

Permits: 410-313-2455
 Inspections: 410-313-1810
 Automated Line: 410-313-3800

Howard County Building/Fire Permit Application
 Department of Inspections, Licenses & Permits
 3430 Court House Drive
 Ellicott City, MD 21043

Permit Number:

Building Address: 14012 TRIADELPHIA RD
Colenely, MD 21037

Suite/Apt. # _____ SDP/WP/BA #: _____

Census Tract: _____ Subdivision: _____

Section: _____ Area: _____ Lot: 3

Tax Map: 21 Parcel: 49 Grid: 18

Zoning: _____ Map Coordinates: _____ Lot Size: 3.77

Existing Use: BASEMENT WINDOW

Proposed Use: CONCRETE BLOCK AREAWAY

Estimated Construction Cost: \$ 7500.00

Description of Work: EXCAVATE AREA. REMOVE WINDOW
SAW CUT OPENING FOR 36" EXTERIOR DOOR. P&P
POUR 4' WIDE AREAWAY - ADD IRON CHAIRS TO CONCRETE

Occupant or Tenant: _____

Was tenant space previously occupied? Yes No

Contact Name: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Fax: _____

Email: _____

Property Owner's Name: William PEPAL

Address: 14012 TRIADELPHIA RD

City: Colenely State: MD Zip Code: 21037

Home Phone: 443-745-7090 Work Phone: _____

Applicant's Name & Mailing Address, (if other than stated herein): _____

Phone: _____ Fax: _____

Email: wrpinvestments@gmail.com

Contractor Company: TROY B PORTA: SONS, INC

Contact Person: STEPHANIE PORTA

Address: 10382 BALTIMORE NAT PIKE

City: ELICOTT CITY State: MD Zip Code: 21042

License No.: 126323

Phone: 410 465 4103 Fax: 410 465 5360

Email: Sporta@verizon.net

Engineer/Architect Company: _____

Responsible Design Prof.: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Fax: _____

Email: _____

BUILDING DESCRIPTION - COMMERCIAL

Building Characteristics	Utilities
Height:	<input checked="" type="checkbox"/> <u>Water Supply</u>
No. of stories:	<input type="checkbox"/> Public
Gross area, sq. ft./floor:	<input type="checkbox"/> Private
	<u>Sewage Disposal</u>
Area of construction (sq. ft.):	<input type="checkbox"/> Public
	<input type="checkbox"/> Private
Use group:	Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<u>Construction type:</u>	<u>Heating System</u>
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Masonry	<u>Sprinkler System:</u>
<input type="checkbox"/> Wood Frame	<input type="checkbox"/> N/A
<input type="checkbox"/> State Certified Modular	<input type="checkbox"/> Full
<input checked="" type="checkbox"/> <u>Roadside Tree Project Permit</u>	<input type="checkbox"/> Partial
<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Other Suppression
<u>Roadside Tree Project Permit #</u>	No. of Heads:

BUILDING DESCRIPTION - RESIDENTIAL

Building Characteristics	Utilities
<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	<u>Water Supply</u>
<u>Depth</u> <u>Width</u>	<input type="checkbox"/> Public
1 st floor:	<input checked="" type="checkbox"/> Private
2 nd floor:	<u>Sewage Disposal</u>
Basement:	<input type="checkbox"/> Public
<input type="checkbox"/> Finished Basement	<input checked="" type="checkbox"/> Private
<input type="checkbox"/> Unfinished Basement	Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Crawl Space	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Slab on Grade	<u>Heating System</u>
No. of Bedrooms:	<input type="checkbox"/> Electric
<u>Multi-family Dwelling</u>	<input type="checkbox"/> Oil
No. of efficiency units:	<input type="checkbox"/> Natural Gas
No. of 1 BR units:	<input type="checkbox"/> Propane Gas
No. of 2 BR units:	
No. of 3 BR units:	
Other Structure:	
Dimensions:	
Footings:	<input checked="" type="checkbox"/> <u>Roadside Tree Project Permit</u>
Roof:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> State Certified Modular	<u>Roadside Tree Project Permit #</u>
<input type="checkbox"/> Manufactured Home	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature _____

Print Name _____

Email Address _____

Date _____

Title/Company _____

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>8/14/16</u>	<u>H. Osgood</u>
Fire Protection		

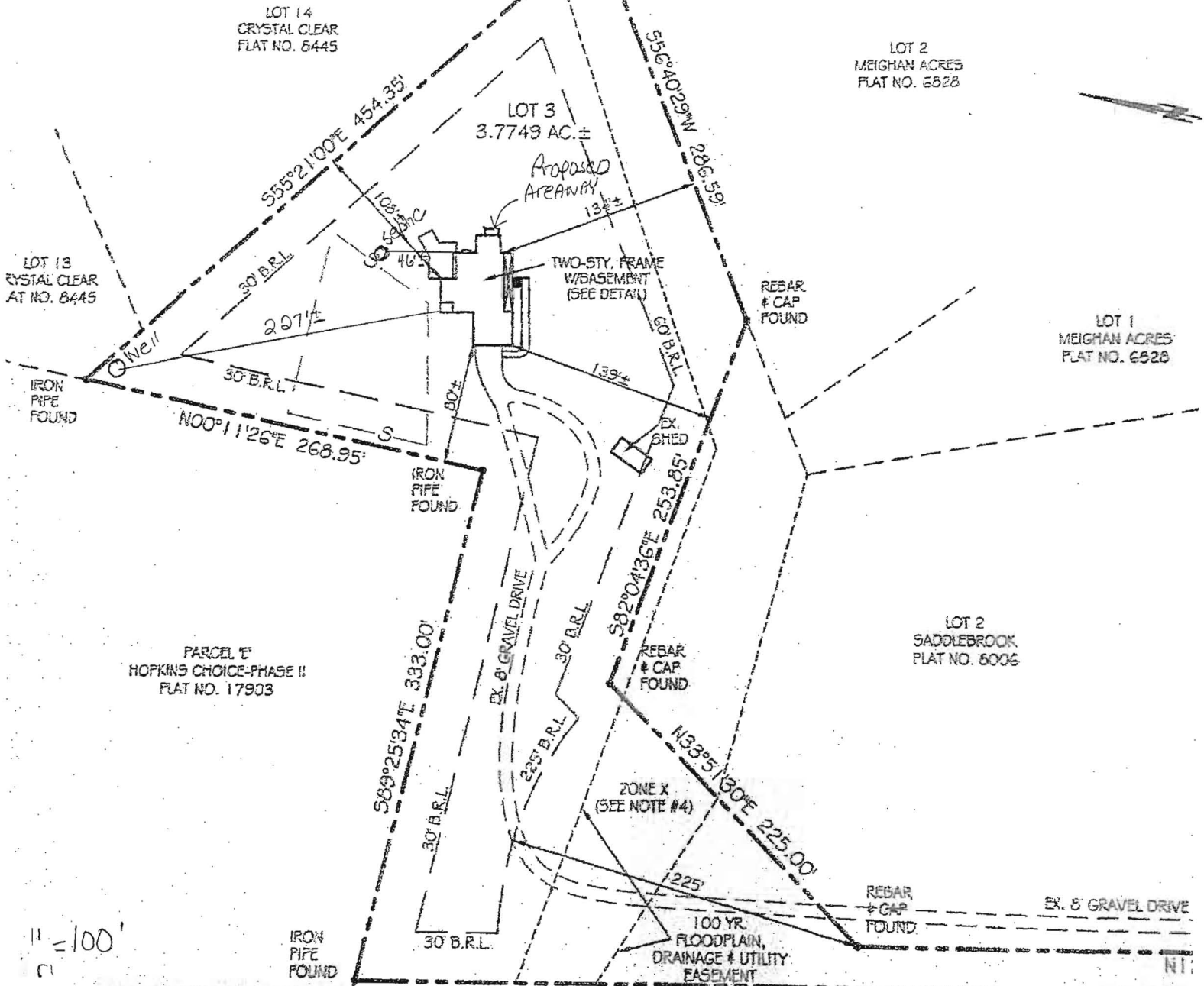
Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START
 ONE STOP SHOP

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$

14012 TRIADELPHIA RD
 GLENELG, MD 21737
 SADDLEBROOK LOT 3

CURVE	RADIUS	ARC LENGTH	CURVE DATA DELTA ANG
C1	1720.00'	25.13'	0°50'13"



PARCEL 'E'
 HOPKINS CHOICE-PHASE II
 PLAT NO. 17903

LOT 2
 SADDLEBROOK
 PLAT NO. 6006

LOT 1
 MEIGHAN ACRES
 PLAT NO. 6928

LOT 2
 MEIGHAN ACRES
 PLAT NO. 6828

LOT 14
 CRYSTAL CLEAR
 PLAT NO. 6445

LOT 13
 CRYSTAL CLEAR
 AT NO. 6445

LOT 3
 3.7749 AC. ±

1" = 100'
 CI

APPROVED

WALK-THRU BUILDING PERMIT

3P# _____ A# _____

APP. SAN H. Oswald / DATE: 8/14/16

DESC. OF WORK: Excavate area. Remove window. Sewer cut opening for 36" ext. door

PROFESSIONAL CERTIFICATION

I hereby certify that this document was prepared by me or under my responsible charge, and that I am a duly licensed Professional Surveyor under the laws of the State of Maryland, License No. 266 Expiration Date 9/09/15, in accordance with



TRIADELPHIA RD
 ← →

30 (+ 14) 9

EXISTING HOME

SUMP

SAWCUT 36" EXTERIOR DOOR OPENING IN PLACE OF EXISTING WINDOW

EXISTING 30" BASEMENT WINDOWS

12" CMU FOUNDATION WALLS TO BE TIERED AND PARDED

CONCRETE STEPS TO BE 7 1/4" RISE AND 12" RUN 3500 PSI W/ AIR CONCRETE

24" x 8" DEEP CONCRETE FOOTINGS 3000 PSI NON AIR CONCRETE 30" BELOW GRADE EPC. #4 REBAR CONT.

INSTALL DRAIN PIPED INTO SUMP

14"

16'

CONCRETE/BUILD-ALWAYS

PEPAL
14012 TRIADELPHIA RD
COLLEGE, MD

SCALE = 1/2" = 1'