

Bureau of Environmental Health
 8930 Stanford Boulevard, Columbia, MD 21045
 Main: 410-313-2640 | Fax: 410-313-2648
 TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
 Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 12/13/17 **ONSITE SEWAGE DISPOSAL SYSTEM** P 562359-A

APPROVAL DATE: 1/16/18 **PERMIT: CONSTRUCTION** A _____

PROPERTY ADDRESS: 12404 Hillcrest

SUBDIVISION: Zimmerman Property LOT: 6 TAX ID: 05-387213

CONTRACTOR: South Carroll Backhoe EMAIL: scbackhoe@comcast.com

CONTRACTOR ADDRESS: 4410 Salem Bottom Road, Westminster, MD 21157 PHONE: 410-596-3618

PROPERTY OWNER: Dana R and Laurie B Gift EMAIL: sarah@cairncustomhomes.com

OWNER ADDRESS: 5421 Lynx Lane, Unit 216, Columbia, MD 21044 PHONE: _____

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Babylon Vault or equivalent

PUMP MODEL: N/A PUMP SIZE N/A PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 5 APPLICATION RATE 1.2

TRENCHES:	LINEAR FEET REQUIRED: <u>94-8</u>	INLET DEPTH: <u>4</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>4.5</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	Install 2 x 68" trenches on contour 47'	

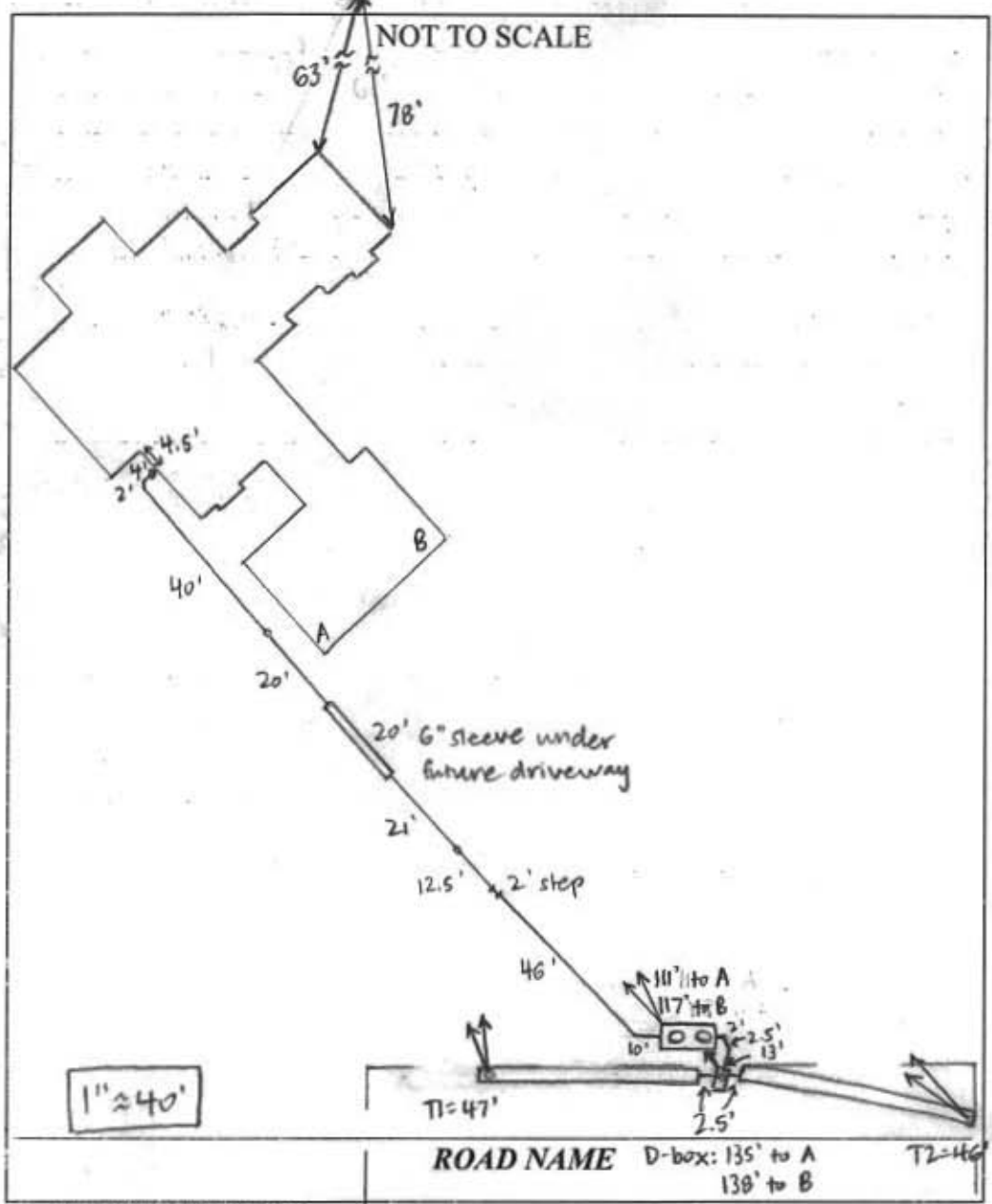
I Kevin Wolf ISSUE DATE: 12/13/17 EXPIRATION DATE: 12/13/18

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRAIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
 ELECTRICAL PERMIT ISSUED E _____
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

W HO-15-0307

NOT TO SCALE



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	4'	8'
NUMBER OF TRENCHES		2
TOTAL LENGTH		93'
ABSORPTION AREA		279' + SIDEWALL
DISTRIBUTION BOX LEVEL		YES
DISTRIBUTION BOX BAFFLE		YES
DISTRIBUTION BOX PORT		YES

SEPTIC TANK DATA	
SEPTIC TANK I LEVEL	YES
MANUFACTURER	BABILON
CAPACITY	2000 GAL
SEAM LOC	TOP
TANK LID DEPTH	1-2'
BAFFLES	YES
BAFFLE FILTER	NO
MANHOLE LOC	FRONT + REAR
6" PORT LOC	NONE
WATERTIGHT TEST	NO
SLOTTED	YES
DATE ON LID	10-17-17
PUMP/SEPTIC TANK LEVEL	
MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION:

1/12/18 Met S. Carroll on site for layout. SDA corners + trenches staked. Shot contour and laid out 2x47' trenches - keep @ W edge to conserve SDA. (S)

INSTALLATION:

1/16/18 Tank set, house connection made. T1 finished + left open for inspection. 3' wide, 3.5' to stone. T2 dug, S. Carroll starting to add stone. 3' wide, 8' bottom. Using laser to check depths. Levelled speed levelers in D-box. (S)

FINAL INSPECTOR Sarah Collins DATE OF APPROVAL 1/16/18

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK

BURTONSVILLE, MD 20866

TEL: 301-421-4024 BALT: 410-880-1820 DCVA: 301-889-2524 FAX: 301-421-4186

LETTER OF TRANSMITTAL

TO: BUREAU OF ENVIRONMENTALHEALTH
8930 STANFORD BLVD.
COLUMBIA, MD 21045

ATTN: KEVIN M. WOLF

DATE	1-15-18	JOB NO.	16093
PROJECT	ZIMMERMAN PROPERTY		
	WALLCHECK		
	kwolf@howardcountymd.gov		

WE ARE SENDING THE FOLLOWING ITEMS: ATTACHED UNDER SEPARATE COVER

MYLARS PRINTS COST ESTIMATES DESCRIPTIONS GRADE SHEETS
 COPY OF LETTER APPLICATIONS COMPUTATIONS OTHER _____

VIA: MAIL OVERNIGHT GLW COURIER COURIER OTHER _____

COPIES	DATE	PAGES	DESCRIPTION
2	1-15	2	WALLCHECK SKETCH LOT 6 (REVISED TO NEW SCALE)

THESE ARE TRANSMITTED as checked below:

FOR APPROVAL SIGN & RETURN
 FOR YOUR USE AS SUBMITTED TO _____
 FOR REVIEW & COMMENT AS REQUESTED BY _____
 PER YOUR REQUEST _____

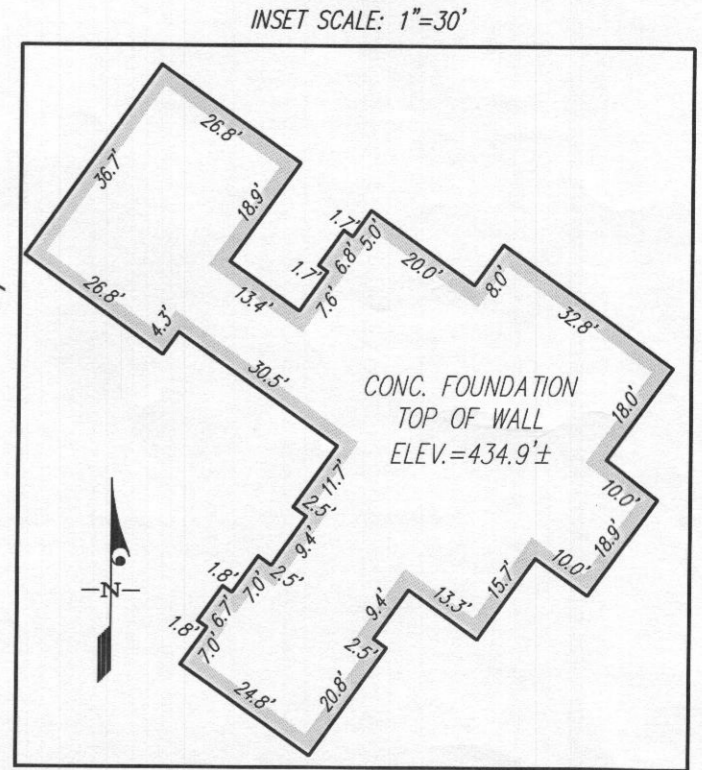
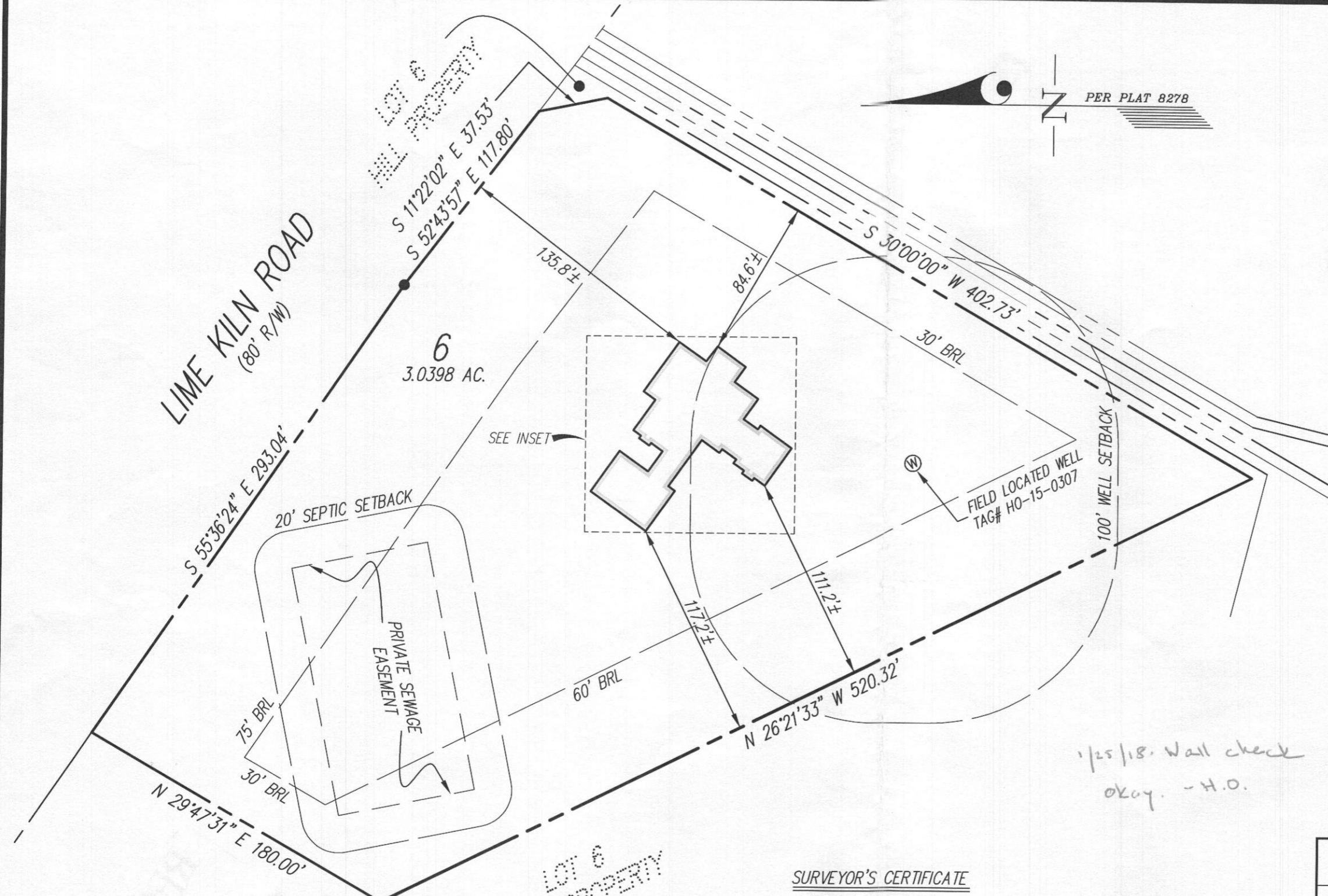
REMARKS: _____

COPY TO: _____ SIGNED: Adam Poak

If enclosures are not as noted, kindly notify us at once.

NOTES:
 THIS WALLCHECK WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHTS-OF-WAY, COVENANTS, AND RESTRICTIONS, ETC. OF RECORD, SOME OR ALL OF WHICH MAY OR MAY NOT BE SHOWN AND/OR REFERENCED HEREON. BEARINGS AND DISTANCES OF THE PROPERTY BOUNDARY LINES SHOWN HEREON ARE PER AVAILABLE RECORDS AND HAVE NOT BEEN FIELD VERIFIED.
 THIS IS NOT A "LOCATION DRAWING" AND IS NOT TO BE USED FOR SETTLEMENT PURPOSES.

THE PROPERTY SHOWN HEREON LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP, MAP NUMBER 24027C0140D, EFFECTIVE DATE NOVEMBER 6, 2013.
 BUILDING SETBACKS (BRL'S) SHOWN HEREON PER PLAT No. 8278
 SETBACK DISTANCES SHOWN HEREON ARE TO THE OUTERMOST FACE OF THE FOUNDATION WALLS AND HAVE AN ACCURACY OF ± 0.1' FOOT.



1/25/18. Wall check
 okay. - H.O.

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY TO:
 'CAIRN CUSTOM HOMES'

THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF,
 THE POSITION OF THIS BUILDING FOUNDATION
 HAS BEEN ESTABLISHED BY ACCEPTED FIELD PRACTICES.

[Signature] 1/15/2018
 For Gutschick, Little and Weber, P.A. :
 Thomas C. O'Connor, Jr.,
 Professional Land Surveyor, No. 10954 (EXP. DATE: 07/03/2018)

THIS WALLCHECK IS VALID ONLY WITH AN ORIGINAL SIGNATURE AND EMBOSSED SEAL OF THE ABOVE SURVEYOR.

WALLCHECK (SPECIAL PURPOSE SURVEY)	
ZIMMERMAN PROPERTY	
LOT 6	
12404 HILL CREST	
HOWARD COUNTY, MARYLAND	
DATE OF LATEST FIELD WORK: 07-12-2017	G.L.W. FILE No. 16093
REFERENCE : PLAT No.: 8278	SCALE: 1"=60'

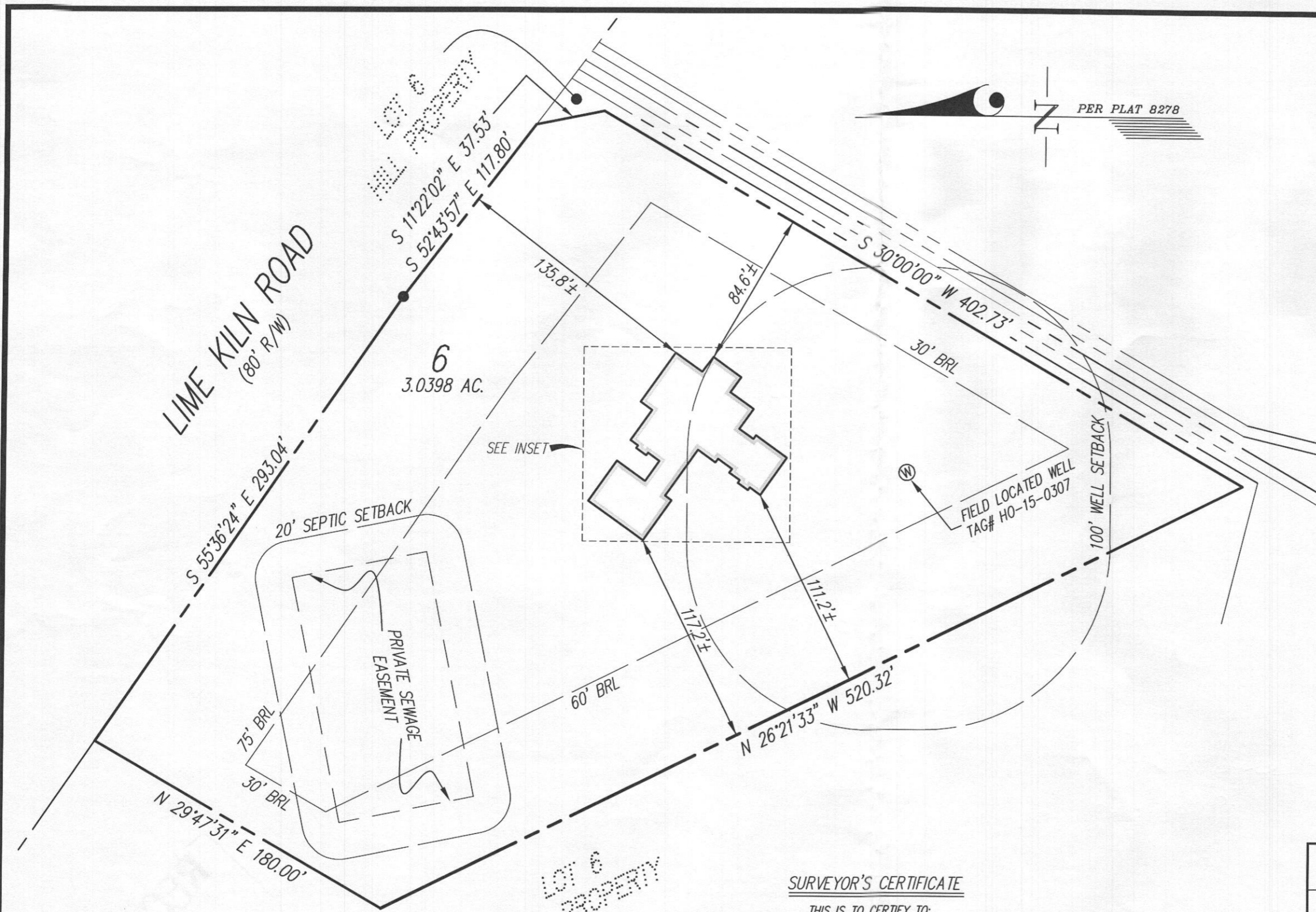
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES. _____
 DRN. AR _____
 CHK. _____

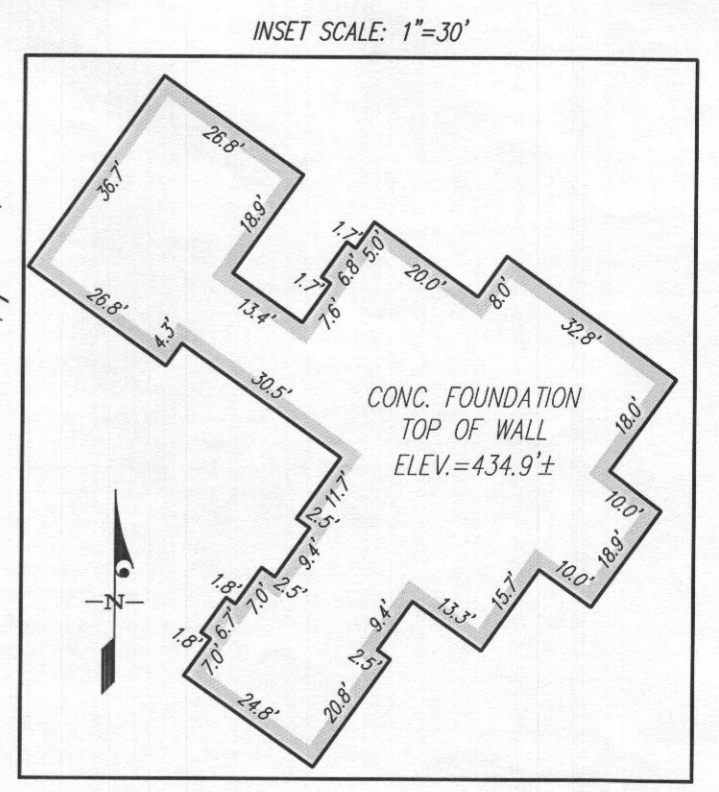
PREPARED FOR:
 CAIRN CUSTOM HOMES
 10548 GORMAN ROAD
 LAUREL, MD 20723

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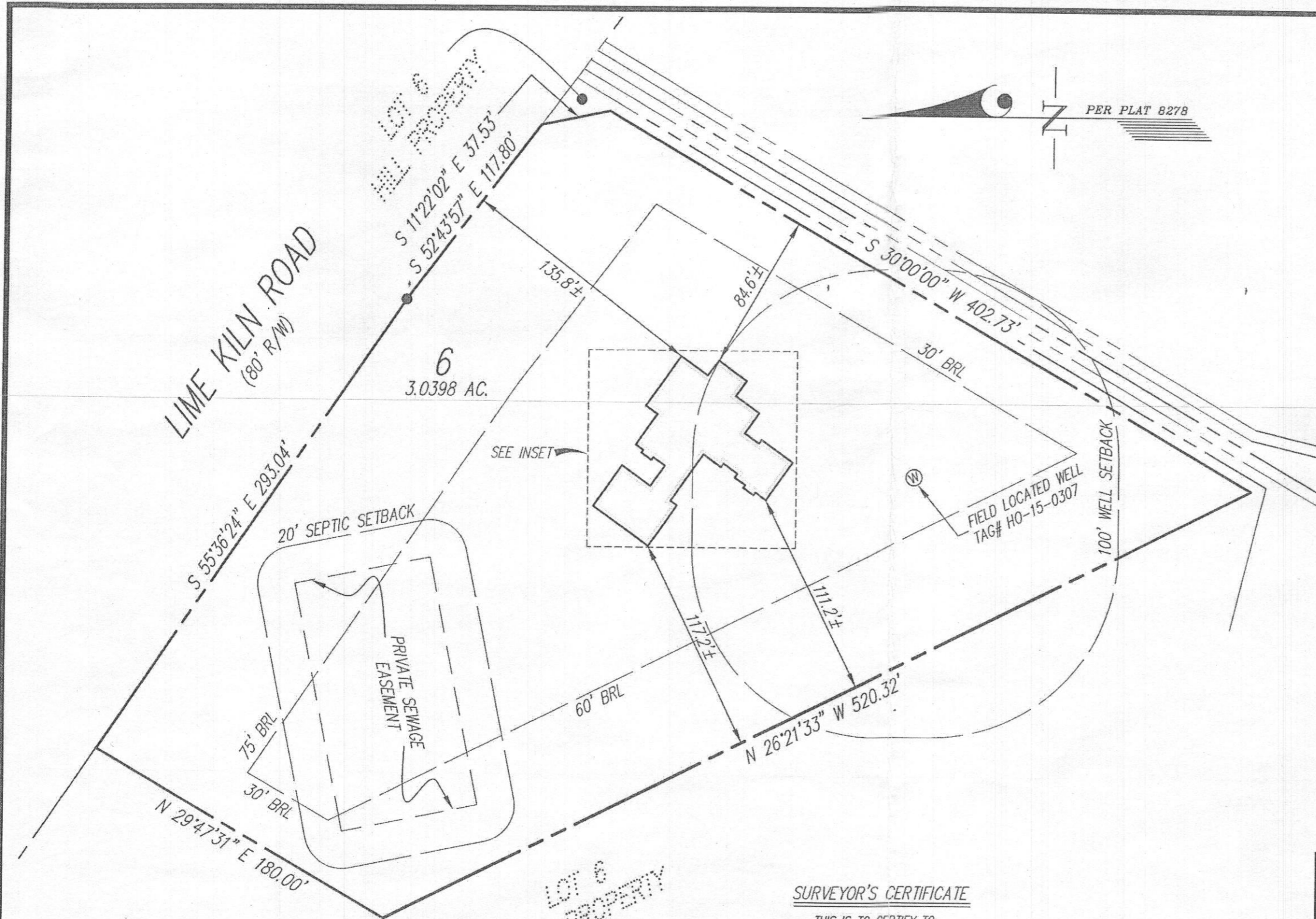
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DES. DRN. AR
 CHK.
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S:\Survey Drawings\WALLCHECK\ZIMMERMAN-PROP-16093\WCK16093WCK-6.dwg, 1/15/2018 8:54:55 AM, acadm, 1:1

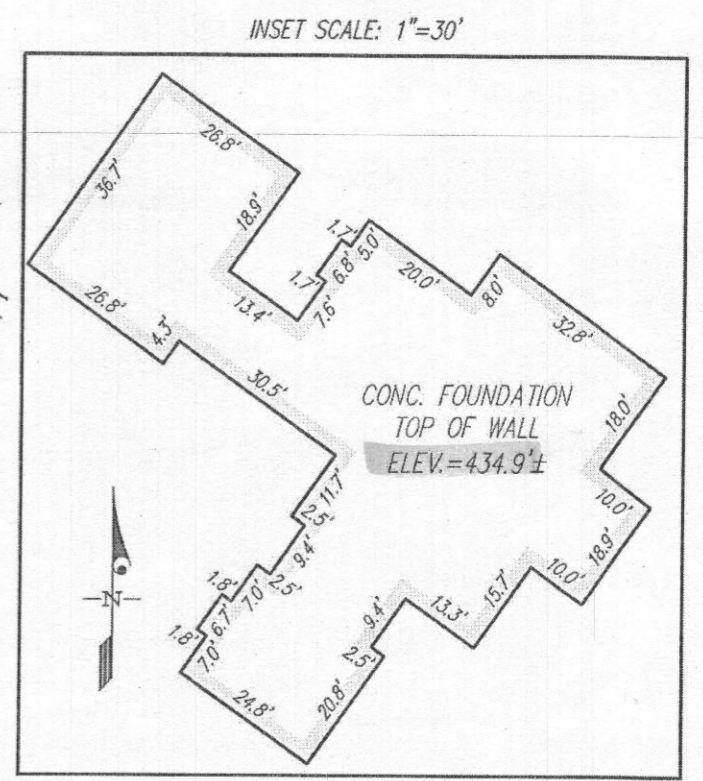


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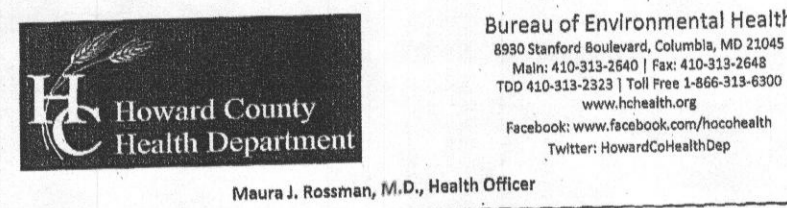
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GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 EALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186	DES.	PREPARED FOR: CAIRN CUSTOM HOMES 10548 GORMAN ROAD LAUREL, MD 20723
	DRN. AR	
	CHK.	



Bureau of Environmental Health
8802 Stanford Boulevard, Columbia, MD 21049
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Toll Free: 1-800-333-4300
www.howardhealth.org
Facebook: www.facebook.com/HowardHealth
Twitter: @HowardHealthDep

SEWAGE DISPOSAL SYSTEM SPECIFICATIONS WORKSHEET

Address: Lime Kiln Road
Subdivision: Zimmerman Property Lot 6

Initial system: Application rate: 1.2 Effective area beginning depth: 4.5 Bottom maximum depth: 8
1st Replacement: Application rate: 0.8 Effective area beginning depth: 5 Bottom maximum depth: 8
2nd Replacement: Application rate: 0.6 Effective area beginning depth: 5.5 Bottom maximum depth: 8

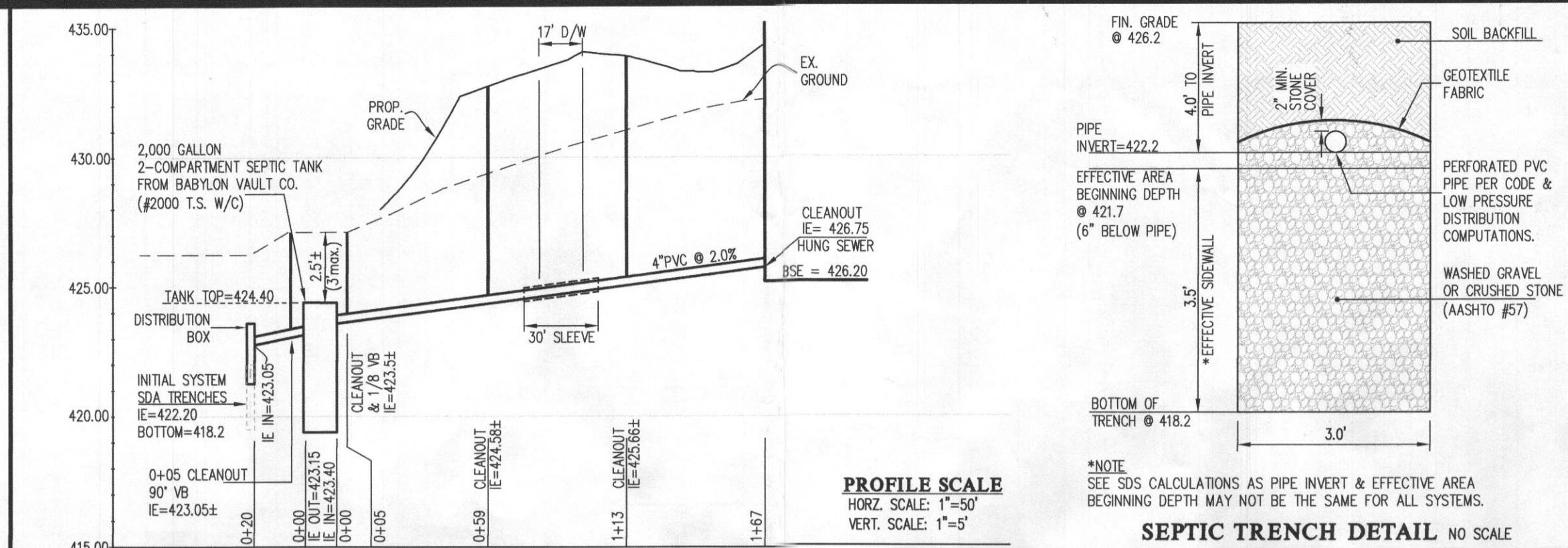
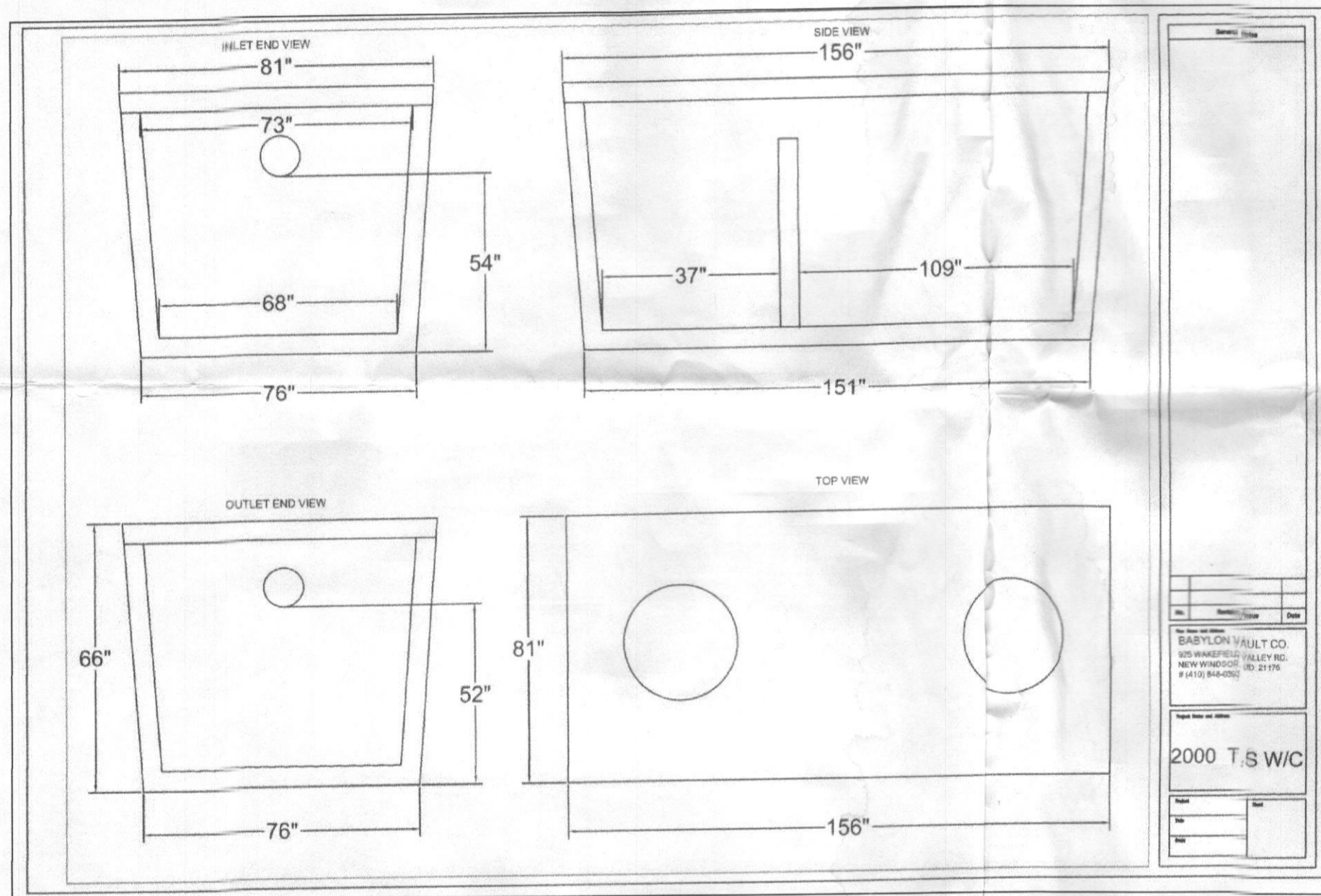
Design Flow = 150 gallons per day per bedroom
Linear length of trench required = square footage of drainfield required

Standard design requirements:
• All trenches must be equal length unless low pressure dosed
• Minimum trench spacing: 10' for all trenches utilizing sidewall reduction credit.
• Additional spacing may be necessary for any trench using over 3.5' of effective sidewall.
• In those cases, the spacing formula is 2D+W up to a maximum spacing of 18'.
• Minimum trench spacing for trenches with no sidewall credit (bottom area only) is 6' for a 2' wide trench and 9' for a 3' wide trench (spacing is measured edge to edge)
• Maximum trench length is 100'
• Maximum pipe depth is 4'

- All trenches must be on contour
- Minimum trench spacing: 10' for all trenches utilizing sidewall reduction credit.
- Additional spacing may be necessary for any trench using over 3.5' of effective sidewall.
- In those cases, the spacing formula is 2D+W up to a maximum spacing of 18'.
- Minimum trench spacing for trenches with no sidewall credit (bottom area only) is 6' for a 2' wide trench and 9' for a 3' wide trench (spacing is measured edge to edge)
- Maximum trench length is 100'
- Maximum pipe depth is 4'

Approved: R. Buehler Date: 3/29/2016

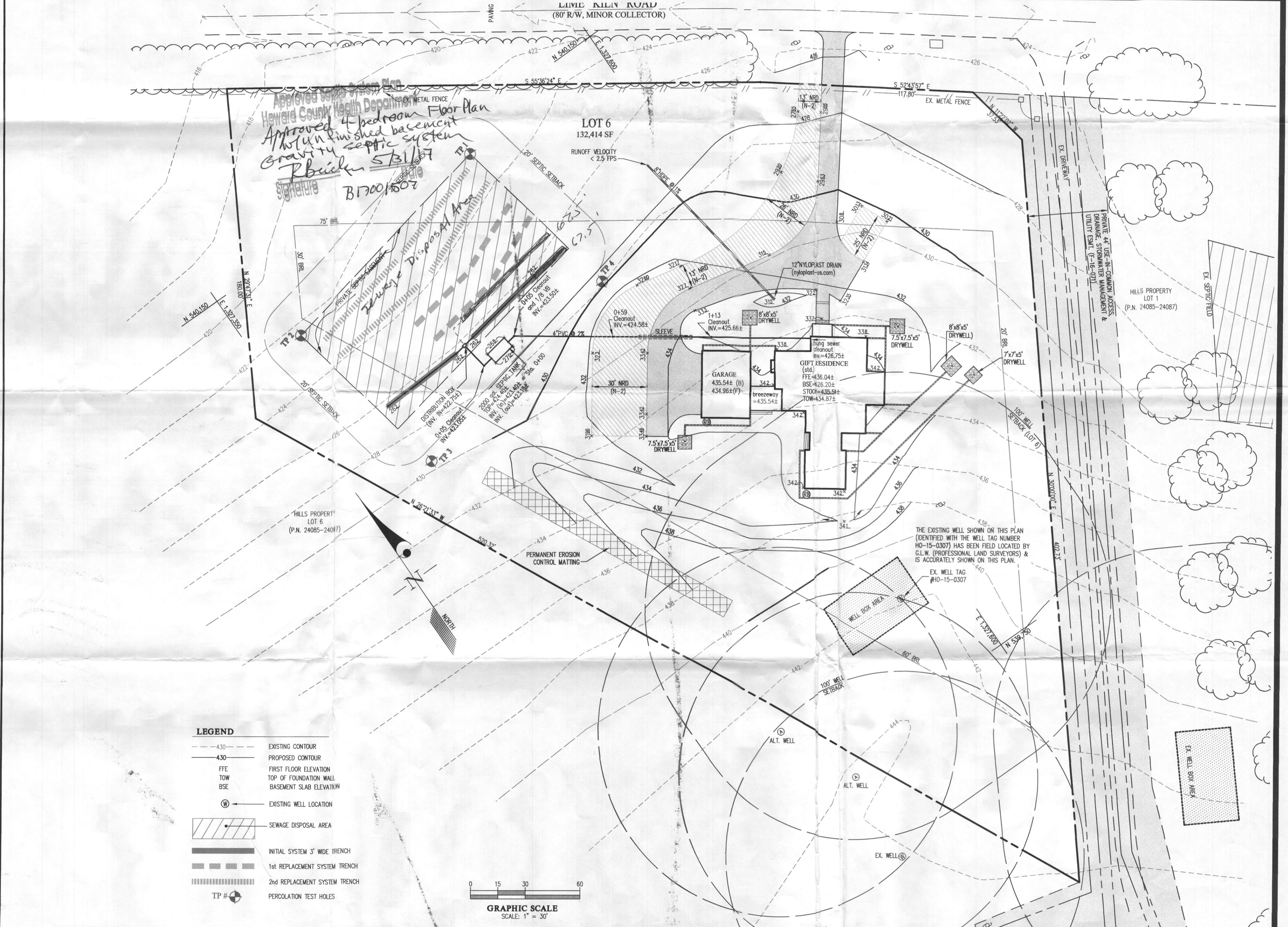
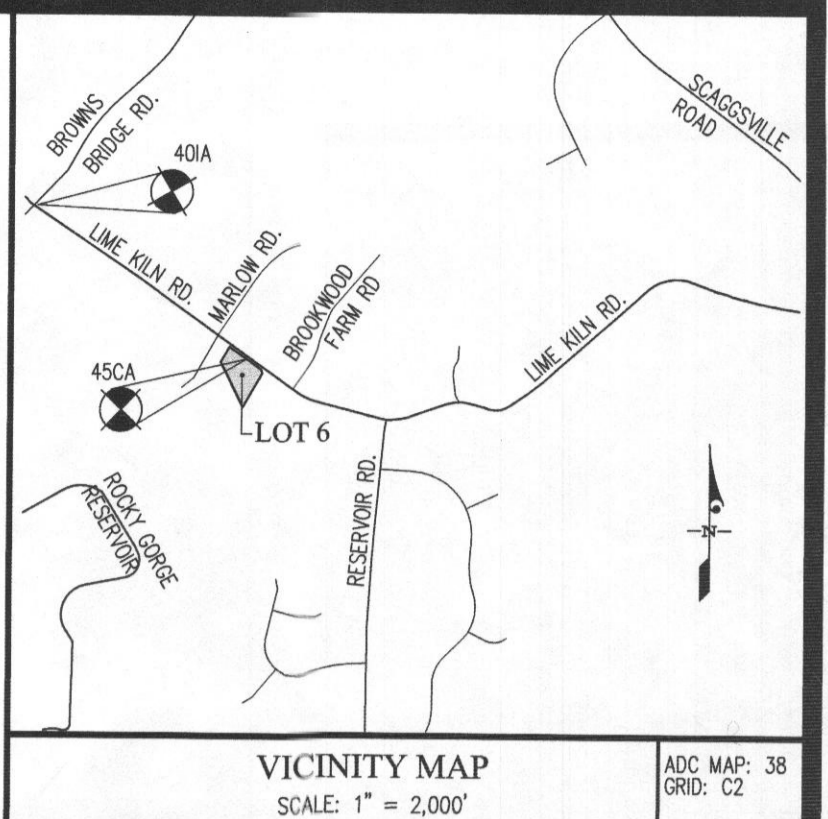
System Input Information	Lot-6		
	Initial System	Replacem't System No.1	Replacem't System No.2
Application Rate	1.2	0.8	0.6
Effective area beginning depth	4.5	5.0	5.5
Effective area maximum bottom depth	8.0	8.0	8.0
Number of Bedrooms	5	5	5
Design flow at 150 gal./day/bedroom	750	750	750
Absorption Trench Calculations			
Drainfield area required (Design flow/application rate)	625 s.f.	938 s.f.	1,250 s.f.
Effluent pipe depth to invert (cannot exceed 4', if < 2', then field run top at 1-ft interval is required).	4.0	4.0	4.0
Effective sidewall depth "D" = depth between the effective beginning depth or pipe depth (whichever is deeper) and maximum trench bottom.	3.5	3.0	2.5
Trench Width "W" (2 or 3 feet)	3.0	3.0	3.0
SideWall Reduction Percent = (W-2)/(W+1+2D)	45.45%	50.00%	55.56%
Linear feet of trench required = (drainfield area x sidewall reduction)/W	94.7	156.3	231.5
Trench Layout Information			
Approximate length available on contour & not exceeding 100-ft	50	45	60
Number of trenches to use	2	4	4
Min. length (linear feet)	47.4	39.1	57.9
Total (linear feet)	94.8	156.4	231.6
Minimum Trench Spacing: For trenches with no sidewall credit the spacing is 6' for a 2' wide trench and 9' for a 3' wide trench (measured edge to edge). All trenches utilizing sidewall reduction credit must be spaced a min. of 10' for effective sidewall not over 3.5'. If > 3.5', then spacing formula is 2D+W up to a maximum of 18'.	10.0	10.0	10.0
Approx. width of absorption Area	16 ft.		
Approx. drainfield Area (sq. feet)	758		



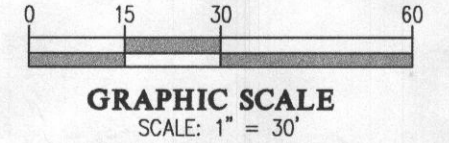
- NOTES:
1. ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
 2. THE MAXIMUM DEPTH OF THE SEPTIC TANK PER THE MANUFACTURER'S SPECIFICATIONS IS 3 FEET. GREATER COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
 3. ANY ELECTRICAL WORK FOR SEPTIC SYSTEM INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
 4. THE EXISTING WELL SHOWN ON THIS PLAN (IDENTIFIED WITH THE WELL TAG NUMBER HO-15-0307) HAS BEEN FIELD LOCATED BY G.L.W. (PROFESSIONAL LAND SURVEYORS) & IS ACCURATELY SHOWN ON THIS PLAN.
 5. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.

BENCHMARKS

45CA	ELEV. 426.81	N = 540,071.002	E = 1,327,702.745
40A	ELEV. 360.07	N = 541,725.800	E = 1,325,316.89



- LEGEND
- 430 --- EXISTING CONTOUR
 - - - 430 - - - PROPOSED CONTOUR
 - FTE FIRST FLOOR ELEVATION
 - TOW TOP OF FOUNDATION WALL
 - BSE BASEMENT SLAB ELEVATION
 - ⊙ EXISTING WELL LOCATION
 - ▨ SEWAGE DISPOSAL AREA
 - ▬ INITIAL SYSTEM 3' WIDE TRENCH
 - ▬ 1st REPLACEMENT SYSTEM TRENCH
 - ▬ 2nd REPLACEMENT SYSTEM TRENCH
 - ⊕ PERCOLATION TEST HOLES



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DATE	REVISION	BY	APPR.

PREPARED FOR:
CAIRN CUSTOMES HOMES
10548 GORMAN ROAD
LAUREL, MD 20723
PH: 301-490-5371
ATTN: STEVEN APPLER

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12795, EXPIRATION DATE: MAY 26, 2018
5/16/17

SITE PLAN FOR SEPTIC SYSTEM INSTALLATION
ZIMMERMAN PROPERTY
LOT 6 (12445 LIME KILN ROAD)
PLAT No. 8278
ELECTION DISTRICT No. 5
HOWARD COUNTY, MARYLAND

SCALE 1"=30'	ZONING RR-DEO	G. L. W. FILE No. 16093
DATE May 2017	TAX MAP - GRID 45 - 5	SHEET 1 OF 1