX 552		
	Address Line 2		
	City	State	Zip Code
	WOODBINE	MD	21797
	Phone	Cell	Fax
	443-309-7792	410-499-6500	
	E-mail *		
	JIM@DECATURBUILDINGSERVICES.COM		

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type	First Name	MI	Last Name
Contact	JIM		KERWIN
Relationship	Full Name		
Agent for Applicant	JIM KERWIN		
Primary	Organization Name		
Yes	DECATUR BUILDING SERVICES		
	Street Address		
	P.O. BOX 552		
	Address Line 2		
	City	State	Zip Code
	WOODBINE	MD	21797
	Phone	Cell	Fax
	443-309-7792	410-499-6500	
	E-mail		
	JIM@DECATURBUILDINGSERVICES.COM		

Add Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
240000	1	1	No
Construction Type			

101 - Single Family Houses Detached

BLDG RNC

Capital Project-No Fee * Yes No Capital Project Number [] Fee Exempt * Yes No Guaranty Fund Required * Yes No Roadside Tree Project Permit Yes No

Roadside Tree Project Permit # [] Condominium Yes No Existing Use [Vacant Lot] 1st Floor Width [68] FT 1st Floor Depth [64] FT

2nd Floor Width [68] FT 2nd Floor Depth [50] FT Basement Width [68] FT Basement Depth [64] FT Height [] FT Total Square Footage * [9592] SQFT Occupiable Square Footage * [9592] SQFT Bedrooms * [4]

Full Baths [5] Half Baths [1] Foundation [Full Basement] Basement [Partially Finished] Other Structure [Attached Garage] Building Construction Type [Conventional]

W&S Fees Paid * Yes No Water Supply * [Private] Sewage Disposal * [Private] Utilities * [Gas & Electric] Heating System * [Electric] Sprinkler System * [NFPA #13D]

No of Fireplaces [1] Type of Fireplace [-Select-] Entrance Permit Required Yes No Road Frontage [County] Location Survey Approval Date [] Expiration Date [6/6/2018]

USO Issued On [] U & O Comments [check spelling]

GRADING INFORMATION

Grading Permit No [G17000358] Grading Certification Required Yes No Grading Certification Received in DILP On [] Grading Certification Received in CID On []

Grading Certification Comments [] Seasonal Surety Comments []

check spelling check spelling

Seasonal Grading Surety Depositor [] Driveway Apron Surety Depositor [] Stormwater Surety Depositor []

GREEN NEIGHBORHOOD INFORMATION

Check List Points Goal [] Check List Points Achieved [] Date of Certification []

PAYMENT INFORMATION

Check 1 [118931] Payee 1 [NVR INC] Check 2 [150153/150] Payee 2 [NVR INC] SAP Doc No [] SAP Entered []

PRIVATE ON LOT SWM FACILITIES

Green Roofs A1 Yes No Permeable Pavements A2 Yes No Reinforced Turf A3 Yes No

Disconnection of Rooftop Runoff N1 [] Disconnection of Non Rooftop Runoff N2 Yes No Sheetflow to Conservation Areas N3 Yes No

Rainwater Harvesting M1 [] Submerged Gravel Wetlands M2 [] Landscape Infiltration M3 [] Infiltration Berms M4 []

Dry Wells M5 [] Micro Bioretention M6 [] Rain Gardens M7 [] Swales M8 [] Enhanced Filters M9 []

Related Records

« 1 »

Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
G17000358	Residential Grading Permit	Issued	5302	CATALPA	11/20/2017	WALNUT CREEK - PHASE 3/ GRADING 7 SI
B17004133	Residential New Single Family Dwelling Permit	Review in Process	5302	CATALPA	11/20/2017	SFD/ MODEL MONTICELLO II/

« 1 »

Submit Cancel

LOT 88 5302 Catalpa Court

HEALTH Dept

B17004133

MONTICELLO II



NVR, Inc.
Architectural Services
Architects
21 Byte Court, Suite A
Frederick, MD 21702

NOTE SHEET	FULL BASEMENT					ATTACHED GARAGE / ROOMS										STANDARD DETAILS
	STD. DIMS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'C'	ELEV. 'D'	ELEV. 'E'	SIDE ATTACHED GARAGE	4' EXTENSION TO FAMILY ROOM	CONSERVATORY / IN-LAWS SUITE	MORNING ROOM / SITTING AREA	BACKPACK WET BAR	FIRST FLOOR BEDROOM	LIBRARY	BEDROOM #5	SERVICE ENTRY / REAR PORCH	
FRONT ELEVATIONS - SIDING	3		6													
FRONT ELEVATIONS - BRICK	4		1		10											
FRONT ELEVATIONS - PARTIAL STONE		3														
FRONT ELEVATIONS - BRICK AND STONE				8	4											
LEFT SIDE ELEVATIONS		11	13	14	15	16										
RIGHT SIDE ELEVATIONS		17	18	19	20	21										
REAR ELEVATIONS		22	23	24	25	26										
FOUNDATION	38	40	40	40	40		40	39	39	39						
FOUNDATION HOLD DOWN LAYOUT	41															
PLUMBING GROUND WORKS	43	44	44	44	44		44	45	45	45						
BASEMENT PLAN	46						41	41	41							
FIRST FLOOR PLAN	48	44	44	44	44						44	44				
SECOND FLOOR PLAN	53	54	54	54	54											
BUILDING SECTION AT FOYER	56															
BUILDING SECTION AT GARAGE	57															
STAIR PLAN (FRONT)	59															
STAIR PLAN (REAR)	60															
KITCHEN PLANS - CABINET HOOD B	61															
KITCHEN PLANS - CABINET HOOD G	62															
KITCHEN PLANS - GOURMET	63															
INTERIOR DETAILS - BATH ELEVATIONS	64															
INTERIOR DETAILS - FIRST FLOOR	67															
INTERIOR DETAILS - SECOND FLOOR	68															
INTERIOR DETAILS - CASED OPENINGS	69															
INTERIOR DETAILS - ENTRY DOOR	69.2															
EXTERIOR DETAILS		10	11	12	13	14										
BASEMENT ELECTRICAL	71															
FIRST FLOOR ELECTRICAL	81	82	82	82	82		80	80	80							
SECOND FLOOR ELECTRICAL	85	86	86	86	86					82	82					
FIRST FLOOR JOIST LAYOUT	86									87				87		
SECOND FLOOR JOIST LAYOUT	90															
ROOF FRAMING		92	93	94	95	96										
ROOF FRAMING - 2 AND 3 CAR SIDE ENTRY GARAGE				97	98	99										
ROOF FRAMING - SITTING AREA		100	100	101	102	103										
ROOF FRAMING - SIDE ATTACHED GARAGE		104	104	104	105	106										
TRUSS BRACING		109	110	111	112											
BRACED HALL PANEL DETAIL		113	114	115												
ROOF VENTILATION		116	117	118	119	120										
HVAC LAYOUT	121															
HVAC LAYOUT	122															
HVAC LAYOUT	123															

BASE SQUARE FOOTAGE

FIRST FLOOR	GROSS SQ. FT.	2594
SECOND FLOOR	GROSS SQ. FT.	2414
HOUSE TOTAL	GROSS SQ. FT.	5008

ELEVATIONS SQ. FT.

ELEVATION 'A'	GROSS SQ. FT.	10
ELEVATION 'B'	GROSS SQ. FT.	4
ELEVATION 'C'	GROSS SQ. FT.	-104
ELEVATION 'D'	GROSS SQ. FT.	-15
ELEVATION 'E'	GROSS SQ. FT.	-153

ADDITIONAL SQ. FT.

4' EXTENSION TO FAMILY ROOM	GROSS SQ. FT.	180
MORNING ROOM	GROSS SQ. FT.	144
CONSERVATORY / IN-LAWS SUITE	GROSS SQ. FT.	352
SIDE GARAGE	GROSS SQ. FT.	187
W FAMILY OFFICE	GROSS SQ. FT.	116
SITTING ROOM	GROSS SQ. FT.	125
BEDROOM #5	GROSS SQ. FT.	352

MAXIMUM FINISHED SQ. FT.

HOUSE TOTAL	GROSS SQ. FT.	6774
**MAXIMUM SQ. FT. DOES NOT INCLUDE BASEMENT		

FINISHED BASEMENT SQ. FT.

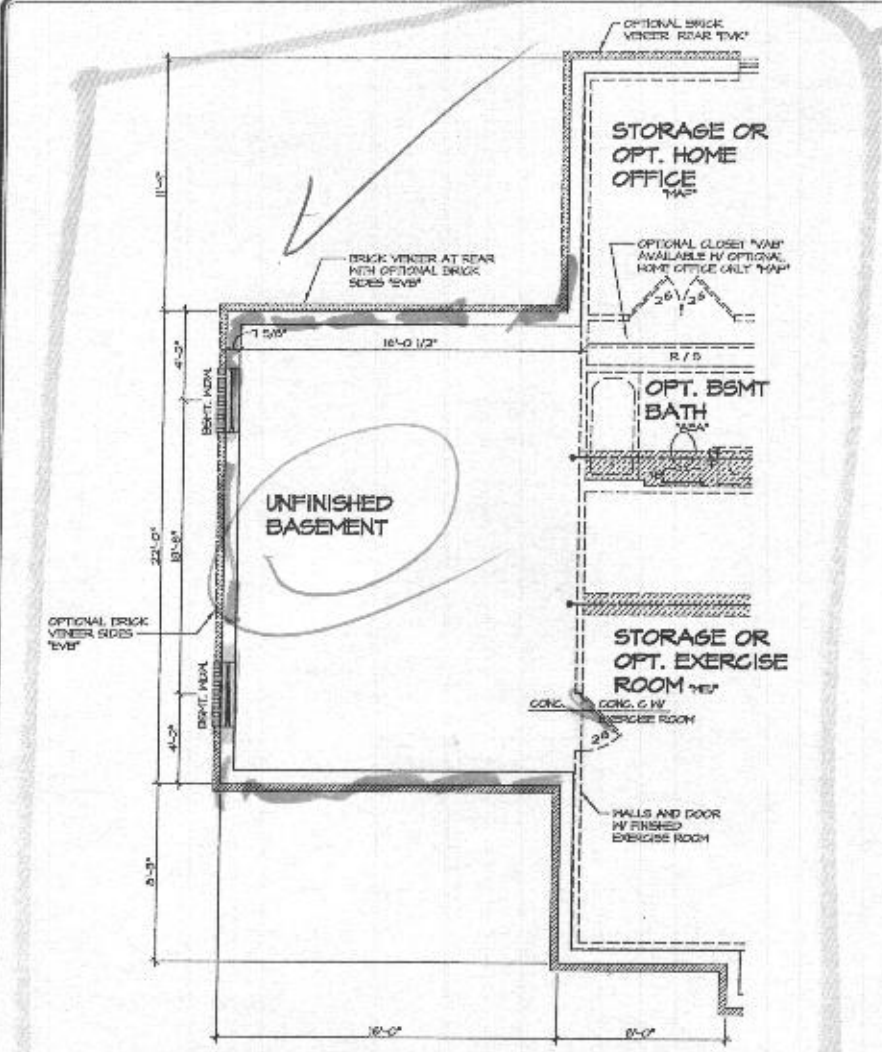
RECREATION ROOM	GROSS SQ. FT.	1367
W 4' EXTENSION TO FAMILY ROOM	GROSS SQ. FT.	450
W MORNING ROOM	GROSS SQ. FT.	1244
HOME OFFICE	GROSS SQ. FT.	110
EXERCISE ROOM	GROSS SQ. FT.	498
W TELE	GROSS SQ. FT.	49
HEBA ROOM	GROSS SQ. FT.	141
BASEMENT BATH	GROSS SQ. FT.	58

FOOTPRINT

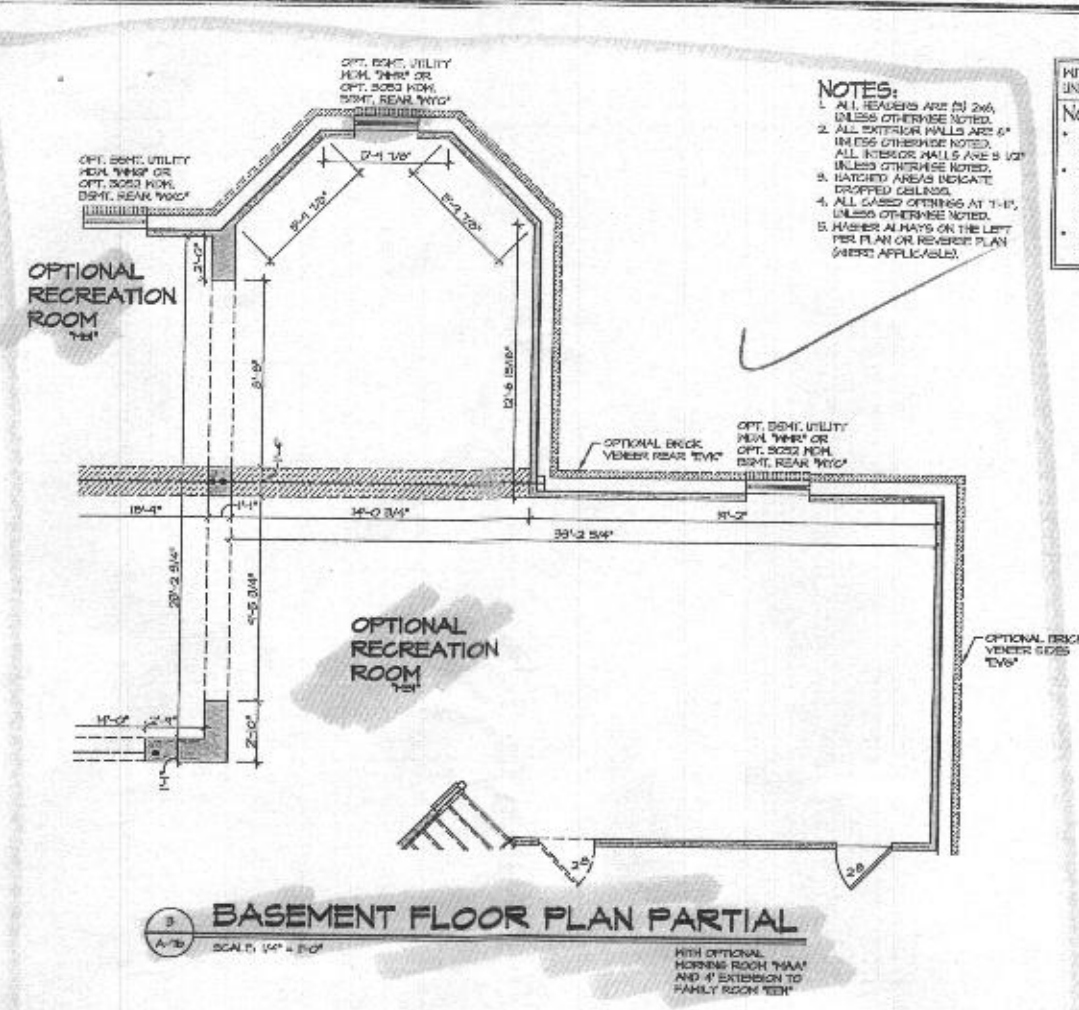
BASE HOUSE	
WIDTH	66'-0"
DEPTH	60'-2"
MAXIMUM	
WIDTH	109'-0"
DEPTH	84'-8"

SET - VERSION
10100-01 **CS-1**

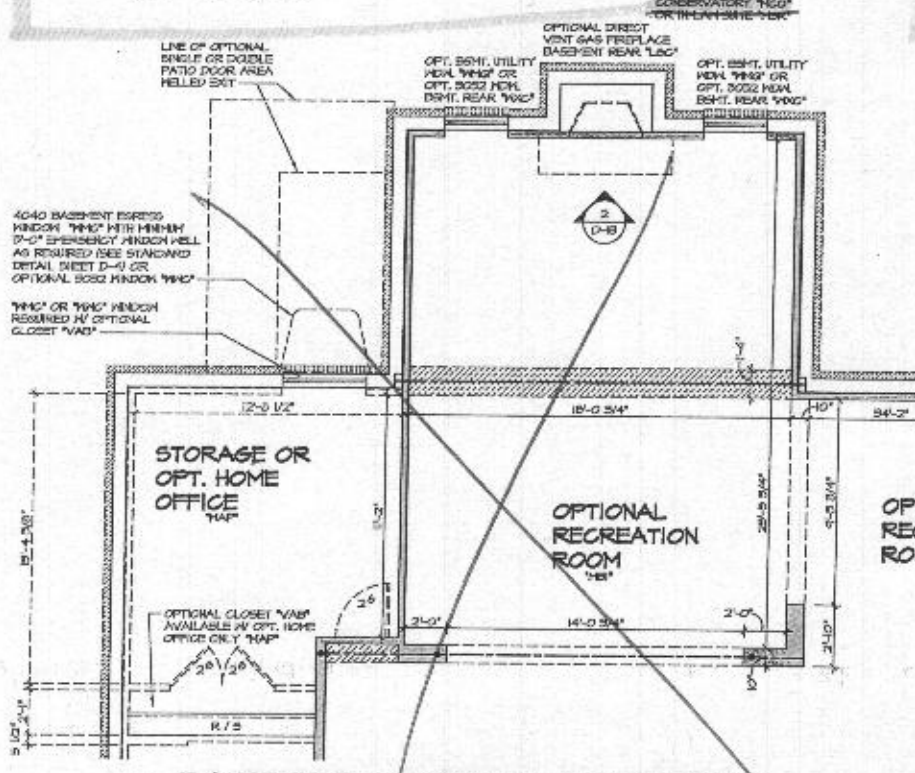
J:\Dwg\10100\10100-01\MONTICELLO II_10100_01_V051.dwg 01/18/16 - 11:03 am



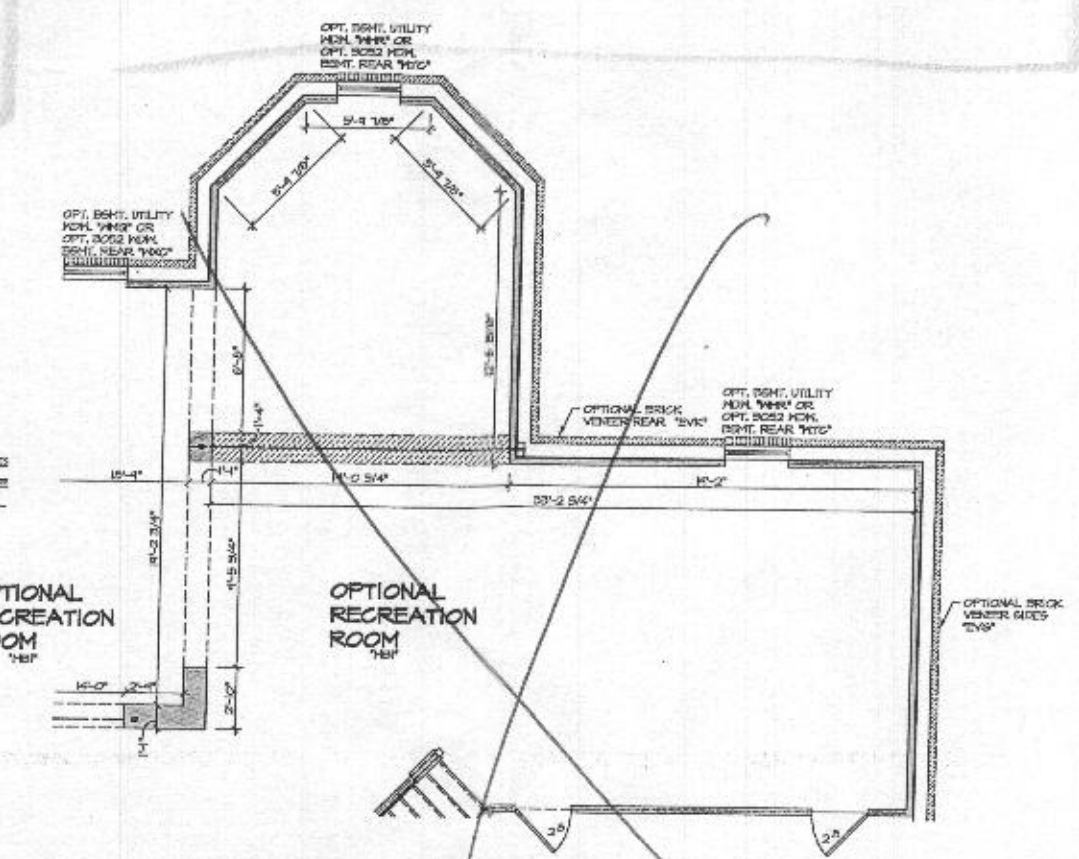
1
A-7b
SCALE: 1/4" = 1'-0"



2
A-7b
SCALE: 1/4" = 1'-0"



3
A-7b
SCALE: 1/4" = 1'-0"



4
A-7b
SCALE: 1/4" = 1'-0"

- NOTES:**
1. ALL READINGS ARE TO 2/8" UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL GASED OPENINGS AT 1-1/2" UNLESS OTHERWISE NOTED.
 5. HATCHES ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

- 1/2" SYSTEM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 50 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN INCH OR TWO OF CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE CLOSING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

DATE	11/20/15	REV. NO.	1
DATE	11/20/15	REV. NO.	2
DATE	11/20/15	REV. NO.	3
DATE	11/20/15	REV. NO.	4
DATE	11/20/15	REV. NO.	5
DATE	11/20/15	REV. NO.	6

DATE: 11/20/15
DRAWN BY: LEA
DATE: 11/18/15
DESIGNER: MAA
PROJECT: MCG, MER

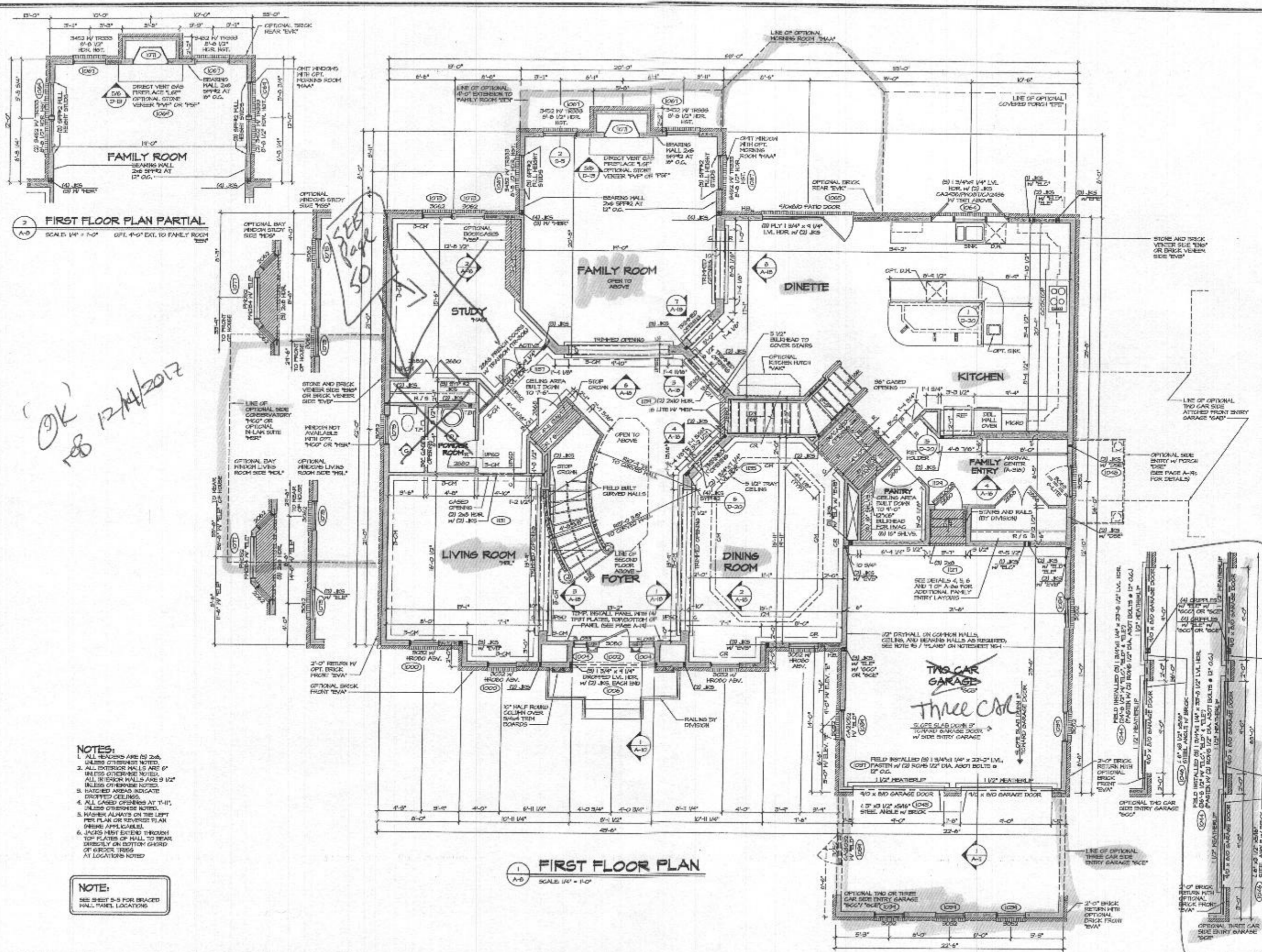
MONTICELLO II
BASINING TITLE
BASEMENT FLOOR PLAN PARTIAL

OPTION DESCRIPTION
4' EXTENSION TO FAMILY ROOM, MORNING ROOM, CONSERVATORY, IN-LAWS SUITE

A-7b
47

PROJECT NO.: 11-2015-001
PROJECT NAME: MONTICELLO II - CONSERVATORY - CON - 11/20/15 - 4712 - 001





REVISIONS

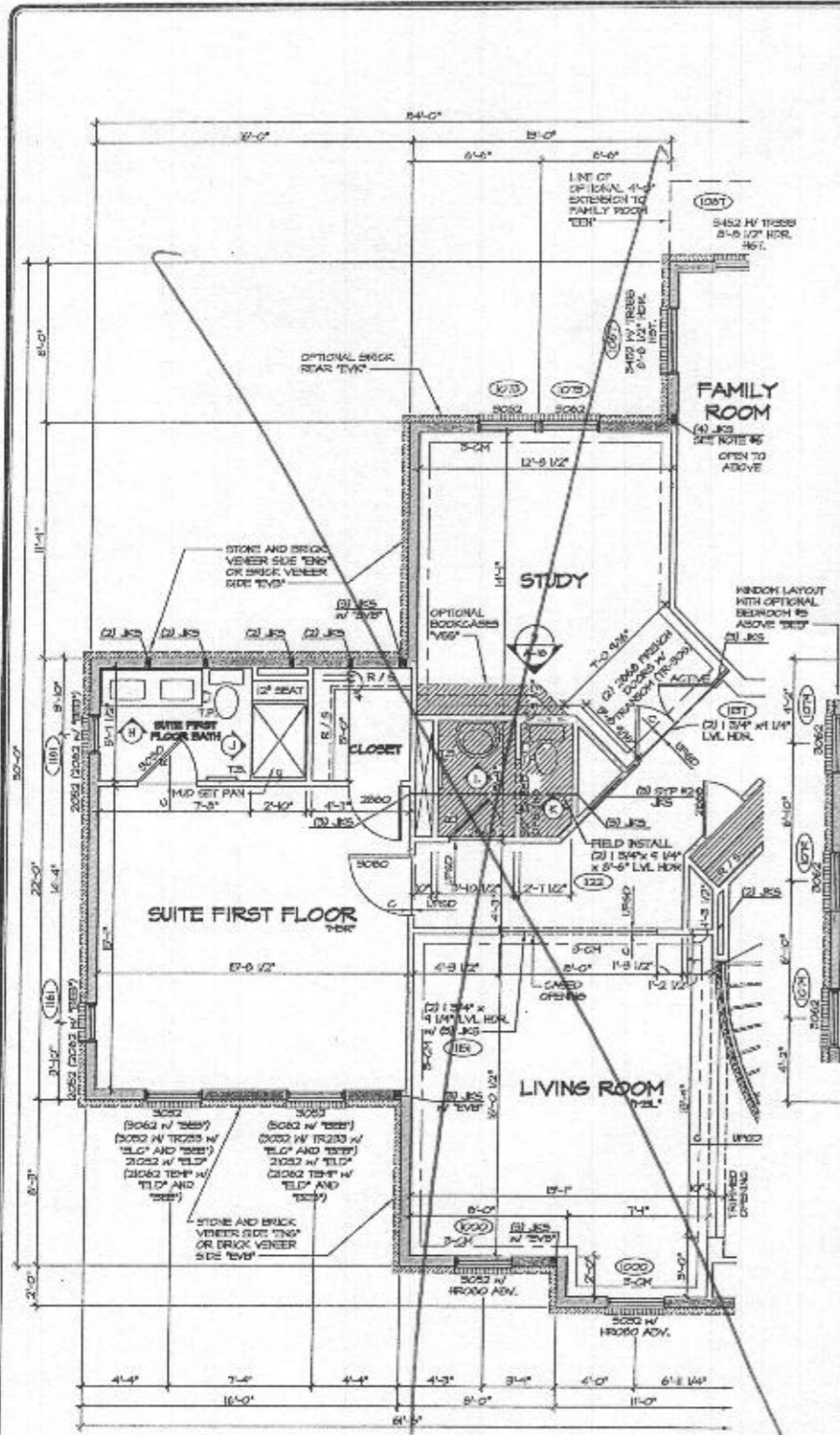
NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMIT
2		REVISIONS TO PERMIT
3		REVISIONS TO PERMIT
4		REVISIONS TO PERMIT
5		REVISIONS TO PERMIT
6		REVISIONS TO PERMIT
7		REVISIONS TO PERMIT
8		REVISIONS TO PERMIT
9		REVISIONS TO PERMIT
10		REVISIONS TO PERMIT

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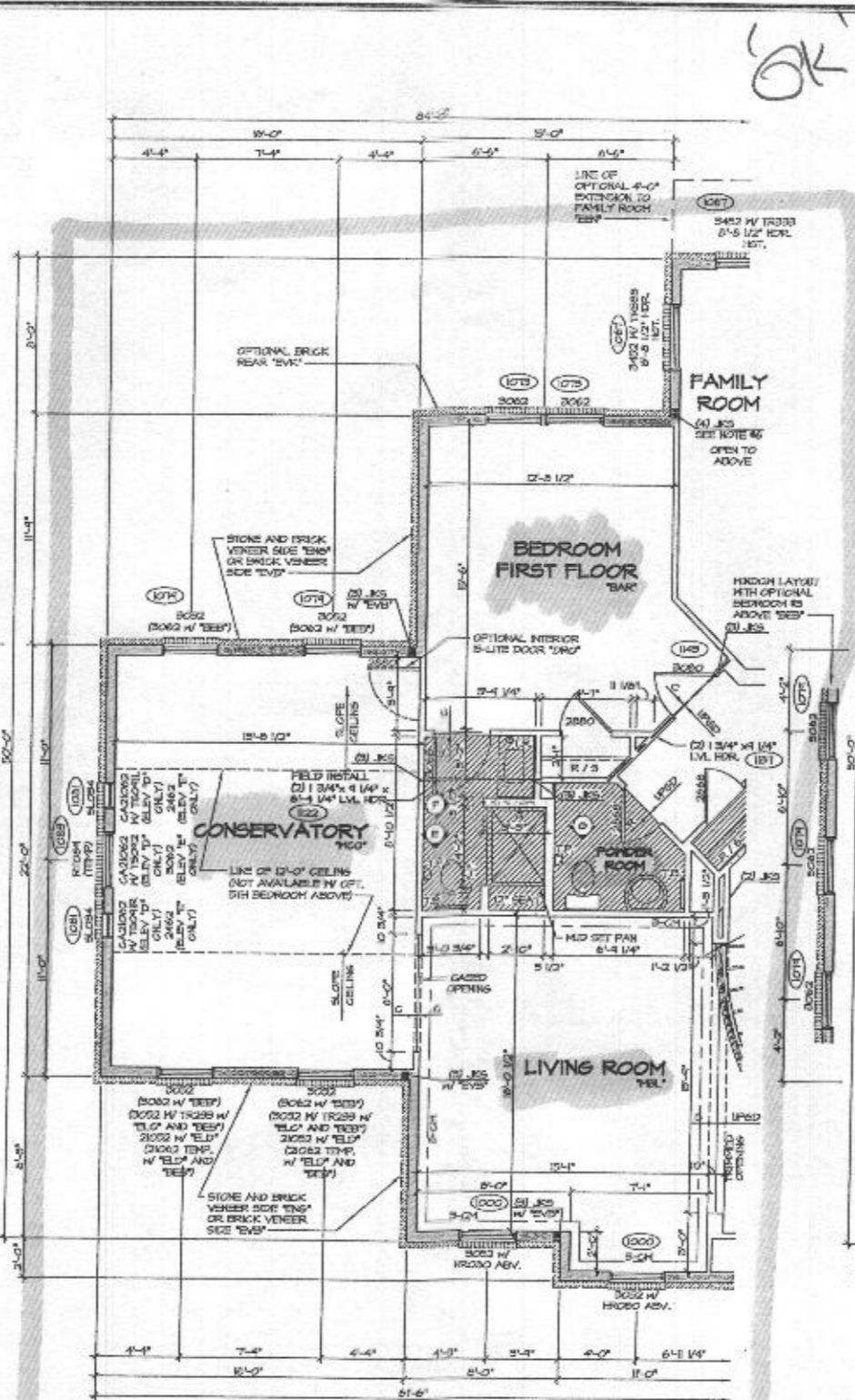


SET NO. 10100	DATE 11/15/12
VERSION 01	OPTION
DRAWN BY JDS	
PROJECT NO. 10100	
CLIENT MONTICELLO II	
DRAWING TITLE FIRST FLOOR PLAN	
SHEET NO. A-8	
TOTAL SHEETS 48	

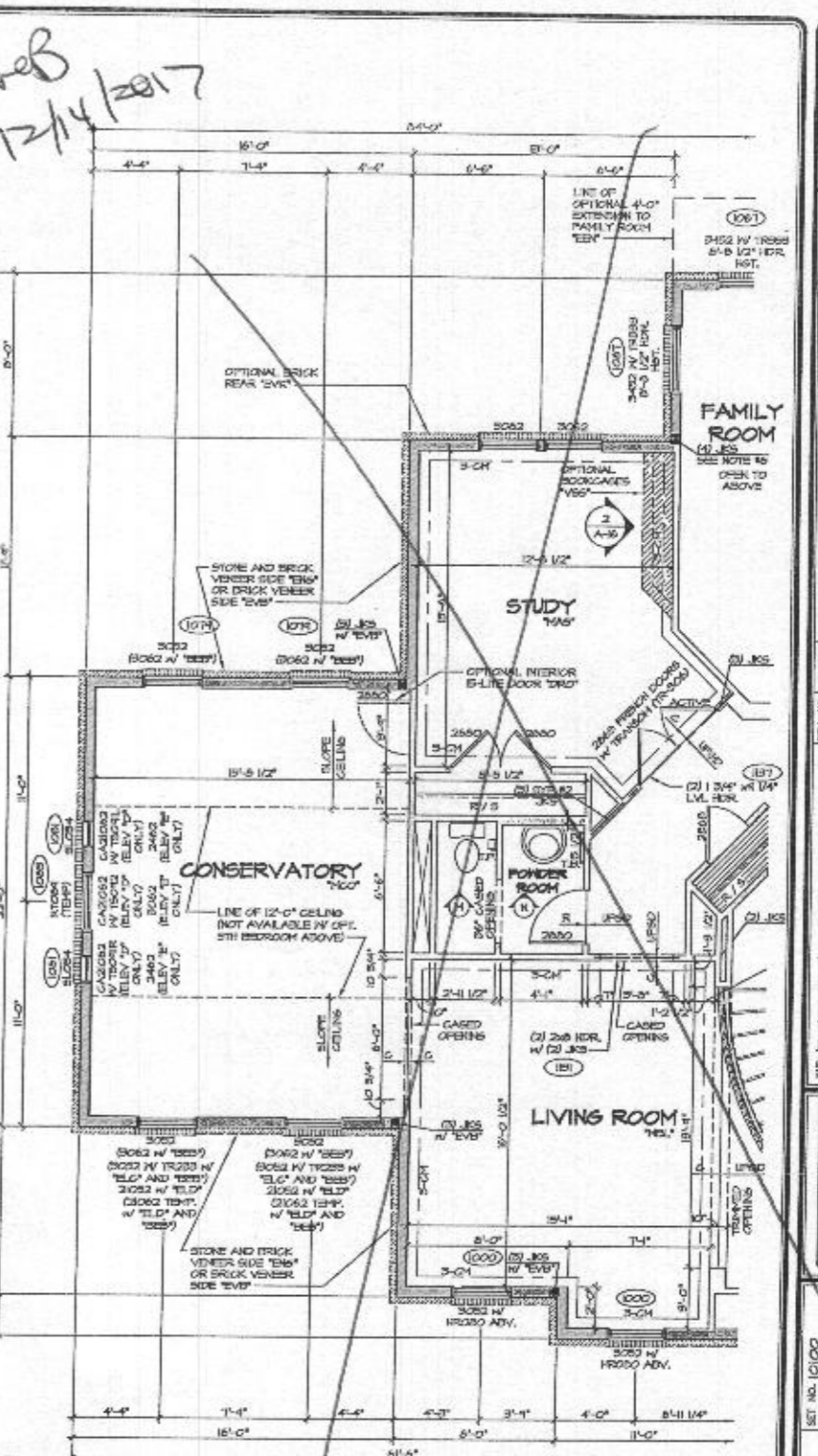
OK veb
12/14/2017



3 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL IN-LAM SUITE "B" (SHOWN WITH ELEVATION "A")



2 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL FIRST FLOOR GUEST BEDROOM "B" (SHOWN WITH ELEVATION "A")



1 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL CONSERVATORY "M" (SHOWN WITH ELEVATION "A")

- NOTES:**
- ALL WINDOWS ARE 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 - ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE CRACKED CEILING.
 - ALL CASED OPENINGS AT 7'-1", UNLESS OTHERWISE NOTED.
 - FRAMES ALWAYS ON THE LEFT FOR PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 - JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET 5-5 FOR BRACED HALL PANEL LOCATIONS

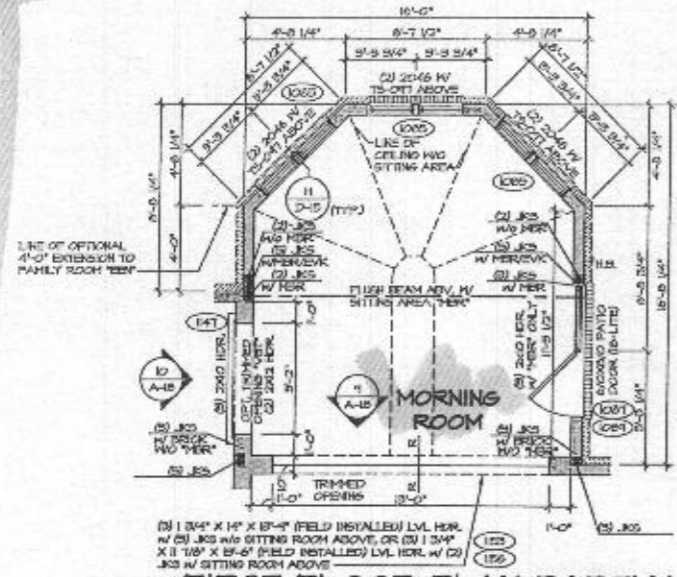
REV.	NO.	DATE	DESCRIPTION
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2	002	08/14/17	ISSUE FOR PERMITS
3	003	08/14/17	ISSUE FOR PERMITS
4	004	08/14/17	ISSUE FOR PERMITS
5	005	08/14/17	ISSUE FOR PERMITS
6	006	08/14/17	ISSUE FOR PERMITS

WE, THE UNDERSIGNED ARCHITECT, HEREBY CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT COPY OF THE ORIGINAL AS SHOWN TO ME BY THE ARCHITECT. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN.

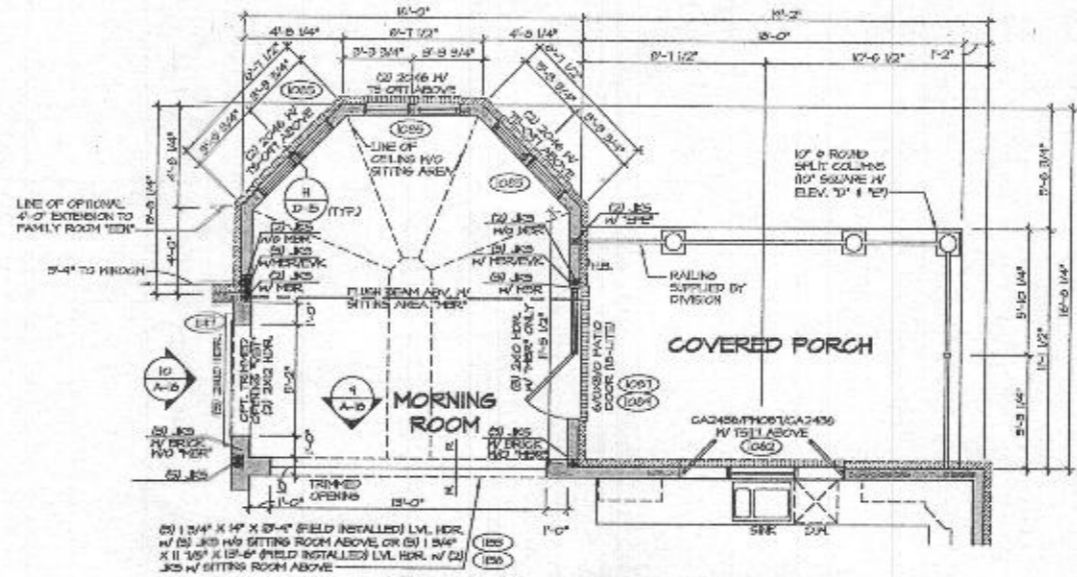


NVR
Architectural Services
21144 Rte. 1
Frederick, MD 21732

SHEET NO.	50
PROJECT NO.	10100
DATE	11/2/12
DESIGNER	MCO / BAR
CHECKER	MSK
SCALE	1/4" = 1'-0"
DESCRIPTION	CONSERVATORY W/FIRST FLOOR BEDROOM IN-LAM SUITE



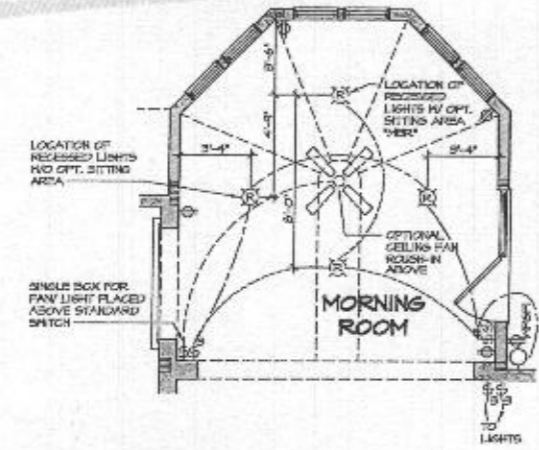
1 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL MORNING ROOM "MAA"



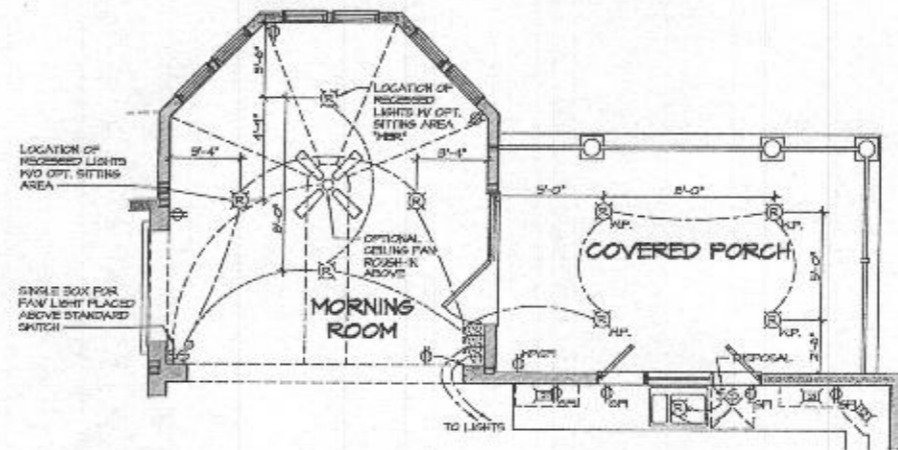
2 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL MORNING ROOM "MAA" WITH OPTIONAL PORCH "EPE"

NOTE:
SEE SHEET S-5 FOR BRACED HALL PANEL LOCATIONS

- NOTES:**
1. ALL HEADERS ARE 6X 24S UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILING.
 5. ALL GATED OPENINGS AT 7'-0" UNLESS OTHERWISE NOTED.
 6. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN WHERE APPLICABLE.



3 FIRST FLOOR ELECTRICAL PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL MORNING ROOM "MAA"



4 FIRST FLOOR ELECTRICAL PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL MORNING ROOM "MAA" WITH OPTIONAL PORCH "EPE"

ELECTRICAL LEGEND	
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DUPLEX RECEPTACLE
	DUPLEX RECEPTACLE - BOTTOM HALF SWITCHED
	DUPLEX RECEPTACLE - FLOOR MOUNTED
	RECEPTACLE - 220V
	DUPLEX RECEPTACLE - GROUND FAULT INTERRUPT
	DUPLEX RECEPTACLE - WEATHER PROOF AND GROUND FAULT INTERRUPT
	SMOKE DETECTOR - HARDWIRED IN SERIES
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN MOTOR
	EXHAUST FAN MOTOR WITH LIGHT
	DOOR CHIME
	LIGHT FIXTURE - WALL MOUNTED
	LIGHT FIXTURE - CEILING MOUNTED
	LIGHT FIXTURE - RECESSED
	LIGHT FIXTURE - RECESSED HEATER PROOF
	LIGHT FIXTURE - HANGING
	LIGHT FIXTURE - FLUORESCENT
	LIGHT FIXTURE - UNDER CABINET LIGHT
	PULLCHAIN LAMPHOLDER
	KEYLESS LAMPHOLDER

NOTE:
ALL ELECTRICAL PLANS ARE SCHEMATIC ONLY AND NOT INTENDED AS FINISHED DRAWINGS. THESE PLANS REPRESENT THE DESIGN INTENT FOR SWITCH AND RECEPTACLE LOCATIONS. ADDITIONAL INFORMATION, IF REQUIRED, SHALL BE PROVIDED BY A LICENSED ELECTRICAL SUBCONTRACTOR OR INSURER.

NOTE:
1. ELECTRICAL PLAN FOR ELECTRICAL DATA ONLY
2. LOCATION OF ELECTRICAL FEATURES ARE APPROXIMATE
3. INCLUDE ADDITIONAL OUTLET AT PANEL BOX
4. LOCATION AS REQUIRED
5. OPTIONAL PENDANT LIGHTING TO BE 30"-36" ABOVE COUNTERTOP
6. OPTIONAL UNDER CABINET LIGHTS. SEE KITCHEN LAYOUT DRAWING FOR WALL CABINET SIZES AND LOCATION

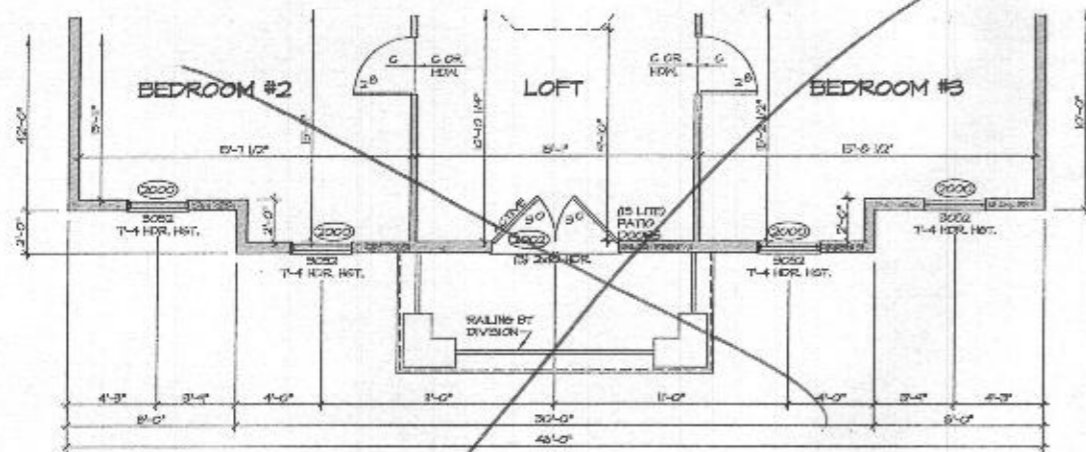
REV.	NO.	DATE	BY	CHKD.	DESCRIPTION
1	1	11/25/12	JDS		ISSUE FOR PERMIT
2	2	11/25/12	JDS		REVISION: ADD 12" ROUND SPLIT COLUMN IN ELEV. 10' 1 1/2"
3	3	11/25/12	JDS		REVISION: ADD 12" ROUND SPLIT COLUMN IN ELEV. 10' 1 1/2"
4	4	11/25/12	JDS		REVISION: ADD 12" ROUND SPLIT COLUMN IN ELEV. 10' 1 1/2"
5	5	11/25/12	JDS		REVISION: ADD 12" ROUND SPLIT COLUMN IN ELEV. 10' 1 1/2"
6	6	11/25/12	JDS		REVISION: ADD 12" ROUND SPLIT COLUMN IN ELEV. 10' 1 1/2"
7	7	11/25/12	JDS		REVISION: ADD 12" ROUND SPLIT COLUMN IN ELEV. 10' 1 1/2"
8	8	11/25/12	JDS		REVISION: ADD 12" ROUND SPLIT COLUMN IN ELEV. 10' 1 1/2"
9	9	11/25/12	JDS		REVISION: ADD 12" ROUND SPLIT COLUMN IN ELEV. 10' 1 1/2"

NVR, Inc. reserves the right to amend the schedule and other project data to the extent necessary to complete the project. These plans are not to be used for construction without the approval of the contractor. The approved version is the only one to be used.

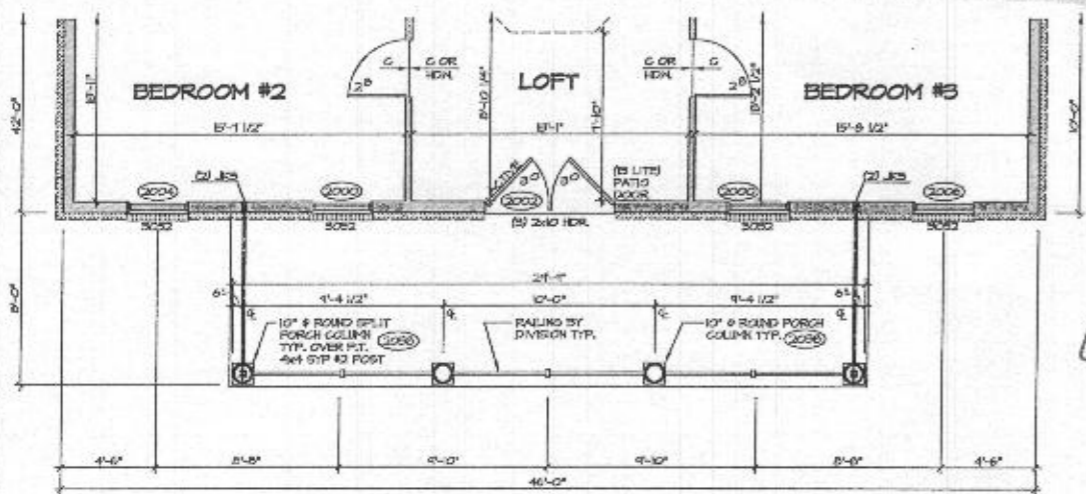


NVR, Inc.
Architectural Services
2100 North 1st Street
Plymouth, WI 53120

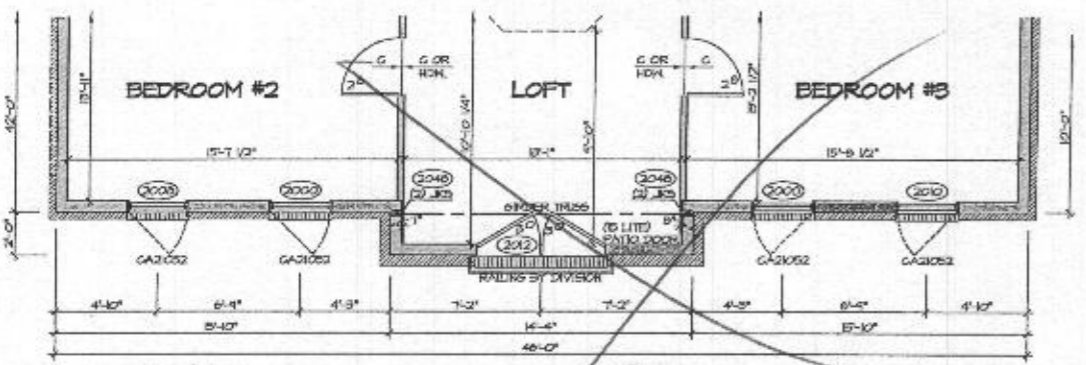
SET NO. 10100	DATE 11/25/12
VERSION 01	BY JDS
PROJECT NO. AE-8d	OPTION MAA
PROJECT NAME MONTICELLO II	DATE 11/25/12
PROJECT DESCRIPTION FIRST FLOOR PLAN PARTIALS	DATE 11/25/12
PROJECT LOCATION MORNING ROOM WITH PORCH	DATE 11/25/12
PROJECT NO. 51	DATE 11/25/12



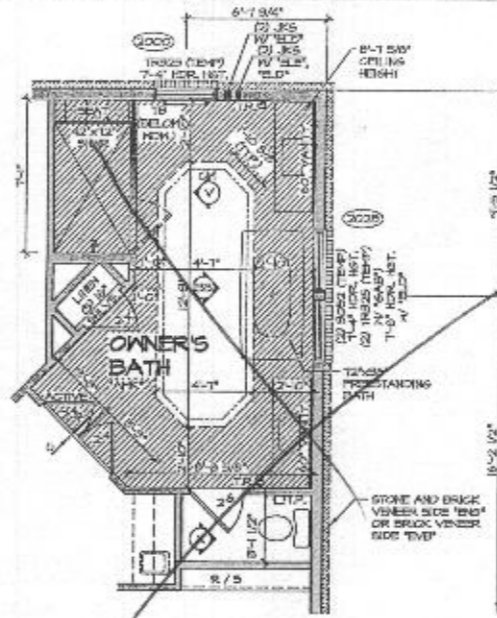
1 PARTIAL SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"
ELEVATION 12' 10.0"



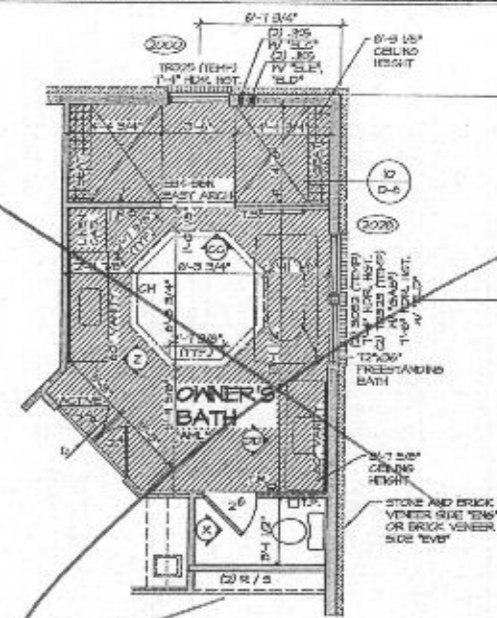
2 PARTIAL SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"
ELEVATION 12' 10.0"



3 PARTIAL SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"
ELEVATION 12' 10.0"



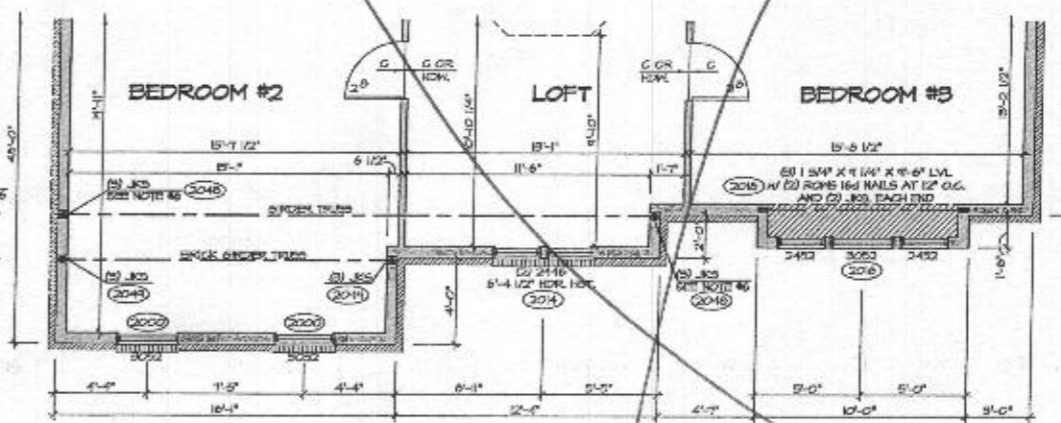
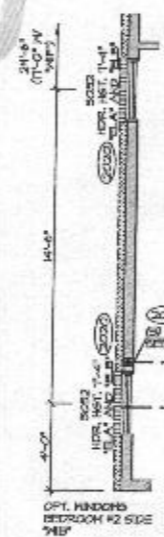
5 SECOND FLOOR PLAN PARTIAL
SCALE 1/4" = 1'-0"
OPTIONAL OWNER'S BATHROOM TYPE K
W/ PRESTRESSING TUB AND SHOWER
5/4x5'



6 SECOND FLOOR PLAN PARTIAL
SCALE 1/4" = 1'-0"
OPTIONAL OWNER'S BATHROOM TYPE L
W/ PRESTRESSING TUB AND ROMAN SHOWER
5/4x5'

NOTE:
SEE SHEET S-56 FOR BRACED
HALL PANEL LOCATIONS

- NOTES:
1. ALL HEADERS ARE @ 2x6 UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE @ 2x8 UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE @ 2x4 UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE CHANGES TO CEILING.
 5. ALL CAGED OPENINGS AT 7'-11" UNLESS OTHERWISE NOTED.
 6. HANGERS ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 7. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF SINKER TRUSS AT LOCATIONS NOTED.



4 PARTIAL SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"
ELEVATION 12' 10.0"

REV. NO.	DATE	DESCRIPTION
1	02/20/08	ISSUE FOR PERMITTING
2	03/04/08	ISSUE FOR CONSTRUCTION
3	03/04/08	ISSUE FOR CONSTRUCTION
4	03/04/08	ISSUE FOR CONSTRUCTION
5	03/04/08	ISSUE FOR CONSTRUCTION
6	03/04/08	ISSUE FOR CONSTRUCTION
7	03/04/08	ISSUE FOR CONSTRUCTION
8	03/04/08	ISSUE FOR CONSTRUCTION

PROJECT NO.	10000
VERSION	01
DATE	11/16/12
DESIGNED BY	JEK
CHECKED BY	ELC
DATE	11/16/12
PROJECT TITLE	SECOND FLOOR PLAN RIDER
PROJECT ADDRESS	ELEVATION 'D', ELEVATION 'C', ELEVATION 'D', ELEVATION 'E'
PROJECT NO.	54



