



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 3-25-14

Permit No.: B14000845

Building Address: 6234 Heather Glen Way
City: Clarksville State: MD Zip Code: 21029
Suite/Apt. #: _____ SDP/WP/BA #: F-06-72
Census Tract: _____ Subdivision: The Preserve at Clarksville
Section: _____ Area: _____ Lot: 5
Tax Map: 34 Parcel: 77 Grid: 11
Zoning: RR-300 Map Coordinates: _____ Lot Size: 1.13 AC
49,073 sq ft

Existing Use: Vacant Lot
Proposed Use: SF Home
Estimated Construction Cost: \$ 150,000
Description of Work: Wellington w/ conservatory, 2 story, full bath, 12 R, 4BR, 2HB, 2FP + 3 car garage (4-BR), to include 2 car detached garage.
Occupant or Tenant: _____
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Property Owner's Name: Williamsburg Group LLC
Address: 5105 Harper Farm Rd #200
City: Columbia State: MD Zip Code: 21029
Phone: 410-997-8800 Fax: _____
Email: marina.morris@williamsburgllc.com

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: _____
Contact Person: _____
Address: _____
City: _____ State: _____ Zip Code: _____
License No.: 153
Phone: _____ Fax: _____
Email: _____

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories: _____	Depth _____ Width _____	
Gross area, sq. ft./floor: _____	1 st floor: _____	
Area of construction (sq. ft.): _____	2 nd floor: _____	
Use group: _____	Basement: _____	
Construction type: _____	<input type="checkbox"/> Finished Basement	
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement	
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Craw Space	
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> State Certified Modular	Multi-family Dwelling	
	No. of efficiency units: _____	
	No. of 1 BR units: _____	
	No. of 2 BR units: _____	
	No. of 3 BR units: _____	
	Other Structure: _____	
	Dimensions: _____	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof: _____	
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other: _____	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>G14000088</u>	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERE TO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE WARRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Marina Morris Print Name: MARINA MORRIS
Email Address: marina.morris@williamsburgllc.com Date: 3/24/14
Title/Company: agent

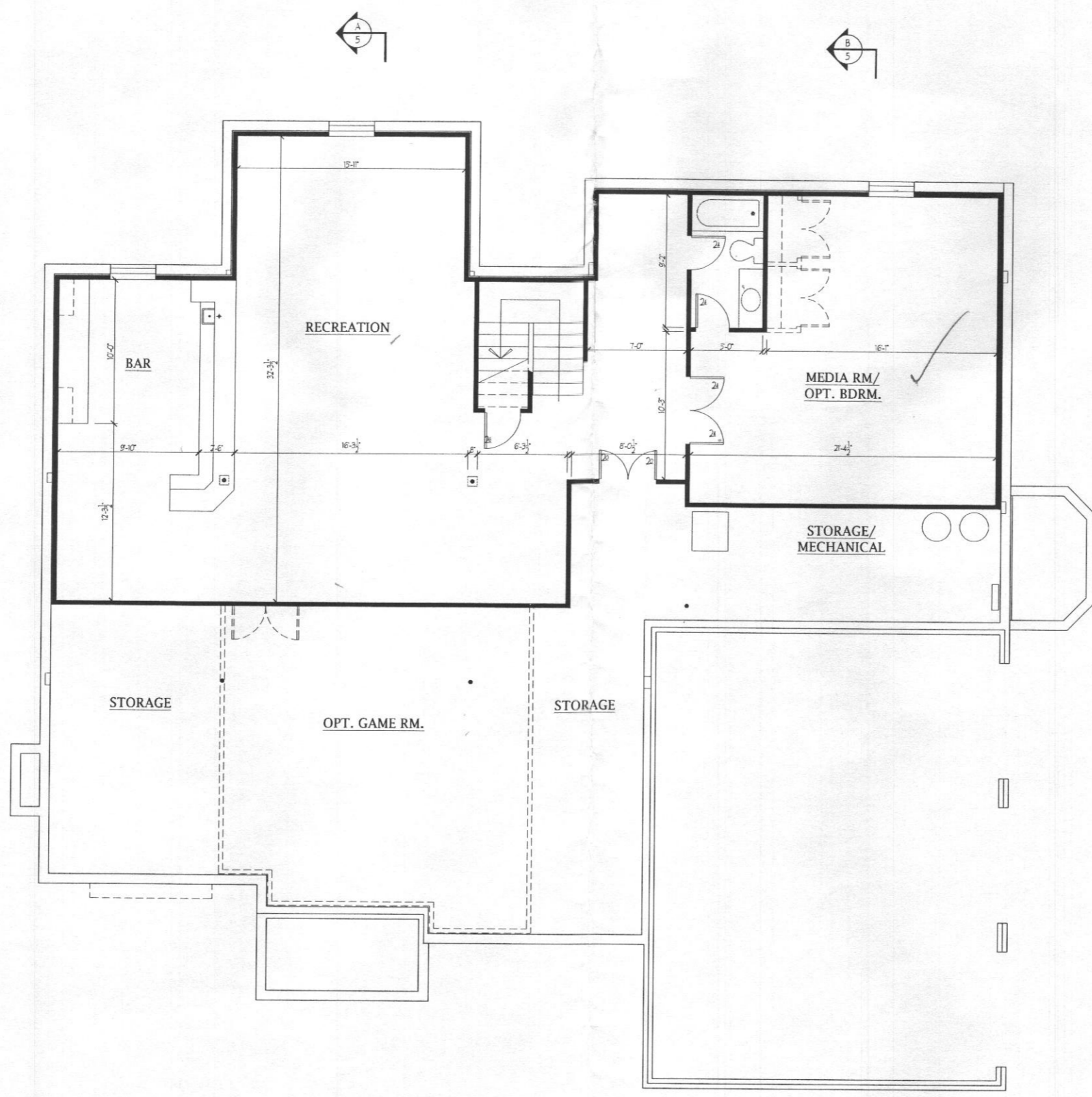
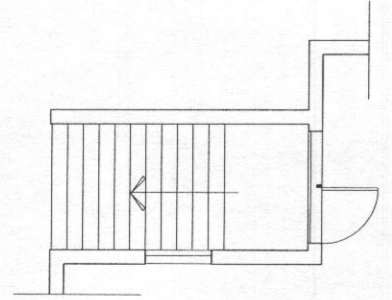
Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>4/1/14</u>	<u>[Signature]</u>

Is Sediment Control approval required for instance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	\$ <u>239190</u>



ΒΙΒΛΙΟΤΗΚΗ ΚΑΙ ΕΡΕΥΝΗΤΙΚΟ ΚΕΝΤΡΟ
 ΚΑΤΑΧΩΡΗΤΗΡΙΑ ΝΕΥΤΙΛΕ ΠΟΛΙΣ
 ΑΥΓ 8 8 50Π
 ΚΕΦΕΛΑΙΟ

Plymouth Road Architects
 640 Plymouth Road, Catonsville, MD 21229 410-788-0281

DATE	REVISION	DATE	REVISION

Date: 10/00
 Scale: 1/4"=1'-0"
 Drawn: TIM

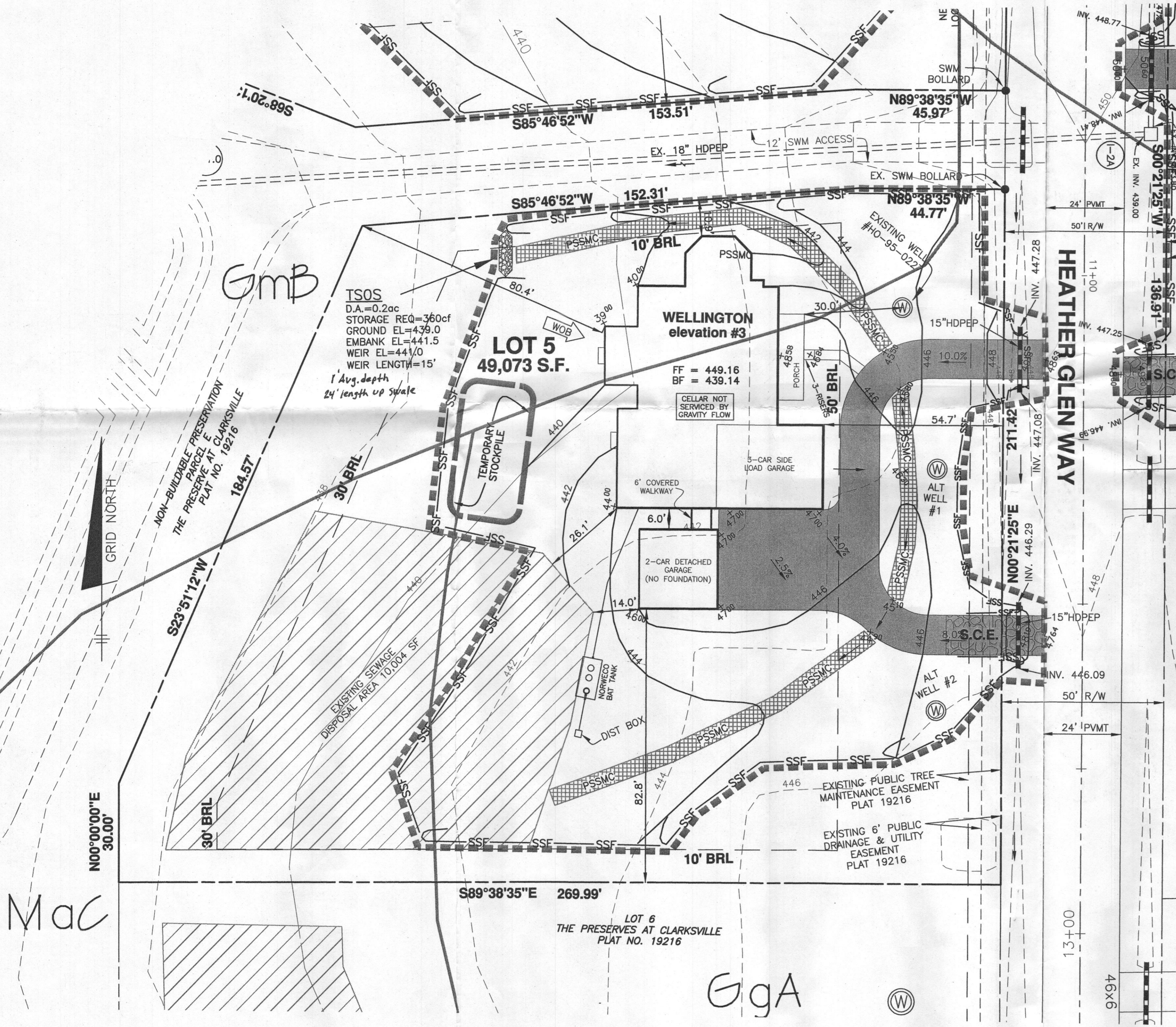
Drawing: FINISHED BASEMENT PLAN
 Project: WILLIAMSBURG GROUP
 WELLINGTON

1067.W
 Project No.

2b

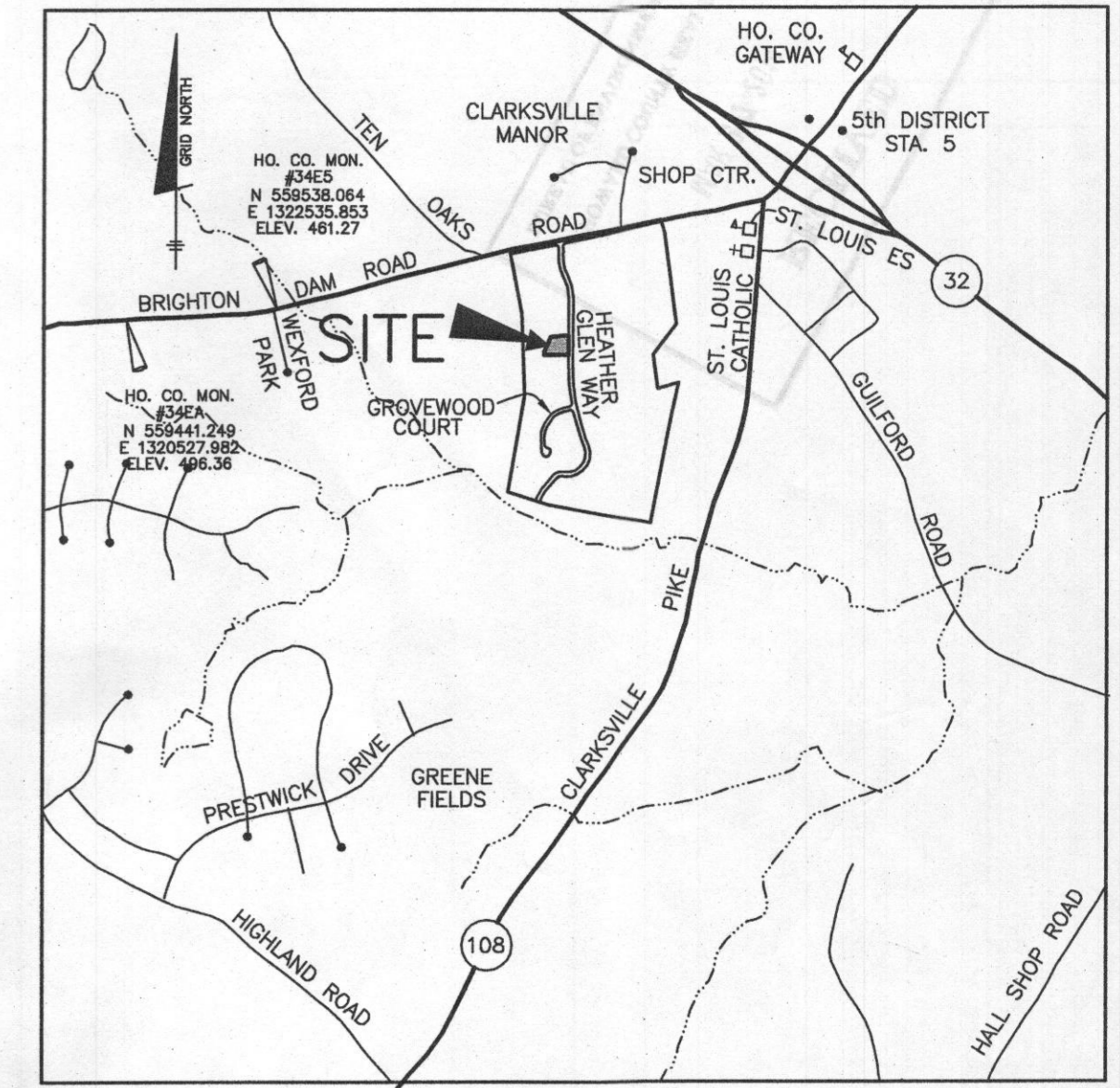
REVISED SET 10/8/13

950018241



NOTES:

1. THE TOPOGRAPHY OF THIS PLAN IS TAKEN FROM FIELD SURVEY BY BENCHMARK ENGINEERING, INC. AND SIGNED F-06-072 PLANS AND IS VERIFIED TO ACCURATELY REPRESENT THE RELATIVE CHANGES ON THE SUBJECT PROPERTY.
2. THIS AREA DESIGNATES A PRIVATE SEWAGE DISPOSAL AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS SEWAGE DISPOSAL AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A REVISED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
3. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
4. ANY CHANGES TO THE PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
5. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE LOT BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
6. THE EXISTING WELL ON THIS LOT (TAG NO. HO-95-0227) HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC. AND IS ACCURATELY SHOWN.
7. EXACT LENGTH OF SEPTIC TRENCHES ARE TO BE DETERMINED BY THE HEALTH DEPARTMENT AT THE TIME OF PRECONSTRUCTION INSPECTION.
8. SPOIL FROM THE TRENCHING OF THE SEPTIC AREA IS TO BE PLACED ON THE UPHILL SIDE OF THE EXCAVATION FOR EACH INDIVIDUAL LOT.
9. SEDIMENT AND EROSION CONTROLS SHALL BE PER THIS PLAN AND COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
10. DRIVEWAY CULVERT COMPUTATIONS WERE APPROVED UNDER F-06-072. THE CULVERT SHALL BE A 15" CIRCULAR PIPE OR ELLIPTICAL EQUIVALENT.
11. STORMWATER MANAGEMENT FOR THIS LOT WAS PROVIDED UNDER F-06-072.

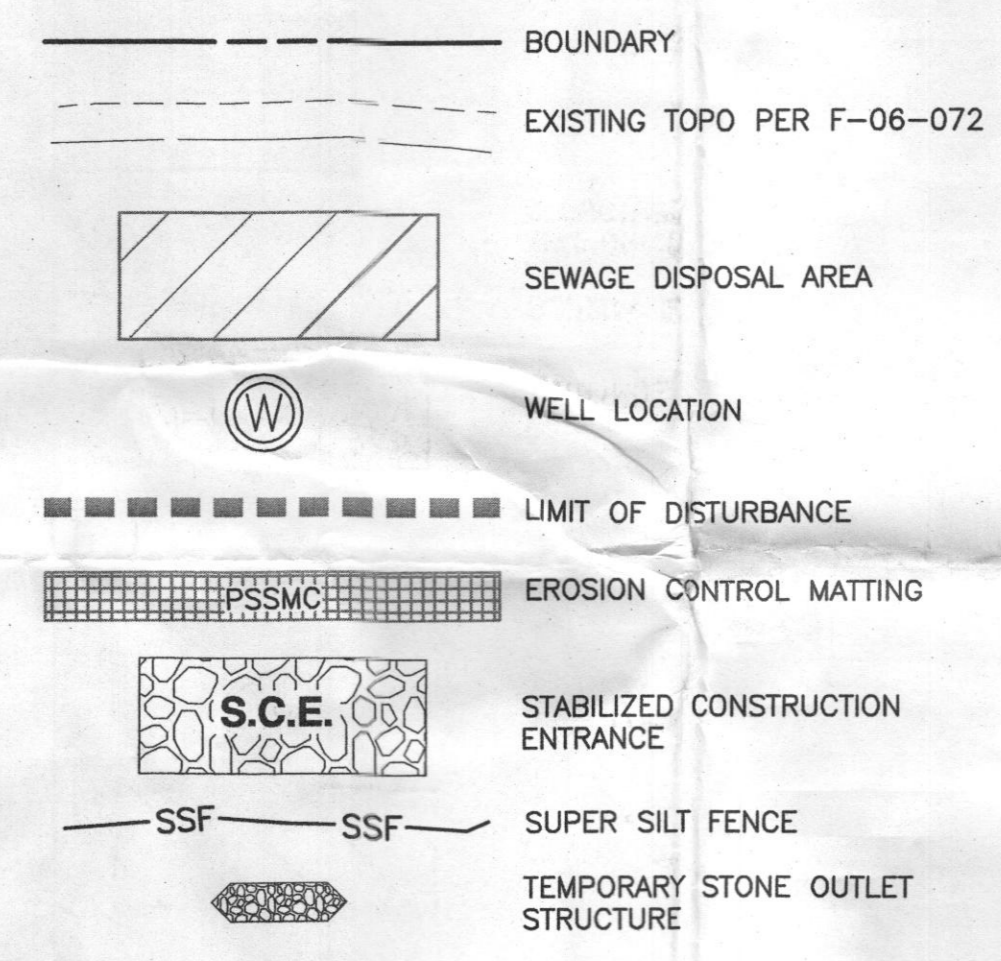


3465 - STAMPED BRASS DISK SET ON TOP OF CONCRETE BASE
346A - STAMPED BRASS DISK SET ON TOP OF CONCRETE BASE
VICINITY MAP
SCALE: 1" = 2000'

SEQUENCE OF CONSTRUCTION

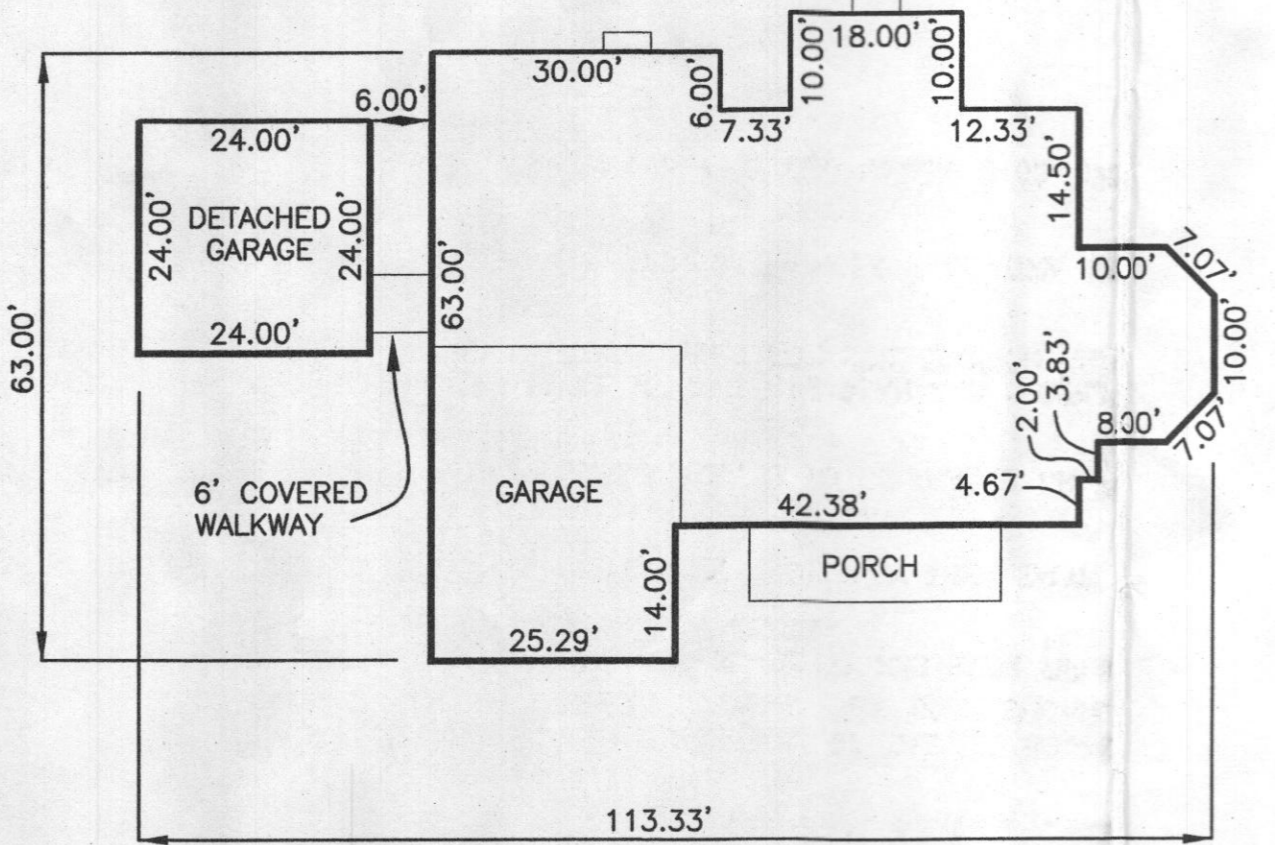
- NOTIFY SEDIMENT CONTROL DIVISION 48 HOURS PRIOR TO START OF WORK
1. Obtain grading permit.
 2. On-site Pre-Construction meeting.
 3. Clear and Grub as necessary to install stabilized construction entrance and perimeter controls (super silt fences)
 4. Install the driveway culvert and provide adequate fill cover.
 5. Upon approval from the Howard County sediment control inspector, proceed to clear and grub within the perimeter.
 6. Excavate for foundation, pour and backfill.
 7. Install septic lines and tank.
 8. Finish house construction
 9. Pave driveway.
 10. Final grade the lot and stabilize in accordance with the permanent seedbed notes including erosion control matting within all swales as shown on the plan.
 11. Upon approval from the Howard County sediment control inspector, remove sediment control devices and stabilize any remaining disturbed areas.

LEGEND



SEPTIC INVERT CHART	
INV @ HOUSE	440.38
GROUND @ HOUSE	442.00
INV IN SEPTIC TANK	439.68
INV OUT SEPTIC TANK	439.35
TOP OF SEPTIC TANK	440.68
GROUND OVER TANK	442.20
INV IN DIST-BOX	438.75
INV OUT DIST BOX	438.50
GROUND AT DIST-BOX	442.50

NOTE: SHOULD THE STOCKPILE EXCEED 15 FEET IN HEIGHT, IT MUST BE BENCHED.



HOUSE FOOTPRINT
SCALE: 1" = 20'

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Brian F. Cleary 3/14/2014 DATE

DEVELOPER'S CERTIFICATE

I/CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Williamsborg Homes, Inc. 3-13-14 DATE

John R. Hunter 3/18/14 DATE

BENCHMARK ENGINEERS & LAND SURVEYORS & PLANNERS ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE SUITE 315 ELLICOTT CITY, MARYLAND 21043
(P) 410-465-8105 (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

THE PRESERVE AT CLARKSVILLE LOT 5
6234 HEATHER GLEN WAY

TAX MAP: 34 ZONED: RR-DEO PARCEL: 77
ELECTION DISTRICT NO. 5 HOWARD COUNTY, MARYLAND

CUSTOM GRADING PLAN & BUILDING PERMIT PLAN

DATE: MARCH 13, 2014 BEI PROJECT NO: 1407-W
SCALE: AS SHOWN SHEET 1 OF 2

THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF ANY WORK.

THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT AND ALL SLOPES GREATER THAN 3:1, 6:1, 7:1 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

To stabilize disturbed soils with vegetation for up to 6 months. Purpose: To use fast growing vegetation that provides cover on disturbed soils. Conditions Where Practice Applies: Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.

B-4-4 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

A mound or pile of soil protected by appropriately designed erosion and sediment control measures. Purpose: To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns. Conditions Where Practice Applies: Stockpile areas are utilized when it is necessary to salvage and store soil for later use.

H-5 STANDARDS AND SPECIFICATIONS FOR DUST CONTROL

Controlling the suspension of dust particles from construction activities. Purpose: To prevent blowing and movement of dust from exposed soil surfaces to reduce on and off-site damage including health and traffic hazards. Conditions Where Practice Applies: Areas subject to dust blowing and movement where on and off-site damage is likely without treatment.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

To stabilize disturbed soils with permanent vegetation. Purpose: To use long-lived perennial grasses and legumes to establish permanent ground cover on disturbed soils. Conditions Where Practice Applies: Exposed soils where ground cover is needed for 6 months or more.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

The application of seed and mulch to establish vegetative cover. Purpose: To protect disturbed soils from erosion during and after construction. Conditions Where Practice Applies: To the surface of all perimeter contours, slopes, and any disturbed area not under active grading.

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

The process of preparing the soils to sustain adequate vegetative stabilization. Purpose: To provide a suitable soil medium for vegetation growth. Conditions Where Practice Applies: Where vegetative stabilization is to be established.

B-4 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

Using vegetation as cover to protect exposed soil from erosion. Purpose: To promote the establishment of vegetation on exposed soil. Conditions Where Practice Applies: On all disturbed areas not stabilized by other methods. This specification is divided into sections on incremental stabilization, soil preparation, soil amendments and topsoiling, seeding and mulching, temporary stabilization, and permanent stabilization.

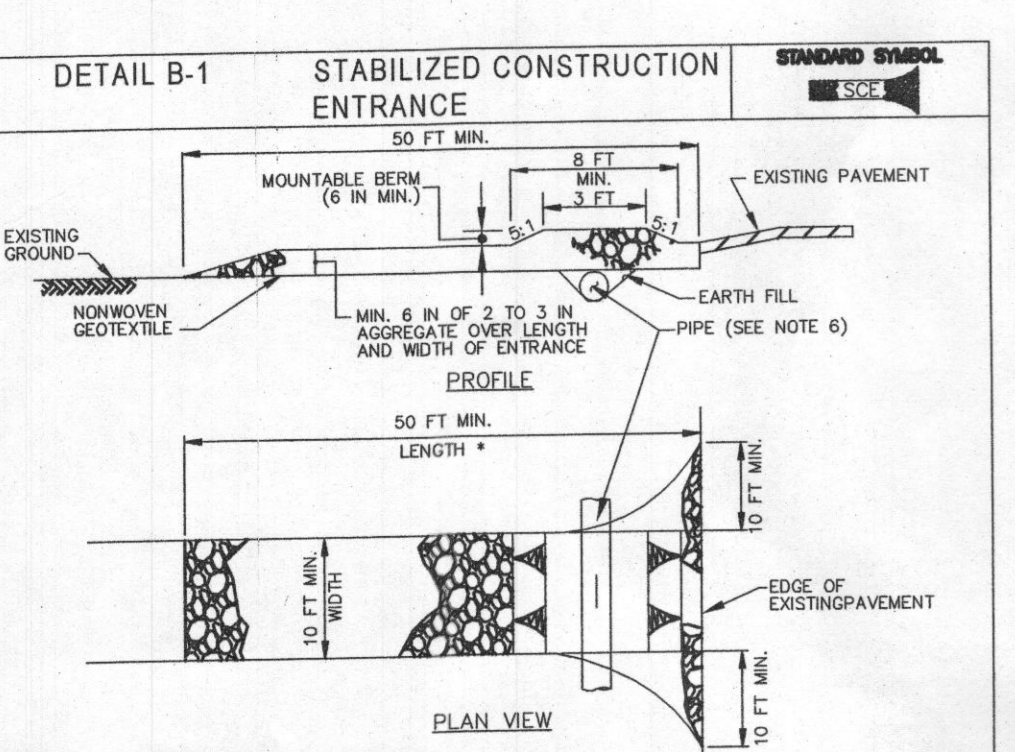
Effects on Water Quality and Quantity: Stabilization practices are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to allow infiltration of rainfall, thereby reducing sediment loads and runoff to downstream areas. Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, evaporation, transpiration, percolation, and groundwater recharge.

Incremental Stabilization: Establishment of vegetative cover on cut and fill slopes. Purpose: To provide timely vegetative cover on cut and fill slopes as work progresses. Conditions Where Practice Applies: Any cut or fill slope greater than 15 feet in height. This practice also applies to stockpiles.

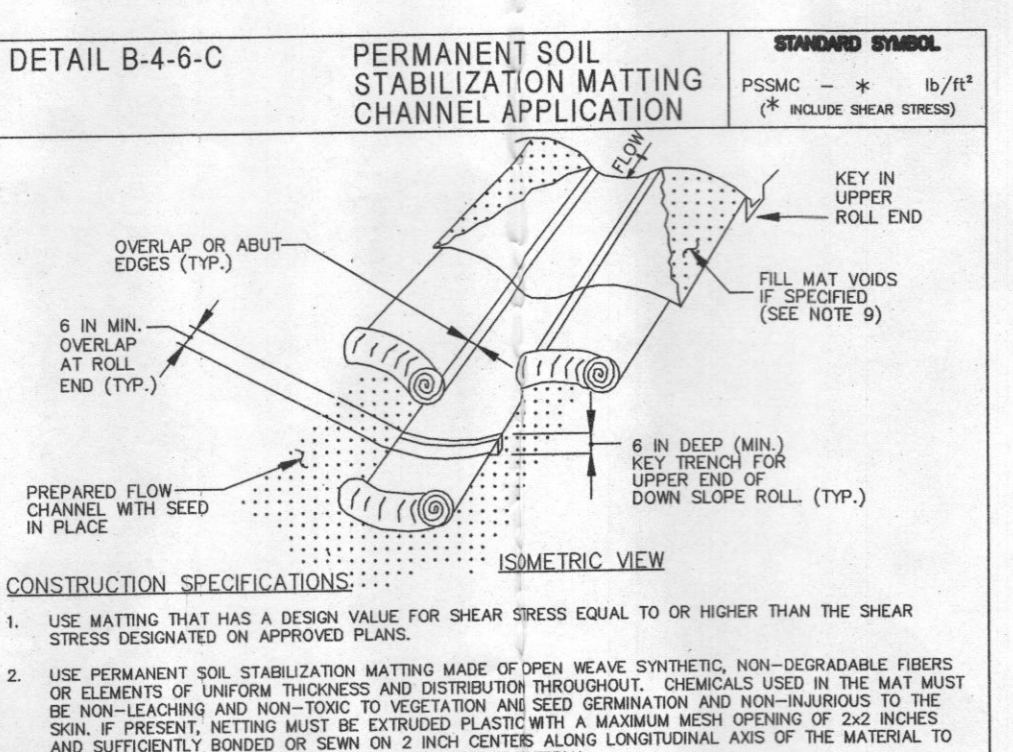
Excavate and stabilize cut slopes in increments not to exceed 15 feet in height. Prepare seeded and apply seed and mulch on all cut slopes as the work progresses. Construction sequence example (Refer to Figure B.1): 1. Construct and stabilize all temporary swales or dikes that will be used to convey runoff around the excavation.

Construct and stabilize fill slopes in increments not to exceed 15 feet in height. Prepare seeded and apply seed and mulch on all slopes as the work progresses. Construction sequence example (Refer to Figure B.2): 1. At the end of each day, install temporary water conveyance practice(s), as necessary, to intercept surface runoff and convey it down the slope in a non-erosive manner.

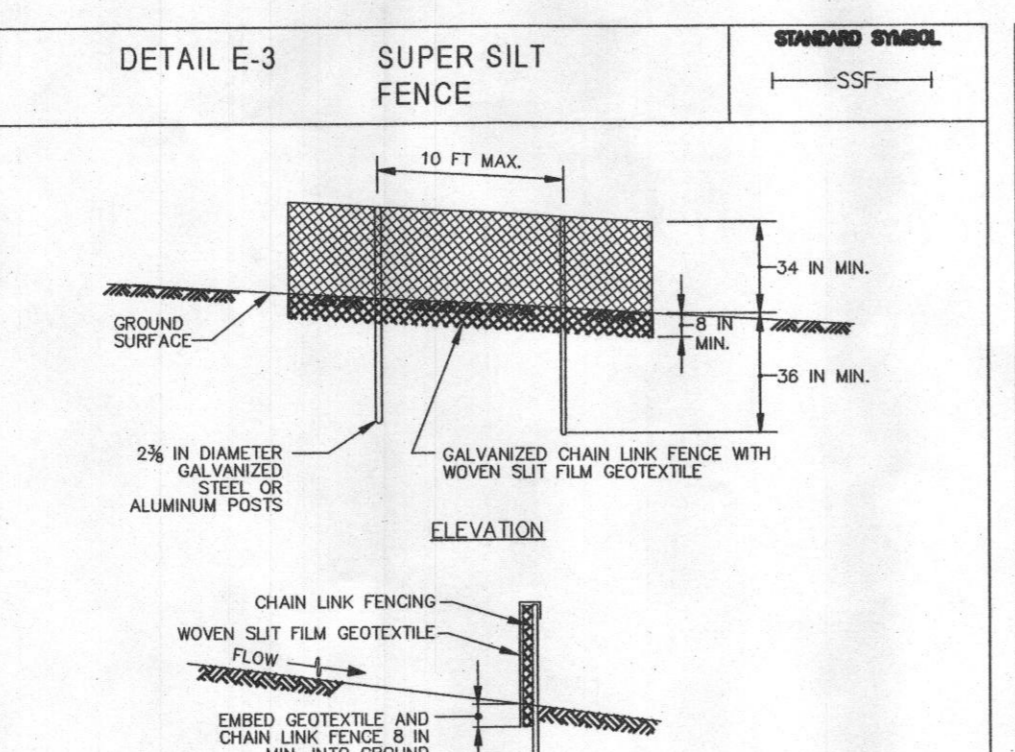
Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.



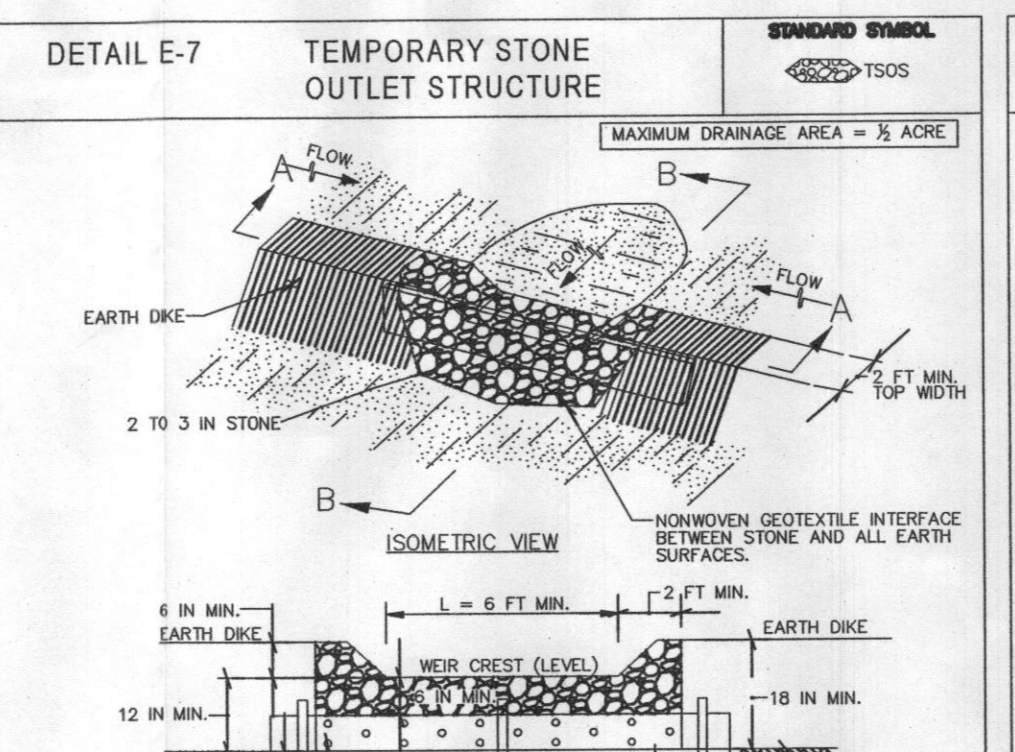
- 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (40 FEET FOR SINGLE SLOPE) AND A MINIMUM WIDTH OF 10 FEET. PLACE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- 2. PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- 3. PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.



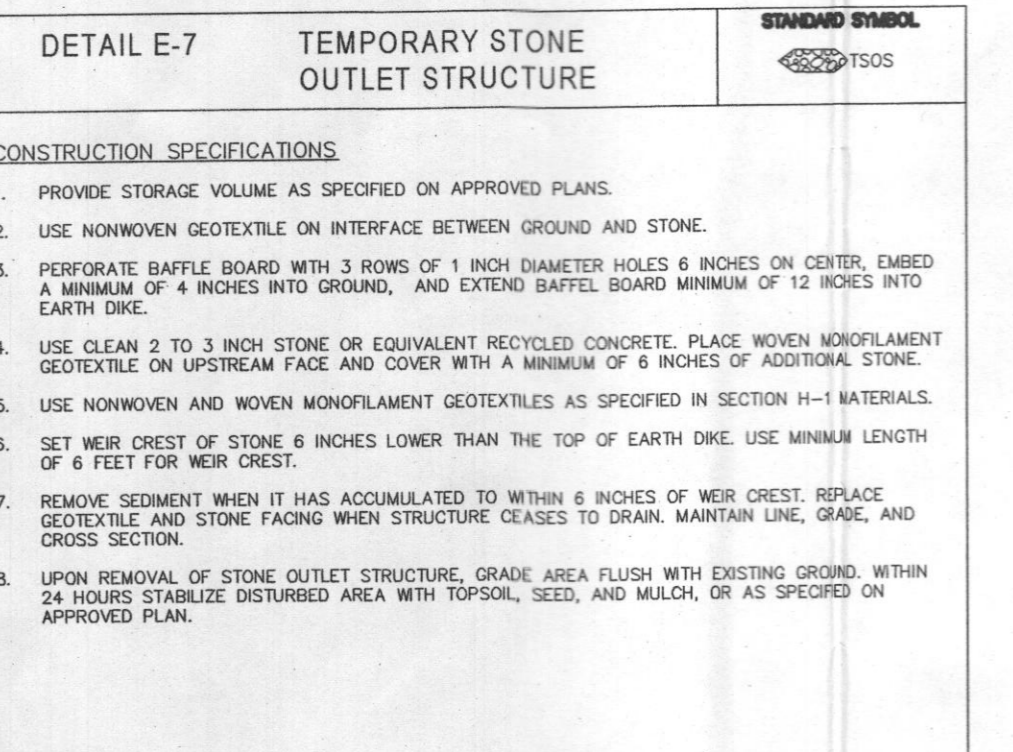
- 1. USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- 2. USE PERMANENT SOIL STABILIZATION MATTING MADE OF OPEN WEAVE SYNTHETIC, NON-DEGRADABLE FIBERS OR ELEMENTS OF UNIFORM THICKNESS AND DISTRIBUTION THROUGHOUT. CHEMICALS USED IN THE MAT MUST BE NON-TOXIC TO PLANTS AND ANIMALS AND MUST NOT BE HARMFUL TO THE SOIL.



- 1. INSTALL 2 1/2 IN. DIA. GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
- 2. FASTEN 9 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE LIPS OR HUG RINGS.



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- 1. PROVIDE STORAGE VOLUME AS SPECIFIED ON APPROVED PLANS.
- 2. USE NONWOVEN GEOTEXTILE ON INTERFACE BETWEEN GROUND AND STONE.
- 3. PERFORATE Baffle BOARD WITH 3 ROWS OF 1 INCH DIAMETER HOLES 8 INCHES ON CENTER, EMBED A MINIMUM OF 4 INCHES INTO GROUND, AND EXTEND Baffle BOARD MINIMUM OF 12 INCHES INTO EARTH DIKE.

ENGINEER'S CERTIFICATE. I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S CERTIFICATE. I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A TRAINING PROGRAM FOR THE CONSTRUCTION OF THE SEDIMENT AND EROSION CONTROL MEASURES. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

BENCHMARK ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE SUITE 315 A ELLOTT CITY, MARYLAND 21043 (P) 410-465-8105 (F) 410-465-8644 WWW.BE-ENGINEERING.COM

THE PRESERVE AT CLARKSVILLE LOT 5 6234 HEATHER GLEN WAY. BUILDING: WILLIAMSBURO HOMES, INC. 5485 HARRERS FARM ROAD SUITE 200 COLUMBIA, MARYLAND 21044 410-997-8500. DATE: MARCH 13, 2014. SHEET 2 OF 2.