

**Bureau of Environmental Health**  
 8930 Stanford Boulevard, Columbia, MD 21045  
 Main: 410-313-2640 | Fax: 410-313-2648  
 TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
 Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 10-31-17 **ONSITE SEWAGE DISPOSAL SYSTEM** P 502315  
 APPROVAL DATE: 11/2/2017 **PERMIT: CONSTRUCTION** A \_\_\_\_\_  
 PROPERTY ADDRESS: 6513 Heather Glen Way  
 SUBDIVISION: Willow Pond LOT: 10 TAX ID: 05-593283  
 CONTRACTOR: Hatfield's Equipment EMAIL: \_\_\_\_\_  
 CONTRACTOR ADDRESS: ~~6513 Heather Glen Way~~ P.O. Box 519, Annapolis, MD PHONE: 301-496-4289  
 PROPERTY OWNER: Chris Tippett EMAIL: dandahvac@aol.com  
 OWNER ADDRESS: 4347 Aitcheson Road PHONE: 240-294-4470  
 SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Mayer Bros  
 PUMP MODEL: N/A PUMP SIZE N/A PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM:  GRAVITY  PRESSURE DOSED BEDROOMS: 5 APPLICATION RATE: 1.2

TRENCHES:	LINEAR FEET REQUIRED: <u>88</u>	INLET DEPTH: <u>4</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>2</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>4</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	<u>Install 2 = 44' trenches.</u>	

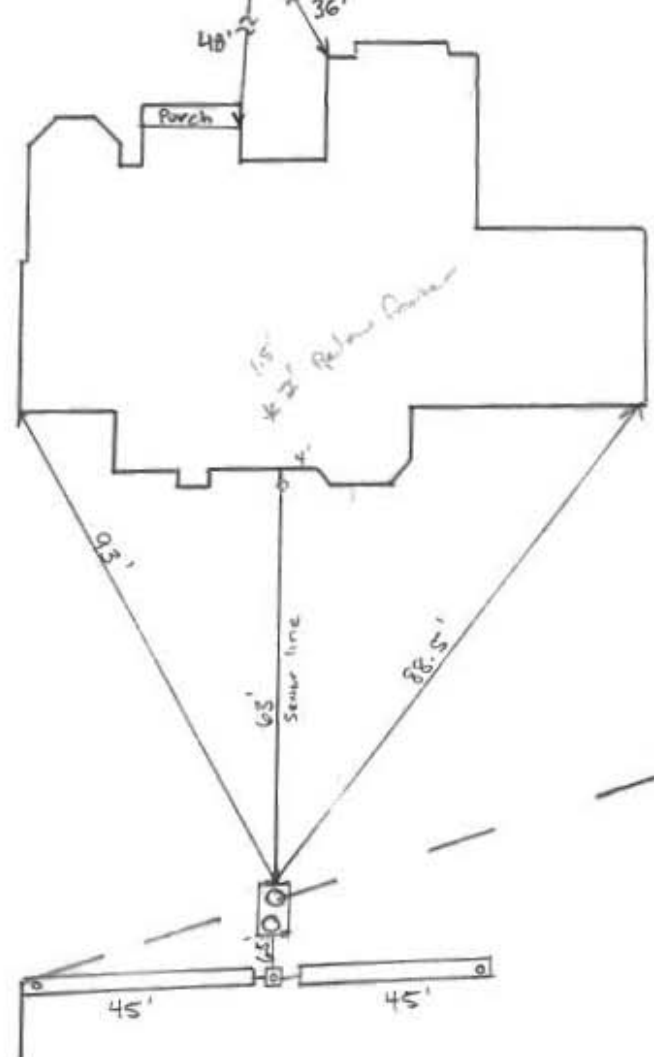
ISSUED BY: Robert Freemon ISSUE DATE: 10-31-17 EXPIRATION DATE: 18-31-18

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM  
 ELECTRICAL PERMIT ISSUED E N/A
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.  
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.  
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

W = Heather Glen Way

NOT TO SCALE



ROAD NAME

TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	4'	8'
NUMBER OF TRENCHES		2
TOTAL LENGTH		90 ft
ABSORPTION AREA		180 sq ft + side wall
DISTRIBUTION BOX LEVEL		yes
DISTRIBUTION BOX BAFFLE		yes
DISTRIBUTION BOX PORT		yes

SEPTIC TANK DATA	
SEPTIC TANK I LEVEL	DNI
MANUFACTURER	Babcock
CAPACITY	2000 GAL
SEAM LOC	TOP
TANK LID DEPTH	4.5'
BAFFLES	yes
BAFFLE FILTER	NO
MANHOLE LOC	Front/Back
6" PORT LOC	Inlet
WATERTIGHT TEST	
SLOTTED	yes
DATE ON LID	10/10/17

PUMP/SEPTIC TANK LEVEL	
MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION:

11/3/17 Met Hatfield's on site for layout. Tank and trenches staked, no SDA corner stakes. Shot trench stakes, contour + length okay. Shot elevation at house + tank, tank will likely have 2.5' cover with 1% fall in pipe. OK to set tank, must have SDA corners staked before digging trenches. (S)

INSTALLATION:

11/06/2017 Sewer line installed and tank set before arrival on site. D box set. <sup>initial</sup> OK to backfill. (S) 11/07/2017. Trenches completed before arrival. D box checked for speed level and leveled. Did not inspect depth of trench or inlet. OK to backfill after confirming w/ contractor. (S)

FINAL INSPECTOR

DATE OF APPROVAL

11/7/2017







B.1. STANDARDS AND SPECIFICATIONS		B.2. STANDARDS AND SPECIFICATIONS	
SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS	SEEDING AND MULCHING	SOIL	SOIL
<b>Definition:</b> The process of preparing the soil to receive adequate vegetative establishment.	<b>Definition:</b> The application of seed and soil to receive adequate vegetative cover.	<b>Definition:</b> Condition Status: Disturbed Areas	<b>Definition:</b> Condition Status: Disturbed Areas
<b>Details:</b> 1. Topsoil shall be a minimum of 4 inches thick and shall be applied to the entire area to be seeded or mulched. 2. Topsoil shall be applied to the entire area to be seeded or mulched. 3. Topsoil shall be applied to the entire area to be seeded or mulched.	<b>Details:</b> 1. Seeding: a. Seeding shall be done by hand or machine. b. Seeding shall be done by hand or machine. c. Seeding shall be done by hand or machine.	<b>Details:</b> 1. Soil: a. Soil shall be a minimum of 4 inches thick. b. Soil shall be a minimum of 4 inches thick. c. Soil shall be a minimum of 4 inches thick.	<b>Details:</b> 1. Soil: a. Soil shall be a minimum of 4 inches thick. b. Soil shall be a minimum of 4 inches thick. c. Soil shall be a minimum of 4 inches thick.

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**DEVELOPER'S CERTIFICATE**

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Chia Tippet* 7/31/17  
SIGNATURE OF DEVELOPER DATE

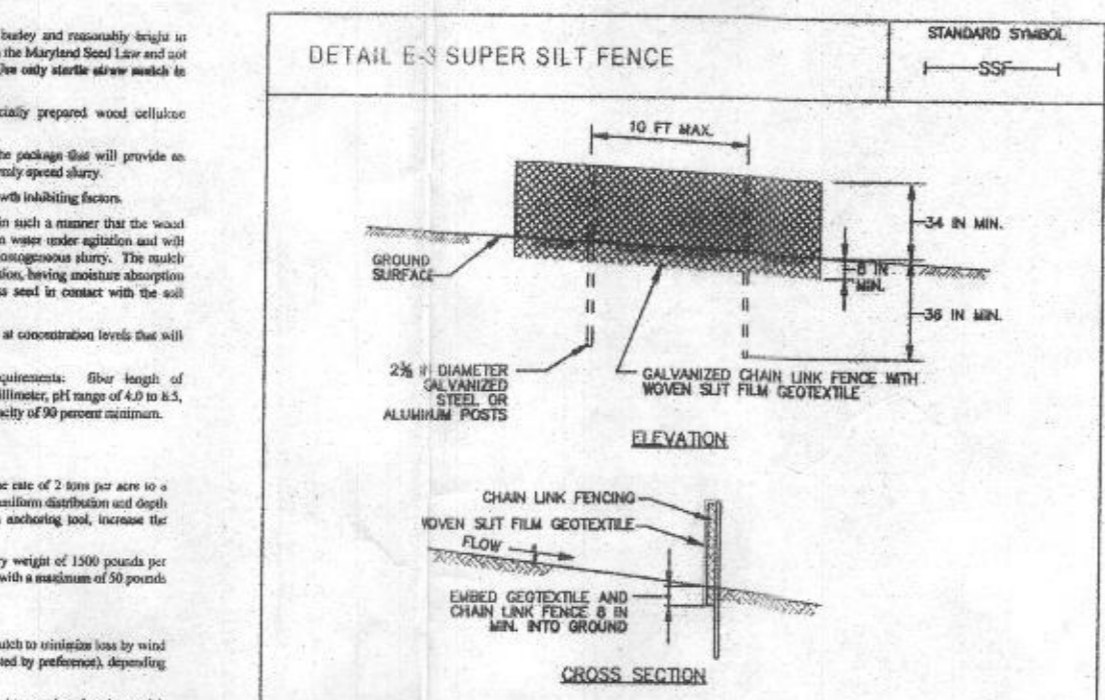
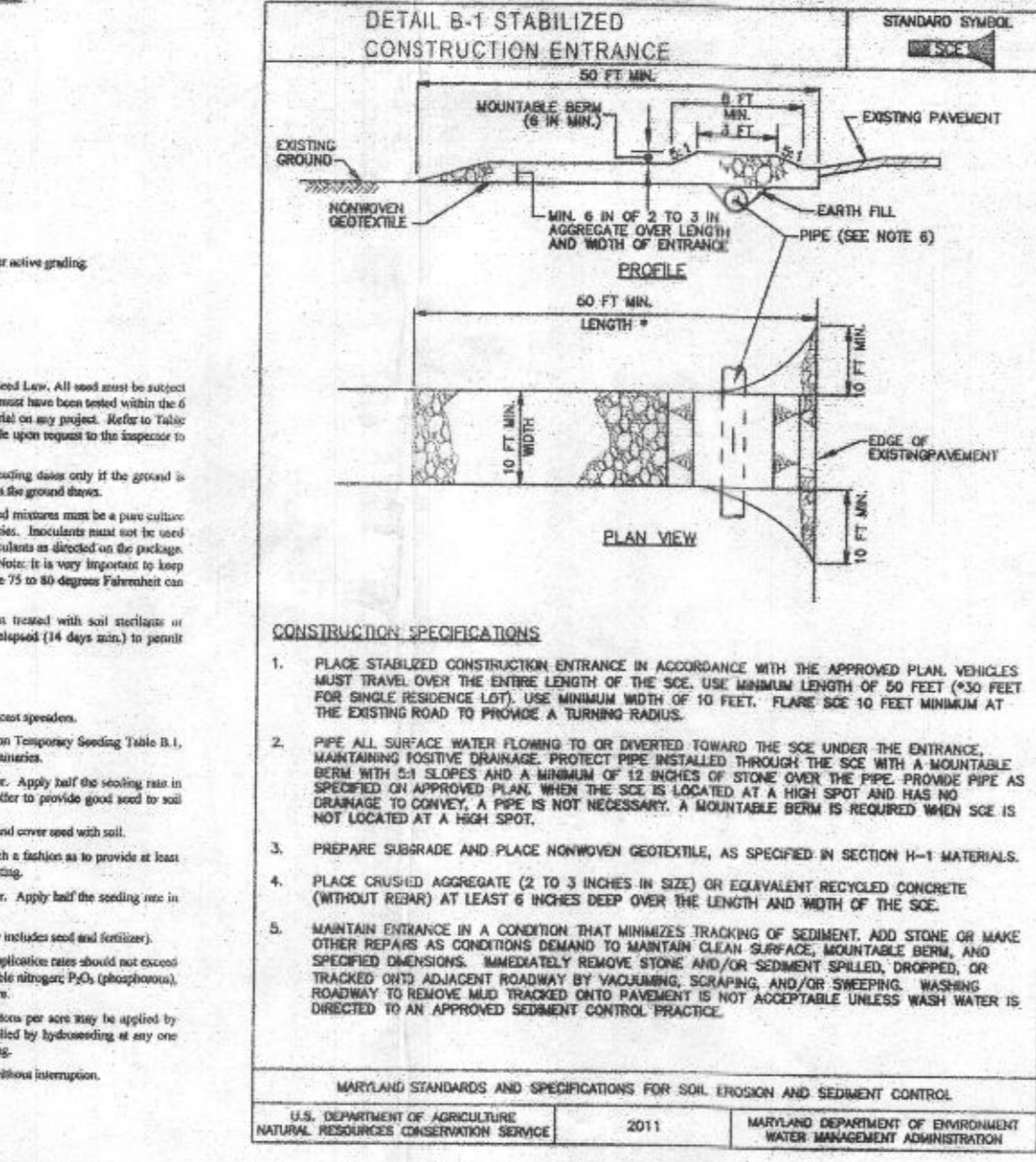
**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

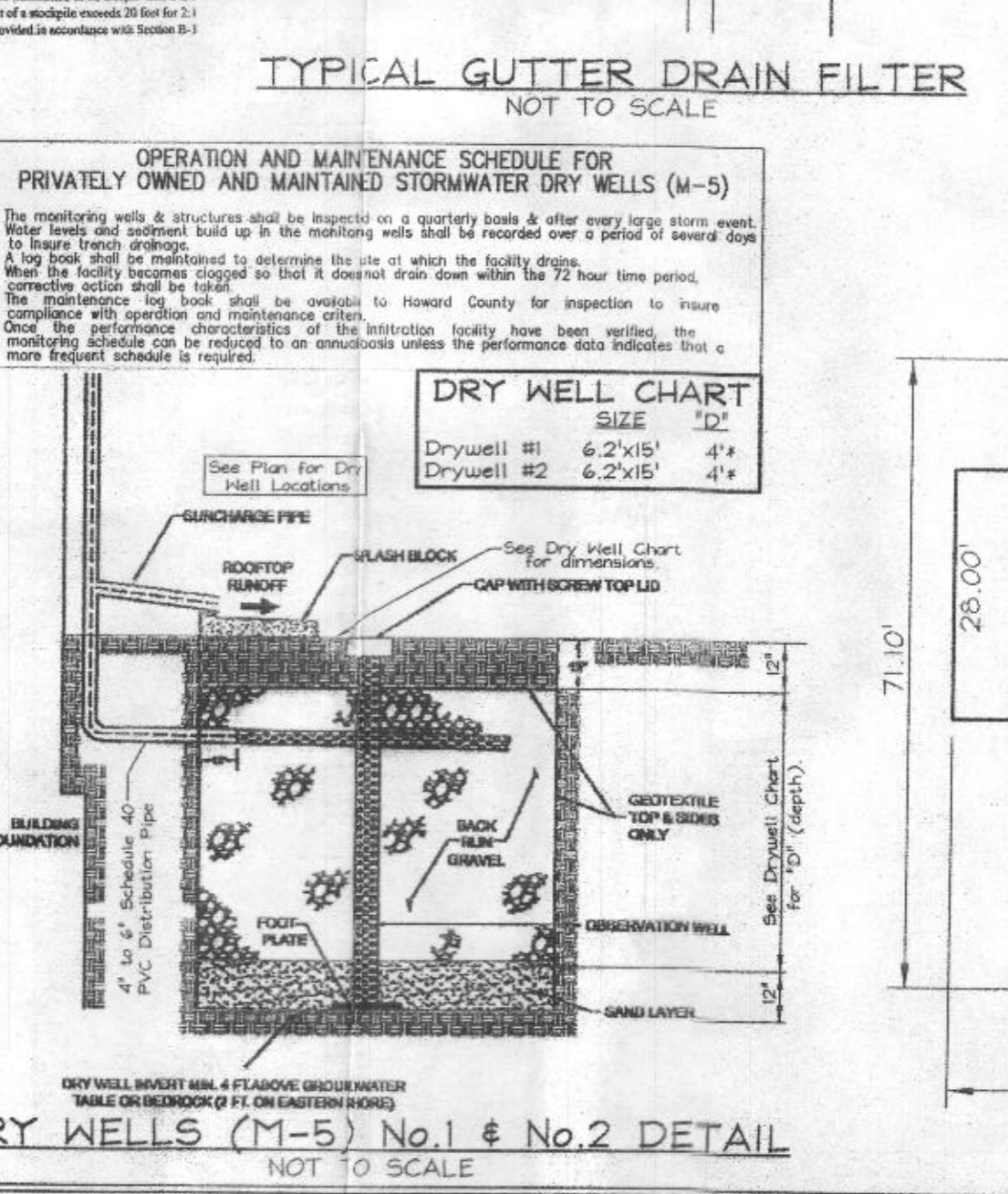
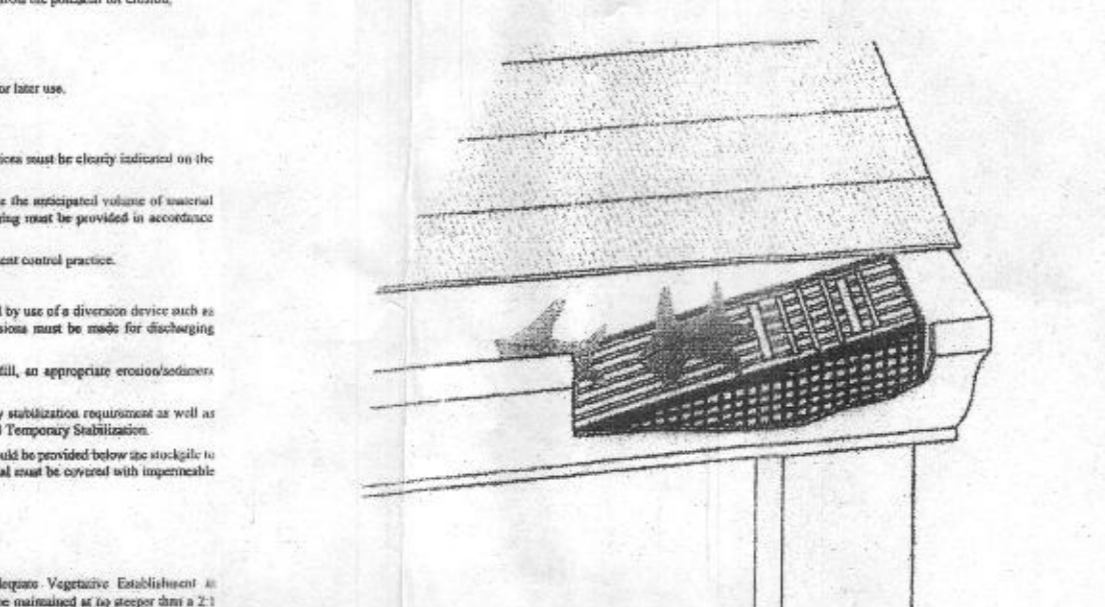
*Zacharia Y. Fisch* 7/31/17  
SIGNATURE OF ENGINEER DATE  
ZACHARIA Y. FISCH, P.E.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

*John K. Kauter* 9/2/17  
DATE



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL		
U.S. DEPARTMENT OF AGRICULTURE NATIONAL RESOURCE CONSERVATION SERVICE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE CURB. THE CURB SHALL BE AT LEAST 10 FEET WIDE AND 10 FEET HIGH. THE APRON SHALL BE AT LEAST 10 FEET WIDE AND 10 FEET HIGH. THE CURB SHALL BE AT LEAST 10 FEET WIDE AND 10 FEET HIGH.		
2. PREPARE CURB AND PLACE NON-EROSIVE MATERIALS, AS SPECIFIED IN SECTION H-1 MATERIALS. PLACE CURB AND PLACE NON-EROSIVE MATERIALS, AS SPECIFIED IN SECTION H-1 MATERIALS. PLACE CURB AND PLACE NON-EROSIVE MATERIALS, AS SPECIFIED IN SECTION H-1 MATERIALS.		
3. MAINTAIN ENTRANCE IN A CONDITION THAT PREVENTS THE PASSAGE OF SEDIMENT, AND OTHER DEBRIS AS CONDITIONS DEMAND TO MAINTAIN CLEAR CHANNEL. MAINTAIN ENTRANCE IN A CONDITION THAT PREVENTS THE PASSAGE OF SEDIMENT, AND OTHER DEBRIS AS CONDITIONS DEMAND TO MAINTAIN CLEAR CHANNEL. MAINTAIN ENTRANCE IN A CONDITION THAT PREVENTS THE PASSAGE OF SEDIMENT, AND OTHER DEBRIS AS CONDITIONS DEMAND TO MAINTAIN CLEAR CHANNEL.		

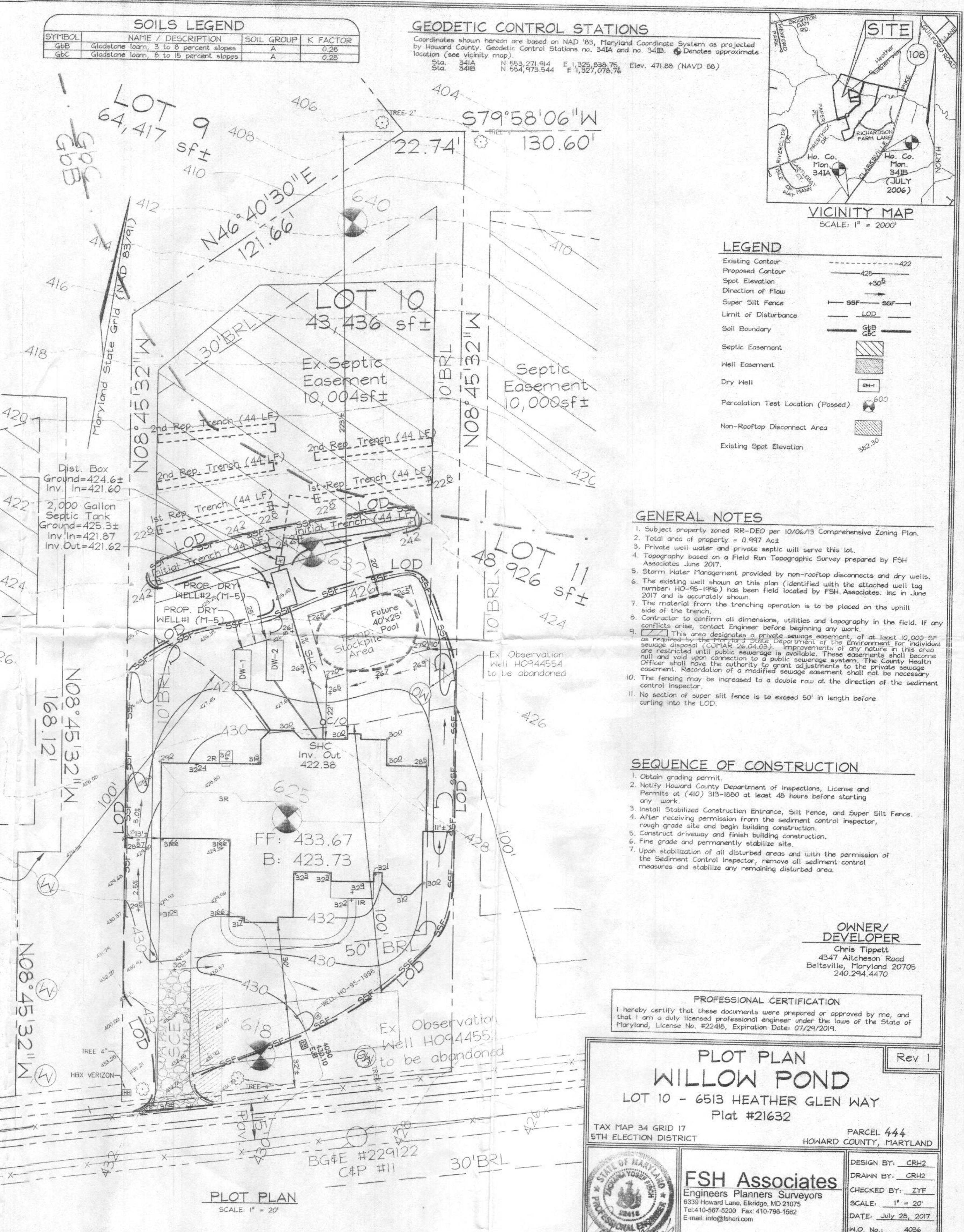
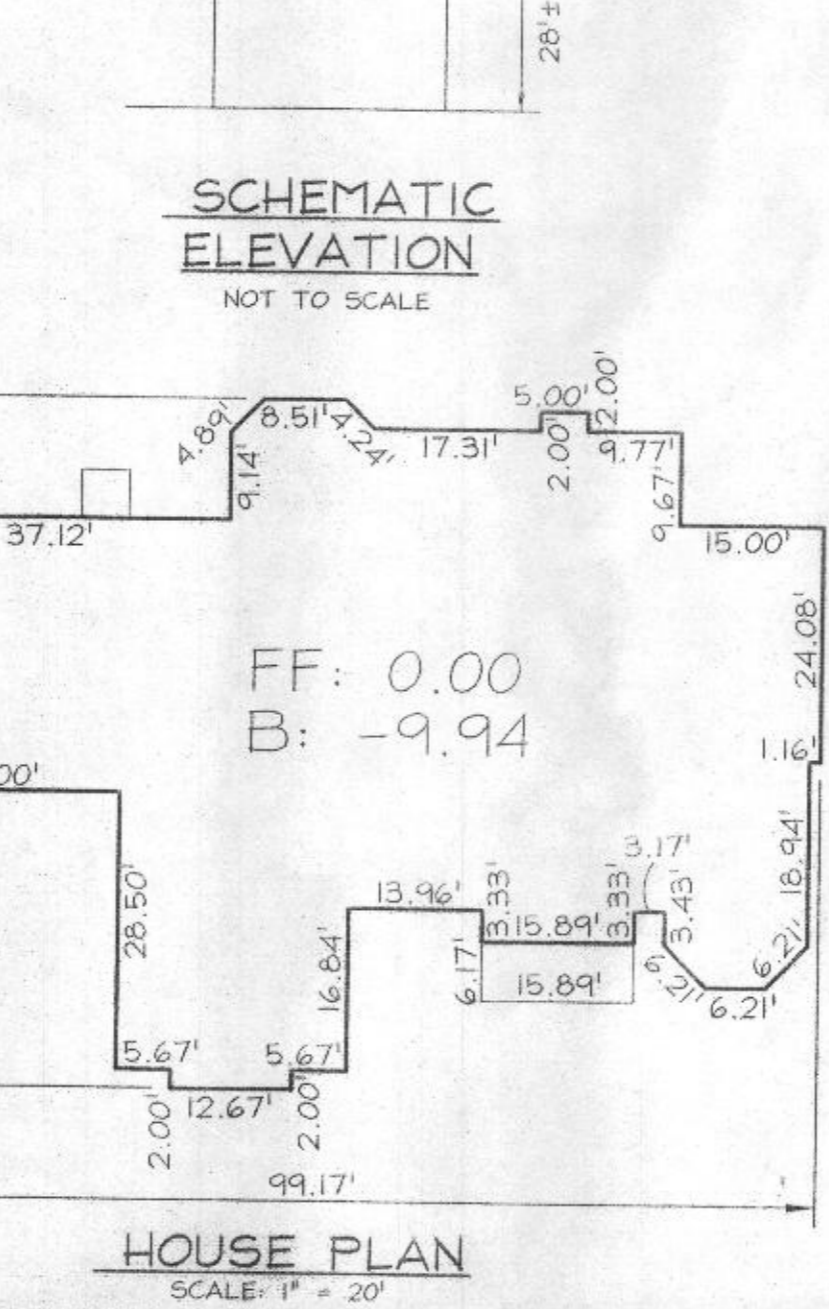
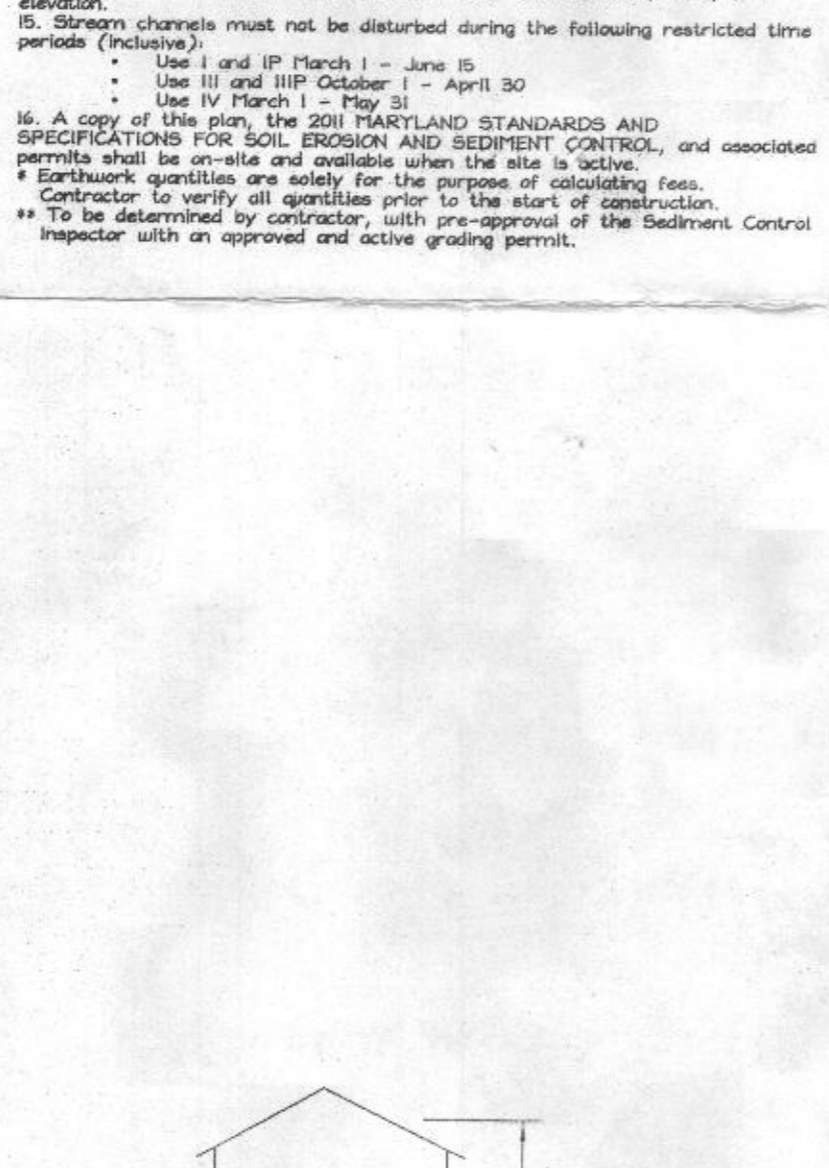


**SEDIMENT CONTROL NOTES**

- A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 400-555-8956 after the future LOD and proposed site are marked clearly in the field. A minimum of 40 hours notice to CID must be given at the following stages:
  - Prior to the start of earth disturbance.
  - Prior to the start of the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading.
  - Prior to the start of another phase of construction or opening of another grading site.
  - Prior to the removal or modification of sediment control practices, until this initial approval by the Inspection Agency is made. Other related state and federal permits shall be referenced, to ensure coordination and to avoid conflicts with this plan.
- All vegetative and erosion control practices are to be installed according to the provisions of this plan and are to be in accordance with the 2011 EROSION AND SEDIMENT CONTROL STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following installation of erosion and sediment controls, the contractor shall maintain a log of all sediment control practices, including the date of installation, the location of the controls, and the status of the controls. This log shall be made available upon request.
- Any sediment control practice that is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly, and the next day after each rain event. A written report of the contractor, made available upon request, is part of every inspection and should include:
  - Inspection date (include pre-storm event, during rain event, and post-storm event).
  - Name and title of inspector.
  - Weather information (current conditions as well as time and amount of last recorded precipitation).
  - Brief description of project's status (e.g. percent complete) and/or current activities.
  - Evidence of sediment discharges.
  - Identification of plan deficiencies.
  - Identification of sediment controls that require maintenance.
  - Identification of missing or improperly installed sediment controls.
  - Corrective actions regarding the sequence of construction and stabilization requirements.
  - Photographs.
  - Monitoring/logging.
  - Maintenance and/or corrective action performed.
  - Other inspection items as required by the General Permit for Stormwater Associated with Construction Activities (NPDES, PDES).
- Trenches for the construction of utilities is limited to three pipe lengths at which cut and shall be back-filled and stabilized by the end of each inspection, whichever is shorter.
- Any major changes or revisions to the sequence of construction must be reviewed and approved by the HSCD prior to proceeding with construction. Any major changes or revisions to the sequence of construction must be reviewed and approved by the HSCD prior to proceeding with construction.
- Disturbance shall not occur outside the L.O.D. A project is to be approved so that grading activities begin on one grading unit (maximum acreage of 20 ac. per grading unit) at a time. Work may proceed to a subsequent grading unit when all of the disturbed area in the preceding grading unit has been stabilized and approved by the HSCD. Unless otherwise specified and approved by the HSCD, no more than 30 acres cumulatively may be disturbed at a given time.
- Wash water from any equipment, vehicles, vehicles, pavement, and other sources must be treated in a sediment basin or other approved washout structure.
- Any site that is stabilized and preserved on-site for redistribution until final grade.
- All fill areas and super silt fence shall be placed on the contour, and be installed at 20' minimum intervals, with lower ends capped until by 2' in elevation.
- Storm drains shall not be disturbed during the following restricted time periods (inclusive):
  - Use II and IP March 1 - June 15
  - Use III and IP October 1 - April 30
  - Use IV March 1 - May 31
- A copy of this plan, the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and associated permits shall be on-site and available when the site is active.
- Earthquake operations are solely for the purpose of calculating fees. Contractor to verify all quantities prior to the start of construction.
- To be determined in conjunction with pre-approval of the Sediment Control Inspector with an approved and active grading permit.

**SOILS LEGEND**

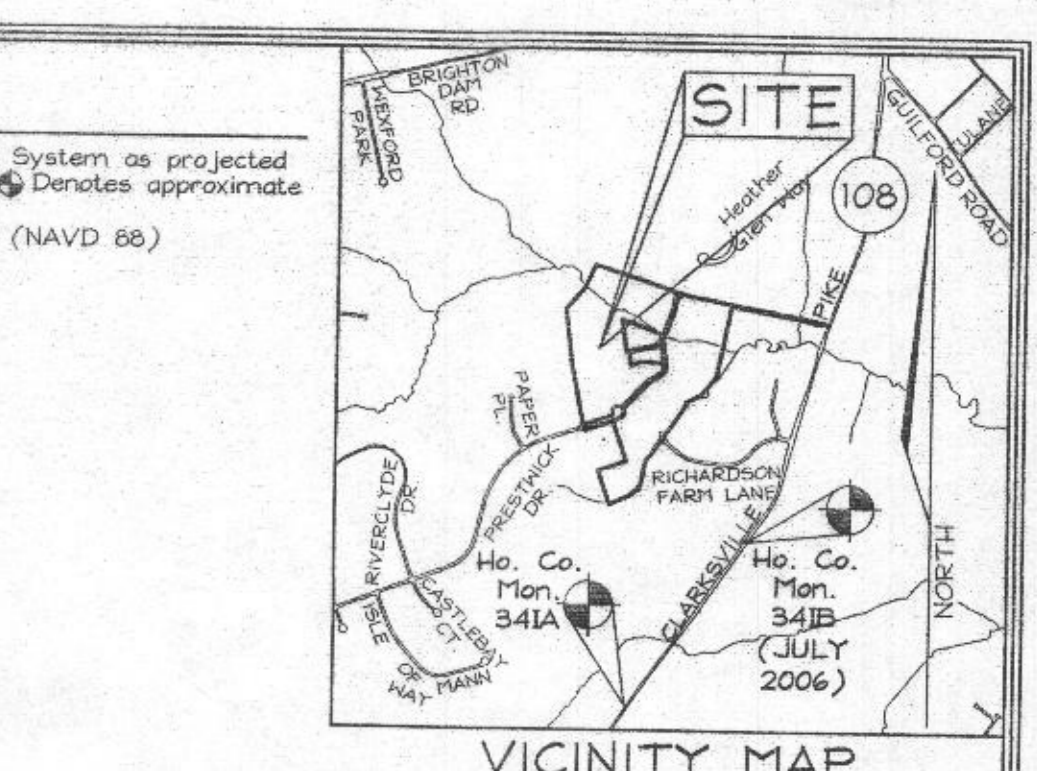
SYMBOL	NAME / DESCRIPTION	SOIL GROUP	K FACTOR
Gbb	Gladstone loam, 3 to 8 percent slopes	A	0.28
Gbc	Gladstone loam, 8 to 15 percent slopes	A	0.28



**GEODETIC CONTROL STATIONS**

Coordinates shown herein are based on NAD 83, Maryland Coordinate System as projected by Howard County Geodetic Control Stations no. 341A and no. 341B. Denotes approximate location (see vicinity map).

Sta. 341A N 553,271.914 E 1,205,830.75 Elev. 471.86 (NAVD 88)  
Sta. 341B N 554,975.544 E 1,257,076.76 Elev. 471.86 (NAVD 88)



**LEGEND**

Existing Contour	--- 422
Proposed Contour	--- 428
Spot Elevation	+305
Direction of Flow	→ 30F 55F
Super Silt Fence	--- LOD
Limit of Disturbance	--- LOD
Soil Boundary	--- GBB GBC
Septic Easement	--- 10,004sf±
Well Easement	--- 10,000sf±
Dry Well	--- DW-1
Percolation Test Location (Passed)	--- 600
Non-Rooftop Disconnect Area	--- 392.50
Existing Spot Elevation	--- 392.50

**GENERAL NOTES**

- Subject property zoned RR-DEO per 10/06/13 Comprehensive Zoning Plan.
- Total area of property = 0.917 Acres.
- Private well water and private septic will serve this lot.
- Topography based on a Field Run Topographic Survey prepared by FSH Associates, Inc. 2017.
- Storm Water Management provided by non-rooftop disconnects and dry wells.
- The existing well (H0944554) has been field located by FSH Associates, Inc. in June 2017 and is accurately shown.
- The material from the trenching operation is to be placed on the uphill side of the trench.
- Contractor to confirm all dimensions, utilities and topography in the field. If any conflicts arise, contact Engineer before beginning any work.
- This area designates a private sewage easement of at least 10,000 SF as required by the Department of the Environment for individuals who are restricted until public sewerage is available. These easements shall become Officer shall have the authority to grant adjustments to the private sewage easement. Records of a modified sewage easement shall not be necessary.
- The fencing may be increased to a double row at the direction of the sediment control inspector.
- No section of super silt fence is to exceed 50' in length before curving into the LOD.

**SEQUENCE OF CONSTRUCTION**

- Obtain grading permit.
- Notify Howard County Department of Inspections, License and Permits at (410) 313-1800 at least 48 hours before starting any work.
- Install Stabilized Construction Entrance, Silt Fence, and Super Silt Fence.
- After receiving permission from the sediment control inspector, rough grade site and begin building construction.
- Construct driveway and finish building construction.
- Final grade and permanently stabilize site.
- Upon stabilization of all disturbed areas and with the permission of the Sediment Control Inspector, remove all sediment control measures and stabilize any remaining disturbed area.

**OWNER/DEVELOPER**

Chris Tippet  
4347 Aitchison Road  
Beltsville, Maryland 20705  
240.294.4470

**PROFESSIONAL CERTIFICATION**

I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. #22418, Expiration Date: 07/29/2019.

**PLOT PLAN**  
WILLOW POND  
LOT 10 - 6513 HEATHER GLEN WAY  
Plat #21632

TAX MAP 34 GRID 17  
5TH ELECTION DISTRICT

PARCEL 444  
HOWARD COUNTY, MARYLAND

DESIGN BY: CRH2  
DRAWN BY: CRH2  
CHECKED BY: ZTF  
SCALE: 1" = 20'  
DATE: July 28, 2017  
H.C. No.: 4026  
SHEET No.: 1 OF 1

**FSH Associates**  
Engineers Planners Surveyors  
6339 Howard Lane, Elkhig, MD 21075  
Tel: 410-567-5200 Fax: 410-796-1562  
E-mail: info@fshinc.com



## Freemon, Robert

---

**From:** Freemon, Robert  
**Sent:** Tuesday, August 29, 2017 12:40 PM  
**To:** 'Chris Tippett'; z.fisch@fsheri.com  
**Subject:** RE: comments

Zach,  
If the location of the drywells change a new plot plan will need to be submitted to DILP showing the changes. This site plan will need to be sent with a filled out transmittal sheet stating changes have been made as per Health request. Once this has been done let me know so I can go onto their site to check for it. This will save some time instead of waiting for a physical copy of the plot plan.

As for meeting the 25' setback from the septic tank to the drywell there are some possible options. If the drywells can be moved to the back end of the property, this would allow for the 25' setback to be met. Another option could be to shift the septic tank over between the pool and the SDA. This would keep the septic tank 10' from the pool and the SDA would remain 20' from the pool. Also the trenches could be shifted inside the SDA to allow room for the tank if necessary. With this option however the Health Dept. will want to see the amount of unusable space (unusable for trenching) minimized.

If you would like to talk to my supervisor about the setbacks I have provided his information below. As far as I know this has been in place for a while now.

*Jeff Williams*  
410-313-4261  
[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)

Chris,  
Just to restate what we talked about over the phone, the "Interim Certificate of Potability" (ICOP) does not have to be completed for the building permit to be approved. This would just need to occur before Use & Occupancy.

**Robert Freemon**  
**Howard County Health Department**  
**8930 Stanford Blvd. Columbia, MD 21045**  
**Well and Septic Program**  
**Bureau of Environmental Health**  
**Phone: 410-313-6357**  
**Email: [rfreemon@howardcountymd.gov](mailto:rfreemon@howardcountymd.gov)**  
**<https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>**

**From:** Chris Tippett [mailto:[dandahvac@aol.com](mailto:dandahvac@aol.com)]  
**Sent:** Tuesday, August 29, 2017 11:39 AM  
**To:** Freemon, Robert; z.fisch@fsheri.com  
**Subject:** Re: comments

What Is a ICOP? Do I need an ICOP for a building permit?

Thanks,  
Chris Tippett  
[Dandahvac@aol.com](mailto:Dandahvac@aol.com)  
Office 240-294-4470  
Cell 443-864-3383  
Fax 240-554-2586

-----Original Message-----

From: Freemon, Robert <[rfreemon@howardcountymd.gov](mailto:rfreemon@howardcountymd.gov)>

To: Zach Fisch <[z.fisch@fsheri.com](mailto:z.fisch@fsheri.com)>

Cc: Chris Tippett <[dandahvac@aol.com](mailto:dandahvac@aol.com)>

Sent: Tue, Aug 29, 2017 11:32 am

Subject: RE: comments

Zach,

In addition to my last email the septic tank needs to be 25' from the SWM Drywells. I realized I missed adding this in my last email, my apologies. I have included our SWM setbacks sheet that states drywells must be 25' from the OSDS (includes the septic tank). From your answer to my pool question, please add in the water's edge to the plan just to make it clear that it is ten 10' away. If you have any questions let me know.

Chris,

If all of my comments are addressed and all setbacks are met I can approve the BP. I would like to remind you however in order to obtain an ICOP for this property the well (HO-95-1996) will need to perform Radium testing again since it did not pass prior testing (10/28/2010). Radium testing can take up to month to receive results back. If you have any questions let me know.

**Robert Freemon**

**Howard County Health Department**

**8930 Stanford Blvd. Columbia, MD 21045**

**Well and Septic Program**

**Bureau of Environmental Health**

**Phone: 410-313-6357**

**Email: [rfreemon@howardcountymd.gov](mailto:rfreemon@howardcountymd.gov)**

**<https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>**

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**From:** Zach Fisch [<mailto:z.fisch@fsheri.com>]

**Sent:** Tuesday, August 29, 2017 10:33 AM

**To:** Freemon, Robert

**Cc:** Chris Tippett

**Subject:** comments

Robert

Per Chris ,the outline of the pool, shown on the plan, is to the concrete walk and not water edge. The water's edge will be set 10 feet from the septic tank.

I will drop off, to your attention, later today, a revised plan with the requested notes.

Zacharia Y. Fisch P.E , Principal

FSH ASSOCIATES LLC

6339 Howard Lane

Elkridge MD 21075

Tel. (410)567-5200 EXT.230

Fax.(410)796-1562

E-mail [z.fisch@fsheri.com](mailto:z.fisch@fsheri.com)

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**Subject:** RE: comments

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**From:** Chris Tippett [mailto:dandahvac@aol.com]  
**Sent:** Tuesday, August 29, 2017 11:39 AM  
**To:** Freemon, Robert; z.fisch@fsheri.com  
**Subject:** Re: comments

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Thanks,  
Chris Tippett  
[Dandahvac@aol.com](mailto:Dandahvac@aol.com)  
Office 240-294-4470  
Cell 443-864-3383  
Fax 240-554-2586

-----Original Message-----

From: Freemon, Robert <[rfreemon@howardcountymd.gov](mailto:rfreemon@howardcountymd.gov)>  
To: Zach Fisch <[z.fisch@fsheri.com](mailto:z.fisch@fsheri.com)>  
Cc: Chris Tippett <[dandahvac@aol.com](mailto:dandahvac@aol.com)>  
Sent: Tue, Aug 29, 2017 11:32 am  
Subject: RE: comments

Zach,  
In addition to my last email the septic tank needs to be 25' from the SWM Drywells. I realized I missed adding this in my last email, my apologies. I have included our SWM setbacks sheet that states drywells must be 25' from the OSDS (includes the septic tank). From your answer to my pool question, please add in the water's edge to the plan just to make it clear that it is ten 10' away. If you have any questions let me know.

Chris,  
If all of my comments are addressed and all setbacks are met I can approve the BP. I would like to remind you however in order to obtain an ICOP for this property the well (HO-95-1996) will need to perform Radium testing again since it did not pass prior testing (10/28/2010). Radium testing can take up to month to receive results back. If you have any questions let me know.

**Robert Freemon**  
**Howard County Health Department**  
**8930 Stanford Blvd. Columbia, MD 21045**  
**Well and Septic Program**  
**Bureau of Environmental Health**  
**Phone: 410-313-6357**  
**Email: [rfreemon@howardcountymd.gov](mailto:rfreemon@howardcountymd.gov)**  
**<https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>**

---

**From:** Zach Fisch [<mailto:z.fisch@fsheri.com>]  
**Sent:** Tuesday, August 29, 2017 10:33 AM  
**To:** Freemon, Robert  
**Cc:** Chris Tippett  
**Subject:** comments

Robert  
Per Chris ,the outline of the pool, shown on the plan, is to the concrete walk and not water edge. The water's edge will be set 10 feet from the septic tank.  
I will drop off, to your attention, later today, a revised plan with the requested notes.

Zacharia Y. Fisch P.E , Principal  
FSH ASSOCIATES LLC  
6339 Howard Lane  
Elkridge MD 21075  
Tel. (410)567-5200 EXT.230  
Fax.(410)796-1562  
E-mail [z.fisch@fsheri.com](mailto:z.fisch@fsheri.com)

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## Freemon, Robert

---

**To:** Zach Fisch  
**Cc:** Chris Tippett  
**Subject:** RE: comments  
**Attachments:** SWM Setbacks.pdf

Zach,

In addition to my last email the septic tank needs to be 25' from the SWM Drywells. I realized I missed adding this in my last email, my apologies. I have included our SWM setbacks sheet that states drywells must be 25' from the OSDS (includes the septic tank). From your answer to my pool question, please add in the water's edge to the plan just to make it clear that it is ten 10' away. If you have any questions let me know.

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If all of my comments are addressed and all setbacks are met I can approve the BP. I would like to remind you however in order to obtain an ICOP for this property the well (HO-95-1996) will need to perform Radium testing again since it did not pass prior testing (10/28/2010). Radium testing can take up to month to receive results back. If you have any questions let me know.

*Robert Freemon*

*Howard County Health Department*

*8930 Stanford Blvd. Columbia, MD 21045*

*Well and Septic Program*

*Bureau of Environmental Health*

*Phone: 410-313-6357*

*Email: [rfreemon@howardcountymd.gov](mailto:rfreemon@howardcountymd.gov)*

*<https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>*

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**From:** Zach Fisch [<mailto:z.fisch@fsheri.com>]

**Sent:** Tuesday, August 29, 2017 10:33 AM

**To:** Freemon, Robert

**Cc:** Chris Tippett

**Subject:** comments

Robert

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Zacharia Y. Fisch P.E , Principal

FSH ASSOCIATES LLC

6339 Howard Lane

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Tel. (410)567-5200 EXT.230

Fax.(410)796-1562

E-mail [z.fisch@fsheri.com](mailto:z.fisch@fsheri.com)

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*(including attachments) is believed to be free of any virus or other defect that might negatively affect any computer system into which it is received and opened, it is the responsibility of the recipient to ensure that it is virus free, and no responsibility is accepted by the sender for any loss or damage arising in any way in the event that such a virus or defect exists.*

## **Freemon, Robert**

---

**To:** info@fsheri.com  
**Cc:** dandahvac@aol.com  
**Subject:** Willow Pond, Lot 10  
**Attachments:** OSDS Req.pdf; Well & Septic SETBACKS.pdf

Hey Zach,

I have looked over the septic plan for 6513 Heather Glen Way and I have some comments. Is the outline of the future pool showing the edge of the concrete sidewalk or the edge of the water? The septic tank needs to be 10ft from the waters edge of a pool. Also there are some notes missing from the plan that need to be added. I have attached our OSDS requirements sheet which included these notes. I can only redline the first two for you but the last two will have to be redlined by you. If you would rather revise the plan and send new copies to the Health Dept. that would be fine as well. Let me know what you decide. I have included Chris Tippett in this email as per his request.

P.S. Note #3 does not need to be added since this is a gravity system. Note #4 must include who field verified the well location.

**Robert Freemon**  
**Howard County Health Department**  
**8930 Stanford Blvd. Columbia, MD 21045**  
**Well and Septic Program**  
**Bureau of Environmental Health**  
**Phone: 410-313-6357**  
**Email: [rfreemon@howardcountymd.gov](mailto:rfreemon@howardcountymd.gov)**  
**<https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>**

RECEIPT DATE: 12/14/12

P 544436-B

INSTALLATION APPROVAL DATE: \_\_\_\_\_

# PERMIT

A \_\_\_\_\_

## ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

PROPERTY OWNER: Greenfield Homes Inc.

OWNER'S ADDRESS: 6656 Luster Drive, Highland, MD 20777 PHONE: 410-781-6782

ADDRESS: 6513 Prestwick Drive TAX ACC'T #: 05-593283

SUBDIVISION: Willow Pond LOT: 10

SEPTIC TANK CAPACITY (GALLONS): TBD

PUMP CHAMBER CAPACITY (GALLONS): TBD

NUMBER OF BEDROOMS: TBD APPLICATION RATE: TBD

SQUARE FOOTAGE OF HOUSE: TBD

LINEAR FEET OF TRENCH REQUIRED: TBD

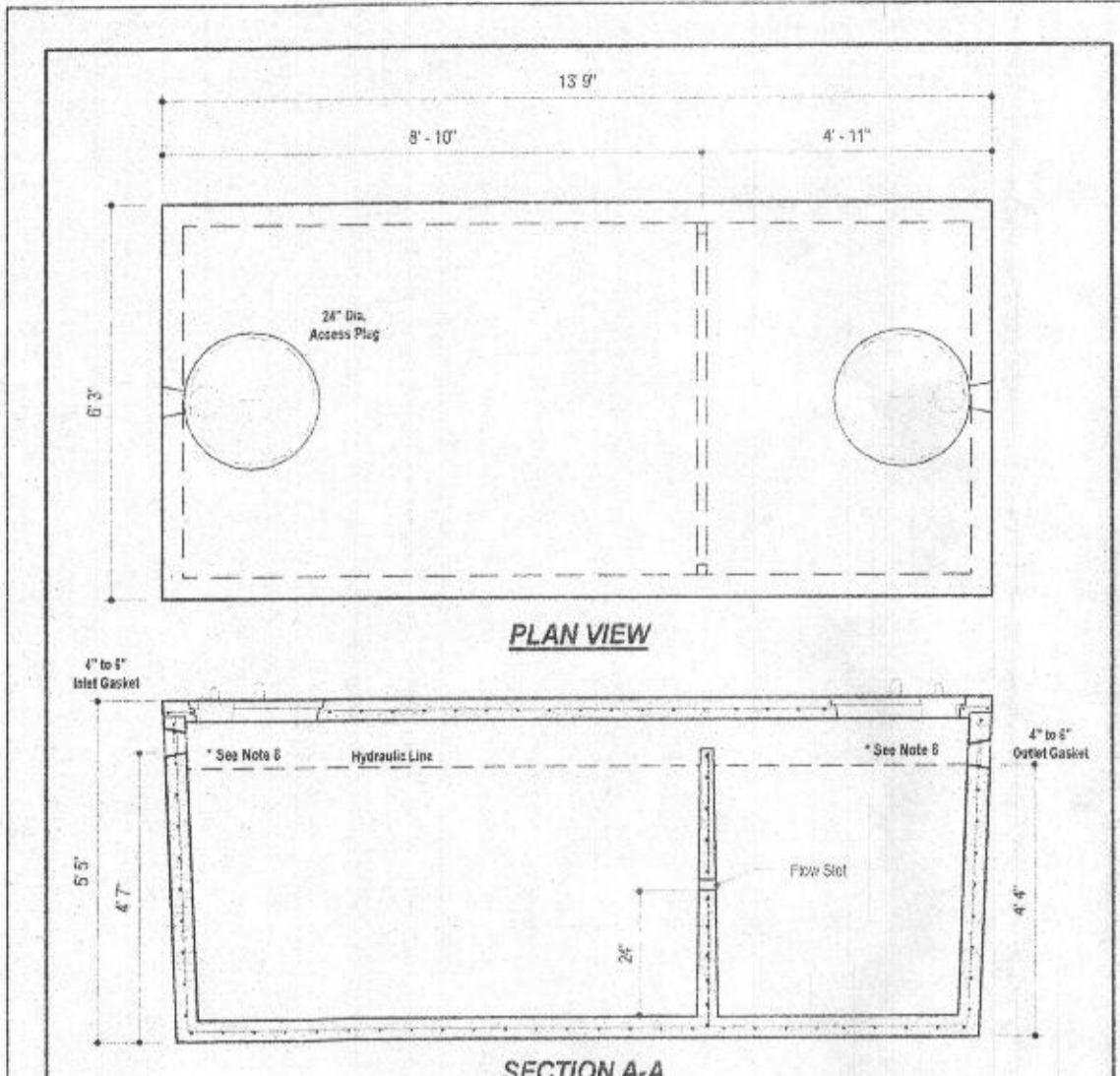
TRENCHES:	TO BE DETERMINED ON APPROVED SUPPLEMENTAL PLAN
LOCATION:	TO BE DETERMINED ON APPROVED SUPPLEMENTAL PLAN
NOTES:	A SUPPLEMENTAL PLAN PROVIDING SYSTEM DETAILS IS REQUIRED PRIOR TO HEALTH APPROVAL OF BUILDING PERMIT, PLOT PLAN, AND WALL CHECK. AN APPROVED WALL CHECK IS REQUIRED PRIOR TO PRE-CONSTRUCTION INSPECTION. THE OSDS PERMITTED HEREIN IS NOT SUBJECT TO REVISIONS TO COMAR 26.04.02 EFFECTIVE 1/1/2013 ON THE CONDITION THAT FINAL HEALTH APPROVAL OF THE INSTALLATION IS GRANTED PRIOR TO PERMIT EXPIRATION.

ISSUED BY: JEFF WILLIAMS ISSUE DATE: 12/14/12 EXPIRATION DATE: 12/14/13

- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM

**NEITHER THE HOWARD COUNTY COUNCIL OR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM. PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT. CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM.**



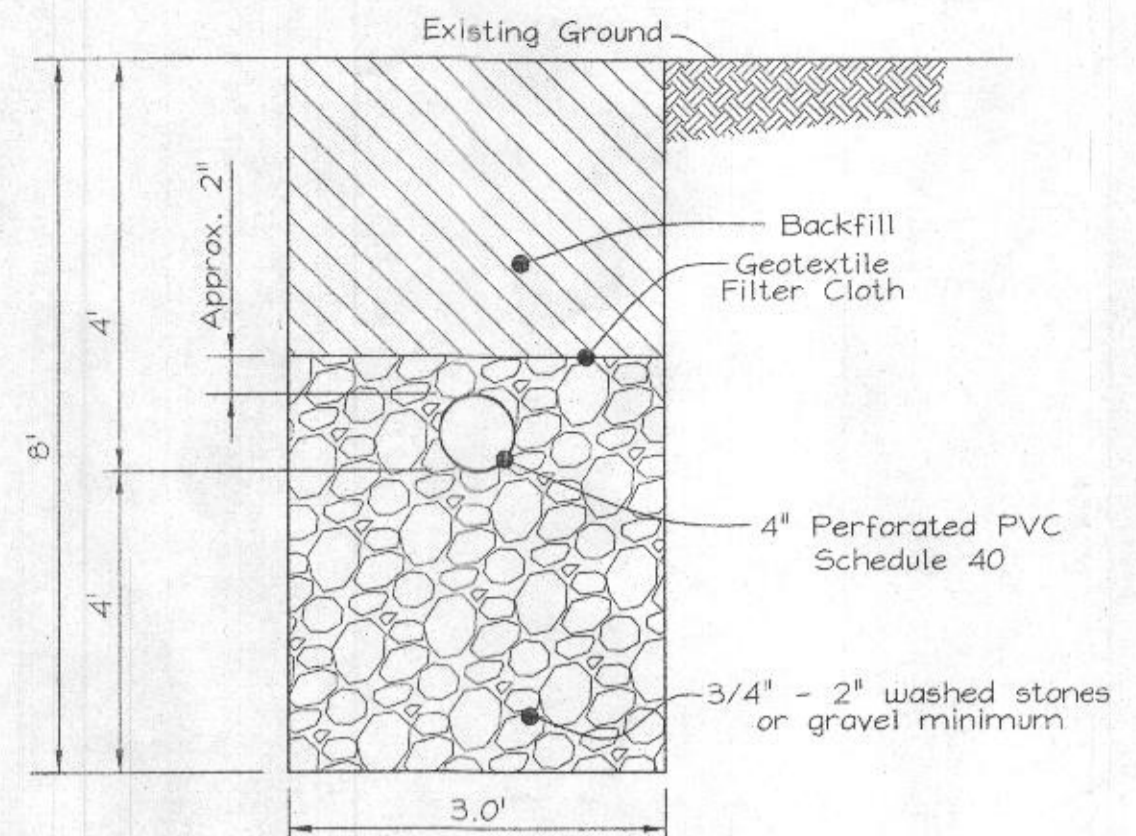


**DESIGN DATA & GENERAL NOTES**

- Concrete strength F<sub>cu</sub> 4000 psi @ 28 days. Density = 150 pcf.
- Concrete Reinforcing Steel (CRS) per ASTM A630.
- Admixtures & proportions per ASTM C 260-04 & C 494-02.
- Reinforcing per ASTM A630. Min. 1/4" cover.
- Top slab loaded with total pipe loads.
- 4" max. #4 bars, 8" max. spacing.
- Min. 2" of cover.
- Depending on use of tank, inlet & outlet baffles may be required by code.

**2000 GALLON SEPTIC TANK**  
2-Compartment  
Stock Item (Approx. 19,900 lbs)

Mayer Bros, Inc. 6384 Area Road, Elkhart, Maryland 21033, Tel: 410-796-1624, Fax: 410-796-1628



**NOTES:**

- Trenches shall be constructed 11 ft. (Min.) edge to edge.
- Trench bottoms shall be level along the length of 4" Perforated Distribution Pipe.

**SEPTIC TRENCH DETAIL**  
Not to Scale

**TRENCH INFORMATION**

Trench	Length	Pipe Inv.	Bottom	Ground
Initial Sys.	44'	419.4	415.4	423.4
1st Replace	44'	418.1	414.1	422.1
2nd Replace	44'	416.7	412.7	420.7
	44'	415.3	411.3	419.3

**INITIAL SYSTEM**

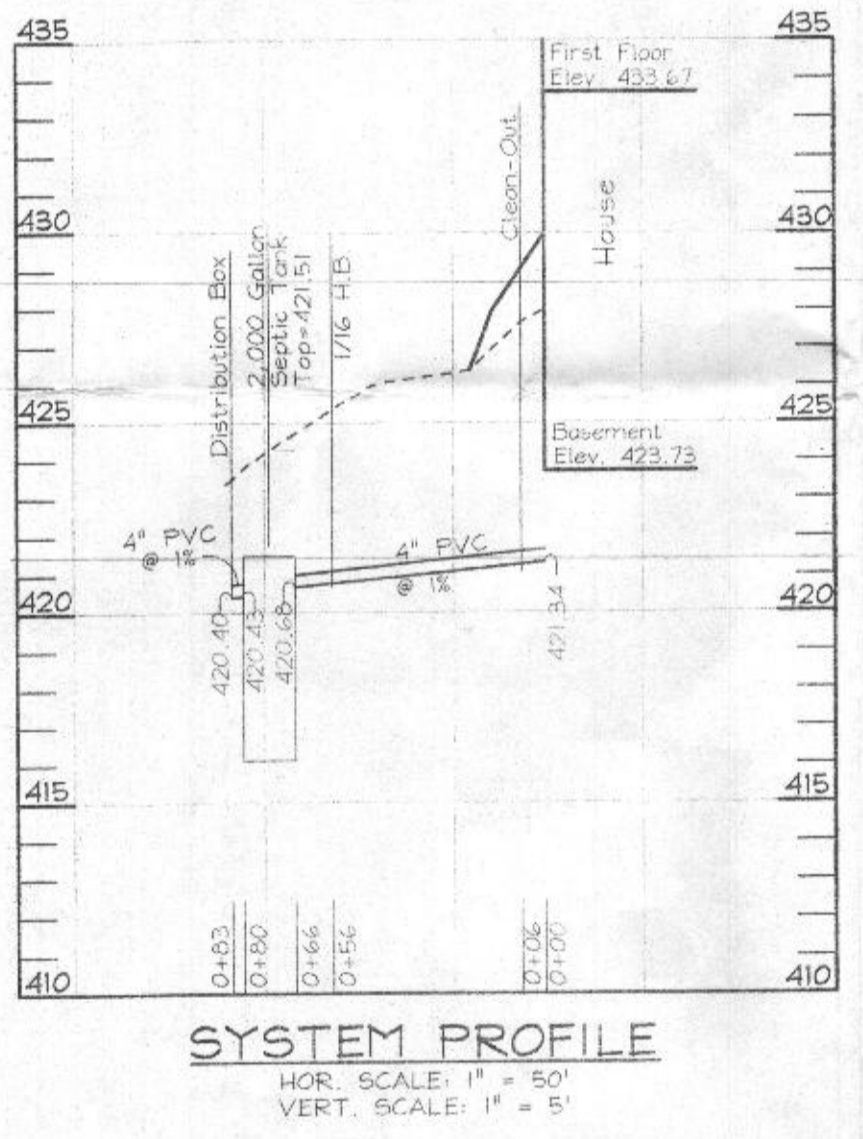
Number of bedrooms	5
Application rate	1.2 gpd/sf
Effective area beginning depth	4'
Bottom maximum depth	8'
Design flow	750 gpd
Drainage field square footage	625 sf
Sidewall reduction credit	0.42
Trench width	3'
Effective area depth	4'
Linear length of trench required	88 lf

**1st REPLACEMENT SYSTEM**

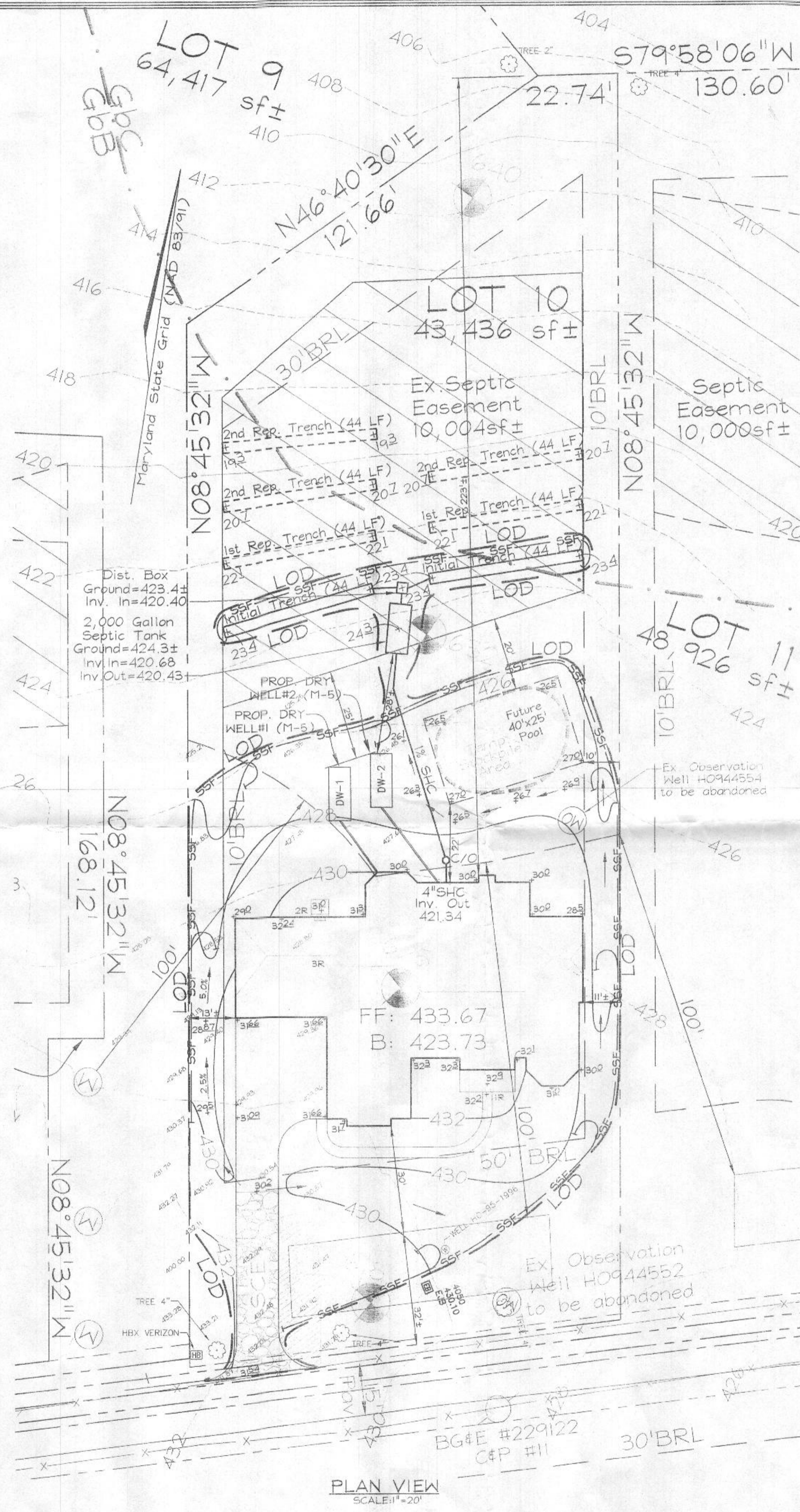
Number of bedrooms	5
Application rate	1.2 gpd/sf
Effective area beginning depth	4'
Bottom maximum depth	8'
Design flow	750 gpd
Drainage field square footage	625 sf
Sidewall reduction credit	0.42
Trench width	3'
Effective area depth	4'
Linear length of trench required	88 lf

**2nd REPLACEMENT SYSTEM**

Number of bedrooms	5
Application rate	0.8 gpd/sf
Effective area beginning depth	4'
Bottom maximum depth	8'
Design flow	750 gpd
Drainage field square footage	938 sf
Sidewall reduction credit	0.42
Trench width	3'
Effective area depth	4'
Linear length of trench required	131 lf



**SYSTEM PROFILE**  
HOR. SCALE: 1" = 50'  
VERT. SCALE: 1" = 5'



**PLAN VIEW**  
SCALE: 1" = 20'

**SOILS LEGEND**

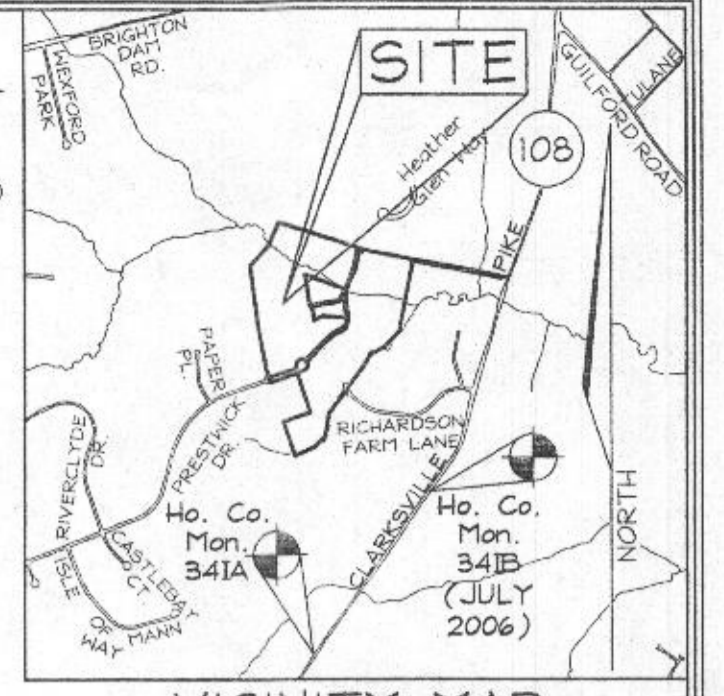
SYMBOL	NAME / DESCRIPTION	SOIL GROUP	K FACTOR
GBC	Gladstone loam, 3 to 8 percent slope	A	0.28
GBC	Gladstone loam, 8 to 15 percent slope	A	0.28

**PROFESSIONAL CERTIFICATION**

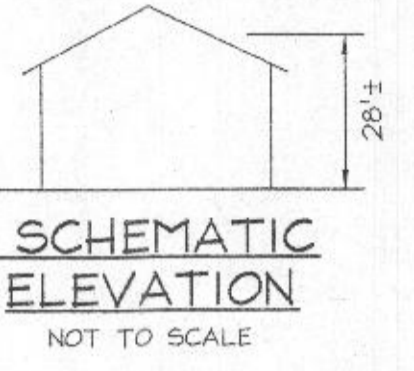
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. #22418, Expiration Date: 07/29/2016.

**GEODETTIC CONTROL STATIONS**  
Coordinates shown hereon are based on NAD '83, Maryland Coordinate System as projected by Howard County. Geodetic Control Stations no. 341A and no. 341B.  
Denotes approximate location (see vicinity map).  
Sta. 341A N 553,271.914 E 1,325,830.75 Elev. 471.80 (NAVD 88)  
Sta. 341B N 554,973.544 E 1,327,078.76

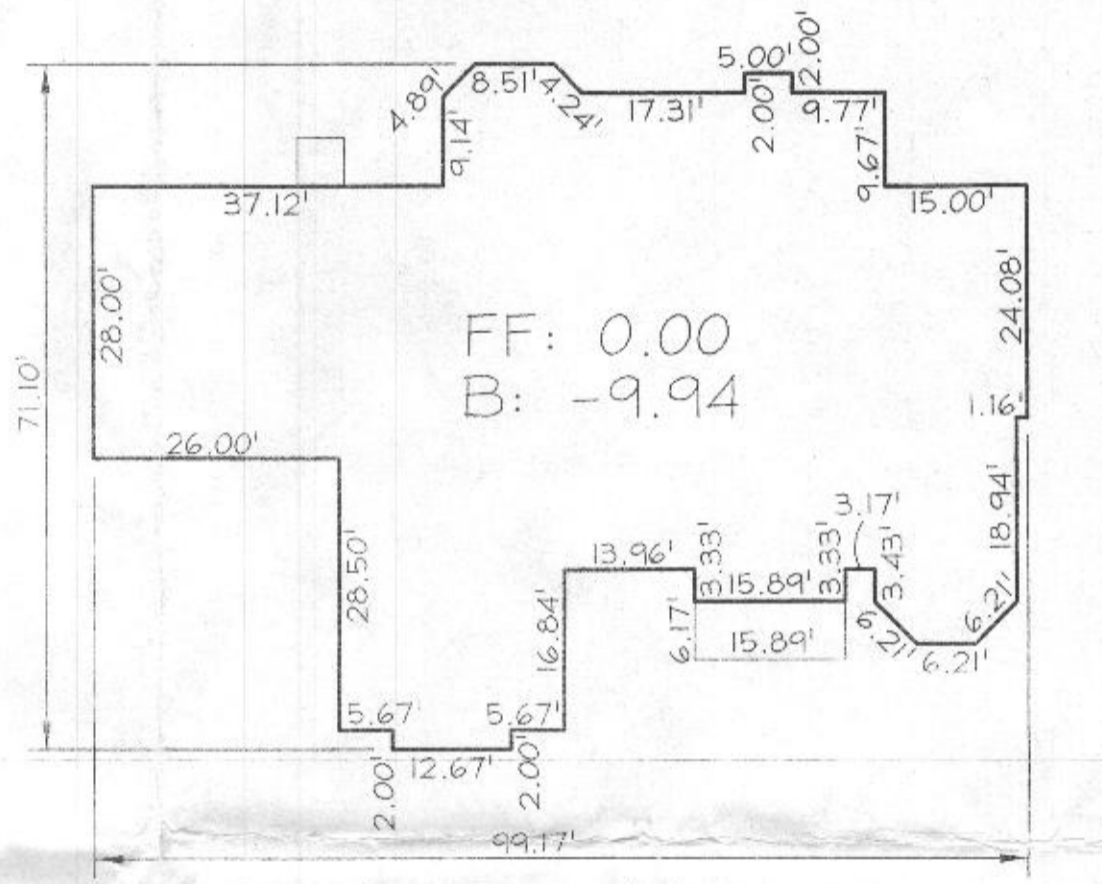
- LEGEND**
- Existing Contour
  - Proposed Contour
  - Existing Spot Elevation
  - Existing Trees to Remain
  - Proposed Septic Easement
  - Proposed Well Area
  - Proposed House
  - Soil Boundary
  - Existing Stream Buffer
  - Existing Wetland Buffer
  - Existing Wetlands
  - Existing Well
  - Existing Perc Test Holes



**VICINITY MAP**  
SCALE: 1" = 2000'



**SCHEMATIC ELEVATION**  
NOT TO SCALE



**HOUSE PLAN**  
SCALE: 1" = 20'

**GENERAL NOTES**

- Any change to the location or depths to any component must be approved by the engineer and Howard County Health Department prior to installation. A revised site plan may be required.
- The maximum earth cover over the tank is 3 feet. Greater earth cover will require a heavy load bearing tank.
- The well HO-95-19% has been field located by FSH Associates and is accurately shown.
- All wells and septic systems located within 100' of the property boundaries and 200' down gradient of any well and/or septic system have been shown.

Approved Septic System Plan  
Howard County Health Department  
Signature: [Signature] Date: 8/31/17

**OWNER/DEVELOPER**  
Chris Tippett  
4347 Aitchison Road  
Beltsville, Maryland 20705  
240.294.4470

**SEPTIC DESIGN PLAN**  
**WILLOW POND**  
LOT 10 - 6513 HEATHER GLEN WAY  
Plat #21632

TAX MAP 34 GRID 17  
5TH ELECTION DISTRICT

PARCEL 444  
HOWARD COUNTY, MARYLAND

DESIGN BY: CRH2  
DRAWN BY: CRH2  
CHECKED BY: ZYF  
SCALE: As Shown  
DATE: Aug 30, 2017  
H.O. No.: 4036  
SHEET No. 1 OF 1

**FSH Associates**  
Engineers Planners Surveyors  
6339 Howard Lane, Elkhart, MD 21075  
Tel: 410-567-5200 Fax: 410-796-1562  
E-mail: info@fshri.com

B-1 STANDARDS AND SPECIFICATIONS		B-2 STANDARDS AND SPECIFICATIONS	
SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS	SEEDING AND MULCHING	SOIL	EROSION CONTROL
<b>Definition:</b> The process of preparing the soil to receive adequate vegetative establishment.	<b>Definition:</b> The application of seed and mulch to receive adequate vegetative cover.	<b>Definition:</b> The application of seed and mulch to receive adequate vegetative cover.	<b>Definition:</b> The application of seed and mulch to receive adequate vegetative cover.
<b>Conditions When Practice Applies:</b> When vegetative establishment is to be initiated.	<b>Conditions When Practice Applies:</b> To the surface of all prepared contours, slopes, and any disturbed areas not under active grading.	<b>Conditions When Practice Applies:</b> To the surface of all prepared contours, slopes, and any disturbed areas not under active grading.	<b>Conditions When Practice Applies:</b> To the surface of all prepared contours, slopes, and any disturbed areas not under active grading.
<b>Check:</b> 1. Soil Preparation a. Topsoil b. Seed c. Mulch 2. Seeding a. Seed b. Mulch 3. Erosion Control a. Erosion Control b. Sediment Control c. Silt Fence d. Stormwater Management	<b>Check:</b> 1. Seeding a. Seed b. Mulch 2. Erosion Control a. Erosion Control b. Sediment Control c. Silt Fence d. Stormwater Management	<b>Check:</b> 1. Soil Preparation a. Topsoil b. Seed c. Mulch 2. Seeding a. Seed b. Mulch 3. Erosion Control a. Erosion Control b. Sediment Control c. Silt Fence d. Stormwater Management	<b>Check:</b> 1. Soil Preparation a. Topsoil b. Seed c. Mulch 2. Seeding a. Seed b. Mulch 3. Erosion Control a. Erosion Control b. Sediment Control c. Silt Fence d. Stormwater Management

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SOIL	EROSION CONTROL	SOIL	EROSION CONTROL
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**DEVELOPER'S CERTIFICATE**

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Chia Tippet* 7/31/17  
SIGNATURE OF DEVELOPER DATE

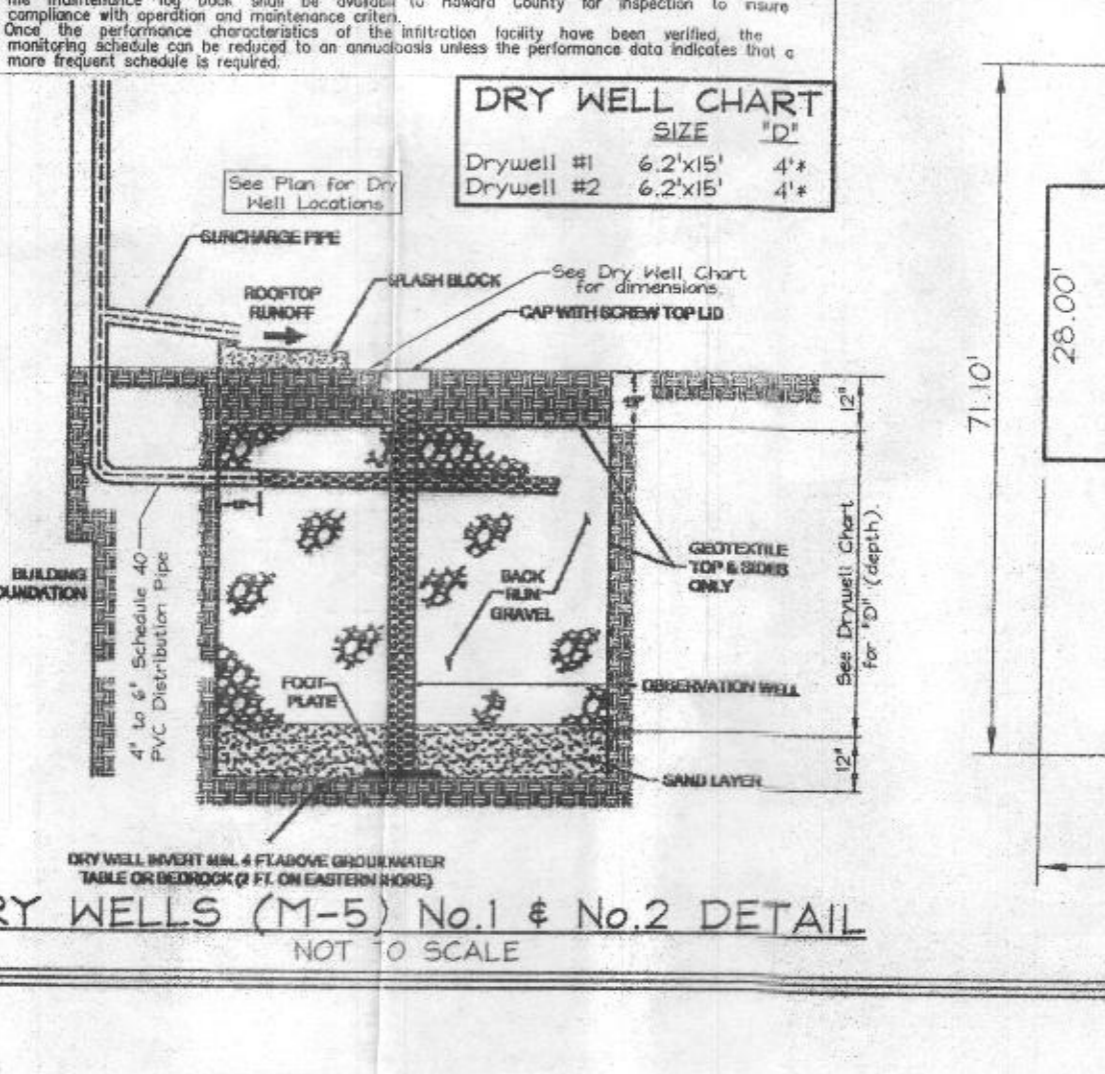
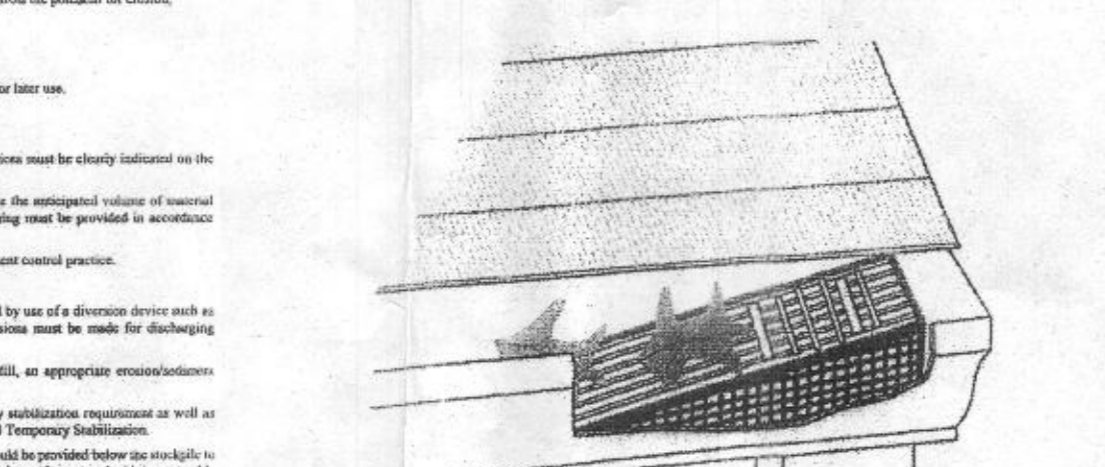
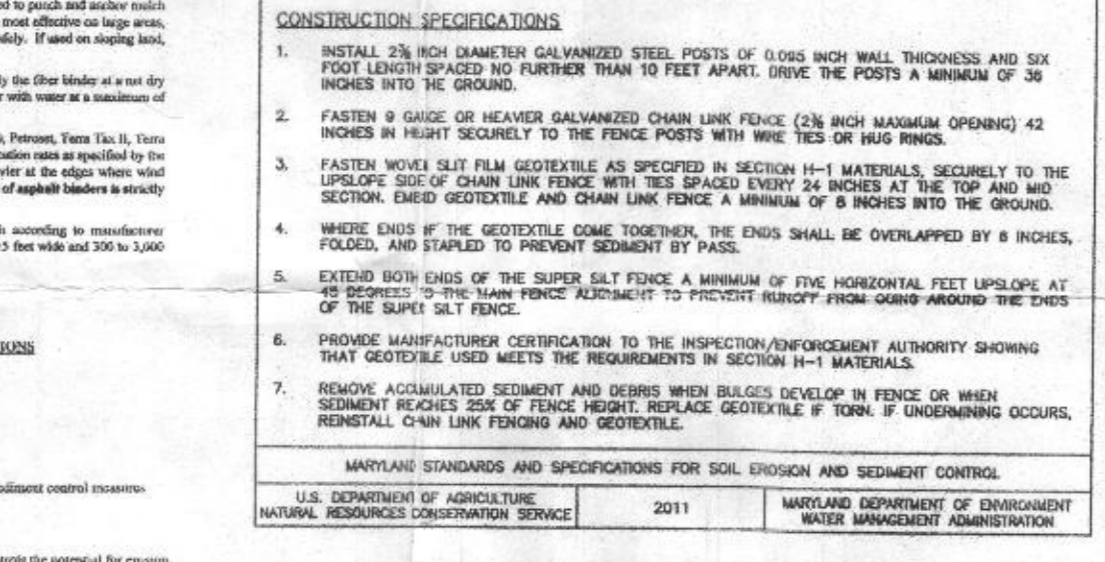
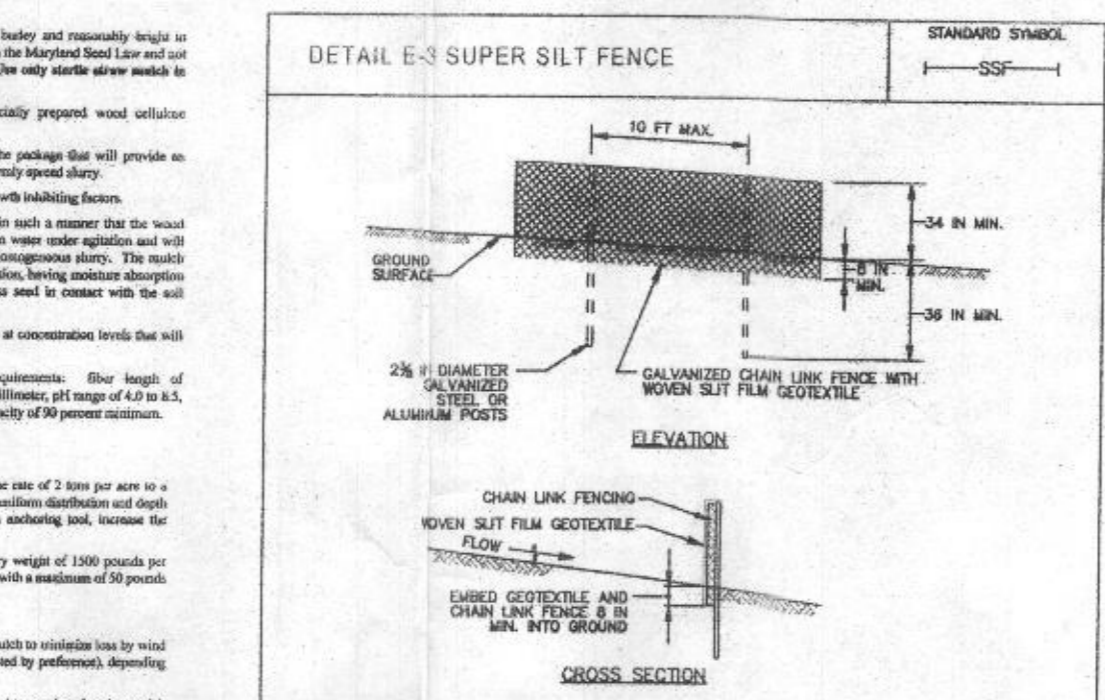
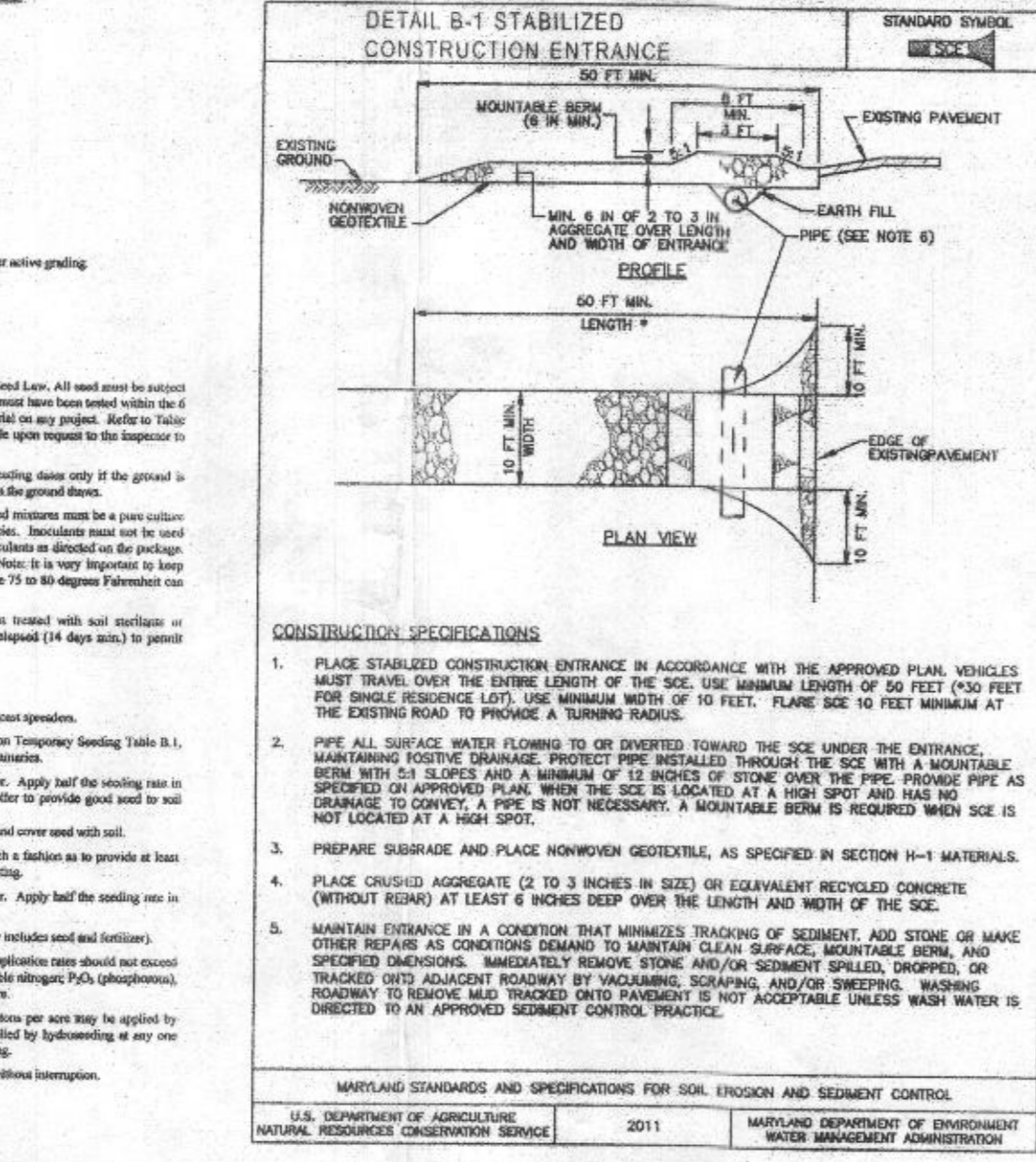
**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Zacharia Y. Fisch* 7/31/17  
SIGNATURE OF ENGINEER DATE  
ZACHARIA Y. FISCH, P.E.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

*John K. Kauter* 9/2/17  
DATE



**SEDIMENT CONTROL NOTES**

- A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 400-555-8956 after the future LOD and proposed site are marked clearly in the field. A minimum of 40 hours notice to CID must be given at the following stages:
  - Prior to the start of earth disturbance.
  - Prior to the start of the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading.
  - Prior to the start of another phase of construction or opening of another grading site.
  - Prior to the removal or modification of sediment control practices, until this initial approval by the Inspection Agency is made. Other related state and federal permits shall be referenced, to ensure coordination and to avoid conflicts with this plan.
- All vegetative and erosion control practices are to be installed according to the provisions of this plan and are to be in accordance with the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control, EROSION AND SEDIMENT CONTROL, and revisions thereto.
- Following installation of erosion and sediment controls, the contractor shall monitor the site for erosion and sediment control practices. Other building or grading inspection approvals may be authorized until this initial approval by the Inspection Agency is made. Other related state and federal permits shall be referenced, to ensure coordination and to avoid conflicts with this plan.
- All vegetative and erosion control practices are to be installed according to the provisions of this plan and are to be in accordance with the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control, EROSION AND SEDIMENT CONTROL, and revisions thereto.
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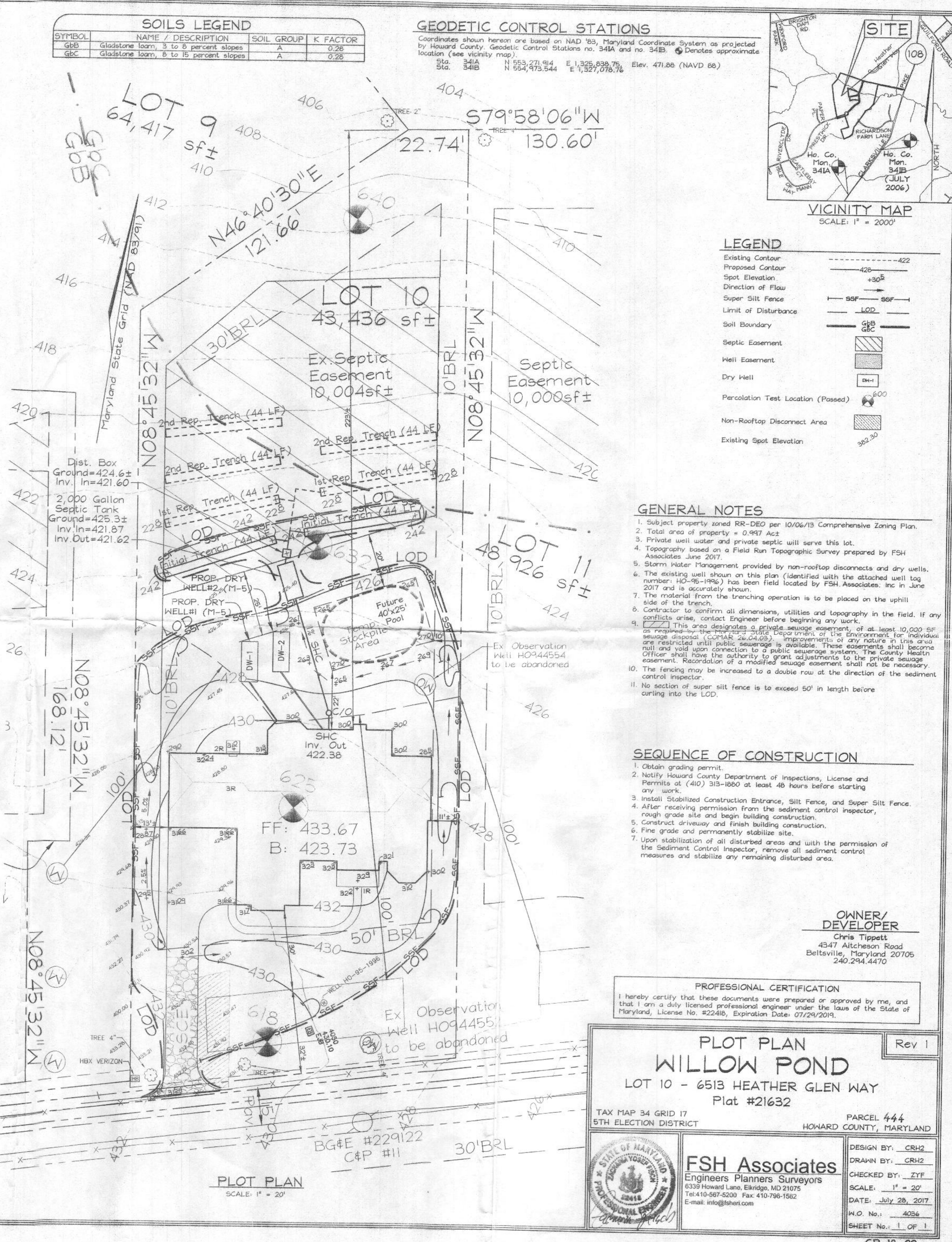
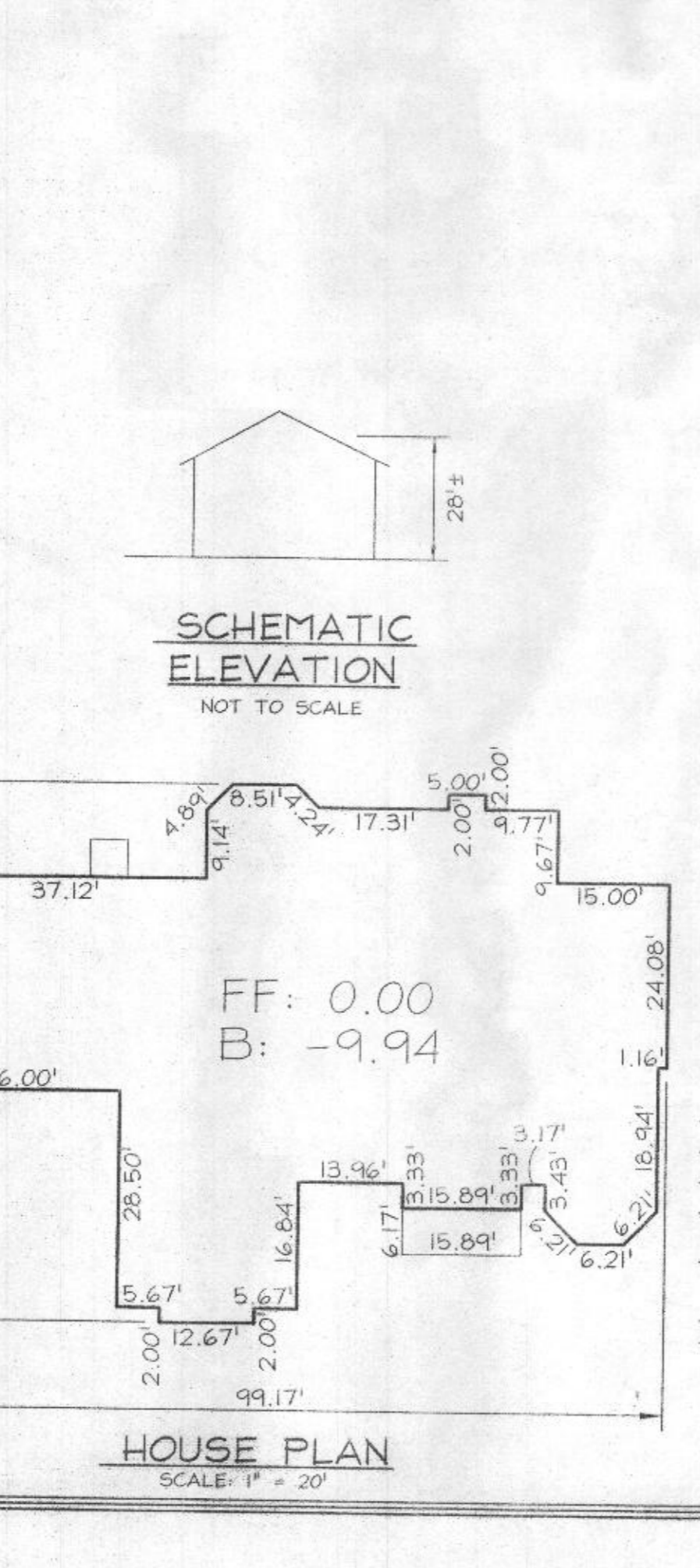
**SOILS LEGEND**

SYMBOL	NAME / DESCRIPTION	SOIL GROUP	K FACTOR
Gbb	Gladstone loam, 3 to 8 percent slopes	A	0.28
Gbc	Gladstone loam, 8 to 15 percent slopes	A	0.28

**GEODETIC CONTROL STATIONS**

Coordinates shown herein are based on NAD 83, Maryland Coordinate System as projected by Howard County Geodetic Control Stations no. 341A and no. 341B. Denotes approximate location (see vicinity map).

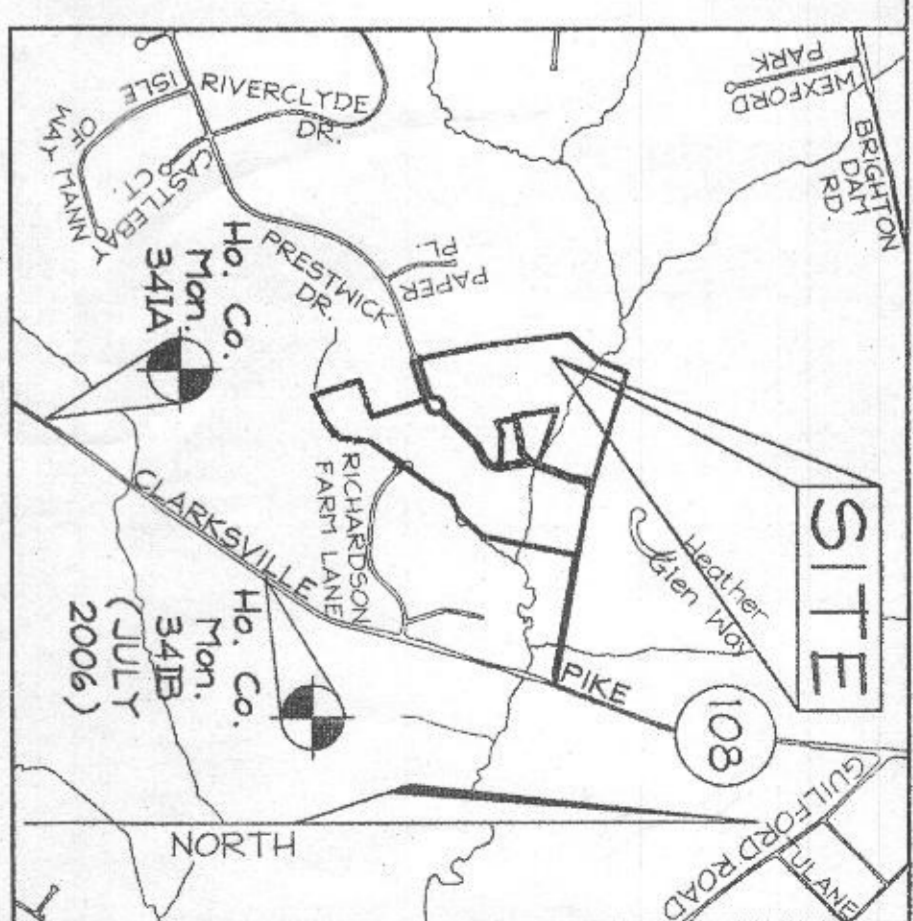
Sta. 341A N 553,271.914 E 1,305,830.75 Elev. 471.86 (NAVD 88)  
Sta. 341B N 554,975.544 E 1,327,076.76 Elev. 471.86 (NAVD 88)



SYMBOL	NAME / DESCRIPTION	SOIL GROUP
Gbb	Gladstone loam, 3 to 6 percent slopes	B
Gbc	Gladstone loam, 8 to 15 percent slopes	B

**SOILS LEGEND**

**GEODETIC CONTROL STATIONS**  
 Coordinates shown hereon are based on NAD 83, Maryland Coordinate System as projected by Howard County. Geodetic Control Stations no. 341A and no. 341B. Denotes approximate location (see vicinity map).  
 Sta. 341A N 55°21'19.4" E 1,325.838 75' Elev. 471.88 (NAVD 88)  
 Sta. 341B N 55°19'73.544" E 1,327.078 76'



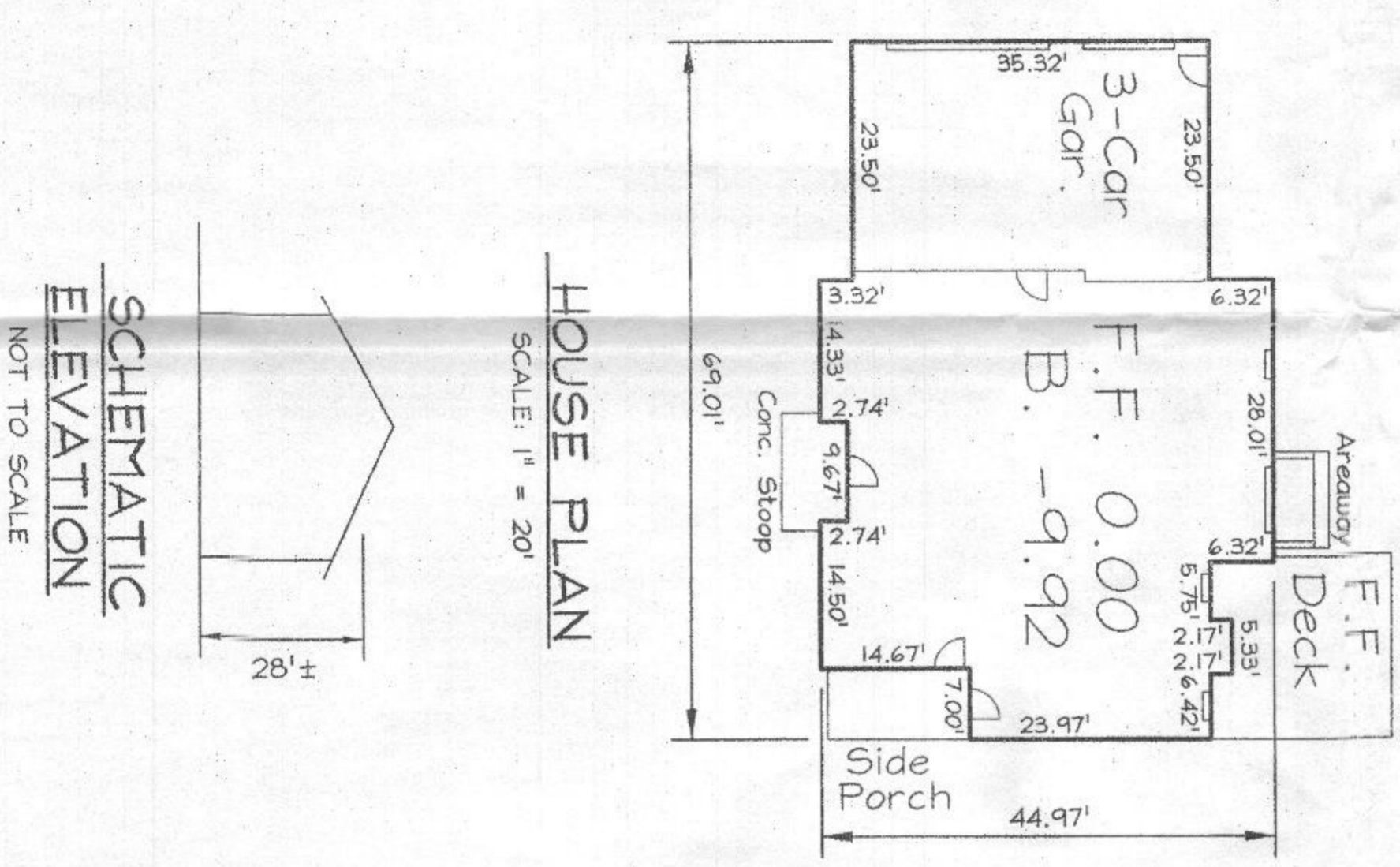
**VICINITY MAP**  
 SCALE: 1" = 2000'

**LEGEND**

Existing Contour	--- 82 ---
Proposed Contour	--- +82.53 ---
Spot Elevation	•
Direction of Flow	→
Super Silt Fence	—Ssf—Ssf—
Silt Fence	—Sf—Sf—
Limit of Disturbance	—Lod—
Soil Boundary	—
Walk Out Basement	—MOB—
SMIT Disconnect Area	▨

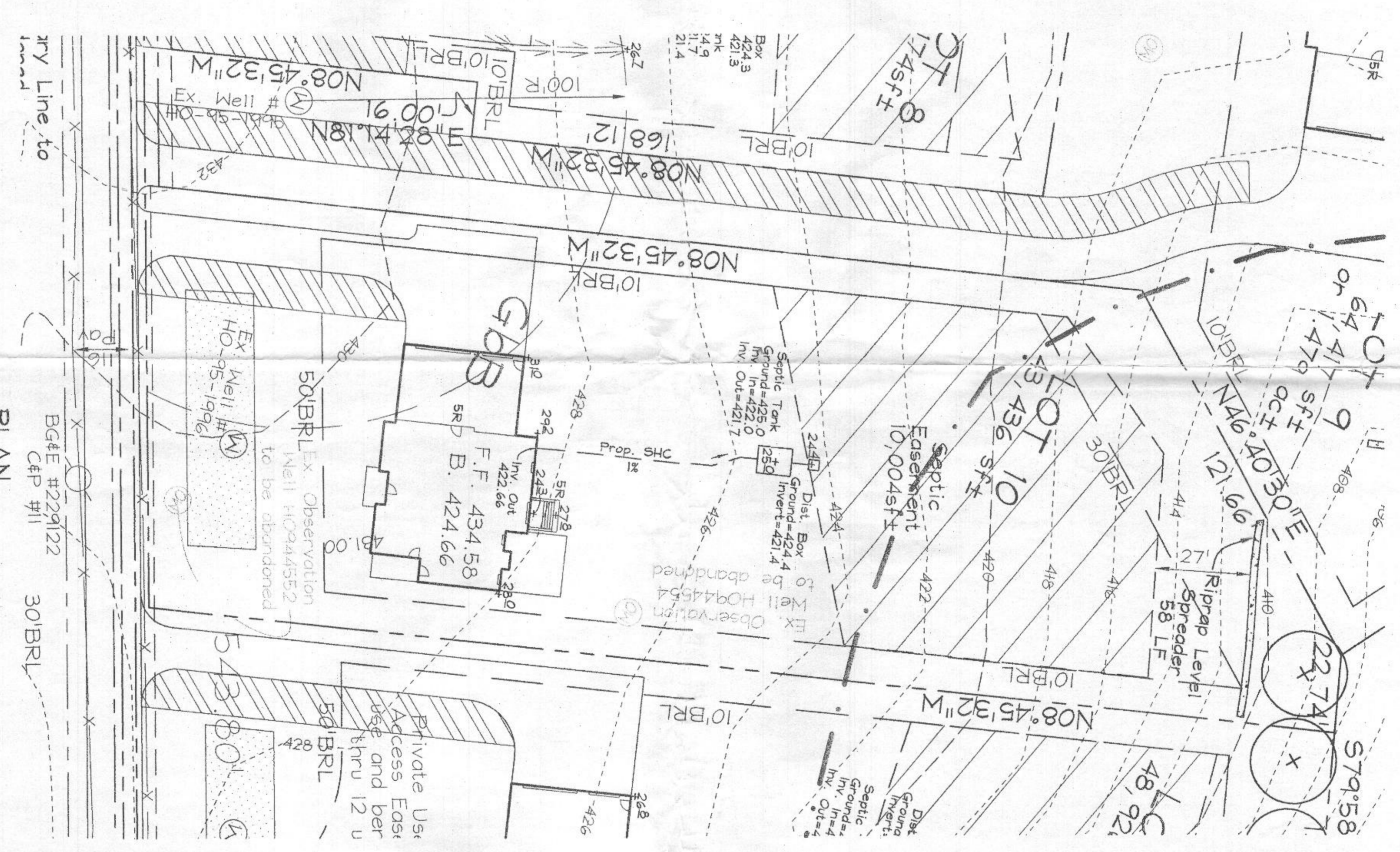
**GENERAL NOTES**

1. This property is zoned "RR-DEO" for the 02/02/04 Comprehensive Zoning Plan and the Crrp Lite Zoning Regulations Amendments effective 07/28/06.
2. Total area of property = 43,436sqft.
3. Private well water and private septic will serve this lot.
4. Topography based on a Field Run Topographic Survey prepared by FSH Associates October 2006.
5. SMIT for house is provided by sheet flow to buffer with a level spreader.



**HOUSE PLAN**  
 SCALE: 1" = 20'

**SCHEMATIC ELEVATION**  
 NOT TO SCALE



**PLAN**  
 SCALE: 1" = 30'

**SEPTIC PERMIT PLAN**  
**WILLOW POND**

LOT 10 - 6513 Prestwick Dr.  
 Plat #21630

Rev 0

**OWNER/DEVELOPER**  
 GREENFIELD HOMES, Inc.  
 6656 Luster Drive  
 Highland, Maryland 20777  
 410.781.6782

TAX MAP 34 GRID 17  
 5TH ELECTION DISTRICT

PARCEL 382  
 HOWARD COUNTY, MARYLAND

**FSH Associates**

Engineers Planners Surveyors  
 6338 Howard Lane, Elkridge, MD 21075  
 Tel: 410-587-5200 Fax: 410-796-1562  
 E-mail: info@fsh.com

DESIGN BY:	CRH2
DRAWN BY:	GRH2
CHECKED BY:	ZTF
SCALE:	1" = 30'
DATE:	Dec. 11, 2012
M.O. No.:	3199
SHEET No.:	1 OF 1

**PROFESSIONAL CERTIFICATION**  
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. #22416, Expiration Date: 07/29/2015.

9/13/2010  
 Location as  
 Per Plat  
 (BB)

