



**Building Permit Application**  
Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: DP 2017 JUL 12 AM 11:3

Permit No.: B17002675

Building Address: 14347 Burntwood Rd  
City: Glenwood State: MD Zip Code: 21738  
Suite/Apt. #: \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
Census Tract: G04002 Subdivision: Maplewood farm  
Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: Pres A  
Tax Map: 21 Parcel: 106 Grid: D  
Zoning: RB-DEO Map Coordinates: 4812-35 Lot Size 16,73

Property Owner's Name: Matthew Ambs  
Address: 421 Lonsdale Ct  
City: Upper Marlboro State: MD Zip Code: 20774  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Existing Use: Vacant Lot  
Proposed Use: New Single Family Dwelling  
Estimated Construction Cost: \$ 455,505  
Description of Work: Building SFD

Applicant's Name & Mailing Address, (if other than stated herein)  
Applicant's Name: Caruso Homes, Inc  
Address: 2120 Baldwin Ave Ste 200  
City: Crofton State: MD Zip Code: 21114  
Phone: 301-832-5429 Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Occupant/Tenant Name: \_\_\_\_\_  
Was tenant space previously occupied?  Yes  No  
Contact Name: N/A  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Contractor Company: Caruso Homes, Inc  
Contact Person: Robert Oliff  
Address: 2120 Baldwin Ave Ste 200  
City: Crofton State: MD Zip Code: 21114  
License No.: 6345  
Phone: 301-832-5429  
Email: ROliff@carusohomes.com

Engineer/Architect Company: NJR + Associates  
Responsible Design Prof.: Najib Roshan  
Address: 2770 State Route 32  
City: West Friendship State: MD Zip Code: 21794  
Phone: 240-908-3200 Fax: \_\_\_\_\_  
Email: roshannj@aol.com

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor: <u>76'</u>	<u>64'</u>
	2 <sup>nd</sup> floor: <u>42'</u>	<u>64'</u>
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input checked="" type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> Structural Steel	<u>Multi-family Dwelling</u>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
<input type="checkbox"/> Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	<u>G17000219</u>
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Robert Oliff  
Print Name: Robert Oliff  
Email Address: ROliff@carusohomes.com  
Date: 7/7/17  
Title/Company: Div Manager Caruso Homes  
"On Your Lot"

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)	<u>7/12/17</u>	<u>[Signature]</u>
PSZA (Engineering)		
Health	<u>7/12/17</u>	<u>[Signature]</u>

Is Sediment Control approval required for this project? Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	<u>75</u>
Rear:	<u>35</u>
Side:	<u>30</u>
Side St:	
All minimum setbacks met?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Lot Coverage for New Town Zone:	
SOP/Red-line approval date:	

Filing Fee	\$	<u>100.00</u>
Permit Fee	\$	
Tech Fee	\$	
Excise Tax	\$	
PSFS	\$	
Guaranty Fund	\$	<u>50.00</u>
Add'l per Fee	\$	
Total Fees	\$	
Sub- Total Paid	\$	
Balance Due	\$	
Check	#	<u>11809</u>

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHS

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 8/17/2017

To: DLIP Health! Robert Borchert  
(Person's Name and Division)

From: Georgios Hany / Bob Olitt (667) 307-4270  
(Your Name, Company Name and Telephone Number)

Subject: Project name Provisional Parcel A / Ambs  
Project site address 14247 Buxtonwoods Rd  
Permit # 1317002675 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- Letter Summarizing Changes Please Utilize The Howard  
Site Plan Den Health
- Energy conservation calculations
- Copies of Revised Site Plan (be specific).  
  - Health Department Request
  - DPZ/ DED Request
  - Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- Other \_\_\_\_\_

**Contact Person Information: (Required)**

Robert Olitt  
Please Print Name

Telephone No: 667-307-4270

E-Mail Address: RO.LIT@Cohort.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by AKH

WELL BOX REVISED  
PER HEALTH DEPT



**SCALE TABLE**

Scale	Horizontal	Vertical
1" = 100'	1" = 100'	1" = 100'
1" = 200'	1" = 200'	1" = 200'
1" = 300'	1" = 300'	1" = 300'
1" = 400'	1" = 400'	1" = 400'
1" = 500'	1" = 500'	1" = 500'

**NOTES**

1. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**COMMENTS**

Comments: P1702A 75

**PROPERTY MAP**

**DATE**

06/18/17

**LEGEND**

- 1. 1" = 100'
- 2. 1" = 200'
- 3. 1" = 300'
- 4. 1" = 400'
- 5. 1" = 500'

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**PROPERTY MAP**

Map showing the location of the site within the surrounding area, including Burnwood Road and other nearby roads.

**COMMENTS**

Comments: P1702A 75

**REVISIONS**

No.	Description	Date
1	Initial Design	06/18/17
2	Revised Design	06/18/17

**PROPERTY MAP**

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

**DATE**

06/18/17

PLAN PREPARED BY

**NJR & ASSOCIATES**

Land Surveying and Planning

2112 WOODBURN AVE. #100

ANNAPOLIS, MD 21403

TEL: 410-291-1100

FAX: 410-291-1101

**BUILDABLE PRESERVATION**

**PARCEL "A"**

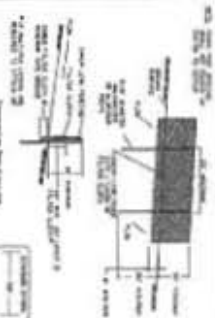
MAPLEWOOD FARMS

PLAT NUMBER 22666

4TH ELECTION DISTRICT

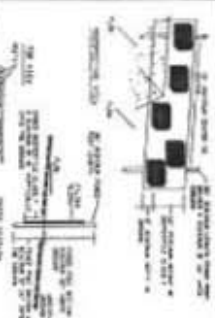
HOWARD COUNTY, MARYLAND

SECTION 11 - SLAB ON GROUND



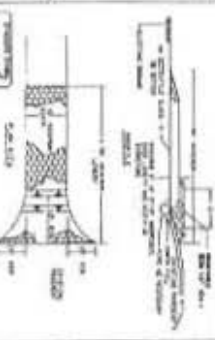
1. Slab shall be cast in place on compacted fill. The fill shall be compacted in 4-inch lifts to a minimum density of 95% of the maximum dry density as determined by the Standard Proctor Test. The fill shall be free of lumps of soil, stones, or other debris. The aggregate shall be clean, hard, and free of organic matter, and shall conform to the requirements of the Standard Specifications for Highway Construction, Section 202.01. The concrete shall be cast in place and shall be finished to a smooth surface. The reinforcement shall be placed in accordance with the plan view. The concrete shall be cured for a minimum of 7 days. The slab shall be protected from damage during construction and shall be ready for use within 28 days of casting.

SECTION 12 - WET FLOOR

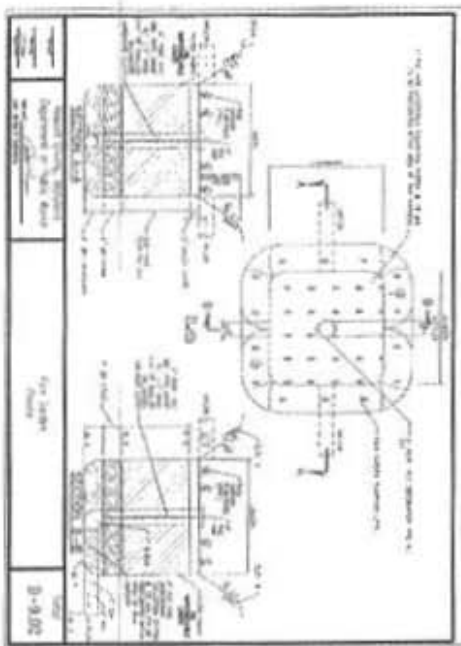


1. Slab shall be cast in place on compacted fill. The fill shall be compacted in 4-inch lifts to a minimum density of 95% of the maximum dry density as determined by the Standard Proctor Test. The fill shall be free of lumps of soil, stones, or other debris. The aggregate shall be clean, hard, and free of organic matter, and shall conform to the requirements of the Standard Specifications for Highway Construction, Section 202.01. The concrete shall be cast in place and shall be finished to a smooth surface. The reinforcement shall be placed in accordance with the plan view. The concrete shall be cured for a minimum of 7 days. The slab shall be protected from damage during construction and shall be ready for use within 28 days of casting.

SECTION 13 - STABILIZED CONSTRUCTION DISTURBANCE



1. Slab shall be cast in place on compacted fill. The fill shall be compacted in 4-inch lifts to a minimum density of 95% of the maximum dry density as determined by the Standard Proctor Test. The fill shall be free of lumps of soil, stones, or other debris. The aggregate shall be clean, hard, and free of organic matter, and shall conform to the requirements of the Standard Specifications for Highway Construction, Section 202.01. The concrete shall be cast in place and shall be finished to a smooth surface. The reinforcement shall be placed in accordance with the plan view. The concrete shall be cured for a minimum of 7 days. The slab shall be protected from damage during construction and shall be ready for use within 28 days of casting.



NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	08/18/17	JL	ML
2	REVISED PER COMMENTS	08/18/17	JL	ML

DATE: 08/18/17  
 COMMENTS: 617002675  
 WELLS BOX

REVISED

NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	08/18/17	JL	ML
2	REVISED PER COMMENTS	08/18/17	JL	ML

**BUILDABLE PRESERVATION**  
**PARCEL "A"**  
**MAPLEWOOD FARMS**  
**PLAT NUMBER 22666**  
**4TH ELECTION DISTRICT**  
**HOWARD COUNTY, MARYLAND**

PLANNED BY:  
**NJR & ASSOCIATES**  
 Lead Surveying and Planning  
 3000 FLEMING BLVD. #100  
 ANNAPOLIS, MD 21403

DATE: 08/18/17  
 DRAWN BY: JL  
 CHECKED BY: ML

SCALE: AS SHOWN

PROJECT: WELLS BOX

DATE: 08/18/17

SCALE: AS SHOWN



## Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

[www.hchealth.org](http://www.hchealth.org)

Facebook: [www.facebook.com/hocohealth](https://www.facebook.com/hocohealth)

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

### MEMORANDUM

TO: *Robert Oliff, Caruso Homes, Inc.*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*  
Well & Septic Program

RE: *14347 Burntwoods Road, Potential Basement Bedroom*

DATE: August 4, 2017

I have reviewed the floor plans in support of Building Permit **B17002675** for a new home at **14347 Burntwoods Road** (Maplewood Farms Buildable Preservation Parcel 'A') and noted that there is a rough-in for a full bathroom in the unfinished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the basement to finished living space. As Buildable Preservation Parcel 'A' is connected to the shared sewage system and has a **four-** bedroom limitation, any future building permit for converting all or a portion of the basement into finished living space may be denied by the Health Department if the resulting total number of proposed bedrooms in the dwelling is above four.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned are of a dwelling unit or accessory structure that:
  - (i) Is 90 square feet or greater in size;
  - (ii) May be used as a private sleeping area; and
  - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
  - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
  - (ii) A minimum 4 foot-wide opening, without doors, into another room;
  - (iii) A half wall (4 foot maximum height) between the room and another room; or
  - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 8/17/2017

To: DLIP Health! Robert Borchert  
(Person's Name and Division)

From: Georgios Hany / Bob Olitt (667) 307-4270  
(Your Name, Company Name and Telephone Number)

Subject: Project name Provisional Parcel A / Ambs  
Project site address 14247 Buxtonwoods Rd  
Permit # 1317002675 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- Letter Summarizing Changes Please Utilize The Howard  
Site Plan Den Health
- Energy conservation calculations
- Copies of Revised Site Plan (be specific).  
  - Health Department Request
  - DPZ/ DED Request
  - Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- Other \_\_\_\_\_

**Contact Person Information: (Required)**

Robert Olitt  
Please Print Name

Telephone No: 667-307-4270

E-Mail Address: ROLIT@comcast.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

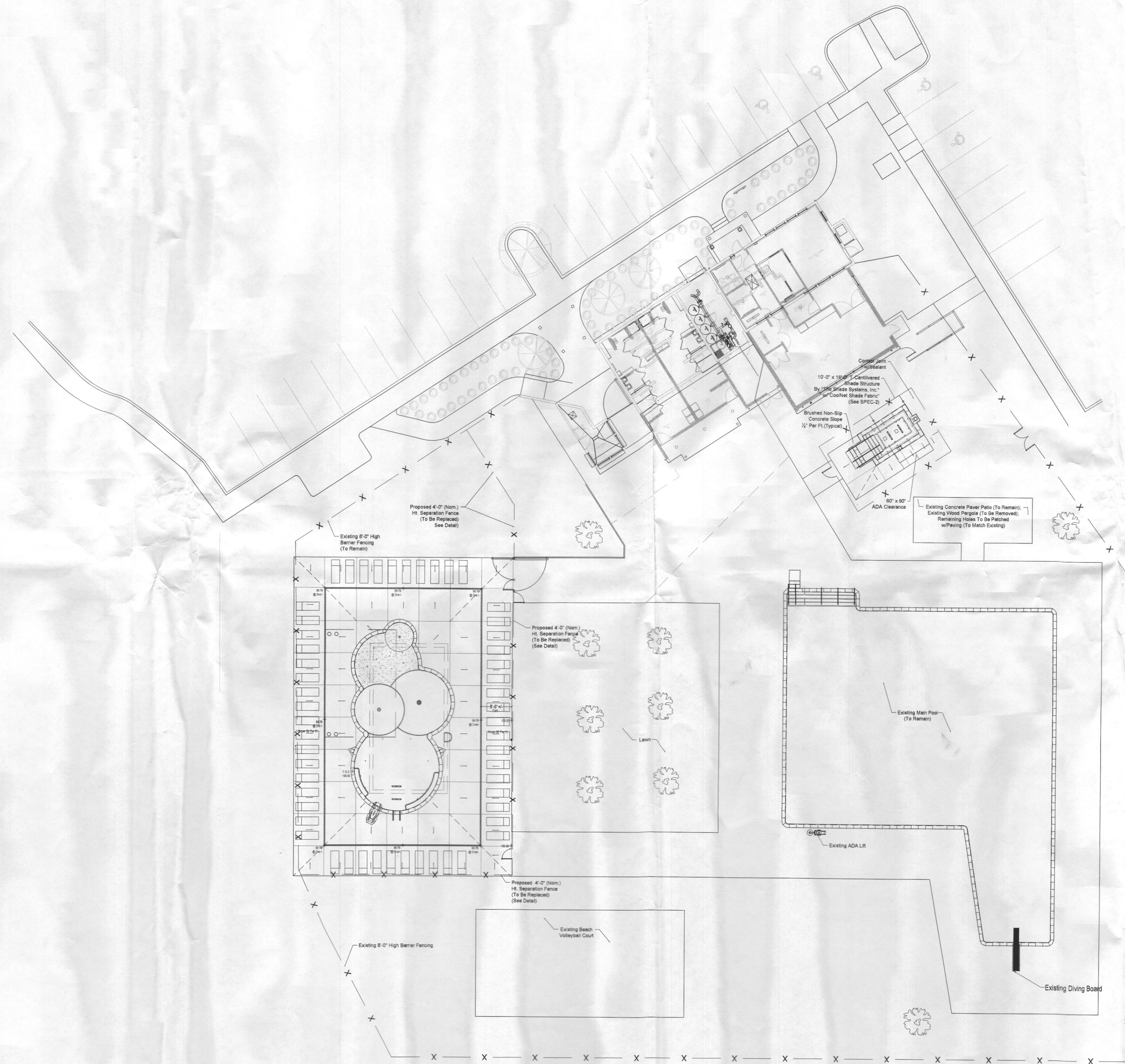
Received by AKH

WELL BOX REVISED  
PER HEALTH DEPT





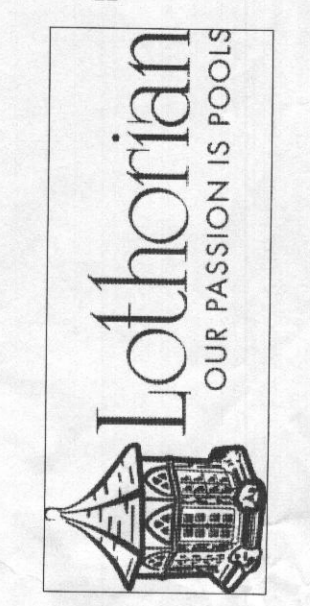
30-ft setback  
to Garage  
& Porch  
10-ft to driveway  
50-ft to M-7  
M-7 must be lined  
50-ft to M-7  
Discharge point



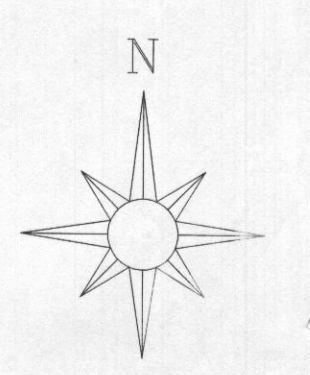
RECEIVED  
MAY 16 2014  
LICENSES & PERMITS  
DIVISION

REV #	DATE	DESCRIPTION
1	11-08-13	Design
2	01-13-14	Revised Per 01-09-14 Architect's Comments
3	02-07-14	Spa Skimmer Layout & Slide Specification
4	02-12-14	Submission Drawings
5	05-01-14	Permit Set

13536 Jarrettsville Pike  
Phoenix, Maryland 21131  
Phone 410.667.2123  
Fax 410.666.0653  
www.lothorian.com



PROJECT  
WADING POOL & SPA ADDITION  
DORSEY SEARCH  
4649 COLUMBIA ROAD  
ELLCOTT CITY, MARYLAND 21042



These drawings, as instruments of service, are the property of Lothorian Pool Service, are not to be copied in any fashion without appropriate consent.

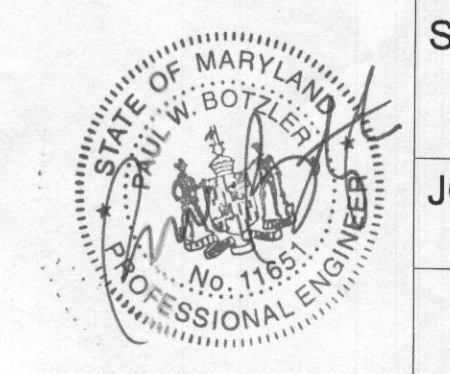
DATE:  
11-08-13

SCALE:  
1/4" = 10"

JOB NO.

SHEET NO.

**S-0**  
Callout Plan



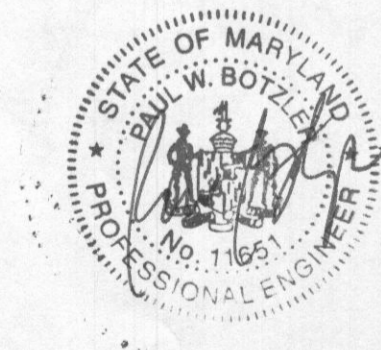


REV #	DATE	DESCRIPTION
1	11-08-13	Design
2	01-13-14	Revised Per 01-09-14 Architect's Comments
3	02-07-14	Spa Skinner Layout & Slide Specification
4	02-12-14	Submission Drawings
5	05-01-14	Permit Set

13536 Jarrettsville Pike  
 Phoenix, Maryland 21131  
 Phone 410.667.2123  
 Fax 410.666.0653  
 www.lothorian.com



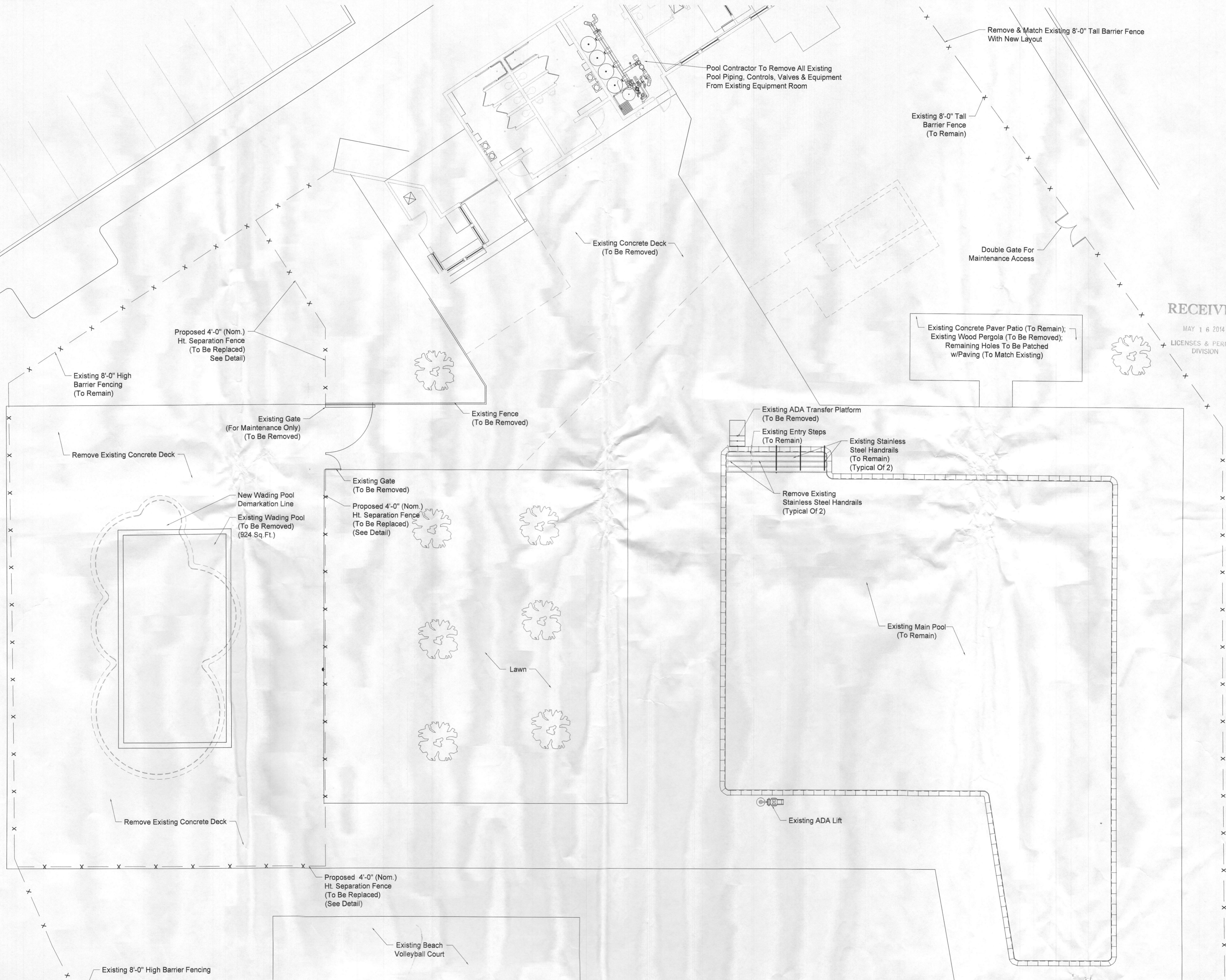
PROJECT  
**WADING POOL & SPA ADDITION**  
 DORSEY SEARCH  
 4649 COLUMBIA ROAD  
 ELLICOTT CITY, MARYLAND 21042



These drawings, as instruments of service, are the property of Lothorian Pool Service, are not to be copied in any fashion without appropriate consent.

DATE: 11/08/13  
 SCALE: 1/8" = 1'-0"  
 JOB NO.  
 SHEET NO. **S-2**  
 Existing Conditions

**RECEIVED**  
 MAY 16 2014  
 LICENSES & PERMITS DIVISION



REV #	DATE	DESCRIPTION
1	11-08-13	Design
2	01-13-14	Revised Per 01-09-14 Architect's Comments
3	02-07-14	Spa Skimmer Layout & Slide Specification
4	02-12-14	Submission Drawings
5	05-01-14	Permit Set

**RECEIVED**  
MAY 16 2014  
LICENSES & PERMITS  
DIVISION

13536 Jarrettsville Pike  
Phoenix, Maryland 21131  
Phone 410.667.2123  
Fax 410.666.0653  
www.lothorian.com



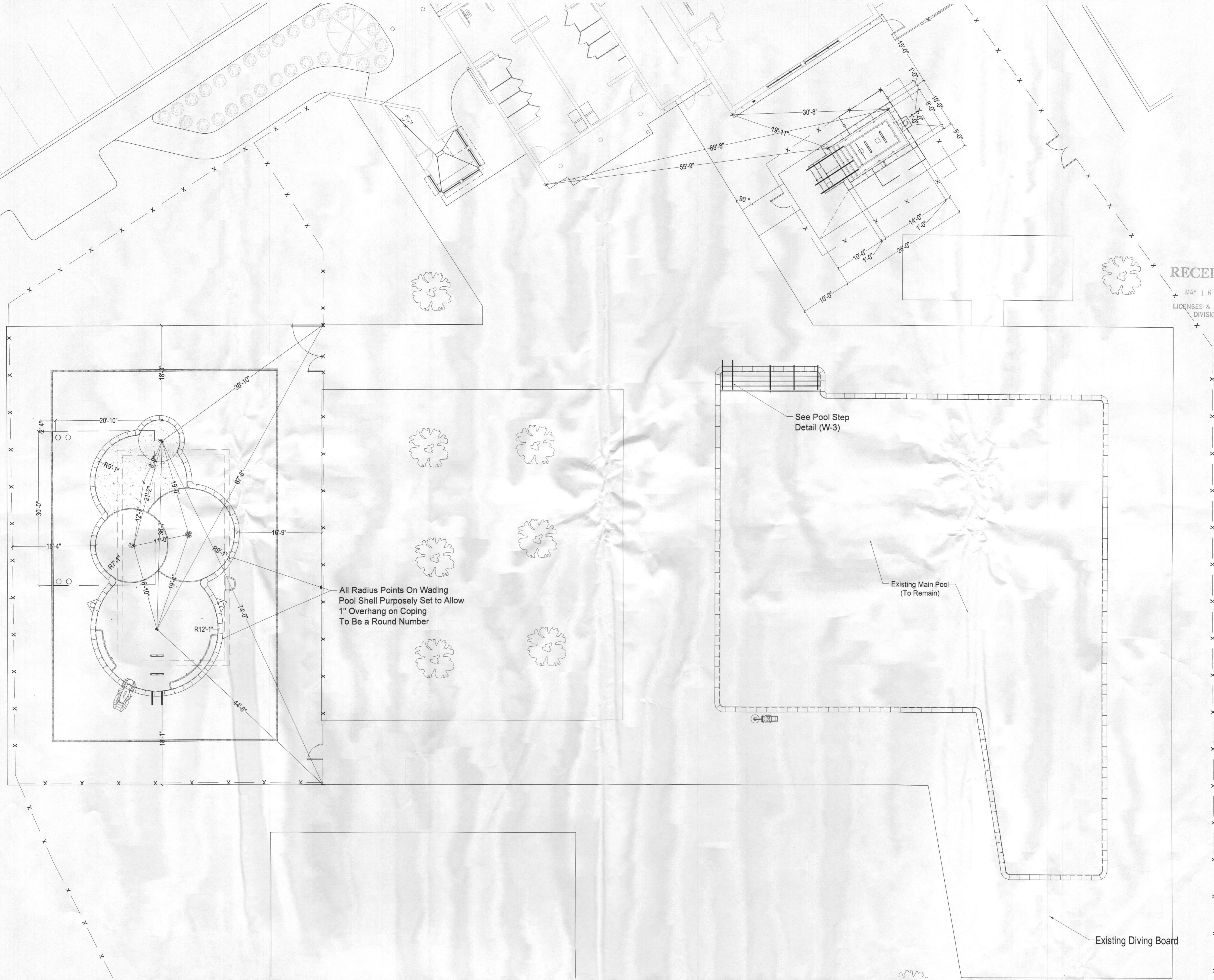
PROJECT  
**WADING POOL & SPA ADDITION**  
DORSEY SEARCH  
4649 COLUMBIA ROAD  
ELLCOTT CITY, MARYLAND 21042



These drawings, as instruments of service, are the property of Lothorian Pool Service, are not to be copied in any fashion without appropriate consent.

DATE:  
11/08/13  
SCALE:  
1/8" = 1'-0"  
JOB NO.

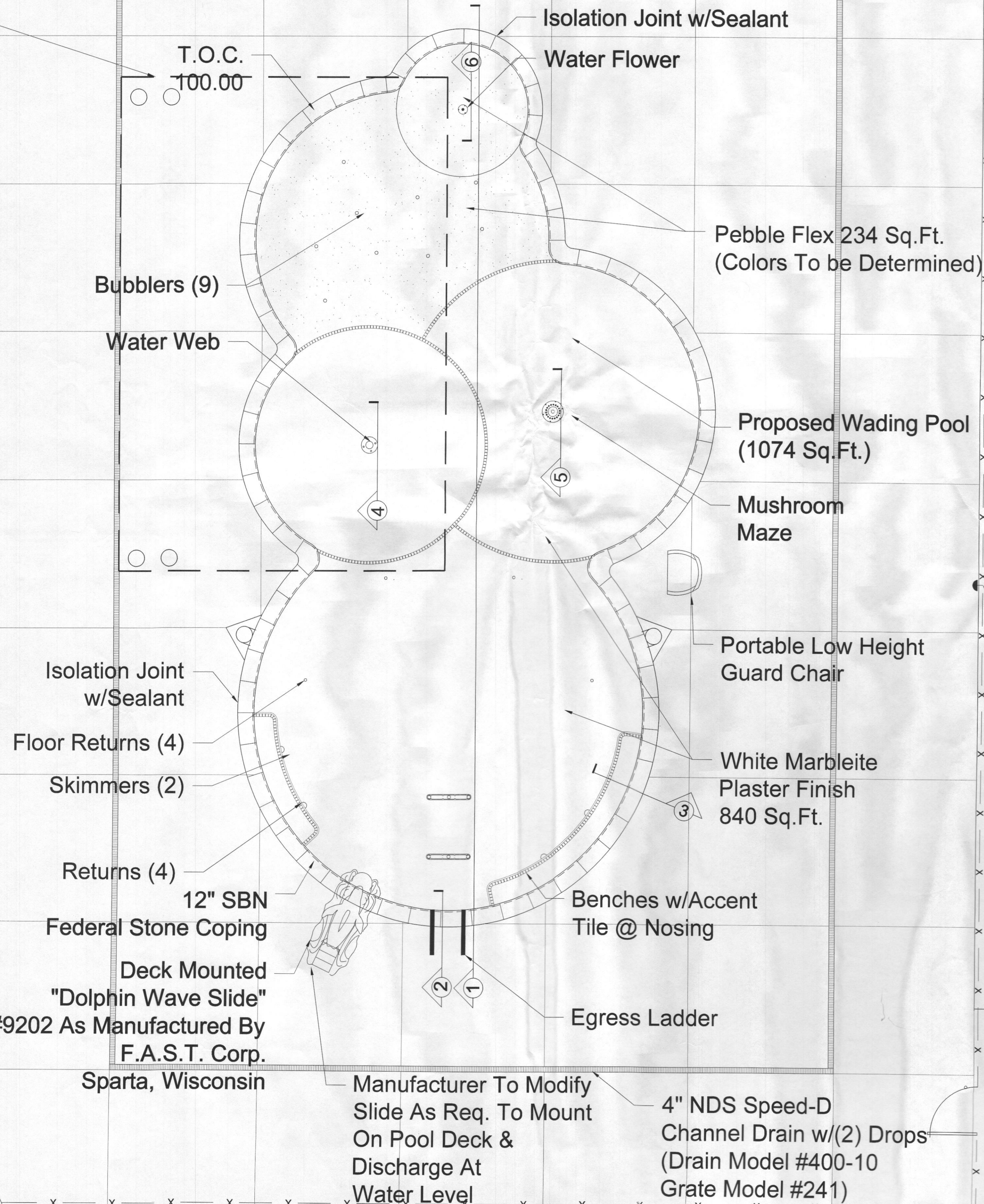
SHEET NO.  
**S-3**  
Layout



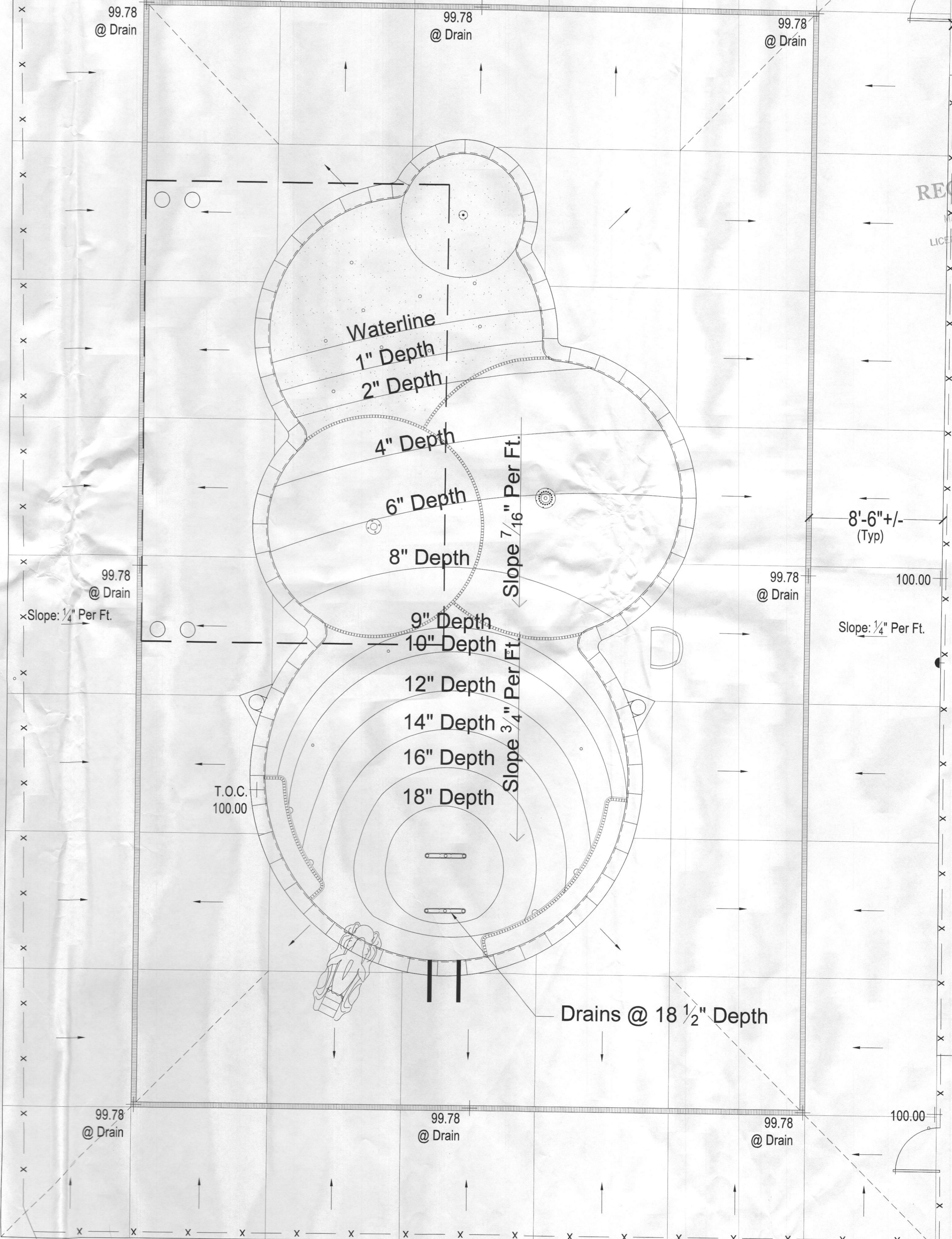
(To Remain)

Callout Plan  
Scale: 1/4" = 1'-0"

Brushed Concrete Deck;  
Slope Drains  
1/4" Per Ft. (See W-1)  
(4333 Sq.Ft.)



Drainage  
Scale: 1/4" = 1'-0"



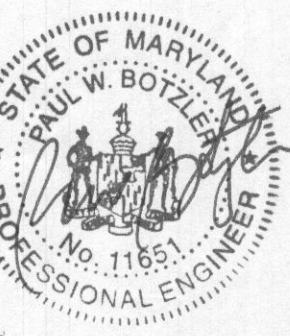
REV #	DATE	DESCRIPTION
1	11-08-13	Design
2	01-13-14	Revised Per 01-09-14 Architect's Comments
3	02-07-14	Spa Skimmer Layout & Slide Specification
4	02-12-14	Submission Drawings
5	05-01-14	Permit Set

RECEIVED  
MAY 16 2014  
LICENSES & PERMITS  
DIVISION

13536 Jarrettsville Pike  
Phoenix, Maryland 21131  
Phone 410.667.2123  
Fax 410.666.0653  
www.lothorian.com



PROJECT  
WADING POOL & SPA ADDITION  
DORSEY SEARCH  
4649 COLUMBIA ROAD  
ELLICOTT CITY, MARYLAND 21042



These drawings, as instruments of service, are the property of Lothorian Pool Service, are not to be copied in any fashion without appropriate consent.

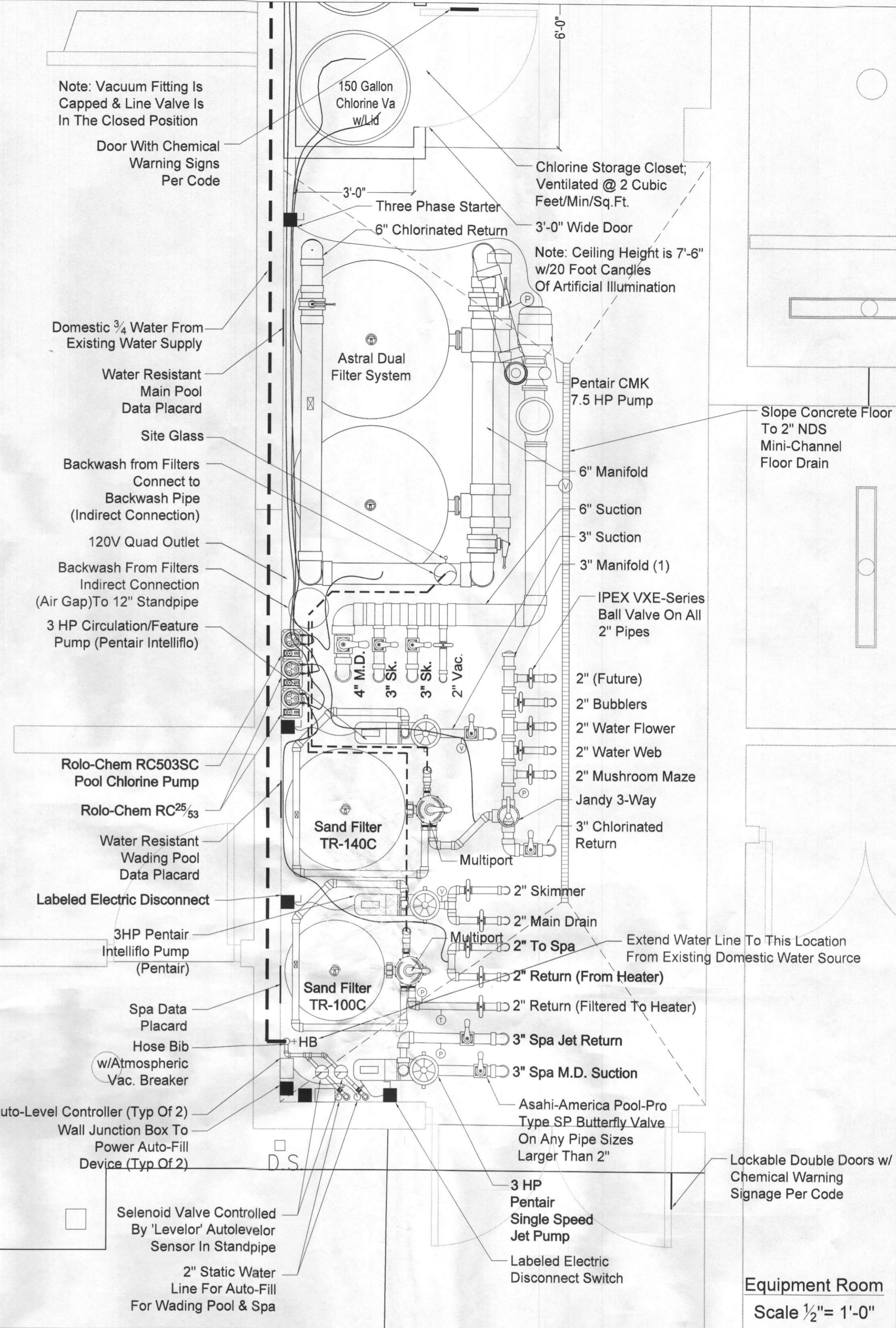
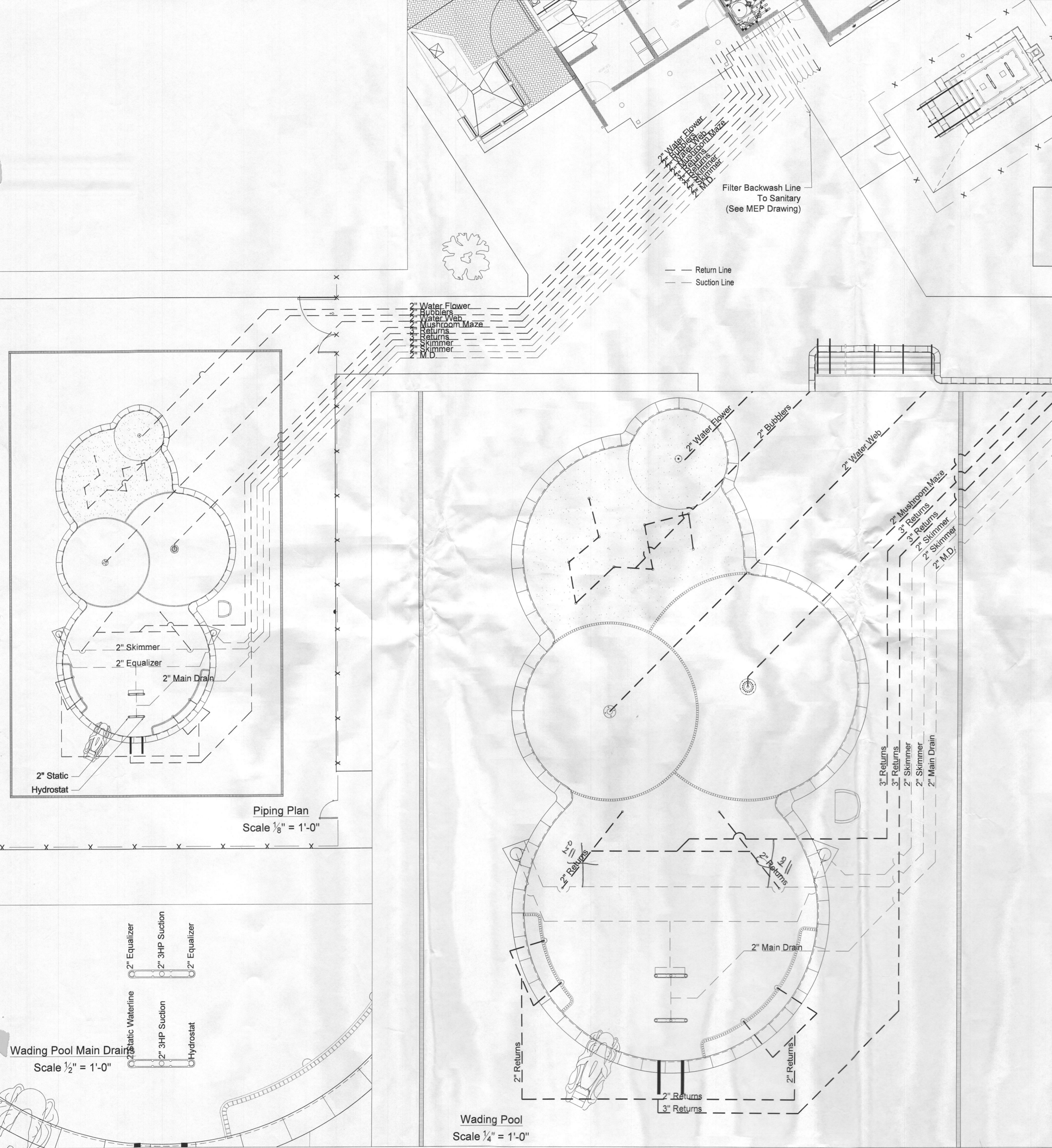
DATE:  
11/08/13

SCALE:  
1/4" = 1'0"

JOB NO.

SHEET NO.

**W-1**  
Drainage



**WADING POOL EQUIPMENT LIST**

FILTER	1	PUREX-TRITON TR-140 Hi-Rate Sand Filter
MULTIPORT	1	PENTAIR 2" MPV #261055
MEDIA	13	SAND
CIRCULATION & FEATURES	1	PENTAIR 3HP INTELLIFLO (HIGH SPEED)
FLOW METER	1	BLUEWHITE F-30200P
CHLORINE PUMP	1	ROLA-CHEM RC25 <sub>33</sub> SC
CHLORINE STORAGE	1	150 GALLON VAT WITH LID

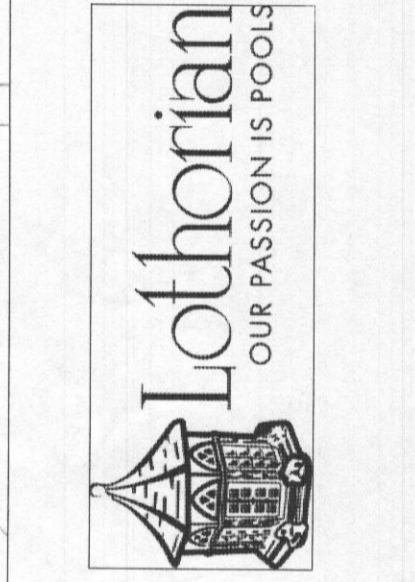
**WADING POOL DATA \***

POOL DIMENSION	28'-0" x 53'-0" (IRREGULAR)
POOL PERIMETER	141'-0" LINEAR FEET
TOTAL SURFACE AREA	1,074'-0" SQUARE FEET
WATER SURFACE AREA	900 SQUARE FEET
WATER VOLUME	4,684 GALLONS
DEPTH	0 - 1'-6 1/2"
FILTER CAPACITY	100 GPM
FLOW RATE (MIN.)	39 GPM (2 HOUR TURNOVER)
DESIGN FLOW RATE	78 GPM (1 HOUR TURNOVER)
MAX FLOW W/FEATURES	100 GPM
BATHER LOAD	90 PERSONS

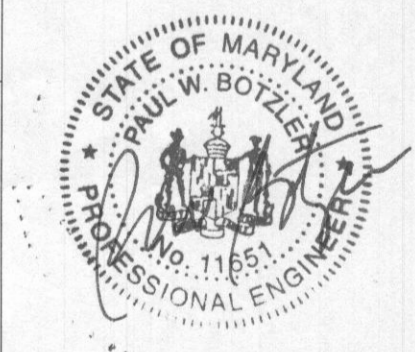
**REVISIONS**

REV #	DATE	DESCRIPTION
1	11-08-13	Design
2	01-13-14	Revised Per 01-09-14 Architect's Comments
3	02-07-14	Spa Skimmer Layout & Slide Specification
4	02-12-14	Submission Drawings
5	05-01-14	Permit Set

13536 Jarrettsville Pike  
Phoenix, Maryland 21131  
Phone 410.667.2123  
Fax 410.666.0653  
www.lothorian.com

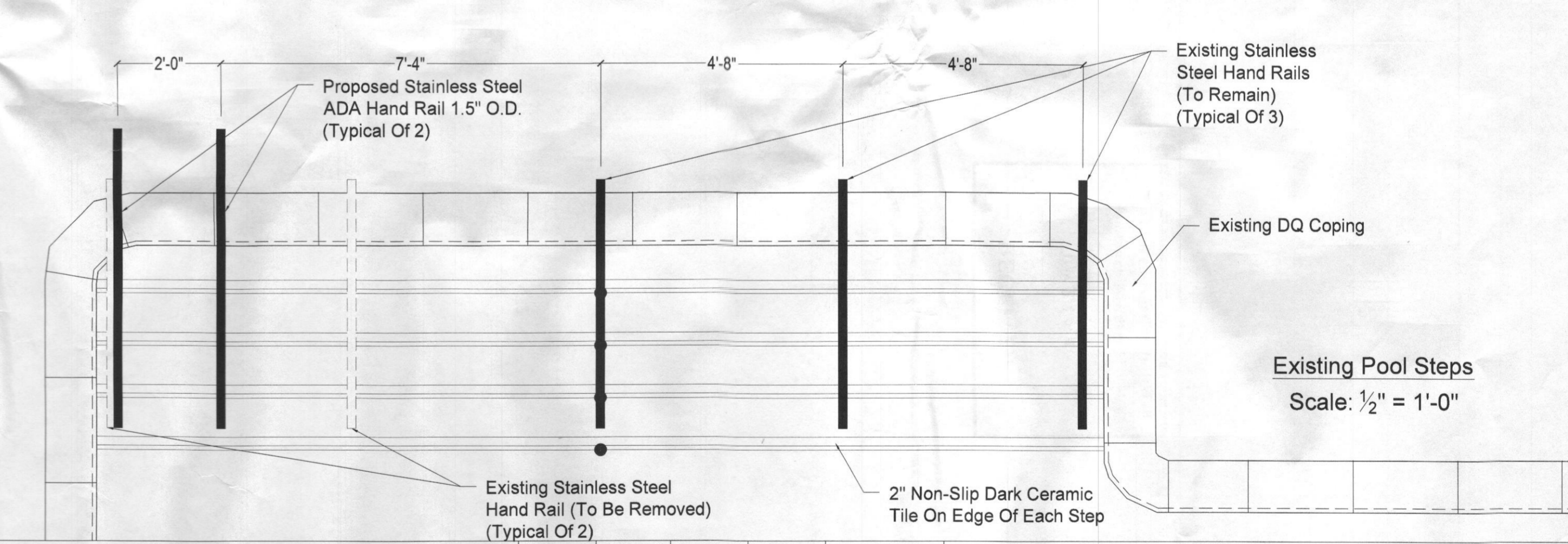
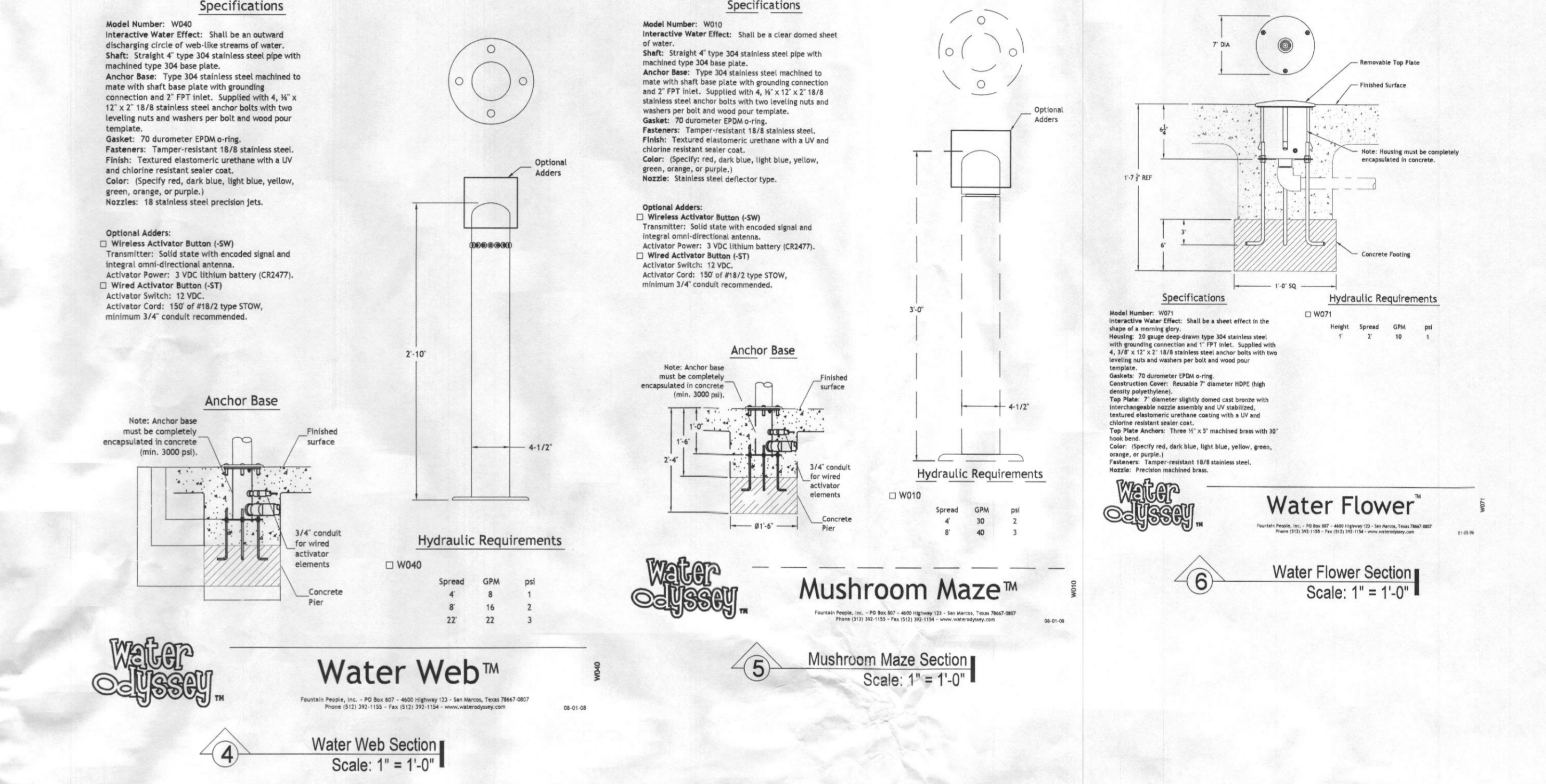
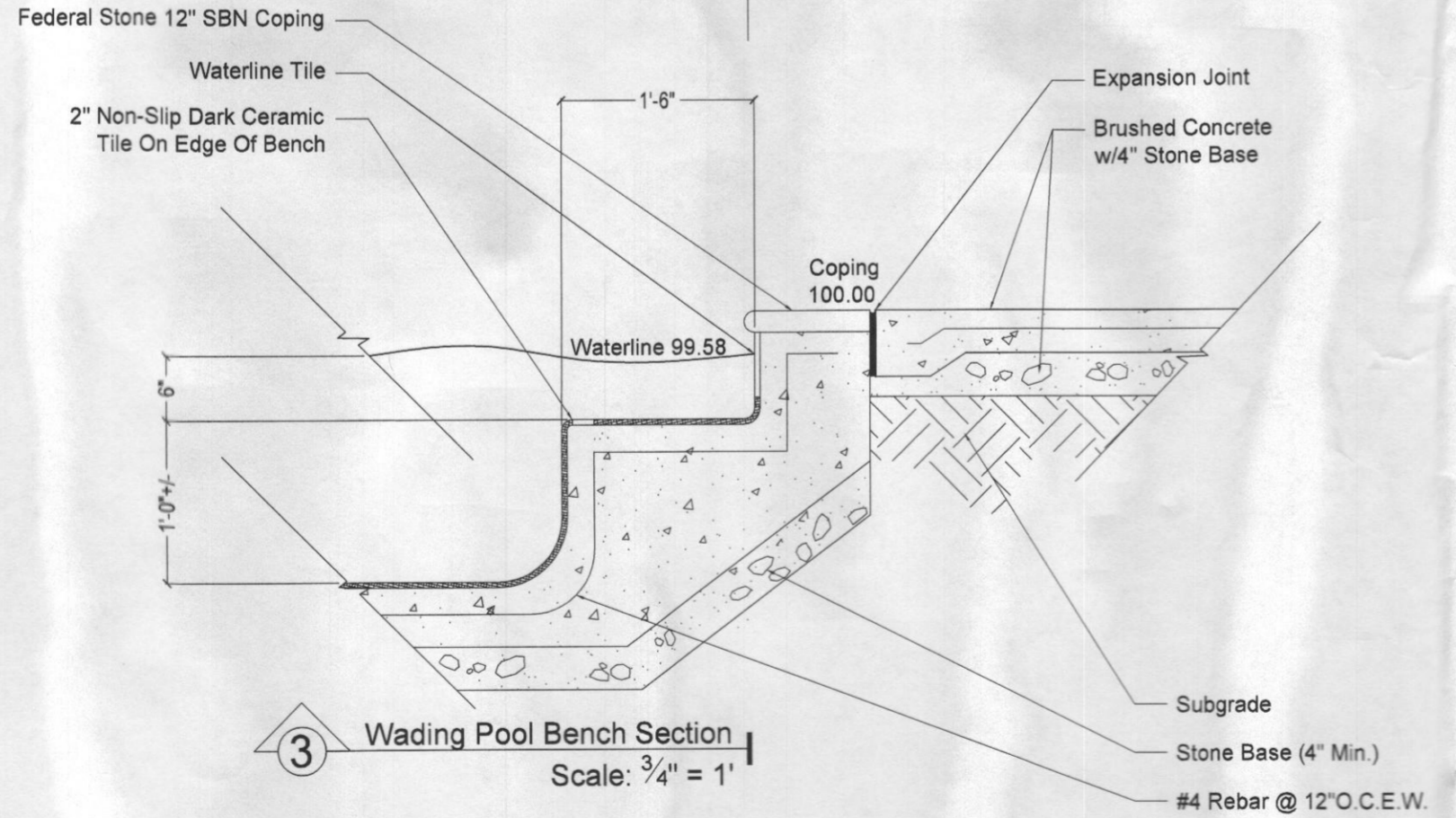
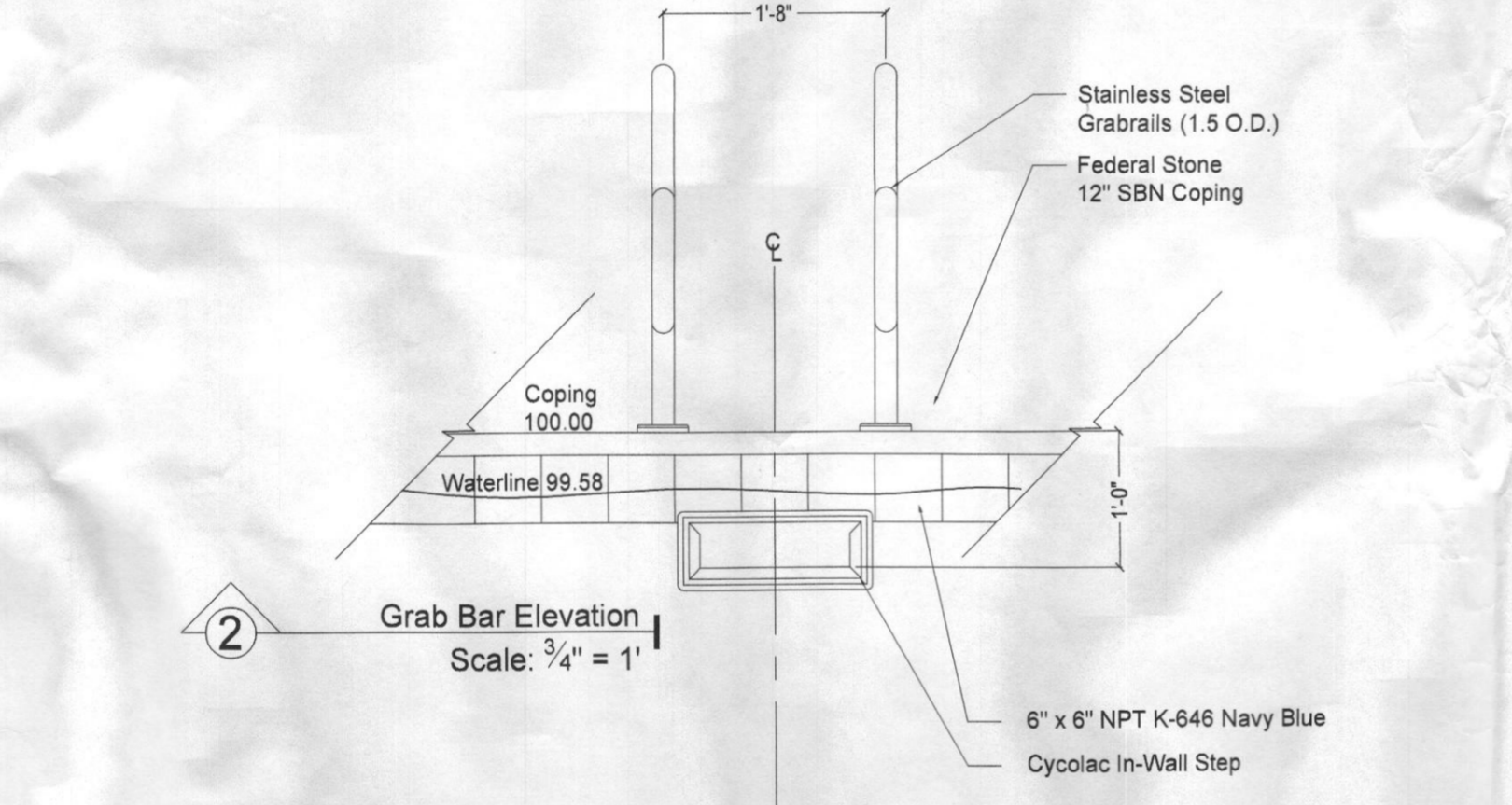
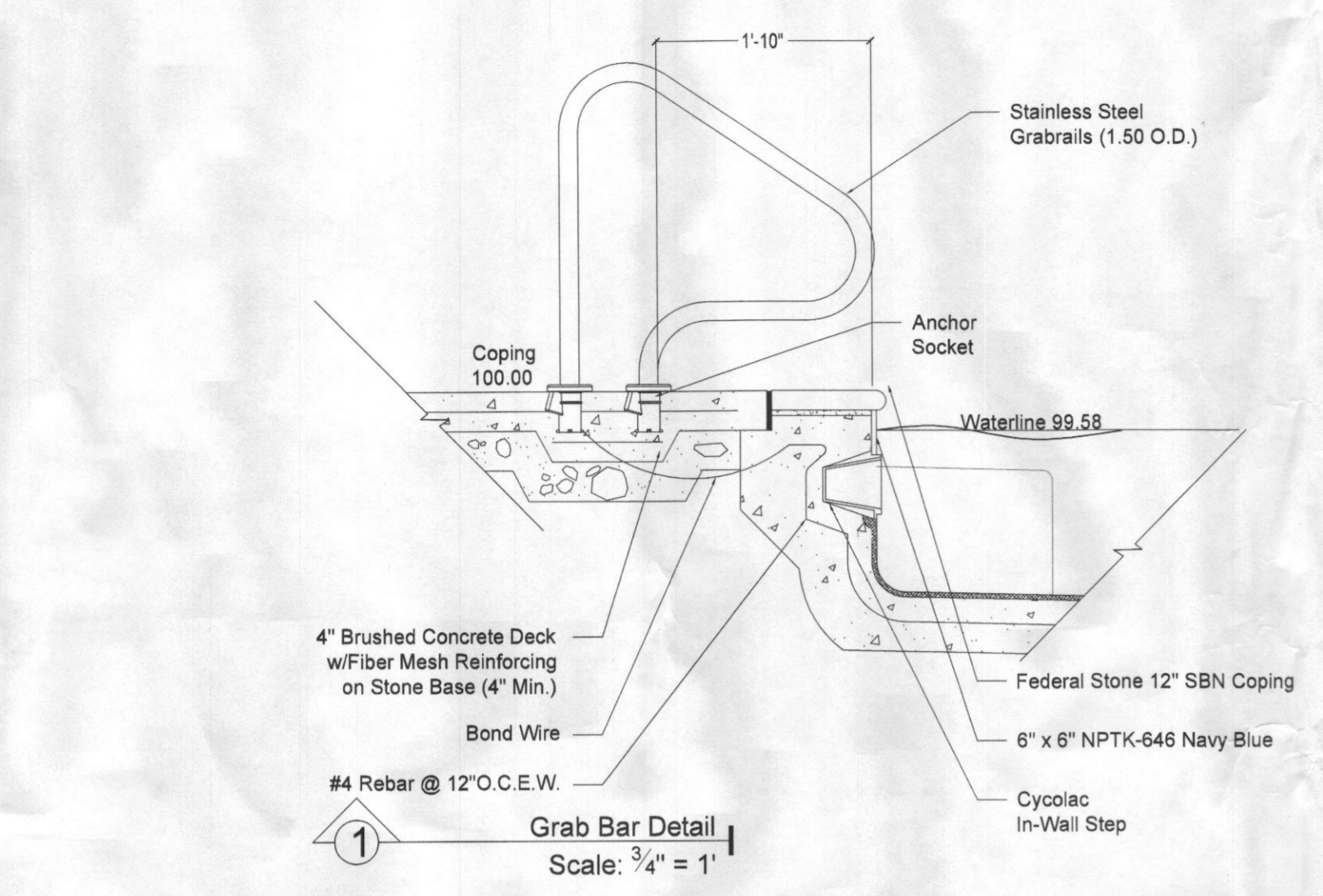
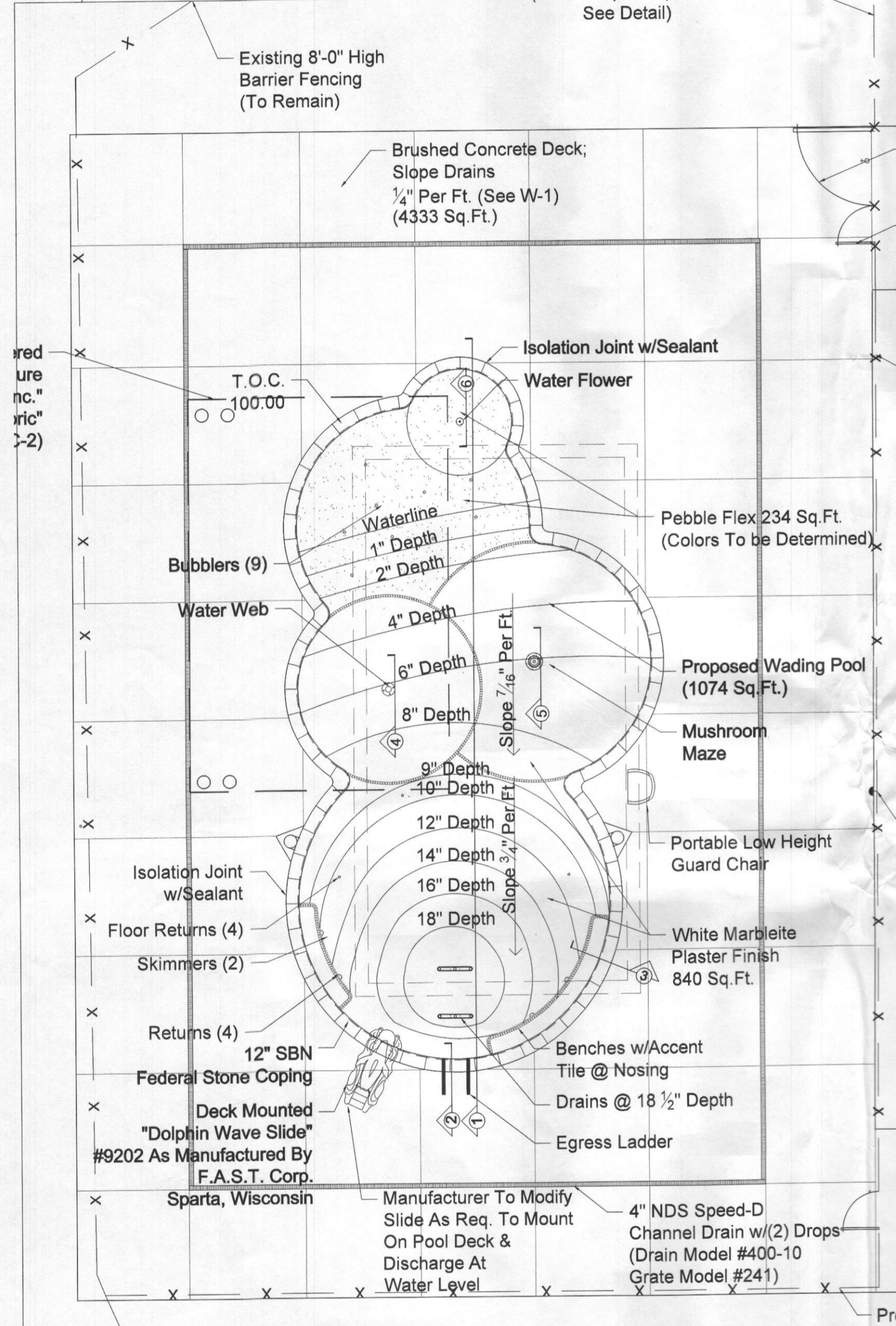
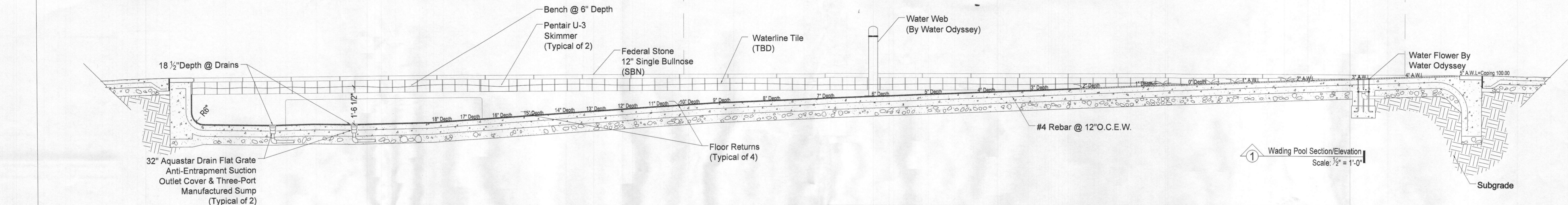


**PROJECT**  
WADING POOL & SPA ADDITION  
DORSEY SEARCH  
4649 COLUMBIA ROAD  
ELLCOTT CITY, MARYLAND 21042



These drawings, as instruments of service, are the property of Lothorian Pool Service, are not to be copied in any fashion without appropriate consent.

DATE: 11/08/13  
SCALE: As Shown  
JOB NO.  
SHEET NO. **W-2**  
Piping



**Dolphin Wave Slide**  
Approximate Weight 225 lbs.

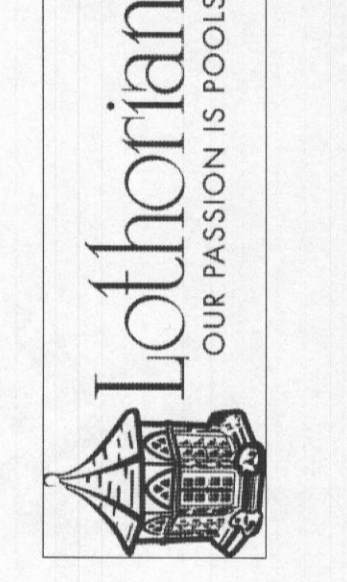
**Features**

- All fiberglass construction
- Curved rounded edges
- Non-slip surfaces on steps
- Grounded stainless steel handrails
- Hollow body
- Designed for wet or dry application
- Easy PVC water hookup inside
- Water sprays on slide
- Permanent mounting points for easy installation
- Any color and paint scheme available

**F.A.S.T.**  
Fiberglass Accessories  
Sparta, WI 54986  
Phone: 888.289.7110 Fax: 888.263.7614  
info@fastcorp.com www.fastcorp.com

REV#	DATE	DESCRIPTION
1	11-08-13	Design
2	01-13-14	Revised Per 01-09-14 Architect's Comments
3	02-07-14	Spa Skimmer Layout & Slide Specification
4	02-12-14	Submission Drawings
5	05-01-14	Permit Set

13536 Jarrettsville Pike  
Phoenix, Maryland 21131  
Phone 410.667.2123  
Fax 410.666.0653  
www.lothorian.com



**PROJECT**  
WADING POOL & SPA ADDITION  
DORSEY SEARCH  
4649 COLUMBIA ROAD  
ELLCOTT CITY, MARYLAND 21042



**RECEIVED**  
MAY 16 2014  
LICENSES & PERMITS  
DIVISION

These drawings, as instruments of service, are the property of Lothorian Pool Service, are not to be copied in any fashion without appropriate consent.

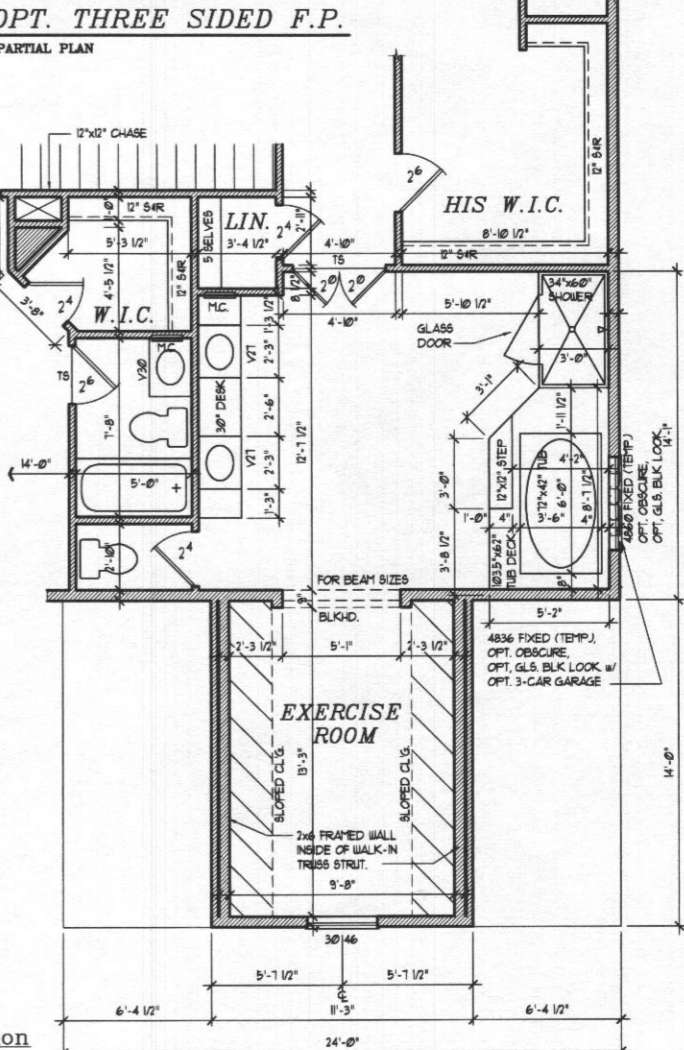
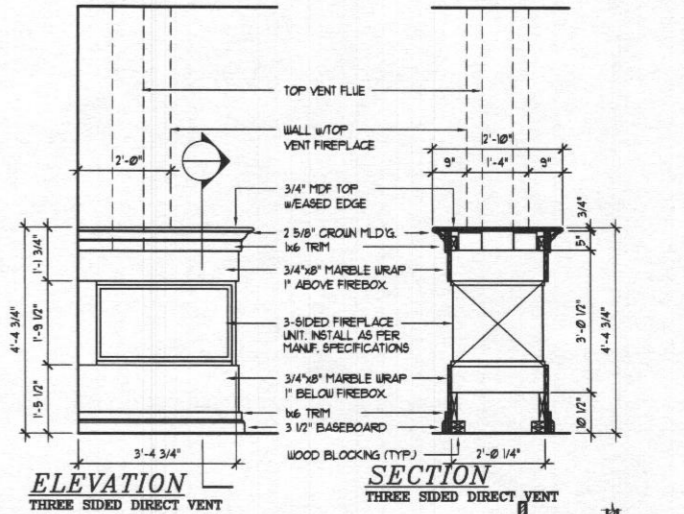
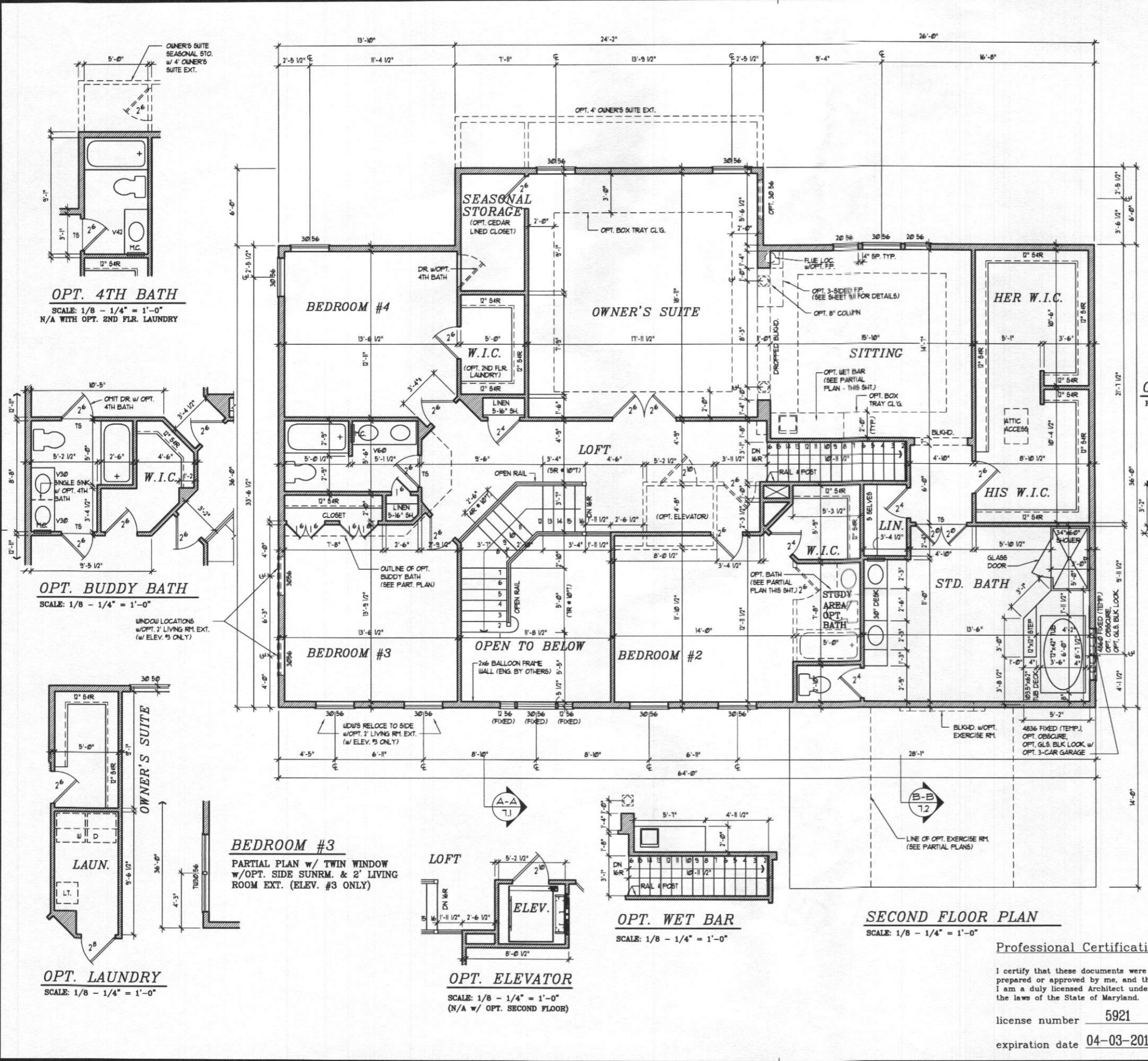
**DATE:**  
11/08/13

**SCALE:**  
As Shown

**JOB NO.**

**SHEET NO.**  
**W-3**  
Details





**SECOND FLOOR PLAN**  
SCALE: 1/8" - 1/4" = 1'-0"

Professional Certification

I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland.

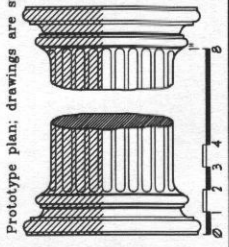
license number 5921  
expiration date 04-03-2018

Architecture Collaborative, Inc.  
8320 Main Street, Suite 2, Ellicott City, MD 21043  
www.archcol.com  
Tel.: (410) 465-7500  
Fax: (410) 465-0903

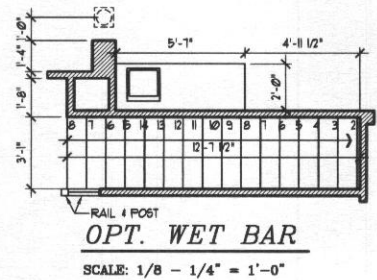
SECOND FLOOR PLAN  
content  
scale 1/8" - 1/4"  
FILE# C4342200 drwn. jdl date 08/02/02  
**CARUSO HOMES**  
"MONTICELLO"  
title

revisions	REV. PER TRADE REVIEW CHMITS. - JL
08-29-15	CHANGE TO 3056 FOR 9' STD 2ND FLR
09-22-15	WIDEN EXERCISE RM. IN TRUSS
11-09-15	REV. PER TRADE REVIEW CHMITS. - ACJ

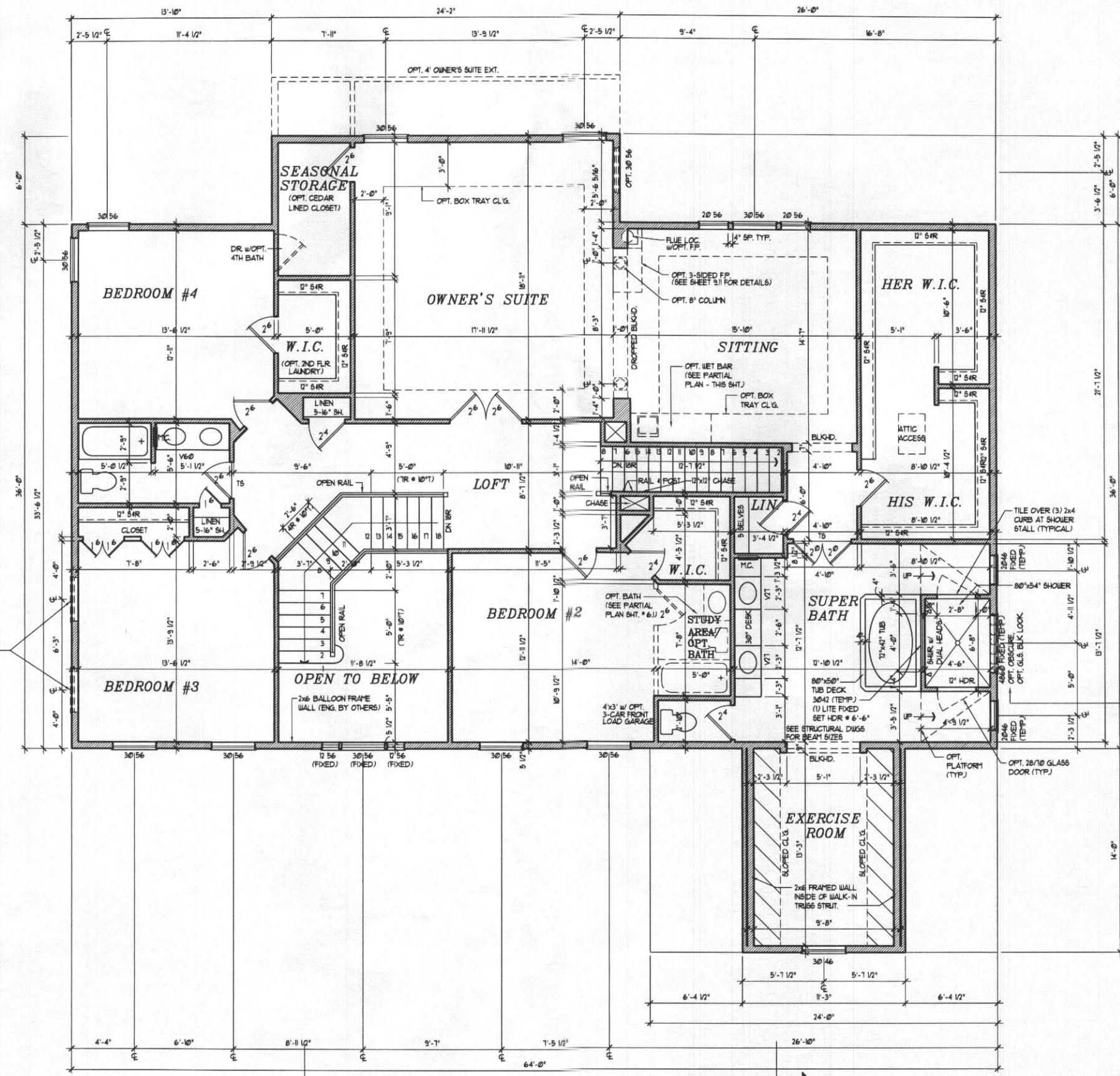
SHEET #  
**6.1**



Prototype plan; drawings are subject to change. Architecture Collaborative, Inc. expressly reserves its copyright and other property rights in these plans and drawings. These plans and drawings are not to be reproduced in any form or manner.



3056 WINDOW LOCATION  
w/ OPT. 2' LIVING RM. EXT.  
(w/ ELEV. 5 ONLY)



4836 FIXED (TEMP.),  
OPT. OBSCURE,  
OPT. GLS. BLK. LOCK w/  
OPT. 3-CAR GARAGE

**SECOND FLOOR PLAN W/ OPT. 10' CL'G. @ 1ST FLOOR  
& OPT. SUPERBATH & OPT. EXERCISE ROOM**  
SCALE: 1/8" - 1/4" = 1'-0"  
NOTE: NOT AVAILABLE WITH OPT. ELEVATOR

**Professional Certification**

I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland.

license number 5921

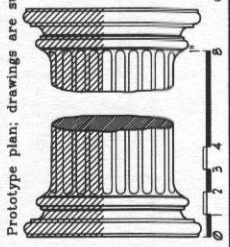
expiration date 04-03-2018

**Architecture Collaborative, Inc.**  
8920 Main Street, Suite 2, Ellicott City, MD 21043  
www.archcool.com  
Tel.: (410) 465-7500 Fax: (410) 465-0903

content  
**SECOND FLOOR PLAN W/ OPT. 10' 1ST FLR.**  
scale 1/8" - 1/4"  
FILE# CA349240 (drwn. 3)  
date 6-28-06  
**CARUSO HOMES**  
"MONTICELLO"  
title

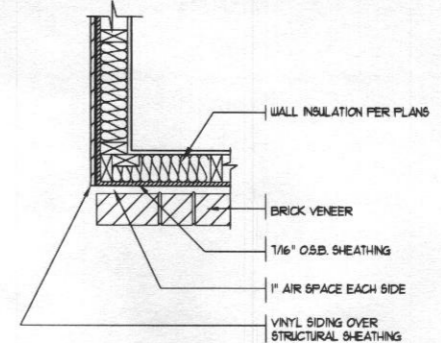
revisions	REV. MASTER BATH WDW.
08-22-14	REV. PER TRADE REVIEW CHMIS. - JL
08-29-15	CHANGE TO 3056 FOR STD. 9" 2ND FLR
11-03-15	WIDEN EXERCISE ROOM IN TRUSS
03-15-16	REV. PER TRADE REVIEW CHMIS. - ACI

SHEET #  
**6.2**



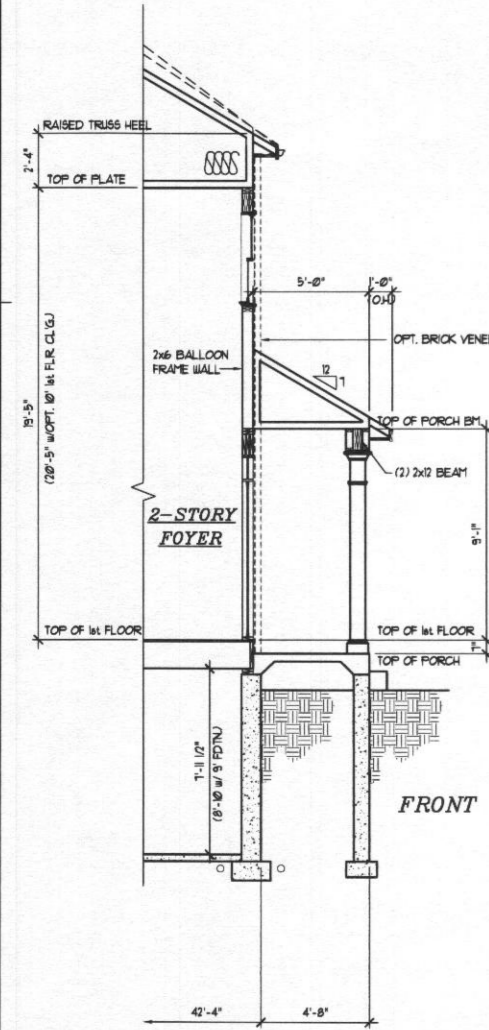
Prototype plan; drawings are subject to change. Architecture Collaborative, Inc. expressly reserves its copyright and other property rights in these plans and drawings. These plans and drawings are not to be reproduced in any form or manner.

NOTE: R-19 INSULATION ALLOWED WITH UPGRADED WINDOW INSULATION AND 2015 IECC UA COMPLIANCE CHECK

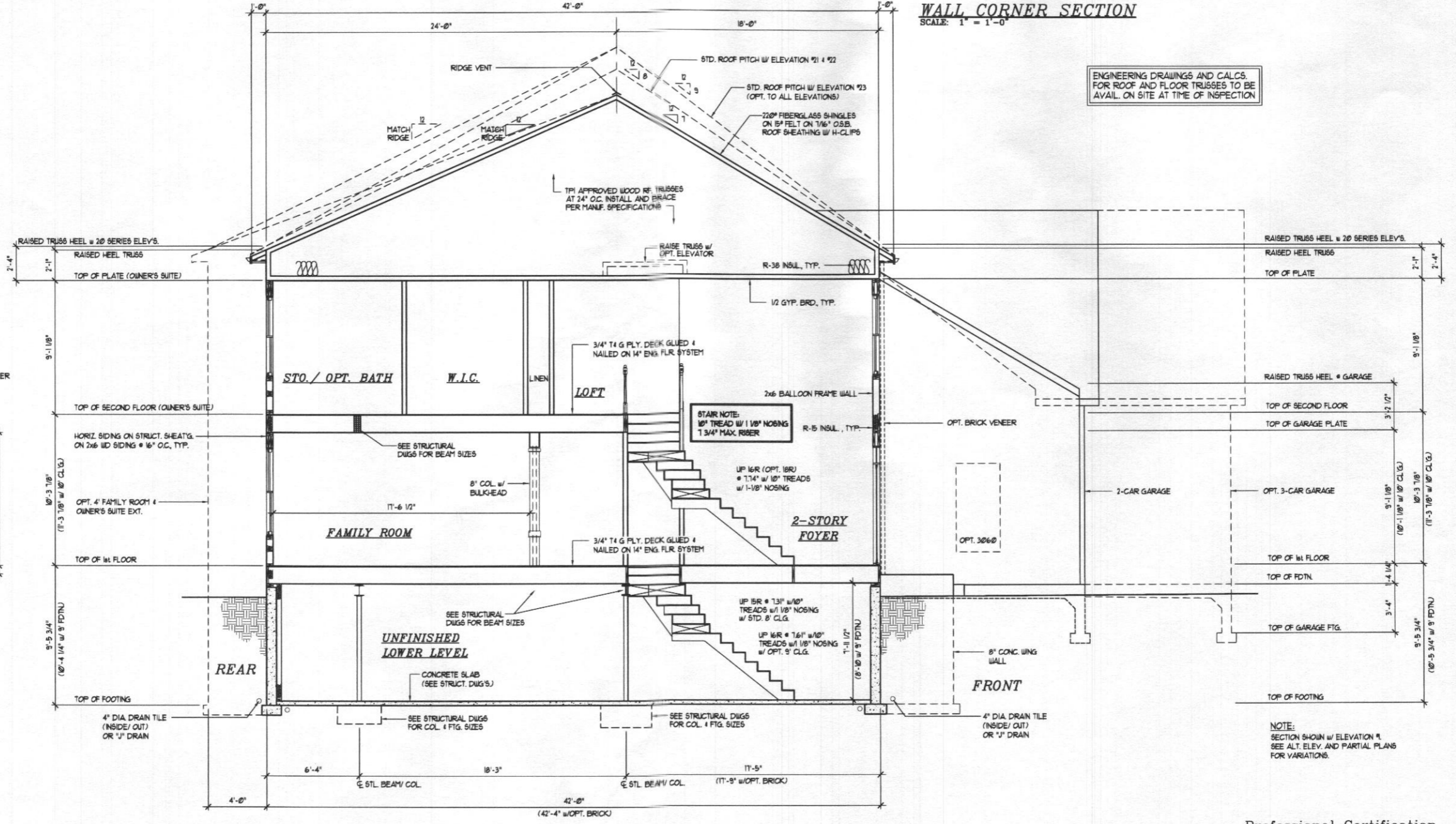


**WALL CORNER SECTION**  
SCALE: 1" = 1'-0"

ENGINEERING DRAWINGS AND CALCS. FOR ROOF AND FLOOR TRUSSES TO BE AVAILABLE ON SITE AT TIME OF INSPECTION



**PARTIAL SECTION 'A-A' w/ ELEVATION #23**  
SCALE (17x11): 1/8" = 1'-0"  
SCALE (34x22): 1/4" = 1'-0"



**BUILDING SECTION "A-A"**  
SCALE: 1/8"-1/4" = 1'-0"

Architecture Collaborative, Inc. expressly reserves its copyright and other property rights in these plans and drawings. These plans and drawings are not to be reproduced in any form or manner.

**Architecture Collaborative, Inc.**  
8320 Main Street, Suite 2, Ellicott City, MD 21043  
www.archcol.com  
Tel.: (410) 465-7500 Fax: (410) 465-0903

**BUILDING SECTION "A-A"**  
content  
FILE# CA345A00 drwn. J.L. date 09-16-02  
scale 1/8"-1/4"  
**CARUSO HOMES**  
"MONTICELLO"  
title

revisions	REV. PER TRADE REVIEW COMMENTS - J.L.
08-29-15	REV. PER TRADE REVIEW COMMENTS - J.L.
09-11-15	REMOVE STEP DN. # FR.
09-22-15	CHANGE TO STD. 9" 2ND FLR.
11-09-15	ADD PORCH SECTION FOR ELEV #23
09-18-16	PG COUNTY PEER REVIEW - 1

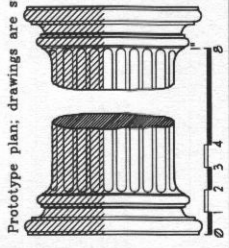
SHEET #  
**7.1**

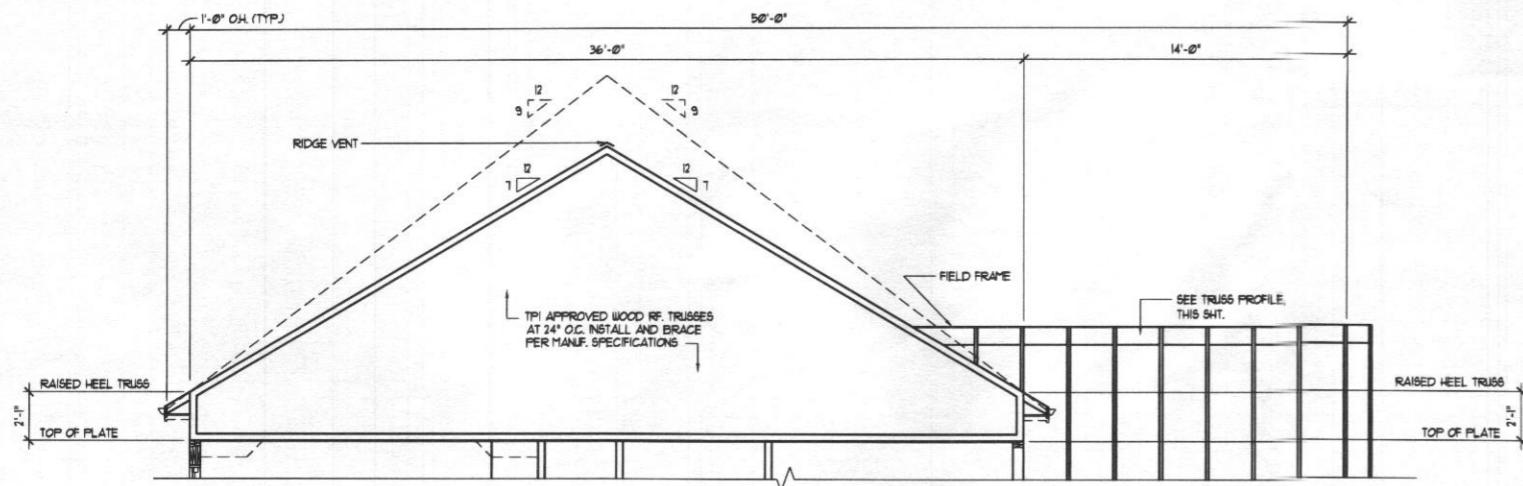
**Professional Certification**

I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland.

license number **5921**

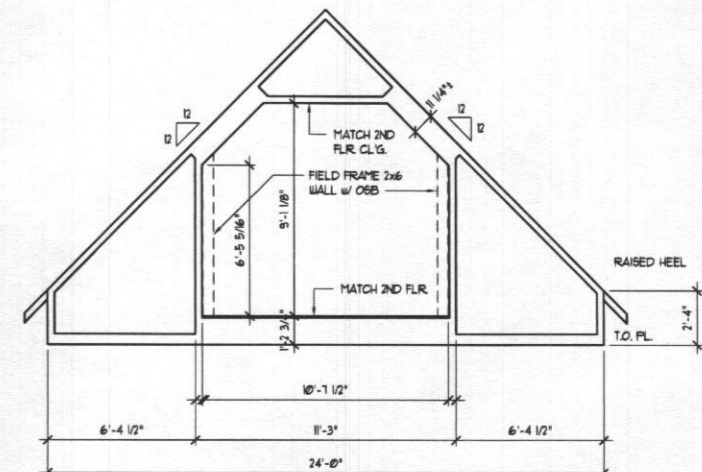
expiration date **04-03-2018**





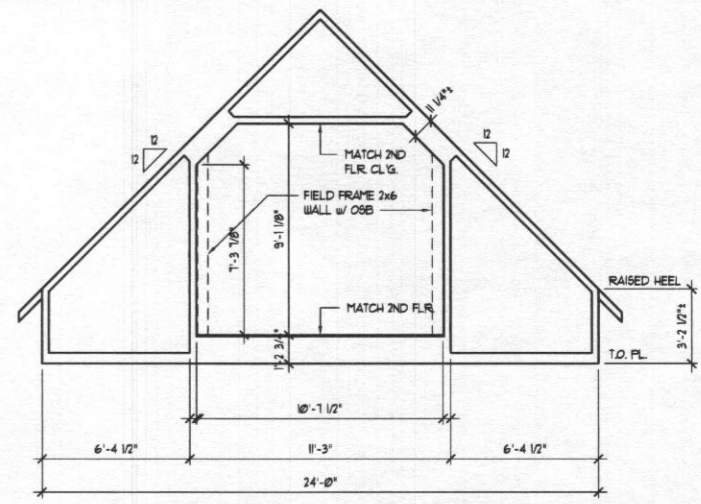
**BUILDING SECTION "B-B"**

PARTIAL SECTION w/ ELEVATIONS #3 & #4  
SCALE: 1/8" - 1/4" = 1'-0"



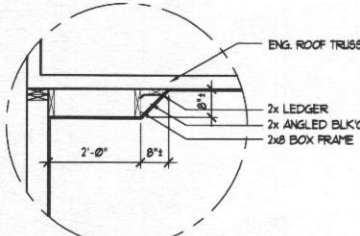
**TRUSS PROFILE w/OPT. EXERCISE ROOM**

w/ ELEVATIONS #3, #4, AND "20" SERIES.  
SCALE: 1/8" - 1/4" = 1'-0"



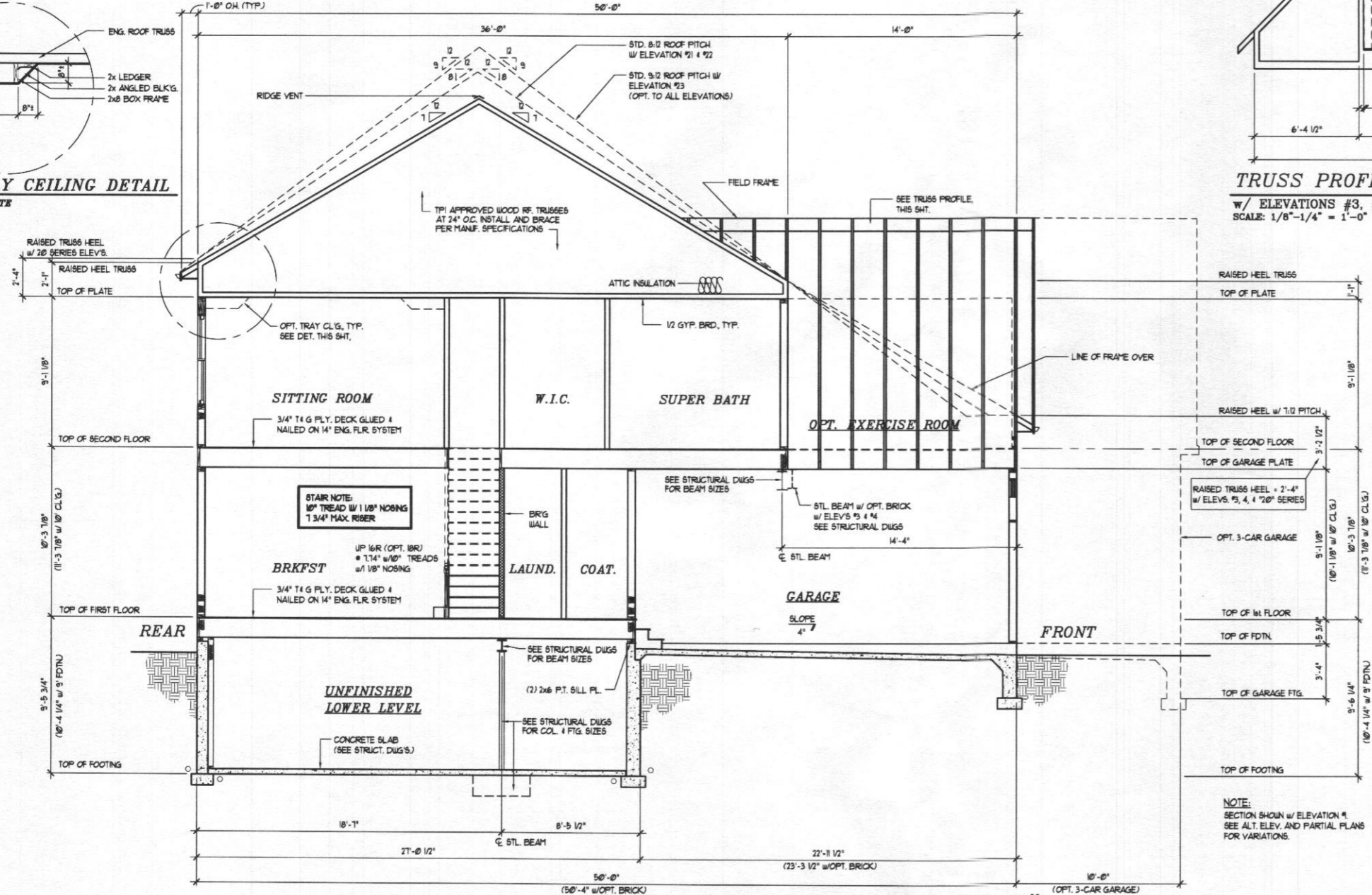
**TRUSS PROFILE w/OPT. EXERCISE ROOM**

SCALE: 1/4" - 1/8" = 1'-0"



**OPT. TRAY CEILING DETAIL**

OWNER'S SUITE  
SCALE: 1/2" = 1'-0"



**BUILDING SECTION "B-B"**

SCALE: 1/8" - 1/4" = 1'-0"

NOTE:  
SECTION SHOWN w/ ELEVATION #.  
SEE ALL ELEV. AND PARTIAL PLANS  
FOR VARIATIONS.

Architecture Collaborative, Inc.  
8320 Main Street, Suite 2, Ellicott City, MD 21043  
www.archcol.com  
Tel.: (410) 465-7500 Fax: (410) 465-0903

content  
**BUILDING SECTION "B-B"**  
scale 1/8" - 1/4"  
FILE# CA345B00  
date 09/16/02  
**CARUSO HOMES**  
"MONTICELLO"  
title

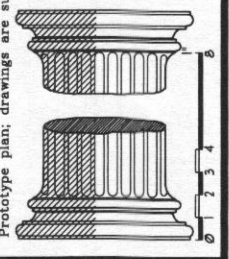
revisions	REV. PER TRADE REVIEW COMMENTS - J.L.
08-29-15	ADD L. REV. 6 - J.L.
09-2-05	CHANGE TO STD. 9" 2ND FLR.
09-22-15	REVISE AND ADD PART. SECTION
11-09-15	PG COUNTY PEER REVIEW - 1
09-19-16	

SHEET #  
**7.2**

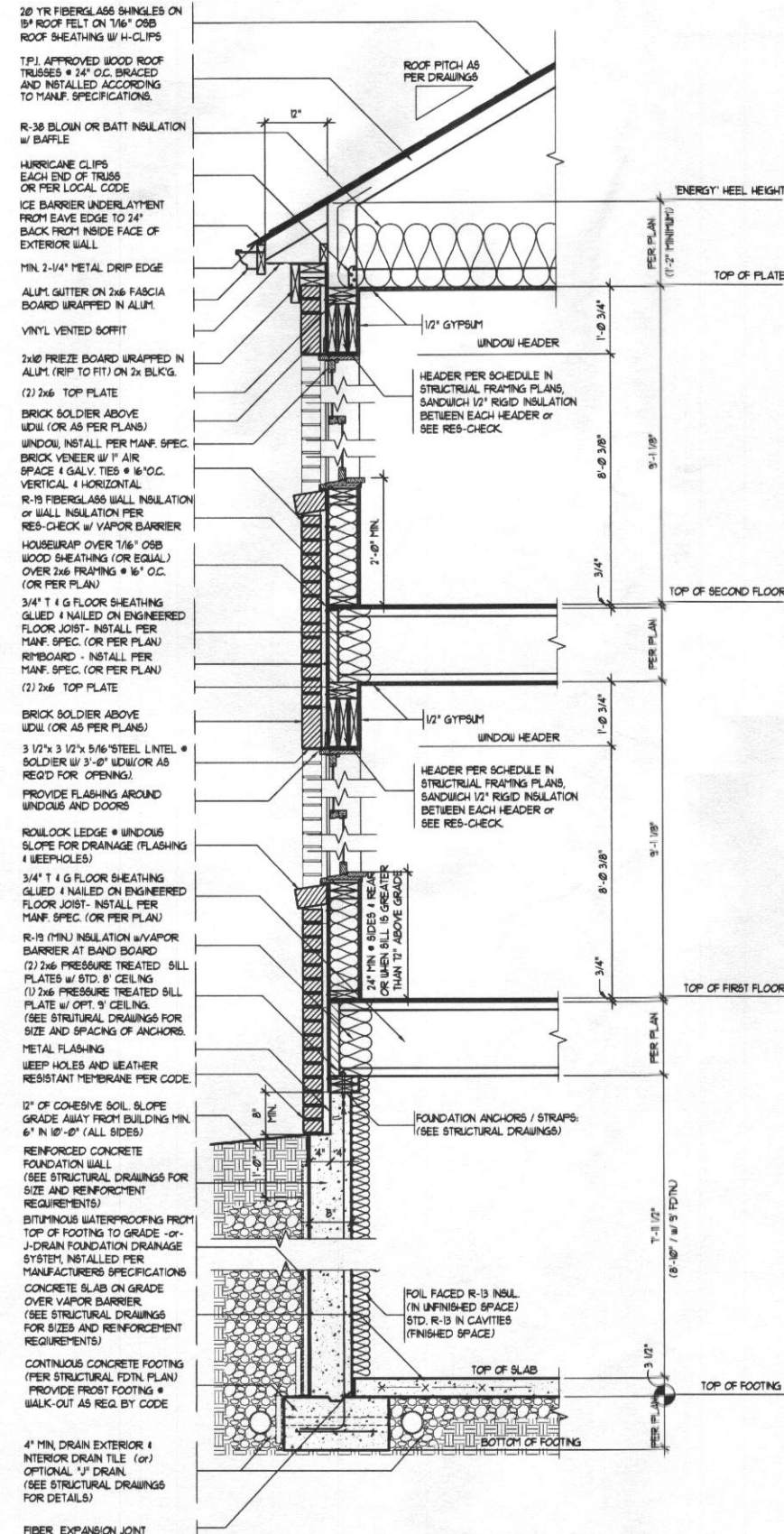
**Professional Certification**

I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland.

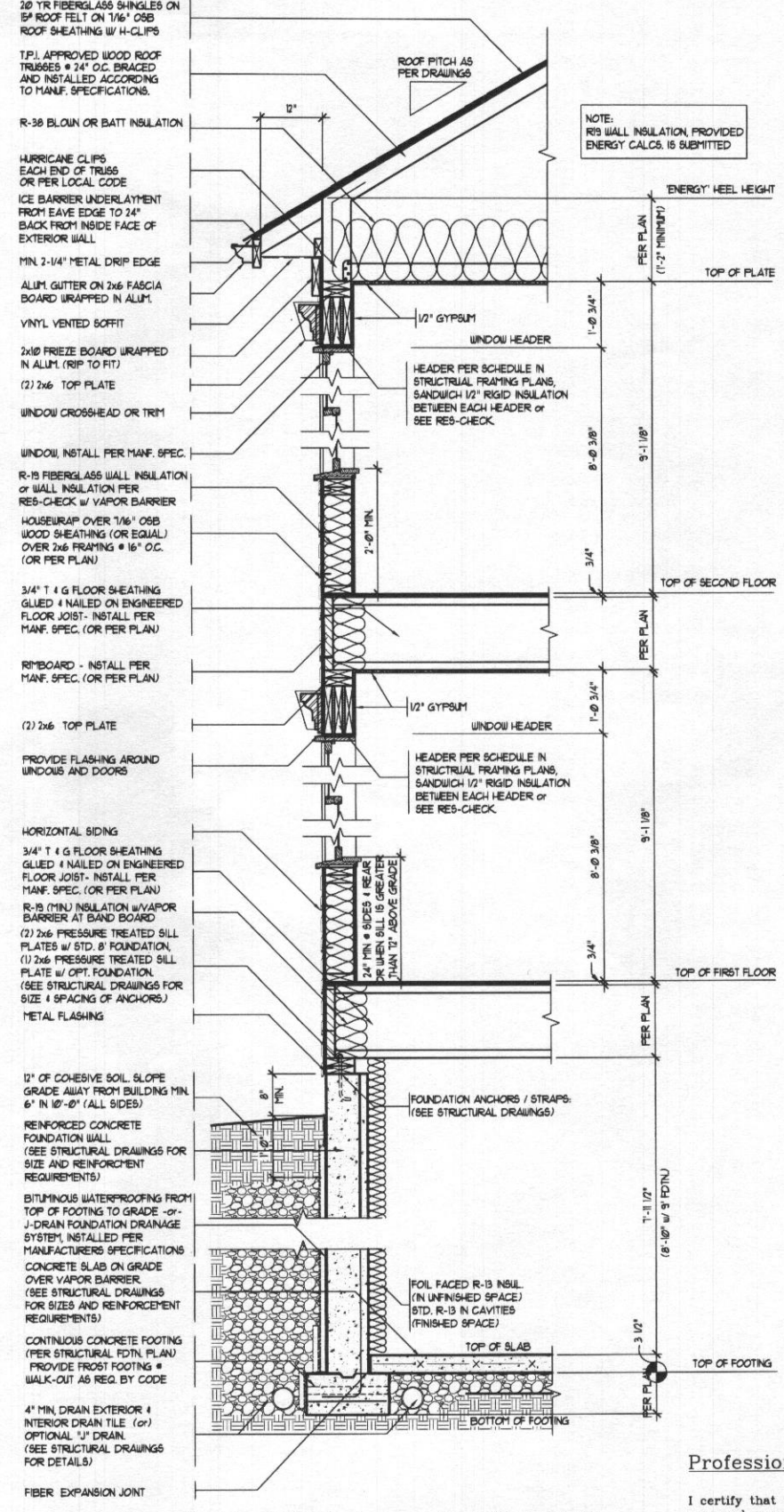
license number 5921  
expiration date 04-03-2018



Prototype plan; drawings are subject to change. Architecture Collaborative, Inc. expressly reserves its copyright and other property rights in these plans and drawings. These plans and drawings are not to be reproduced in any form or manner.



**3 WALL SECTION w/ BASEMENT**  
 SCALE: 3/8" = 1'-0" • 11 x 11 / 3/4" = 1'-0" • 24 x 36  
 FULL BRICK



**1 WALL SECTION w/ BASEMENT**  
 SCALE: 3/8" = 1'-0" • 11 x 11 / 3/4" = 1'-0" • 24 x 36  
 STD. SIDING

20 YR FIBERGLASS SHINGLES ON 5/8" ROOF FELT ON 1/4" OSB ROOF SHEATHING W/ H-CLIPS

T.P.I. APPROVED WOOD ROOF TRUSSES • 24" O.C. BRACED AND INSTALLED ACCORDING TO MANUF. SPECIFICATIONS.

R-38 BLOWN OR BATT INSULATION w/ Baffle

HURRICANE CLIPS EACH END OF TRUSS OR PER LOCAL CODE

ICE BARRIER UNDERLAYMENT FROM EAVE EDGE TO 24" BACK FROM INSIDE FACE OF EXTERIOR WALL

MIN. 2-1/4" METAL DRIP EDGE

ALUM. GUTTER ON 2x6 FASCIA BOARD WRAPPED IN ALUM.

VINYL VENTED SOFFIT

2x6 FRIEZE BOARD WRAPPED IN ALUM. (RIP TO FIT) ON 2x BLK'G.

(2) 2x6 TOP PLATE

BRICK SOLDIER ABOVE WALL (OR AS PER PLANS)

WINDOW, INSTALL PER MANF. SPEC.

BRICK VENEER w/ 1" AIR SPACE & GALV. TIES • 16" O.C. VERTICAL & HORIZONTAL

R-19 FIBERGLASS WALL INSULATION or WALL INSULATION PER RES-CHECK w/ VAPOR BARRIER

HOUSEWRAP OVER 1/4" OSB WOOD SHEATHING (OR EQUAL) OVER 2x6 FRAMING • 16" O.C. (OR PER PLAN)

3/4" T & G FLOOR SHEATHING GLUED & NAILED ON ENGINEERED FLOOR JOIST - INSTALL PER MANF. SPEC. (OR PER PLAN)

ROUBOARD - INSTALL PER MANF. SPEC. (OR PER PLAN)

(2) 2x6 TOP PLATE

BRICK SOLDIER ABOVE WALL (OR AS PER PLANS)

3 1/2" x 3 1/2" x 5/16" STEEL LINTEL • SOLDIER w/ 3" x 6" SILL OR AS REQ'D FOR OPENING

PROVIDE FLASHING AROUND WINDOWS AND DOORS

ROULOCK LEDGE • WINDOW SLOPE FOR DRAINAGE (FLASHING & WEEP HOLES)

3/4" T & G FLOOR SHEATHING GLUED & NAILED ON ENGINEERED FLOOR JOIST - INSTALL PER MANF. SPEC. (OR PER PLAN)

R-19 (MIN) INSULATION w/ VAPOR BARRIER AT BAND BOARD

(2) 2x6 PRESSURE TREATED SILL PLATES w/ STD. 8" CEILING

(1) 2x6 PRESSURE TREATED SILL PLATE w/ OPT. 9" CEILING. (SEE STRUCTURAL DRAWINGS FOR SIZE AND SPACING OF ANCHORS)

METAL FLASHING

WEEP HOLES AND WEATHER RESISTANT MEMBRANE PER CODE.

12" OF COHESIVE SOIL. SLOPE GRADE AWAY FROM BUILDING MIN. 6" IN 10'-0" (ALL SIDES)

REINFORCED CONCRETE FOUNDATION WALL (SEE STRUCTURAL DRAWINGS FOR SIZE AND REINFORCEMENT REQUIREMENTS)

BITUMINOUS WATERPROOFING FROM TOP OF FOOTING TO GRADE - or - J-DRAIN FOUNDATION DRAINAGE SYSTEM, INSTALLED PER MANUFACTURERS SPECIFICATIONS

CONCRETE SLAB ON GRADE OVER VAPOR BARRIER (SEE STRUCTURAL DRAWINGS FOR SIZE AND REINFORCEMENT REQUIREMENTS)

CONTINUOUS CONCRETE FOOTING (PER STRUCTURAL FTDN PLAN) PROVIDE FROST FOOTING • WALK-OUT AS REQ. BY CODE

4" MIN. DRAIN EXTERIOR & INTERIOR DRAIN TILE (or) OPTIONAL 1/2" DRAIN (SEE STRUCTURAL DRAWINGS FOR DETAILS)

FIBER EXPANSION JOINT

20 YR FIBERGLASS SHINGLES ON 5/8" ROOF FELT ON 1/4" OSB ROOF SHEATHING W/ H-CLIPS

T.P.I. APPROVED WOOD ROOF TRUSSES • 24" O.C. BRACED AND INSTALLED ACCORDING TO MANUF. SPECIFICATIONS.

R-38 BLOWN OR BATT INSULATION

HURRICANE CLIPS EACH END OF TRUSS OR PER LOCAL CODE

ICE BARRIER UNDERLAYMENT FROM EAVE EDGE TO 24" BACK FROM INSIDE FACE OF EXTERIOR WALL

MIN. 2-1/4" METAL DRIP EDGE

ALUM. GUTTER ON 2x6 FASCIA BOARD WRAPPED IN ALUM.

VINYL VENTED SOFFIT

2x6 FRIEZE BOARD WRAPPED IN ALUM. (RIP TO FIT)

(2) 2x6 TOP PLATE

WINDOW CROSSHEAD OR TRIM

WINDOW, INSTALL PER MANF. SPEC.

R-19 FIBERGLASS WALL INSULATION or WALL INSULATION PER RES-CHECK w/ VAPOR BARRIER

HOUSEWRAP OVER 1/4" OSB WOOD SHEATHING (OR EQUAL) OVER 2x6 FRAMING • 16" O.C. (OR PER PLAN)

3/4" T & G FLOOR SHEATHING GLUED & NAILED ON ENGINEERED FLOOR JOIST - INSTALL PER MANF. SPEC. (OR PER PLAN)

ROUBOARD - INSTALL PER MANF. SPEC. (OR PER PLAN)

(2) 2x6 TOP PLATE

PROVIDE FLASHING AROUND WINDOWS AND DOORS

HORIZONTAL SIDING

3/4" T & G FLOOR SHEATHING GLUED & NAILED ON ENGINEERED FLOOR JOIST - INSTALL PER MANF. SPEC. (OR PER PLAN)

R-19 (MIN) INSULATION w/ VAPOR BARRIER AT BAND BOARD

(2) 2x6 PRESSURE TREATED SILL PLATES w/ STD. 8" FOUNDATION

(1) 2x6 PRESSURE TREATED SILL PLATE w/ OPT. FOUNDATION. (SEE STRUCTURAL DRAWINGS FOR SIZE & SPACING OF ANCHORS)

METAL FLASHING

12" OF COHESIVE SOIL. SLOPE GRADE AWAY FROM BUILDING MIN. 6" IN 10'-0" (ALL SIDES)

REINFORCED CONCRETE FOUNDATION WALL (SEE STRUCTURAL DRAWINGS FOR SIZE AND REINFORCEMENT REQUIREMENTS)

BITUMINOUS WATERPROOFING FROM TOP OF FOOTING TO GRADE - or - J-DRAIN FOUNDATION DRAINAGE SYSTEM, INSTALLED PER MANUFACTURERS SPECIFICATIONS

CONCRETE SLAB ON GRADE OVER VAPOR BARRIER (SEE STRUCTURAL DRAWINGS FOR SIZE AND REINFORCEMENT REQUIREMENTS)

CONTINUOUS CONCRETE FOOTING (PER STRUCTURAL FTDN PLAN) PROVIDE FROST FOOTING • WALK-OUT AS REQ. BY CODE

4" MIN. DRAIN EXTERIOR & INTERIOR DRAIN TILE (or) OPTIONAL 1/2" DRAIN (SEE STRUCTURAL DRAWINGS FOR DETAILS)

FIBER EXPANSION JOINT

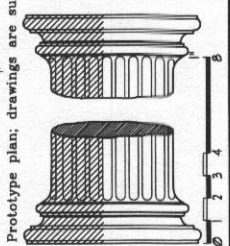
NOTE: R19 WALL INSULATION PROVIDED ENERGY CALCS. IS SUBMITTED

Architecture Collaborative, Inc.  
 8320 Main Street, Suite 2, Ellicott City, MD 21043  
 www.archcol.com  
 Tel.: (410) 465-7500 Fax: (410) 465-0903

content: TYPICAL WALL SECTIONS - PG COUNTY  
 FILE# CAS45W14 date  
 scale 1/8" = 1'-4" dwg. KAH  
 CARUSO HOMES  
 "MONTICELLO"  
 title

revisions	REV. PER TRADE REVIEW COMMENTS - JL
08-29-15	REV. DAY TO WATER - PROOF
01-06-16	PG COUNTY PEER REVIEW - I
05-18-16	

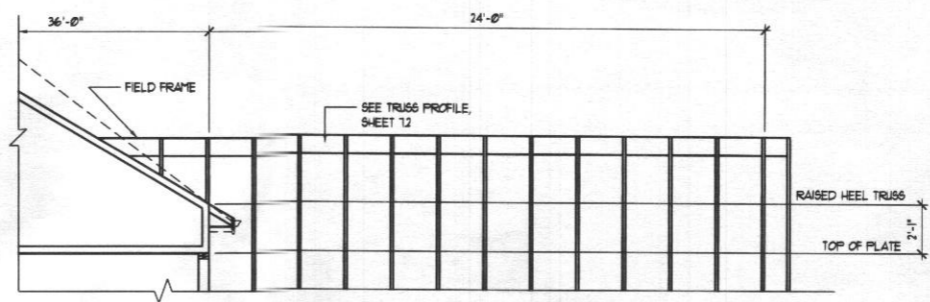
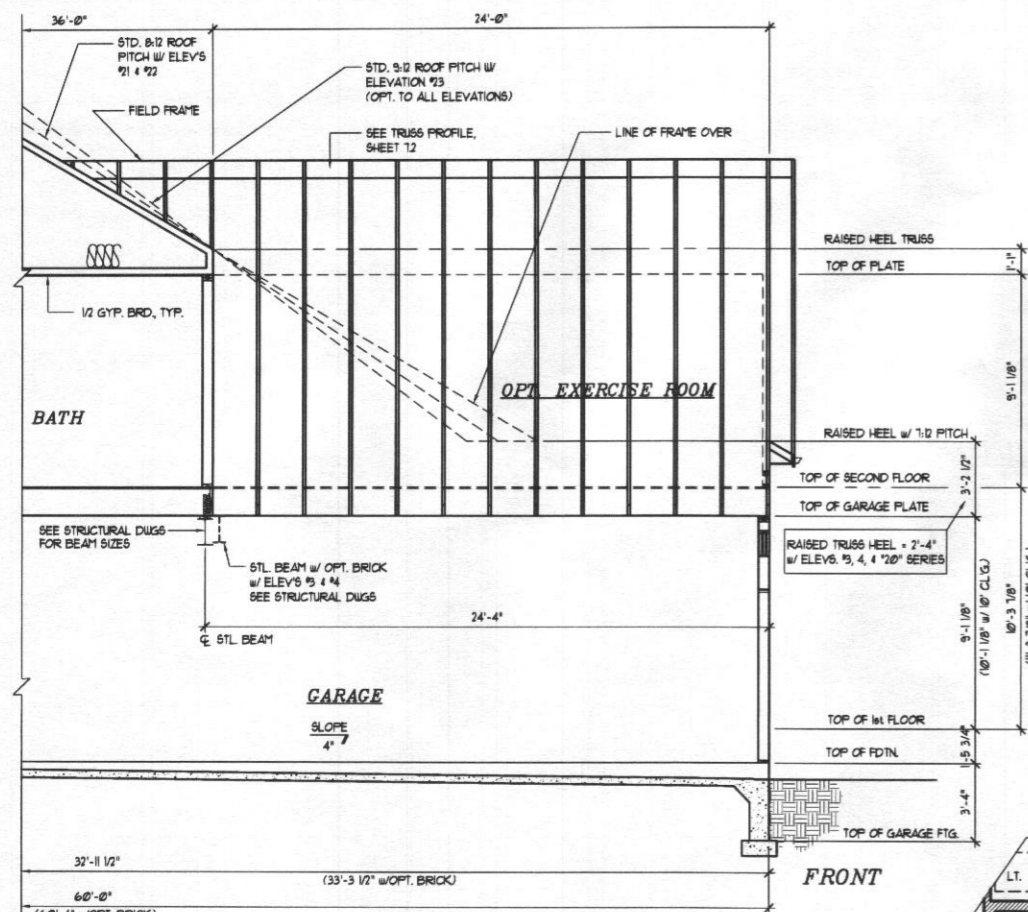
SHEET #  
**8.1**



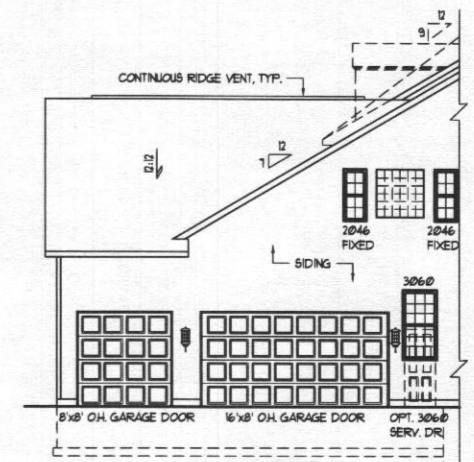
Professional Certification  
 I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland.  
 license number 5921  
 expiration date 04-03-2018

Prototype plan; drawings are subject to change. Architecture Collaborative, Inc. expressly reserves its copyright and other property rights in these plans and drawings. These plans and drawings are not to be reproduced in any form or manner.



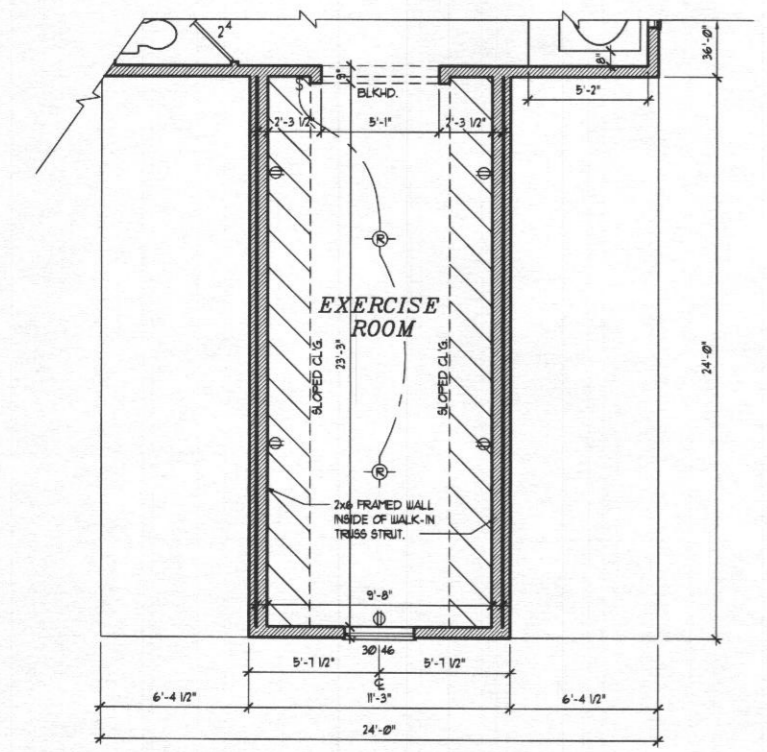


**BUILDING SECTION "B-B"**  
PARTIAL SECTION w/ ELEVATIONS #3 & #4  
SCALE: 1/8" - 1/4" = 1'-0"

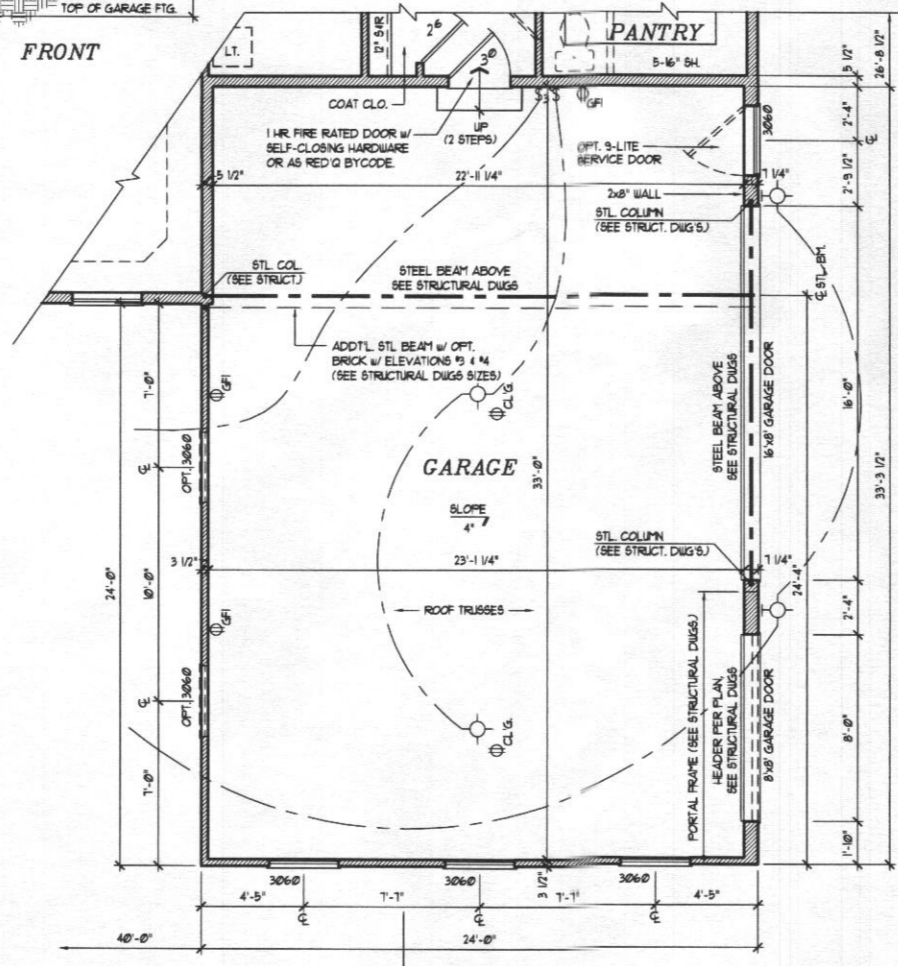


**RIGHT SIDE ELEVATION**  
SCALE: 1/16" - 1/8" = 1'-0"

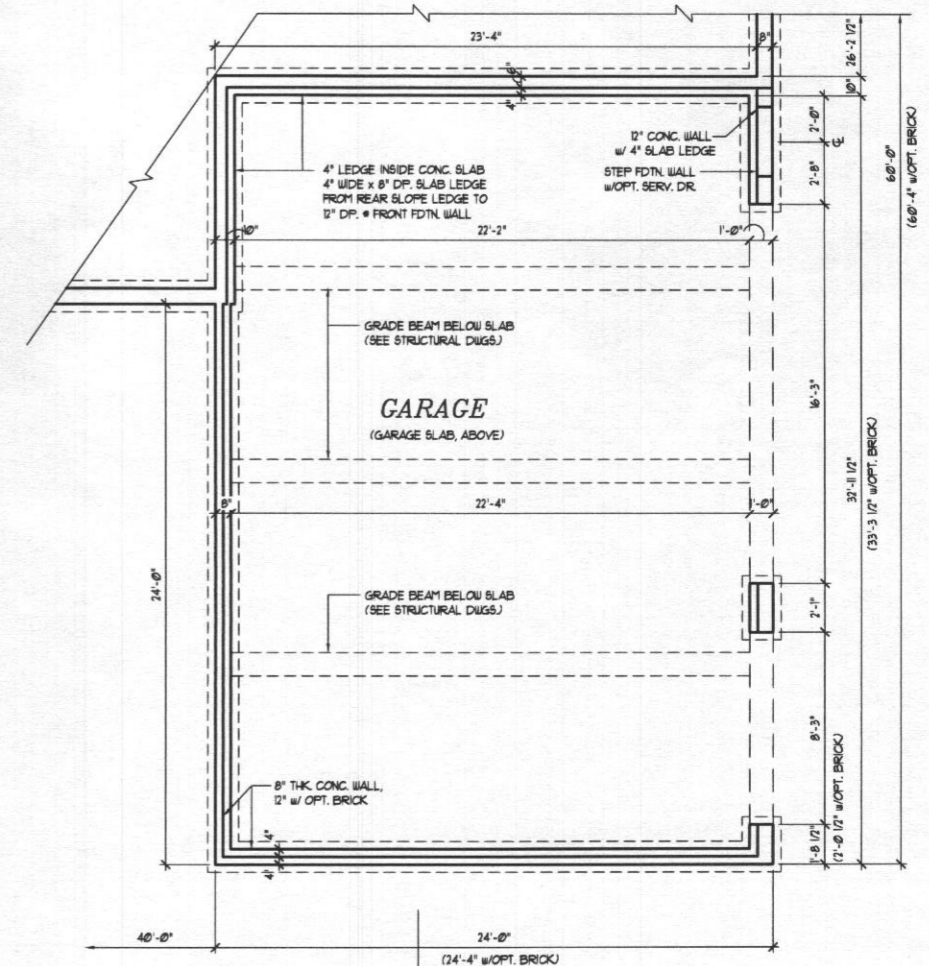
**BUILDING SECTION "B-B"**  
SCALE: 1/8" - 1/4" = 1'-0"



**SECOND FLOOR PLAN**  
w/OPT. EXERCISE RM.  
SCALE: 1/8 - 1/4" = 1'-0"



**FIRST FLOOR PLAN**  
SCALE: 1/8 - 1/4" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/8 - 1/4" = 1'-0"

**Professional Certification**

I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland.

license number **5921**

expiration date **04-03-2018**

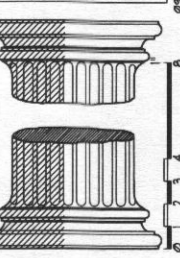
These plans and drawings are not to be reproduced in any form or manner. Architecture Collaborative, Inc. expressly reserves its copyright and other property rights in these plans and drawings.

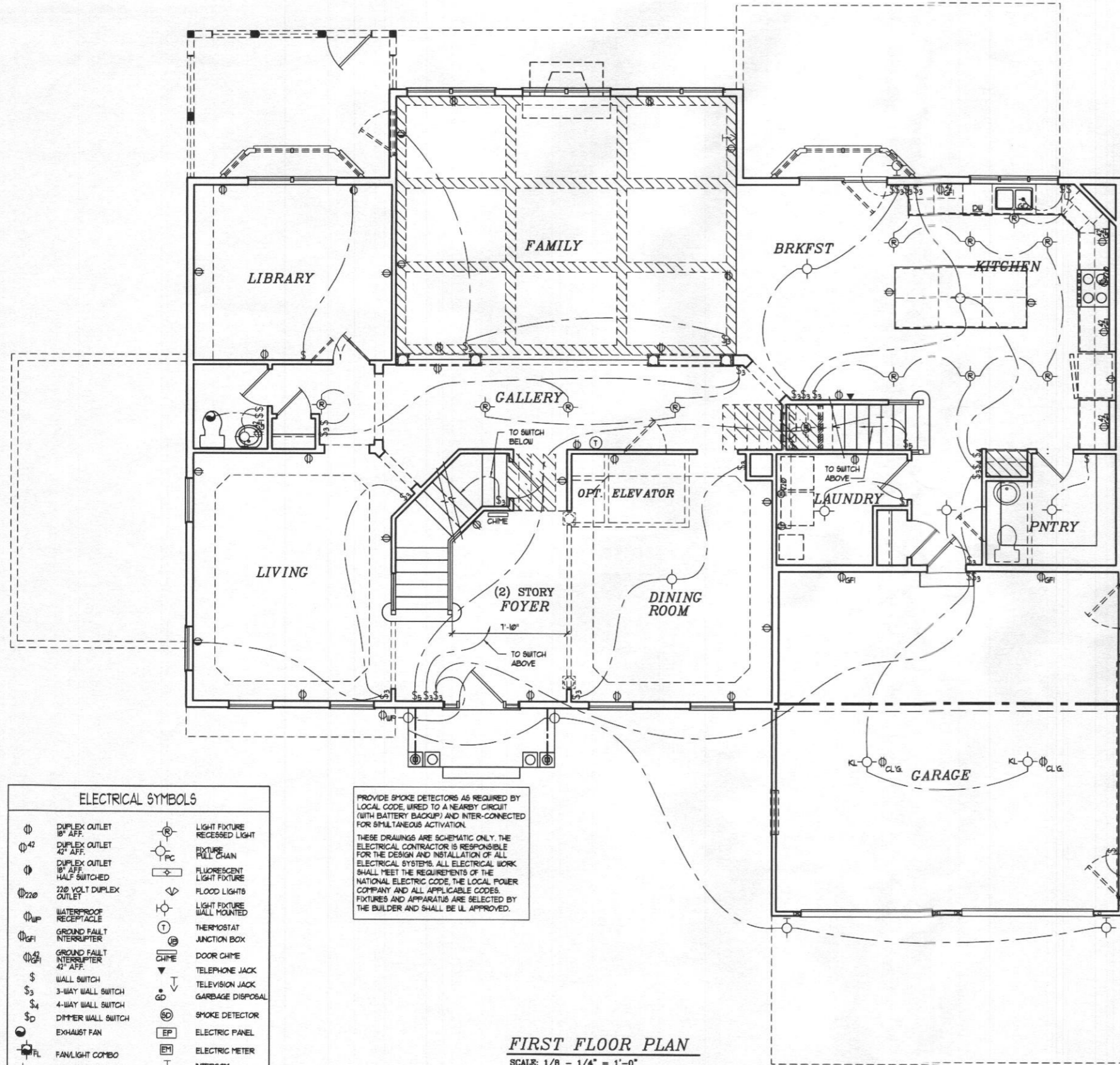
**Architecture Collaborative, Inc.**  
8320 Main Street, Suite 2, Ellicott City, MD 21043  
www.archcol.com  
Tel.: (410) 465-7500 Fax: (410) 465-0903

content: **OPT. 3-CAR SIDE LOAD GARAGE DETAILS**  
scale: 1/8" - 1/4"  
FILE# CA34-9.7  
date: 05-25-16  
title: **CARUSO HOMES "MONTICELLO"**

revisions

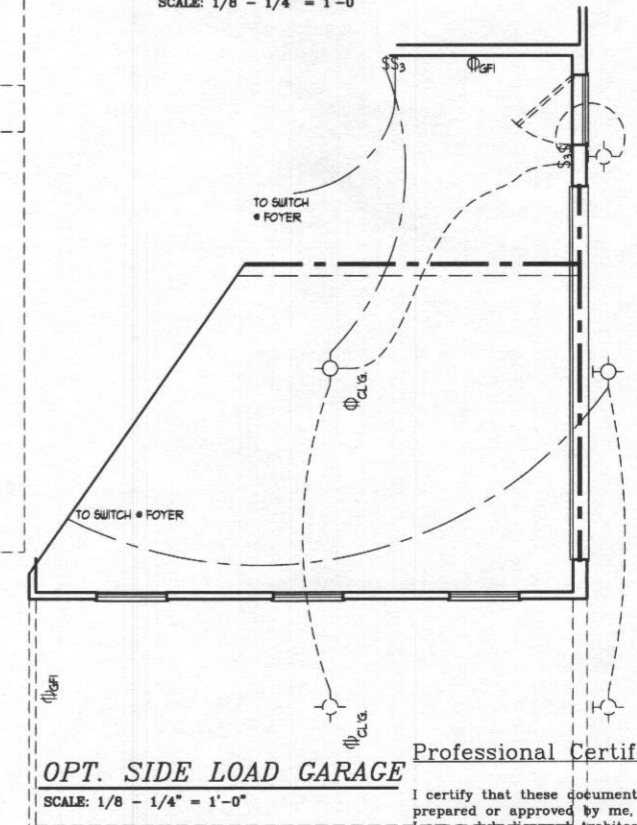
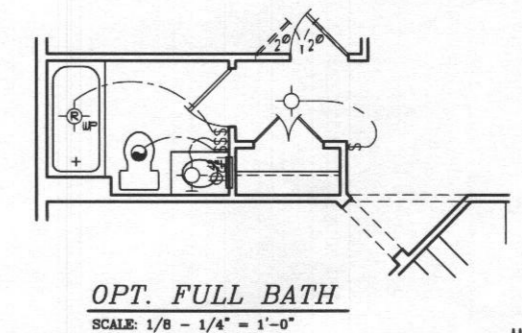
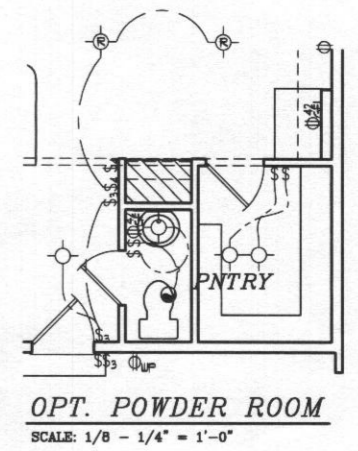
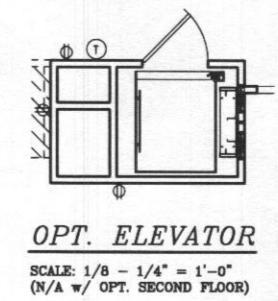
SHEET # **9.7**





**ELECTRICAL SYMBOLS**

⊕	DUPLEX OUTLET 18" AFF.	⊕	LIGHT FIXTURE RECESSED LIGHT
⊕42	DUPLEX OUTLET 42" AFF.	⊕PC	FIXTURE FULL CHAIN
⊕	DUPLEX OUTLET 18" AFF. HALF SWITCHED	⊕	FLUORESCENT LIGHT FIXTURE
⊕220	220 VOLT DUPLEX OUTLET	⊕	FLOOD LIGHTS
⊕UP	WATERPROOF RECEPTACLE	⊕	LIGHT FIXTURE WALL MOUNTED
⊕GFI	GROUND FAULT INTERRUPTER	⊕T	THERMOSTAT
⊕GFI	GROUND FAULT INTERRUPTER 42" AFF.	⊕	JUNCTION BOX
\$	WALL SWITCH	CHIME	DOOR CHIME
\$3	3-WAY WALL SWITCH	⊕	TELEPHONE JACK
\$4	4-WAY WALL SWITCH	⊕	TELEVISION JACK
\$D	DIMMER WALL SWITCH	⊕	GARBAGE DISPOSAL
⊕	EXHAUST FAN	⊕	SMOKE DETECTOR
⊕FL	FAN/LIGHT COMBO	⊕EP	ELECTRIC PANEL
⊕	LIGHT FIXTURE CEILING MOUNTED	⊕EM	ELECTRIC METER
		I	INTERCOM
		I.C	INTERCOM CONSOLE



**Professional Certification**

I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland.

license number 5921  
expiration date 04-03-2018

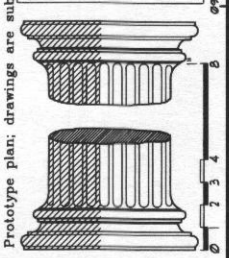
Architecture Collaborative, Inc.  
8320 Main Street, Suite 2, Ellicott City, MD 21043  
www.archcol.com  
Tel.: (410) 465-7500 Fax: (410) 465-0903

content  
**FIRST FLOOR ELECTRICAL PLAN**  
scale 1/8" - 1/4"  
date 11/26/02  
FILE# CA34P100 drwn. MCY  
**CARUSO HOMES**  
"MONTICELLO"  
title

revisions

08-29-15	REV. PER TRADE REVIEW CMTS. - ACI
09-22-15	REV. PER TRADE REVIEW CMTS.
03-15-16	REV. PER TRADE REVIEW CMTS. - ACI

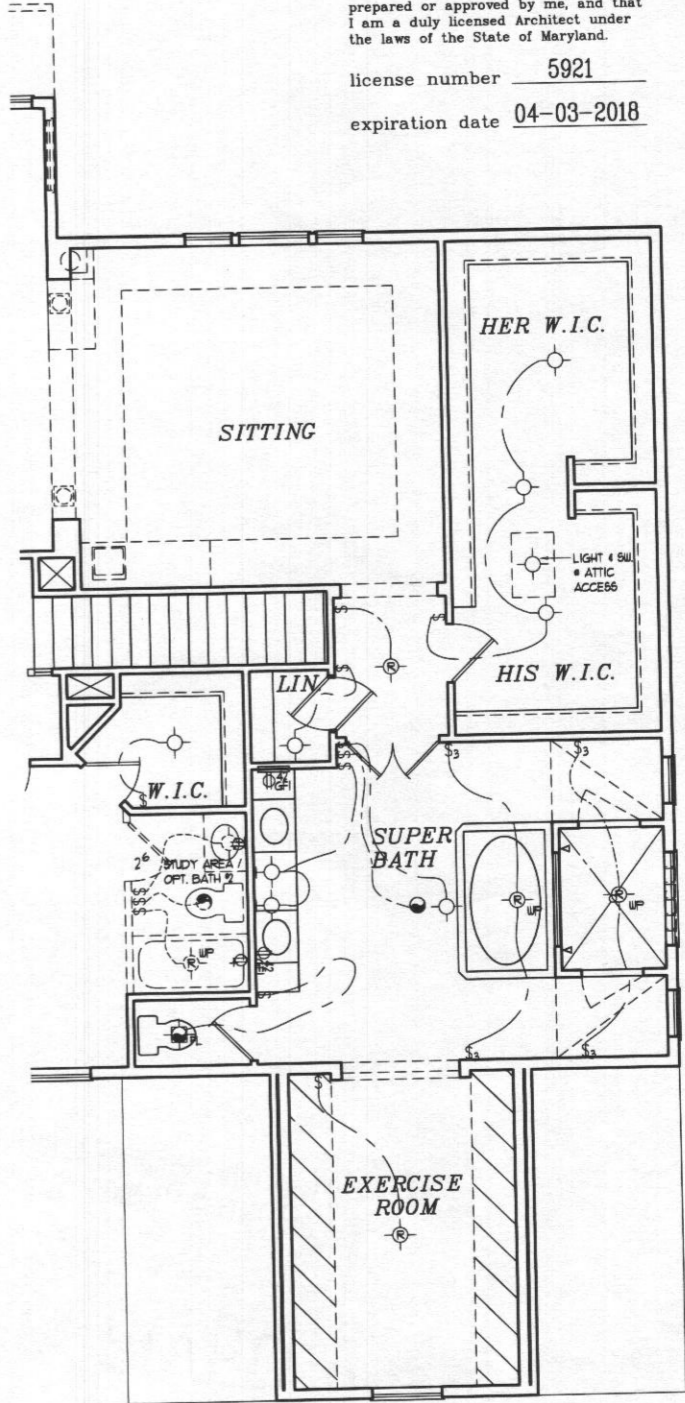
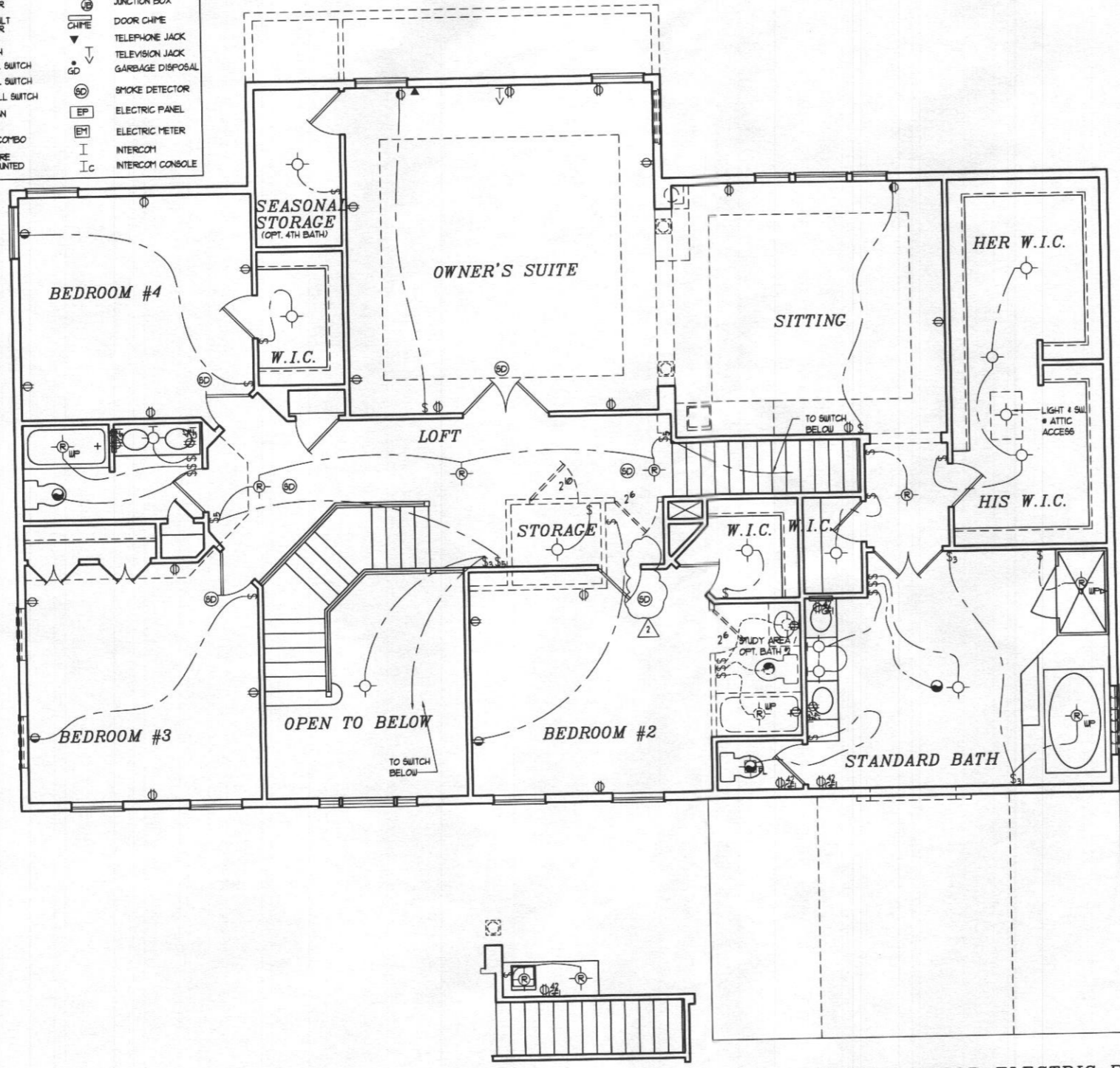
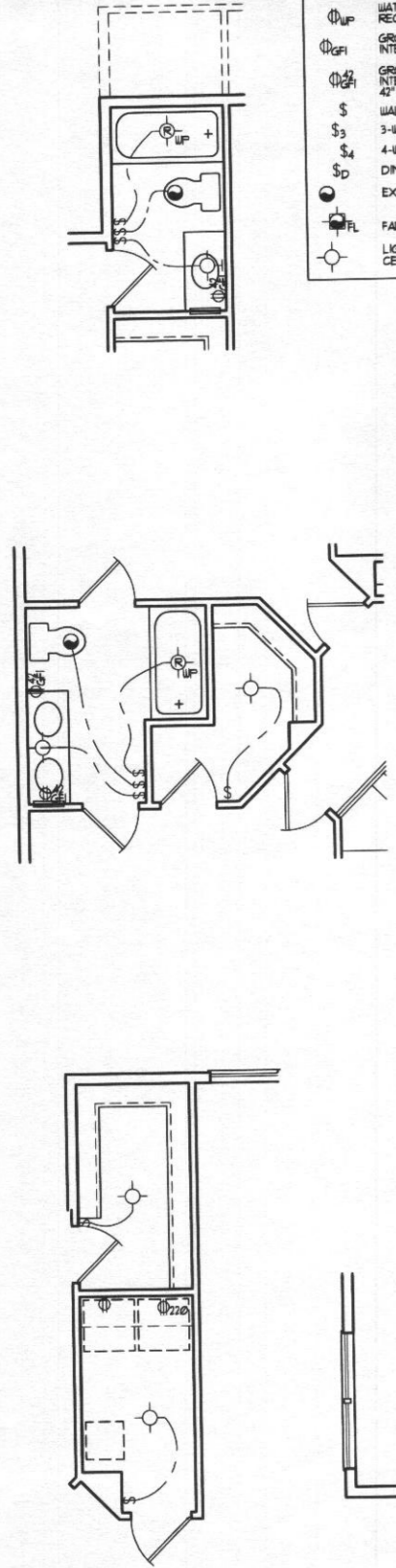
SHEET #  
**E1.1**



ELECTRICAL SYMBOLS			
⊕	DUPLEX OUTLET 18" AFF.	⊕	LIGHT FIXTURE RECESSED LIGHT
⊕ 42	DUPLEX OUTLET 42" AFF.	⊕ FC	EXTURE PULL CHAIN
⊕	DUPLEX OUTLET 18" AFF. HALF SWITCHED	⊕	FLUORESCENT LIGHT FIXTURE
⊕ 220	220 VOLT DUPLEX OUTLET	⊕	FLOOD LIGHTS
⊕ UP	WATERPROOF RECEPTACLE	⊕	LIGHT FIXTURE WALL MOUNTED
⊕ GFI	GROUND FAULT INTERRUPTER	⊕ T	THERMOSTAT
⊕ 42 GFI	GROUND FAULT INTERRUPTER 42" AFF.	⊕ JB	JUNCTION BOX
S	WALL SWITCH	⊕ CH	DOOR CHIME
S 3	3-WAY WALL SWITCH	⊕ TJ	TELEPHONE JACK
S 4	4-WAY WALL SWITCH	⊕ TVJ	TELEVISION JACK
S D	DIMMER WALL SWITCH	⊕ GD	GARBAGE DISPOSAL
⊕ FL	EXHAUST FAN	⊕ SD	SMOKE DETECTOR
⊕ FL	FAN/LIGHT COMBO	⊕ EP	ELECTRIC PANEL
⊕	LIGHT FIXTURE CEILING MOUNTED	⊕ EM	ELECTRIC METER
		⊕ I	INTERCOM
		⊕ IC	INTERCOM CONSOLE

PROVIDE SMOKE DETECTORS AS REQUIRED BY LOCAL CODE, WIRED TO A NEARBY CIRCUIT (WITH BATTERY BACKUP) AND INTER-CONNECTED FOR SIMULTANEOUS ACTIVATION.

THESE DRAWINGS ARE SCHEMATIC ONLY. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES. FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE UL APPROVED.



**SECOND FLOOR ELECTRIC PLAN**  
SCALE: 1/8" = 1/4" = 1'-0"

**ELECTRIC PLAN w/  
OPT. EXERCISE ROOM  
w/ OPT. BDRM. 2 BATH  
PARTIAL PLAN**

**Professional Certification**

I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland.

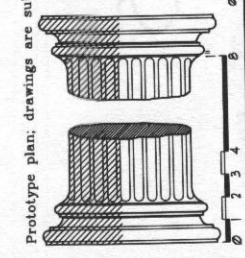
license number 5921  
expiration date 04-03-2018

Architecture Collaborative, Inc.  
8320 Main Street, Suite 2, Ellicott City, MD 21043  
www.archcol.com  
Tel.: (410) 465-7500 Fax: (410) 465-0903

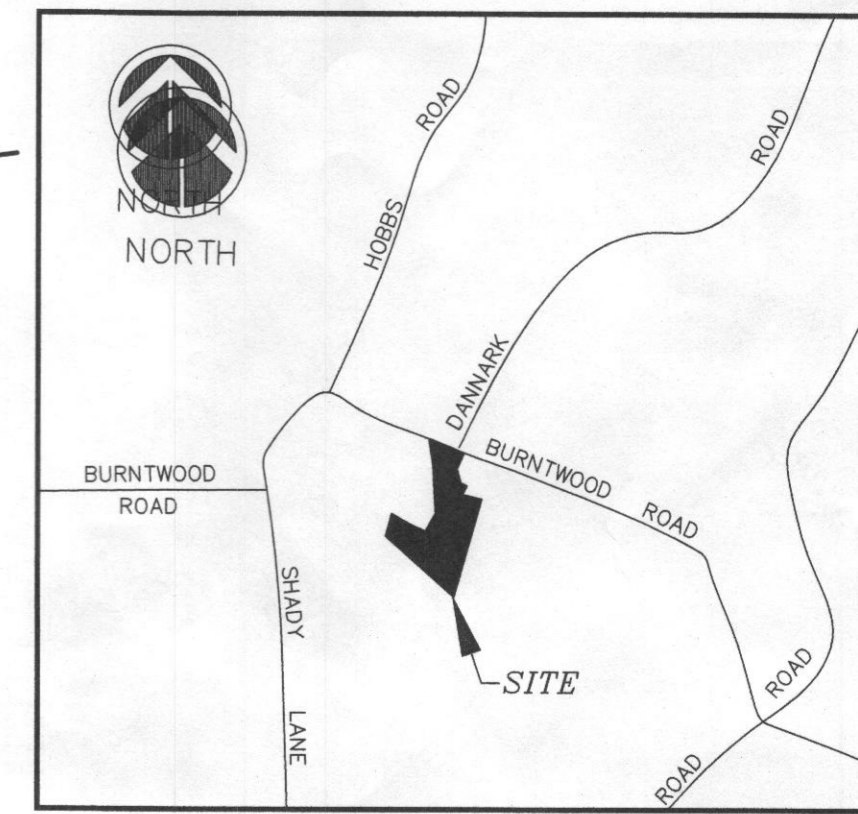
content	SECOND FLOOR ELECTRICAL PLAN	date 11/26/02
scale	1/8" = 1/4"	FILE# CA34E200 (drwn. MGY)
title	CARUSO HOMES "MONTICELLO"	

revisions	REV. PER TRADE REVIEW COMMENTS - JL
08-25-15	PG COUNTY PEER REVIEW - rc
05-18-16	

SHEET #  
**E2.1**



Prototype plan; drawings are subject to change. Architecture Collaborative, Inc. expressly reserves its copyright and other property rights in these plans and drawings. These plans and drawings are not to be reproduced in any form or manner.



VICINITY MAP  
SCALE: 1" = 4000'

RAIN GARDEN ELEVATION CHART			
NUMBER	ELEVATION - A	ELEVATION - C	ELEVATION - F
1	556.5	556.0	552.2
2	562.5	562.0	558.2
3	563.5	563.0	559.2
4	562.0	561.5	557.7

- GENERAL NOTES:
- ZONING: RR-DEO
  - PROPOSED USE: SINGLE FAMILY RESIDENTIAL  
PROPOSED SEWER - PRIVATE; PROPOSED WATER - PRIVATE
  - THE PLAN IS BASED ON A FIELD RUN BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY NJR & ASSOCIATES IN MARCH OF 2017.
  - THERE IS FLOODPLAIN ON SITE DELINEATED BY THE RECORDED PLAT, AS SHOWN.
  - THERE ARE WETLANDS, STREAMS AND THEIR BUFFERS ON SITE AS SHOWN. THERE ARE NO CRITICAL HABITATS OF RARE, THREATENED OR ENDANGERED SPECIES ON SITE.
  - TOTAL AREA WITHIN LOD = 26,240 SQ.FT.
  - WATERSHED = MIDDLE PATUXENT RIVER
  - APPROVAL OF THIS SIMPLIFIED EOP DOES NOT CONSTITUTE AN APPROVAL OF ANY SUBSEQUENT AND ASSOCIATED BUILDING AND/OR GRADING PERMIT.
  - REVIEW OF THIS PLAN FOR COMPLIANCE WITH THE ZONING AND SUBDIVISION AND LAND DEVELOPMENT REGULATIONS SHALL OCCUR AT THE PERMIT STAGE; AND THEREFORE, THIS PLAN IS SUBJECT TO ADDITIONAL AND MORE DETAILED COMMENTS AS THIS PLAN PROGRESSES THROUGH THE PERMIT PROCESS.
  - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
  - CONTRACTOR TO MAINTAIN POSITIVE SLOPE AWAY FROM THE FOUNDATION OF THE HOUSE.
  - CONSTRUCTION OF ALL RAINGARDEN OUTFALL DRAIN PIPES OUTSIDE THE SSF SHALL BE COMPLETED IN THE SAME DAY OF THE EXCAVATION COMMENCEMENT FOR THOSE PIPES.

BUILDABLE PRESERVATION  
PARCEL "A"  
MAPLEWOOD FARMS  
PLAT NUMBER 22666  
4TH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND

PLAN PREPARED BY:  
NJR & ASSOCIATES  
Land Surveying and Planning  
2770 STATE ROUTE 38  
WEST FRIENDSHIP, MD 21794  
TEL: (240) 508-3200

REVISIONS

NO.	DATE	DESCRIPTION

GRAPHIC SCALE 1"=20'  
DATE: MAR. 5, 2017  
JOB NUMBER: 3379  
FILE NUMBER: 3379SITE  
PLOTTED: JUNE 30, 2017  
DRAWN BY: NR  
SHEET 1 OF 2



NON-BUILDABLE PRESERVATION  
PARCEL "C"  
MAPLEWOOD FARMS  
PLAT No.19375

- SEQUENCE OF CONSTRUCTION :
- OBTAIN GRADING PERMIT.
  - INSTALL SEDIMENT CONTROLS AS SHOWN ON PLAN IN ACCORDANCE WITH DETAILS.
  - PERFORM NECESSARY GRADING AND STABILIZE THE SITE WITH TOPSOIL AND SEEDING NOTES. ALL DOWNSPOUTS, SWALES, DITCHES AND OTHER CONCENTRATED FLOW AREAS SHALL RECEIVE EROSION CONTROL MATTING.
  - AFTER THE SITE IS PERMANENTLY STABILIZED AND PERMISSION IS GRANTED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROLS AND STABILIZE ANY REMAINING DISTURBED AREAS.

LEGEND

- EX. POST
- EX. VALVE
- EX. ROAD SIGN
- EX. SEPTIC FACILITY COVER
- EX. WELL
- EX. POWER POLE
- EX. GUY ANCHOR
- EX. EVERGREEN TREE
- EX. DECIDUOUS TREE
- PROP. SPOT ELEVATION
- EX. CONTOUR
- PROP. CONTOUR
- EX. EDGE WOODED AREA
- PROP. EDGE WOODED AREA
- SSF
- PROP. SUPER SILT FENCE
- SF
- PROP. SILT FENCE
- LOD
- PROP. LIMIT OF DISTURBANCE
- DD
- PROP. DRAINAGE DIVIDE
- EX. TREE TO BE REMOVED
- DISCONNECTION OF NON-ROOFTOP RUNOFF, N-2

STORMWATER MANAGEMENT SUMMARY

Total ESDv provided:

Disconnection of Non-rooftop Runoff	270 cf
Rain Garden #1	242 cf
Rain Garden #2	149 cf
Rain Garden #3	289 cf
Rain Garden #4	388 cf
GRASS SWALE	10 cf
<b>TOTAL</b>	<b>1,348 cf</b>

ESDv requiring treatment = 1,339 cf.  
ESDv provided is more than required. Therefore, OK.

PLANTING NOTES:

- Plant a mix of shrubs and perennials.
- Reference standards: comply with those listed below.
  - Nomenclature for plant materials shall be in accordance with Hortus III, by the staff of L.H. Bailey Hortorium.
  - American Standard for Nursery Stock, ANSI Z90.1, latest edition, American Nursery & Landscape Association (ANLA).
  - Landscape Specification Guidelines, latest edition, Landscape Contractors Association.
- proceed with planting only when existing and forecast weather conditions are suitable for work. perform actual planting when ground is workable, i.e., moist, not wet or frozen.

ENGINEERS CERTIFICATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

HOWARD SCD DATE

ENGINEERS CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND FEASIBLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

M.N. ROSHAN, L.S. DATE

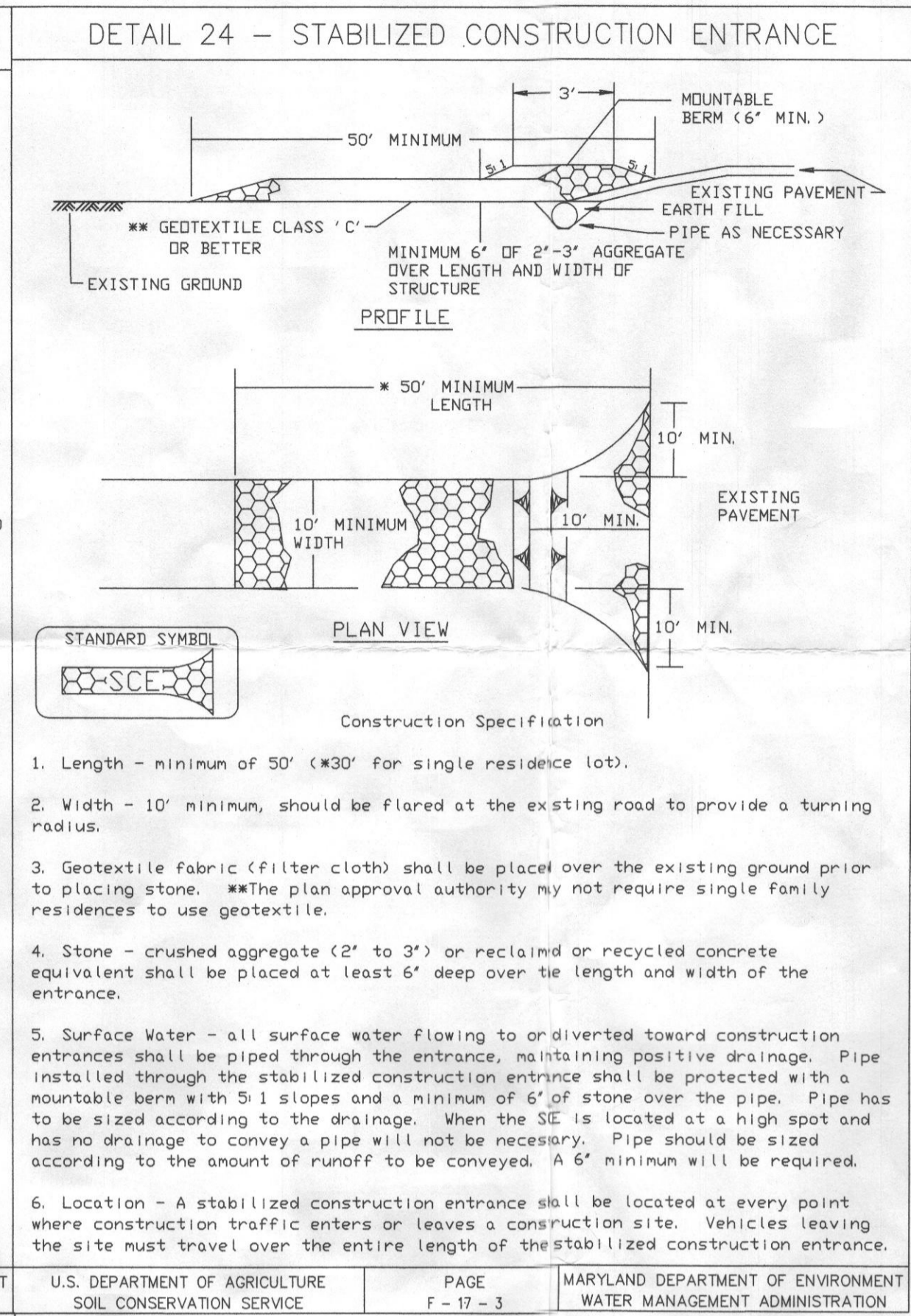
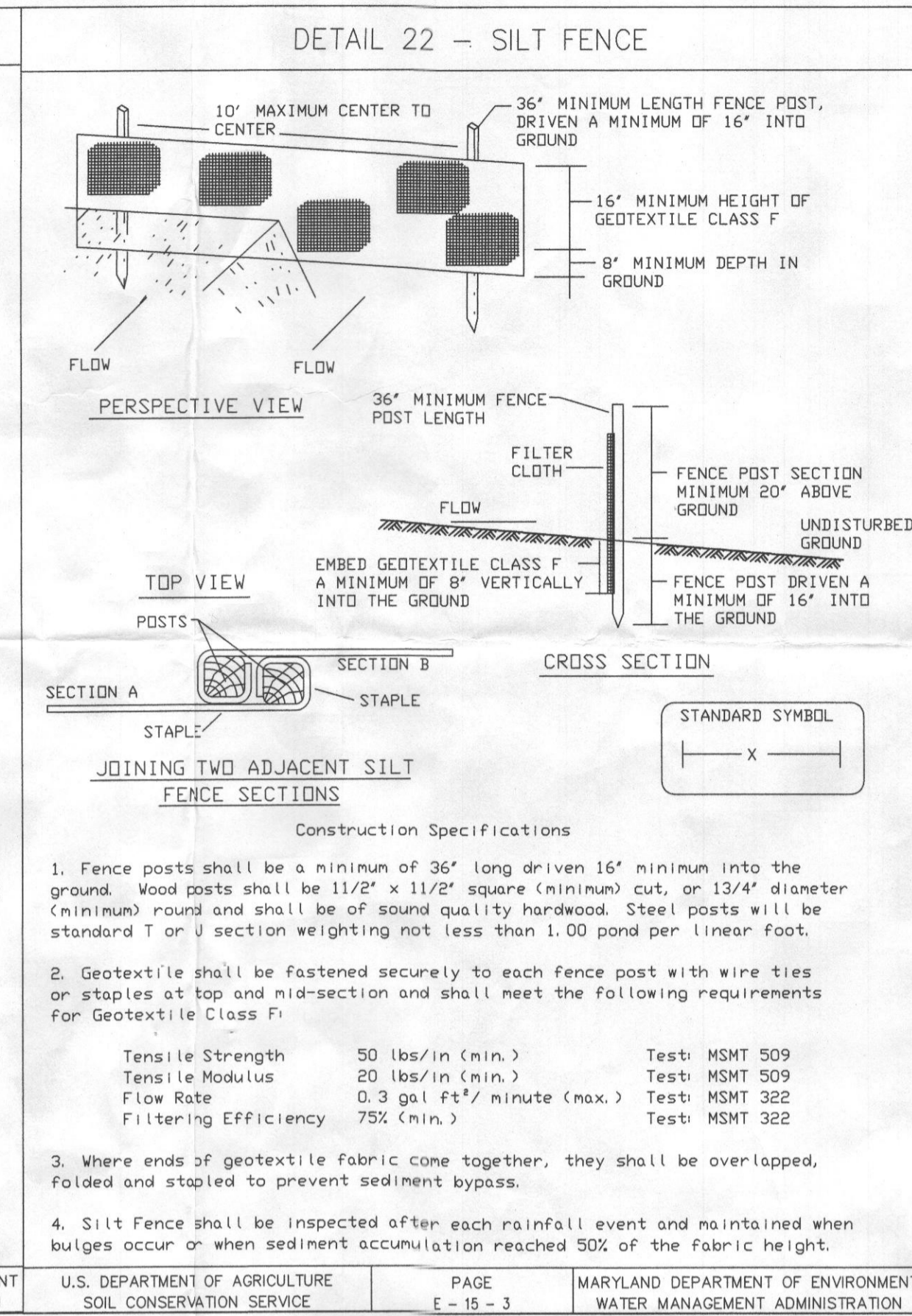
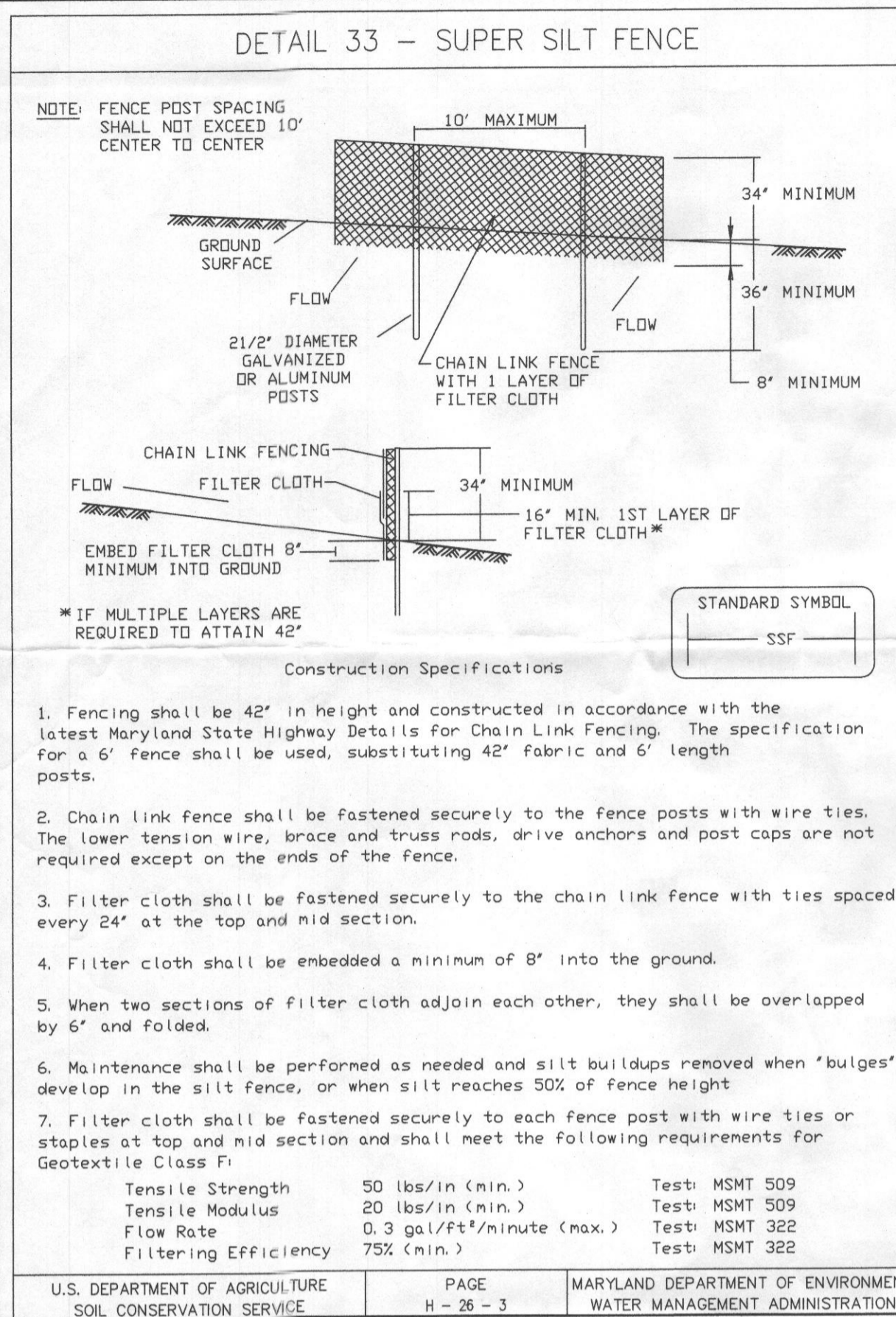
DEVELOPER'S CERTIFICATE

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF DEVELOPER DATE

SOIL TABLE

SYMBOL	NAME/DESCRIPTION	TYPE	HYDRIC
GgB	Glenelg Loam, 3 to 8% slopes	B	No
GnB	Gelville-Boille Silt Loam, 3 to 8% slopes	C	Yes



### SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (410-313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance or re-disturbance, permanent or temporary sediment control structures, dikes perimeter slopes and all slopes steeper than 3:1 to 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding. Sod, temporary seeding, and mulching (sec. G). Temporary stabilization with mulch alone shall only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 

Total Area of Site	= 0.602 Acres	= 16.73 Acres
Existing areas roofed or paved	= 0 Acres	
Proposed areas to be roofed or paved	= 0.2056 Acres	
Area to be vegetatively stabilized	= 0.3964 Acres	
Total		
Off-site waste/borrow area location:	N/A	
Total length of silt fence:	139 Feet	
Total length of super silt fence:	339 Feet	
- Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back filled and stabilized within one working day. Whichever is shorter.

### TEMPORARY SEEDING NOTES

Apply to graded or cleared areas likely to be re-disturbed where a short term vegetative cover is needed.

Seeding Preparation: - Loosen upper three inches of soil by raking, disking or other acceptable means before seeding if not previously loosened.

Soil Amendments: - Apply 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.).

Seeding: - For periods March 1 - April 30 and from August 15 - October 15, seed with 2-1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq. ft.). For the period May 1 - August 14, seed with 3 lbs/acre of weeping lovegrass (0.7 lbs/1000 sq. ft.). For the period November 15 - February 28, site by applying 2 tons/acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons/acre (70 to 90 lbs/1000 sq. ft.) of unrotted weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2/8 gal. per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8% or higher, use 3/4 gal. per acre (8 gal/1000 sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

### I. BIORETENTION AREA SOIL SPECIFICATION

**A. PLANTING SOIL:**  
THE BIORETENTION AREA SHALL CONSIST OF A PLANTING SOIL HAVING A HOMOGENEOUS MIX OF 50% CONSTRUCTION SAND, 20-30% TOPSOIL WITH AN ALLOWABLE 5% MAXIMUM CLAY CONTENT, AND 20-30% ORGANIC COMPOST OR MULCH TO PROVIDE A SOIL MEDIUM WITH HIGH HYDROLOGIC CAPACITY.

THE PLANTING SOIL SHALL BE FREE OF PLANTS OR PLANT PARTS OF BERMUDA GRASS, QUAKE GRASS, JOHNSON GRASS, MUGWORT, NUTSEDGE, POISON IVY, CANDIAN THISTLE OR OTHER AS SPECIFIED.

IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH.

THE PLANTING SOIL SHALL BE TESTED AND MEET THE FOLLOWING CRITERIA:

PH RANGE	5.5 - 6.5
ORGANIC MATTER	15 - 30%

THE FOLLOWING TESTING FREQUENCIES SHALL APPLY TO THE ABOVE SOILS:

PH ORGANIC MATTER: 1 TEST PER 90 CUBIC YARDS, BUT NOT MORE THAN 1 TEST PER BIORETENTION AREA.

ONE GRAIN SIZE ANALYSIS SHALL BE PERFORMED PER 90 CUBIC YARDS OF PLANTING SOIL, BUT NO LESS THAN 1 TEST PER BIORETENTION AREA.

**B. MULCH LAYER SPECIFICATION:**  
A MULCH LAYER SHALL BE PROVIDED ON TOP OF PLANTING SOIL. AN ACCEPTABLE MULCH LAYER SHALL INCLUDE SHREDDED HARDWOOD OR SHREDDED WOOD CHIPS OR OTHER SIMILAR PRODUCTS APPROVED BY THE HOWARD COUNTY DEPARTMENT OF ENVIRONMENTAL RESOURCES.

OF THE APPROVED MULCH PRODUCTS, ALL MUST BE WELL AGED, UNIFORM IN COLOR, AND FREE OF FOREIGN MATERIALS, INCLUDING PLANT MATERIAL. WELL AGED MULCH IS DEFINED AS MULCH THAT HAS BEEN COMPOST PILED OR STORED FOR AT LEAST TWELVE (12) MONTHS.

**C. SAND SPECIFICATION:**  
THE SAND SHALL BE FREE OF DELETERIOUS MATERIAL AND ROCKS GREATER THAN ONE INCH IN DIAMETER.

**D. COMPACTION:**  
SOIL SHALL BE PLACED IN LIFTS LESS THAN 18 INCHES AND LOCALLY COMPACTED.

### II. BIORETENTION AREA PLANT SPECIFICATION

**GENERAL PLANTING:**

- ROOT STOCK OF PLANT MATERIAL SHALL BE KEPT MOIST DURING TRANSPORT FROM SOURCE TO THE JOB SITE AND UNTIL PLANTED.
- WALLS OF PLANTING PIT SHALL BE DUG SO THAT THEY ARE VERTICAL.
- THE DIAMETER OF PLANTING PIT MUST BE A MINIMUM OF SIX INCHES LARGER THAN THE DIAMETER OF THE ROOT BALL.
- THE PLANTING PIT SHALL BE DEEP ENOUGH TO ALLOW 1/4 OF THE BALL TO BE ABOVE THE EXISTING GRADE. LOOSE SOIL AT THE BOTTOM OF THE PIT SHALL BE TAMPED BY HAND.
- THE APPROPRIATE AMOUNT OF FERTILIZER IS TO BE PLACED AT THE BOTTOM OF THE PIT.
- THE PLANT SHALL BE REMOVED FROM THE CONTAINER AND PLACED AT THE BOTTOM OF THE PLANTING PIT BY LIFTING AND CARRYING THE PLANT BY ITS BALL. NEVER LIFT THE PLANT BY THE BRANCHES OR TRUNK.
- SET THE PLANT STRAIGHT AND IN THE CENTER OF THE PIT SO THE CENTER OF THAT THE BALL IS APPROXIMATELY 1/4 ABOVE THE FINAL GRADE.
- BACKFILL PLANTING PIT WITH EXISTING SOIL.
- MAKE SURE PLANT REMAINS STRAIGHT DURING BACKFILLING PROCEDURE.
- NEVER COVER THE TOP OF THE BALL WITH SOIL. MOUND SOIL AROUND THE EXPOSED ? OF THE BALL.
- MAKE SURE MULCH DOES NOT CONTACT TREE'S TRUNK.
- TREE SHALL BE BRACED USING 2" X 2" WHITE OAK STAKES.
- STAKES SHALL BE PLACED PARALLEL TO WALKWAYS AND BUILDINGS. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL. THE TREE IS BRACED TO THE STAKES UTILIZING HOSE AND WIRES.

**FERTILIZER:**

- TREE AND SHRUB FERTILIZER SHALL BE A 21 gm. TIGHTLY COMPRESSED, LONG LASTING, SLOW RELEASE (2-YEAR) FERTILIZER TABLET WITH MINIMUM GUARANTEED ANALYSIS OF 20-10-5:

TOTAL NITROGEN (N)	= 20%
WATER SOLUBLE ORGANIC NITROGEN	= 7%
WATER IN SOLUBLE ORGANIC NITROGEN	= 13%
AVAILABLE PHOSPHORIC ACID (P2 O5)	= 10%
SOLUBLE POTASH (K2O)	= 5%

FOR CONTAINERIZED TREES AND SHRUBS, PLACE THE SPECIFIED FERTILIZER TABLET(S) IN THE BOTTOM OF THE PLANTING PIT ACCORDING TO THE FOLLOWING RATES:

1 GAL. CONTAINER	1 ea. 21 gm. TABLETS.
3 GAL. CONTAINER	3 ea. 21 gm. TABLETS.
5 GAL. CONTAINER	5 ea. 21 gm. TABLETS.
7 GAL. CONTAINER	7 ea. 21 gm. TABLETS.

PLANTING NON-GRASS GROUND COVER:

- THE GROUND COVER PLANTING HOLES SHALL BE DUG THROUGH THE MULCH WITH ONE OF THE FOLLOWINGS: HAND TROWEL, SHOVEL, BULB PLANTER, OR HOE (THIS DOES NOT APPLY TO GRASS OR LEGUMES).
- BEFORE PLANTING BIODEGRADABLE POTS, THEY SHALL BE SPLIT, AND NON BIODEGRADABLE POTS SHALL BE REMOVED. ROOT SYSTEMS OF THE POTTED PLANTS SHALL BE SPLIT OR CRUMBLED.
- THE GROUND COVER SHALL BE PLANTED SO THAT ROOTS ARE SURROUNDED BY THE SOIL BELOW THE MULCH. POTTED PLANTS SHALL BE SET SO THAT THE TOP OF THE POT IS EVEN WITH THE EXISTING GRADE. THE ROOTS OF BARE-ROOT PLANTS SHALL BE COVERED TO THE CROWN.
- THE MULCH AND PLANTED GROUND COVER BED SHOULD BE COVERED WITH A PRE-EMERGENT HERBICIDE.
- THE ENTIRE GROUND COVER BED SHALL BE THOROUGHLY WATERED.

**PERMANENT SEEDING NOTES**

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

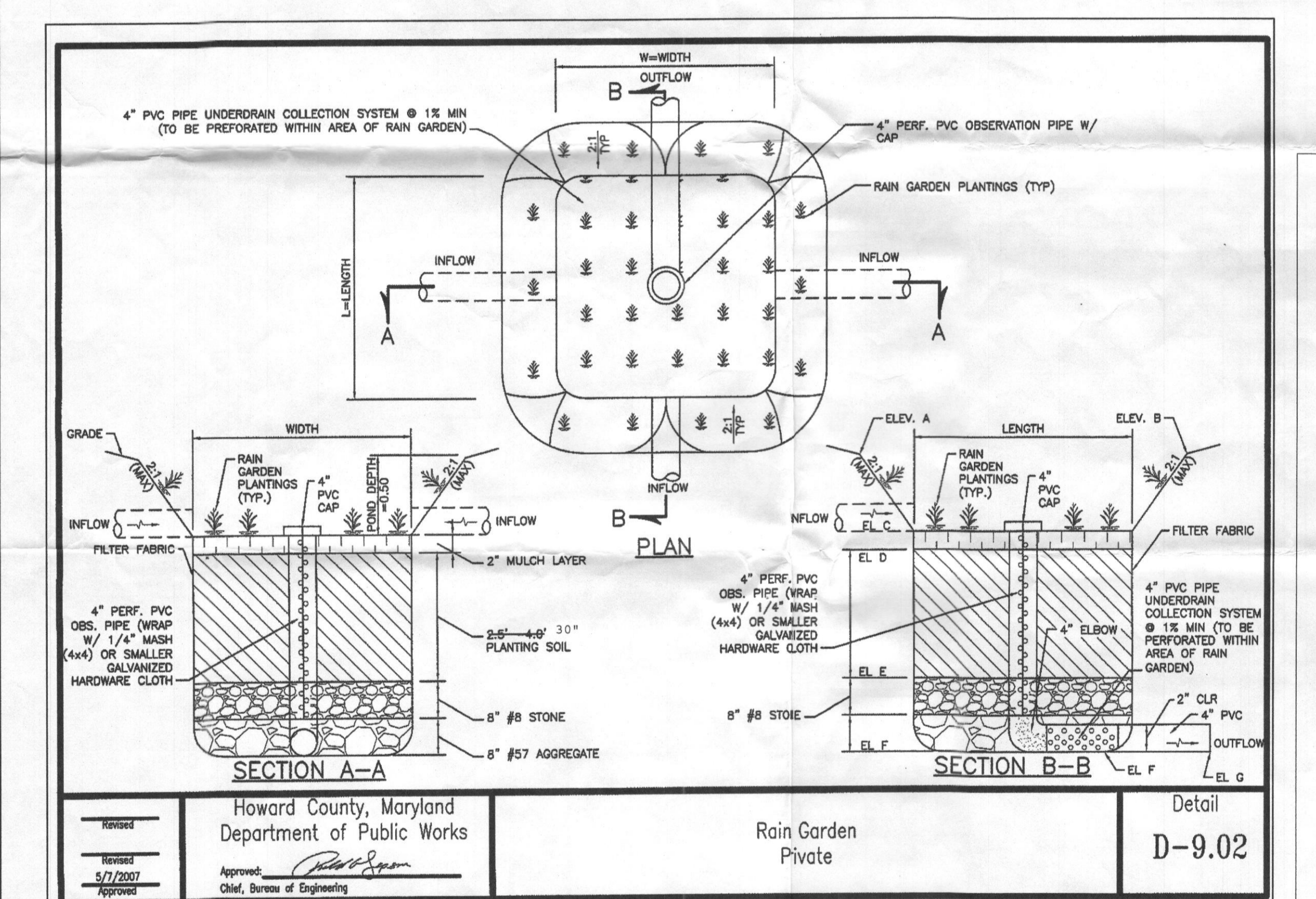
- Preferred: Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs/acre 30-0-0 urea-form fertilizer (9 lbs/1000 sq. ft.).
- Acceptable: Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs/acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

Seeding: For the periods March 1 - April 30, and August 1 - October 15, seed with 960 lbs/acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 - July 31, seed with 60 lbs/acre Kentucky 31 Tall Fescue per acre and 2 lbs/acre (0.5 lbs/1000 sq. ft.) of weeping lovegrass. During the period of October 15 - February 28, protect site by Option 1 - Two tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option 2 - Use sod. Option 3 - Seed with 60 lbs/acre Kentucky 30 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2/8 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8% or higher, use 3/4 gal. per acre (8 gal/1000 sq. ft.) for anchoring.

Maintenance: Inspect all seeding areas and make needed repairs, replacements and seedings.

BUILDABLE PRESERVATION  
 PARCEL "A"  
 MAPLEWOOD FARMS  
 PLAT NUMBER 22666  
 4TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND



### Table B.4.1 Materials Specifications for Micro-Bioretenation, Rain Gardens & Landscape Infiltration-

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil [2' to 4' deep]	loamy sand (60 - 65%) & compost 35 - 40% or sandy loam (30%), coarse sand (30%) & compost 40%	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM 2974)		
Mulch	shredded hardwood		aged 6 months, minimum; no pine or wood chips
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" to 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile	AASHTO M-43	n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth
Poured in place concrete (if required)	MSHA Mix No. 3; f'c = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking
Sand	AASHTO M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

**REVISIONS**

NO.	DESCRIPTION

**PERMANENT SEEDING NOTES**

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred: Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs/acre 30-0-0 urea-form fertilizer (9 lbs/1000 sq. ft.).
- Acceptable: Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs/acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

Seeding: For the periods March 1 - April 30, and August 1 - October 15, seed with 960 lbs/acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 - July 31, seed with 60 lbs/acre Kentucky 31 Tall Fescue per acre and 2 lbs/acre (0.5 lbs/1000 sq. ft.) of weeping lovegrass. During the period of October 15 - February 28, protect site by Option 1 - Two tons per acre of well anchored straw mulch and seed as soon as possible in the spring. Option 2 - Use sod. Option 3 - Seed with 60 lbs/acre Kentucky 30 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching: Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2/8 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8% or higher, use 3/4 gal. per acre (8 gal/1000 sq. ft.) for anchoring.

Maintenance: Inspect all seeding areas and make needed repairs, replacements and seedings.

PLAN PREPARED BY:  
 NJR & ASSOCIATES  
 Land Surveying and Planning  
 2770 STATE ROUTE 82  
 WEST FREEDENSHIP, MD 21794  
 TEL: (410) 508-3200

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

HOWARD SCD DATE

**ENGINEERS CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

M.N. ROSHAN, L.S. DATE JUNE 30, 2017

**DEVELOPER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER DATE

DATE: MAR. 5, 2017  
 JOB NUMBER: 3379  
 FILE NUMBER: 3379SITE  
 PLOTTED: JUNE 30, 2017  
 DRAWN BY: NR  
 SHEET 2 OF 2





## Williams, Jeffrey

---

**From:** Williams, Jeffrey  
**Sent:** Tuesday, February 14, 2017 8:27 AM  
**To:** 'Gregory Phillips'  
**Subject:** RE: Maple Woods Farms Number of AVAILABLE BEDROOMS Clarification Request

Hello Greg. Answers:

1. The plans are indicating that the basements are not served by gravity, but as with any house, they would have an option to finish a basement with plumbing and use a ejector pump inside the house to pump the basement wastewater into the main drain, or run a line outside to a pump tank that would pump the wastewater to the line into the grinder pit. That statement would not prevent someone from finishing a basement. Furthermore, there would always be the possibility of a bump-out addition that adds a bedroom. While the houses are all built, the lots were indicated on the original plans as having capacity for 5 bedrooms. We cannot unilaterally and retroactively take away the ability for those property owners to have 5 bedroom houses. This issue came up a while ago with a different prospective buyer and we discussed the issue with DPW. The decision was that the existing lots were allotted 5 bedrooms and the pres parcel was to be allotted 4 bedrooms.
2. You do not need to submit a separate OSDS design plan. The building permit plot plan must show the sewer house connection with indication of the size and material (4" PVC) and elevations at the house connection and the grinder pit connection along with the fall percentage. If the line crosses under a driveway, the plan must show a sleeve around the line extending to either side of the driveway (usually a 5" PVC sleeve).

Let me know if there are any additional questions. Thanks  
Jeff

---

**From:** Gregory Phillips [mailto:gphillips@mred.us]  
**Sent:** Friday, February 10, 2017 9:48 PM  
**To:** Williams, Jeffrey  
**Subject:** Re: Maple Woods Farms Number of AVAILABLE BEDROOMS Clarification Request

Jeff,

When you have a minute I need clarification on two things on the Maple Woods Preservation Parcel A lot located on Burntwoods Road and the topic of our former correspondence found below.

### ISSUE 1

In your email below you state that the existing homes, located on the one acre lots can add bedrooms. In this regard I want to make sure that you are aware of two issues. The first is that all six of the one acre homes are built. The second is that all six of the one acre homes have the C.N.S. designation which is defined as "CELLAR CAN NOT BE SERVED." Its been a long time since I have seen that term in a modern set of plans but are they defining cellar as the basement level? if that is so then there is still a reasonable use of the existing unused 9 bedroom units for the buyer of Preservation Parcel A to build a 5 bedroom home as all the homes are only 4 bedrooms and can not have sewer service in the lower level.

Based on your email below I am not sure who would make this call you or DPW. Can you shed some additional lite on this for the buyer's consideration.

### ISSUE 2

Assuming we go with a 4 or a to be approved 5 bedroom plan, what do you or does DPW need in way of a plan at the time of building permit submission? The buyer has spoken to two engineers and GLW seems to think that no separate plan, such as what we did for Millers Mill and Folly Quarter are needed. GLW is suggesting that we can simply show the invert of the existing Grinder pump for this house and the sewer line elevation as it exits the foundation wall on the to be built house. I have not seen the elevation but I assume it will be a hung sewer for the second level and main level with the lower level bath, if optioned, being serviced by a interior foundation grinder pump.

Can you please confirm that no extra plan is needed for a building permit.

Regards,

Gregory Phillips  
Maryland Real Estate Development  
Direct 410.977.0864  
[gphillips@MRED.US](mailto:gphillips@MRED.US)



On Jan 11, 2017, at 10:05 AM, Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)> wrote:

The system was originally designed for the 6 new lots at 5 bedrooms each and the old farm house to remain, which was 3 bedrooms. That is where the 33 bedrooms comes from. The new houses were all built for 4 bedrooms, but they all have the ability to add a bedroom if they so wish. This issue was raised a few years ago and after a long back and forth, it was agreed between us and DPW who owns and operates the shared system that the parcel (which had the farm house torn down) could support up to 4 bedrooms instead of 3. There cannot be a 5 bedroom house there per the design plan. If you or the buyers would like a copy of the property file, send us a PIA request and you can get the full history. Thanks Jeff

---

**From:** MRED [<mailto:gphillips@mred.us>]  
**Sent:** Tuesday, January 10, 2017 5:14 PM  
**To:** Williams, Jeffrey  
**Subject:** Maple Woods Farms Number of AVAILABLE BEDROOMS Clarification Request

Jeff,

Attached please find copies of all of the building permits for lots 1-6 and Preservation Parcel A and an associated chart, which are all part of the Maple Woods Farm shared septic system.

Based on my research I can see that the 4,950 gallon system can yield 33 bedroom units at 150 gallons per bedroom.

Based on my research, as noted in the attached permits downloaded from your site, only 24 bedroom units have been consumed for the 6 existing homes leaving 9 bedroom units available. The buyers of Preservation Parcel A

would like to build a 5 bedroom home and want to make sure that there will not be an issue in this regard. I did not see a bedroom chart on the plan so I thought I would reach out to you for confirmation.

Please let me know if the site can yield a 5 bedroom home when you have time.

Regards,

Gregory Phillips  
Maryland Real Estate Development  
Direct 410.977.0864  
[gphillips@MRED.US](mailto:gphillips@MRED.US)

## Williams, Jeffrey

---

**From:** Williams, Jeffrey  
**Sent:** Friday, August 07, 2015 11:54 AM  
**To:** 'Serwaaaking@aol.com'  
**Subject:** RE: 14347 Burntwood Road Glenwood, MD 21738-9258

This is a response to your askhealth question below. This lot is connected to a shared sewage disposal system that is owner and operated by Howard County Dept. of Public Works. A new house being built on this parcel will be responsible for installing a private sewer line connecting the new house to the existing collection system in the public easement at the driveway and then paying operation and maintenance fees to the county for upkeep of the shared system similar to public sewer fees. The shared system was designed and constructed to accommodate up to a 4 bedroom house on this parcel. There is no opportunity to have more than 4 bedrooms as the system is not able to be expanded. Let me know if you have additional questions. Thanks

Jeff Williams  
Program Supervisor, Well & Septic Program  
Bureau of Environmental Health  
Howard County Health Dept.  
410-313-4261  
[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)

### CONFIDENTIALITY NOTICE

This message and the accompanying documents are intended only for the use of the individual or entity to which they are addressed and may contain information that is privileged, confidential, or exempt from disclosure under applicable law. If the reader of this email is not the intended recipient, you are hereby notified that you are strictly prohibited from reading, disseminating, distributing, or copying this communication. If you have received this email in error, please notify the sender immediately and destroy the original transmission.

---

**From:** DeHernandez, Lisa  
**Sent:** Wednesday, August 05, 2015 12:09 PM  
**To:** Williams, Jeffrey  
**Cc:** Davis, Michael J  
**Subject:** FW: 14347 Burntwood Road Glenwood, MD 21738-9258

Will you handle? Thanks

**From:** [Serwaaaking@aol.com](mailto:Serwaaaking@aol.com) [mailto:Serwaaaking@aol.com]  
**Sent:** Wednesday, August 05, 2015 11:05 AM  
**To:** AskHealth  
**Subject:** 14347 Burntwood Road Glenwood, MD 21738-9258

Data from form "Contact Howard County Government" was received on 8/5/2015 11:04:59 AM.

Contact Howard County Government

Field	Value
HCGEmailAddr	<a href="mailto:askhealth@howardcountymd.gov">askhealth@howardcountymd.gov</a>
YourEmailAddr	<a href="mailto:Serwaaaking@aol.com">Serwaaaking@aol.com</a>
Name	Serwaa King
Subject	14347 Burntwood Road Glenwood, MD 21738-9258
MessageBody	<p>Hello! I am a Realtor with Fitzgerald Realty and Auctioneers in Charlotte Hall, MD. WSSC suggested that I reach out to you regarding the sewage system for this property. This property is currently for sale, and I have a client expressing interest in it. However I need some clarification. This property (land) is in the Maplewood Subdivision. The listing agent states that it has shared septic so no septic system will need to be installed. As I began to read through the disclosures, my client and I had additional questions. With a shared septic, how many bedrooms can home have built on this lot? Would my client be looking at only being able to build a 4 bedroom home? Is that all the sewage this shared septic can handle or is it possible that they can build a home with generates more sewage than a 4 bedroom home on this 16+ acre plot of land? Any information you can provide would be greatly appreciated. If you have any questions please feel free to contact me at 240-577-4230, by email at <a href="mailto:Serwaaaking@aol.com">Serwaaaking@aol.com</a> or by fax at 301-884-7200. Thank you!</p>

Email "14347 Burntwood Road Glenwood, MD 21738-9258" originally sent to [askhealth@howardcountymd.gov](mailto:askhealth@howardcountymd.gov) from [Serwaaaking@aol.com](mailto:Serwaaaking@aol.com) on 8/5/2015 11:04:59 AM.

## Williams, Jeffrey

---

**From:** Lynn Davis [ldavis@ecotoneinc.com]  
**Sent:** Thursday, December 19, 2013 4:04 PM  
**To:** Williams, Jeffrey  
**Subject:** RE: Maplewood Farms

Thank you for all your help!

---

**From:** Williams, Jeffrey [mailto:jewilliams@howardcountymd.gov]  
**Sent:** Thursday, December 19, 2013 3:33 PM  
**To:** Lynn Davis  
**Subject:** RE: Maplewood Farms

That is just what we wanted. After conferring with Dept. of Public Works who own the shared system, we are comfortable with letting Pres. Parcel A have a house with 4 bedrooms. Thanks for your patience.  
Jeff

---

**From:** Lynn Davis [mailto:ldavis@ecotoneinc.com]  
**Sent:** Thursday, December 19, 2013 2:24 PM  
**To:** Williams, Jeffrey  
**Subject:** RE: Maplewood Farms

Here is the Deed (Lib 13959 folio 314) transferring the Preservation Parcel to us from ABA. The only reference to the shared Facility is found on the first page stating "this conveyance is subject to the provisions of a Deed of Shared Sewage Disposal Facility Easement" (Lib 10887 folio 001).

I have also attached that easement, which I am sure you have already reviewed. It does not contain any reference to capacity or number of bedrooms.

Please let me know if this is what you are looking for.

Thanks

**Lynn Davis**  
Senior Project Manager



2120 HIGH POINT ROAD  
FOREST HILL, MARYLAND 21050  
OFFICE - 410-420-2600 FAX - 410-420-6983  
MOBILE - 443-617-5945  
[WWW.ECOTONEINC.COM](http://WWW.ECOTONEINC.COM)  
[LDAVIS@ECOTONEINC.COM](mailto:LDAVIS@ECOTONEINC.COM)