

**Bureau of Environmental Health**  
 8930 Stanford Boulevard, Columbia, MD 21045  
 Main: 410-313-2640 | Fax: 410-313-2648  
 TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
 Facebook: [www.facebook.com/hocohealth](https://www.facebook.com/hocohealth)

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 10/4/17 **ONSITE SEWAGE DISPOSAL SYSTEM** P 561542

APPROVAL DATE: 2/13/18 **PERMIT: CONSTRUCTION** A \_\_\_\_\_

PROPERTY ADDRESS: 11410 Old Frederick Road

SUBDIVISION: DiMarco Property Plat LOT: 4 TAX ID: 03-304485  
 EMAIL

CONTRACTOR: Marc D. Hereth : marcdherethconstruction@gmail.com

CONTRACTOR ADDRESS: 2551 Florence Rd., Woodbine, MD 21797 PHONE: 301-580-5977

PROPERTY OWNER: Mr. and Mrs. Rosario DiMarco EMAIL: \_\_\_\_\_

OWNER ADDRESS: 11410 Old Frederick Road, Marriottsville, MD 21104 PHONE: \_\_\_\_\_

SEPTIC TANK SIZE (GALLONS): 1000 TANK MANUFACTURER: Mayer Bros Babylon

PUMP MODEL: N/A PUMP SIZE: N/A PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM:  GRAVITY  PRESSURE DOSED BEDROOMS: 2 APPLICATION RATE: 0.8

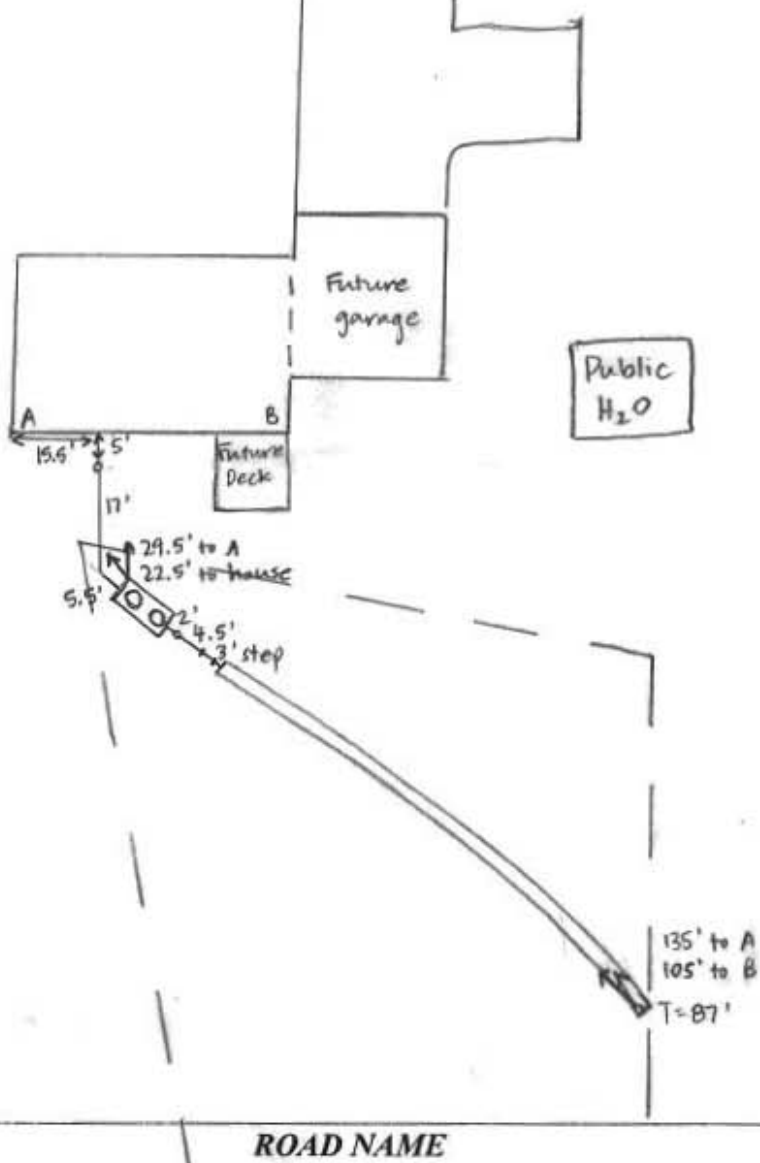
TRENCHES:	LINEAR FEET REQUIRED: <u>85.5</u>	INLET DEPTH: <u>4</u>
	TRENCH WIDTH: <u>2</u>	MAXIMUM BOTTOM DEPTH: <u>7</u>
	MINIMUM SPACE BETWEEN TRENCHES: _____	EFFECTIVE AREA BEGINNING DEPTH: <u>4</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	Contractor to install 1500-gallon, 2-compartment, slotted tank. (Local tank manufacturers do not have a form for a 2-compartment, 1000-gallon tank.)	

ISSUED BY: Hank Oswald ISSUE DATE: 10/4/17 EXPIRATION DATE: 10/4/18

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM  
 ELECTRICAL PERMIT ISSUED E N/A
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.  
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.  
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

NOT TO SCALE



**TRENCH/DRAINFIELD DATA**

WIDTH	INLET	BOTTOM
2'	4'	7'
NUMBER OF TRENCHES		1
TOTAL LENGTH		87'
ABSORPTION AREA		174' + SIDEWALL
DISTRIBUTION BOX LEVEL		---
DISTRIBUTION BOX BAFFLE		---
DISTRIBUTION BOX PORT		---

**SEPTIC TANK DATA**

SEPTIC TANK I LEVEL	YES
MANUFACTURER	BABYLON
CAPACITY	1500 GAL
SEAM LOC	TOP
TANK LID DEPTH	0.5-1'
BAFFLES	YES
BAFFLE FILTER	NO
MANHOLE LOC	FRONT = REAR
6" PORT LOC	NONE
WATERTIGHT TEST	NO
SLOTTED	YES
DATE ON LID	1-1-18

<del>RUMP/SEPTIC TANK LEVEL</del>	
<del>MANUFACTURER</del>	<del>_____ GAL</del>
<del>CAPACITY</del>	<del>_____ GAL</del>
<del>SEAM LOC</del>	<del>_____</del>
<del>TANK LID DEPTH</del>	<del>_____</del>
<del>BAFFLES</del>	<del>_____</del>
<del>BAFFLE FILTER</del>	<del>_____</del>
<del>MANHOLE LOC</del>	<del>_____</del>
<del>6" PORT LOC</del>	<del>_____</del>
<del>WATERTIGHT TEST</del>	<del>_____</del>
<del>SLOTTED</del>	<del>_____</del>
<del>DATE ON LID</del>	<del>_____</del>

**PRE-CONSTRUCTION:**

1/11/18 Met Marc Hereth on site for layout. SDA, tank, + trench staked. No laser on site - Marc says stakes are close to contour from when he last checked it. Keep tank shallower than shown on plan + move trench up in SDA prior to starting to dig trench. (S) 2/12/18 Met Marc on site. Shot contours of trench stakes and trench is level. Moved trench further into septic area to make room for tank. Trench not moved uphill at all. (S)

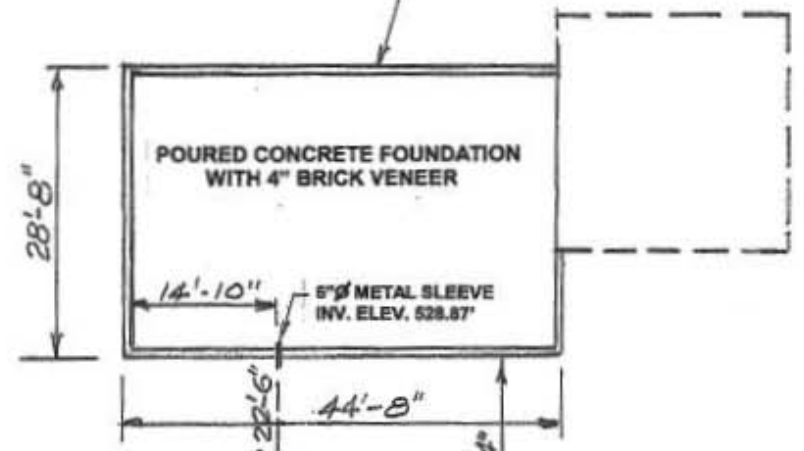
INSTALLATION: 2/12/18 Trench complete. 2' wide, 3.5' to stone. (SC) 2/13/18 On site while tank was set - no obvious cracks on sides or bottom. House connection made, sewer line bedded w/ #57 stone. Tank connected to trench. (S)

FINAL INSPECTOR Sarah Collins DATE OF APPROVAL 2/13/18



TOP OF FOUNDATION WALL ELEV. 538.03

24'x24' GARAGE TO BE ERRECTED AFTER INSTALLATION OF SEPTIC SYSTEM

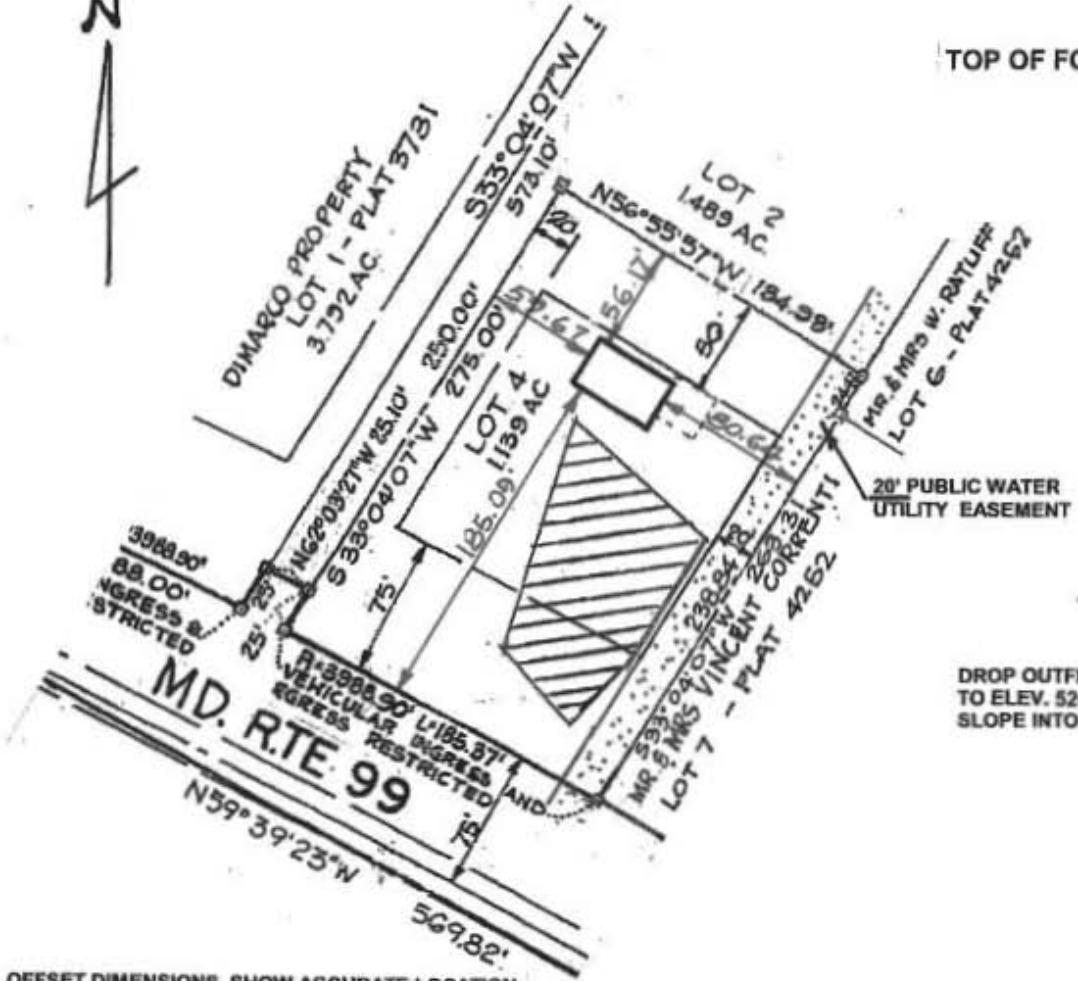


SEPTIC SYSTEM TO BE INSTALLED ACCORDING TO PLAN APPROVED 6/21/17

DROP OUTFLOW FROM HOUSE TO ELEV. 526.56 TO ALLOW A 2% SLOPE INTO SEPTIC TANK

**FOUNDATION DETAIL WITH PART SEPTIC LAYOUT**

SCALE: 1" = 20'



OFFSET DIMENSIONS SHOW ACCURATE LOCATION OF FOUNDATIONS AND CAN BE SCALED-OFF WITH THE PRECISION ALLOWED BY THE SCALE 1" = 100'

**PROFESSIONAL CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY MYSELF, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND WITH CURRENT LINCENSE NO. 10727.

*Rosario Dimarco*  
ROSARIO DIMARCO, P.E. 11/8/18



**WALL CHECK**

**DIMARCO PROPERTY LOT NO 4  
PLAT 3731**

**5TH ELECTION DISTRICT  
HOWARD COUNTY MARYLAND  
SCALE 1" = 100' DATE 12/22/2017**

**RDM ENGINEERING, INC.**  
11416 Old Frederick Road,  
Marriottsville, Maryland 21104

## Williams, Jeffrey

---

**From:** Rosario Dimarco <rdm.engineering@verizon.net>  
**Sent:** Monday, October 30, 2017 10:34 AM  
**To:** Williams, Jeffrey  
**Subject:** Re: DiMarco septic

For sake of trying to have house under roof before Winter I will continue with Bldg permit process.

Thank you

RDM

Sent from AOL Mobile Mail

-----Original Message-----

**From:** Williams, Jeffrey <jewilliams@howardcountymd.gov>  
**To:** Rosario Dimarco <rdm.engineering@verizon.net>; Oswald, Hank <hoswald@howardcountymd.gov>  
**Sent:** Mon, Oct 30, 2017 09:26 AM  
**Subject:** RE: DiMarco septic

The process for the septic installation begins with a coordinated inspection with the Health Department called a preconstruction meeting or a layout inspection. Prior to that inspection, the tank location and sewage disposal area from the design plan must be staked out by a surveyor. During that inspection, we discuss the layout with the contractor and shoot elevations and stake out the location of the trenches. Following that inspection, the contractor is free to start installation coordinated with us to inspect as he goes along. These types of inspections can be called in up to 9am the day of (preferably at least the day before), so there is no big lag time to get an inspection.

Please reference your signed letter from Sept. 20<sup>th</sup>. The conditions of that letter were to take place before Health approval of the building permit. You subsequently requested to scrap that plan and have us sign the building permit before any of those conditions were met. We were very clear in the conditions required to make that change as we had already issued the septic permit: the layout inspection would be on hold until we get a wall check. You agreed to that condition in an email on October 18<sup>th</sup>. Please let us know if you want us to revise our approval of the building permit to be on hold and the conditions in your signed 9/20 letter would be in effect before we approve the permit. Or, if you wish to start with the foundation, you can submit the wall check for approval before we allow a layout inspection under the septic permit as you agreed to on 10/18.

**From:** Rosario Dimarco [<mailto:rdm.engineering@verizon.net>]  
**Sent:** Monday, October 30, 2017 7:59 AM  
**To:** Williams, Jeffrey; Oswald, Hank  
**Subject:** DiMarco septic

The contractor explained to me that even if I pull back the B permit no work can be started until Health make site inspection. He does not know how long will it take to have the inspection. Therefore to avoid additional delays with B permit process I told contractor I let the process continue. I engineered the the construction of the septic before the house because it is easier for a contractor to built and creates less damage to the site. All design information was given in both the on site septic system design plan and on the building permit site plan and construction drawings as stated in my letter of 20 September. I have no reason to believe that a contractor cannot follow the design plan. I think that while I wait for the foundation contractor you should allow the construction of the septic, please re-consider.

**LEGEND**

- PROPOSED 28'x44' ONE STORY DWELLING WITH 24'x24' ATTACHED GARAGE.
- BUILDING RESTRICTION LINES.
- SOIL TYPE
- EXISTING SEPTIC SYSTEM EASEMENT MODIFIED TO CLEAR PROPOSED PUBLIC WATER EASEMENT
- INITIAL SYSTEM TRENCH
- FIRST REPLACEMENT TRENCH
- 1000 GALLONS SEPTIC TANK
- NEW ASPHALT PAVING
- EXISTING PAVING
- PROPOSED PUBLIC WATER EASEMENT.
- EXISTING PUBLIC WATER METER VAULT.

**PROPERTY DATA**  
 1 - SUBDIVISION NAME : DIMARCO PROPERTY - REC. PLAT 3731  
 2 - LOT NO. 4; LOT AREA 1.139Ac.  
 3 - TAX MAP NO. 10; ELECT. DISTRICT NO.5  
 4 - UTILITIES - PUBLIC WATER & PRIVATE SEWER SYSTEM.

PLAN VIEW

SECTION A-A

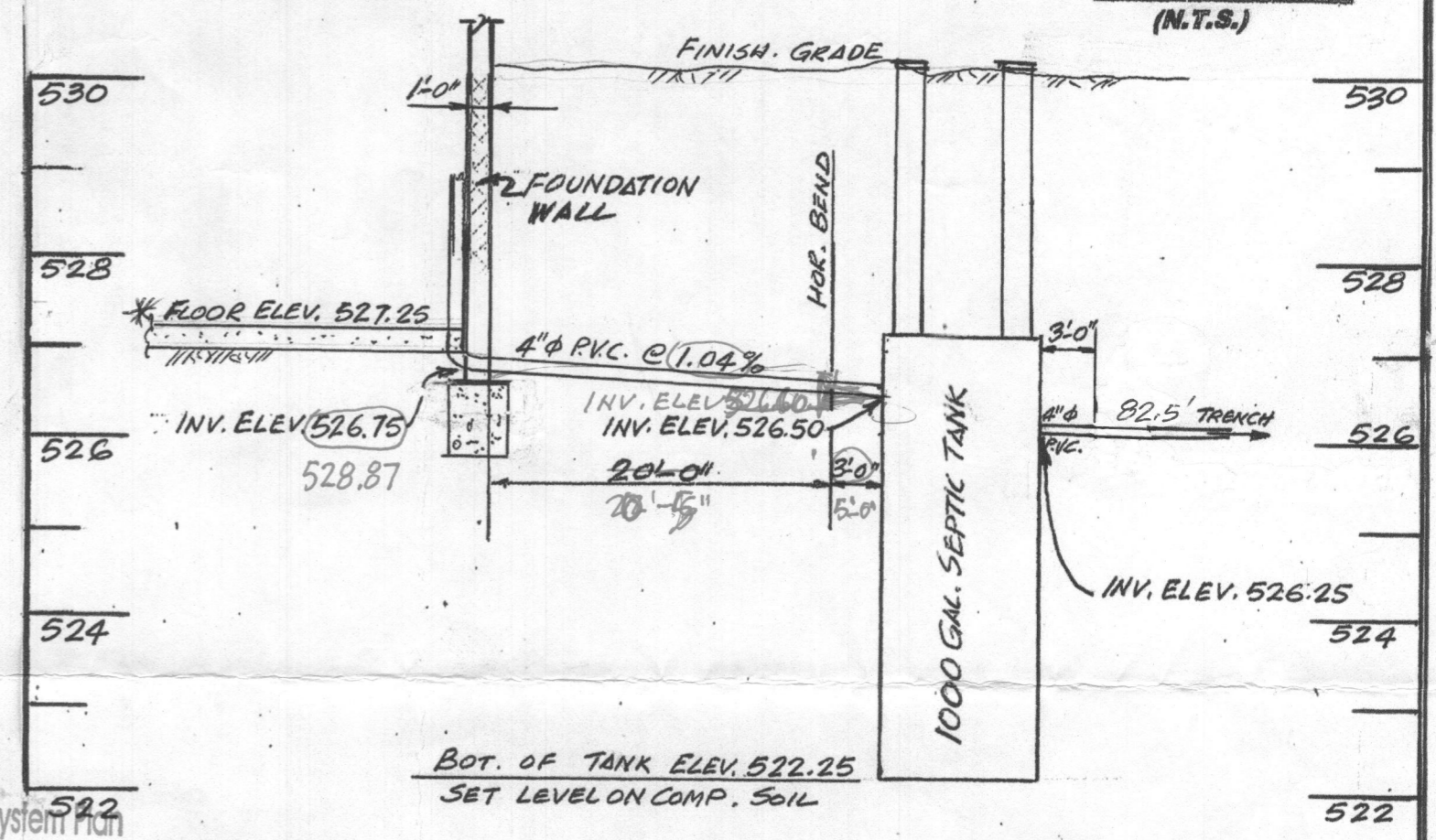
VICINITY MAP (N.T.S.)

DESIGN DATA & GENERAL NOTES  
 (1) Concrete strength F<sub>cm</sub> = 4000 p.s.i. @ 28 days. Density = 150 pcf.  
 (2) Concrete - Portland Type III per ASTM C 150-92.  
 (3) Admixtures & plasticizers per ASTM C 260-96 & C 484-92.  
 (4) Reinforcing per ASTM A108, Min. 1-1/2" cover.  
 (5) Top slab sealed with butyl rope mastic.  
 (6) 4" top, base, & wall thickness.  
 (7) Max 2" of cover.  
 (8) Depending on use of tank, Inlet & Outlet baffles may be required by code.

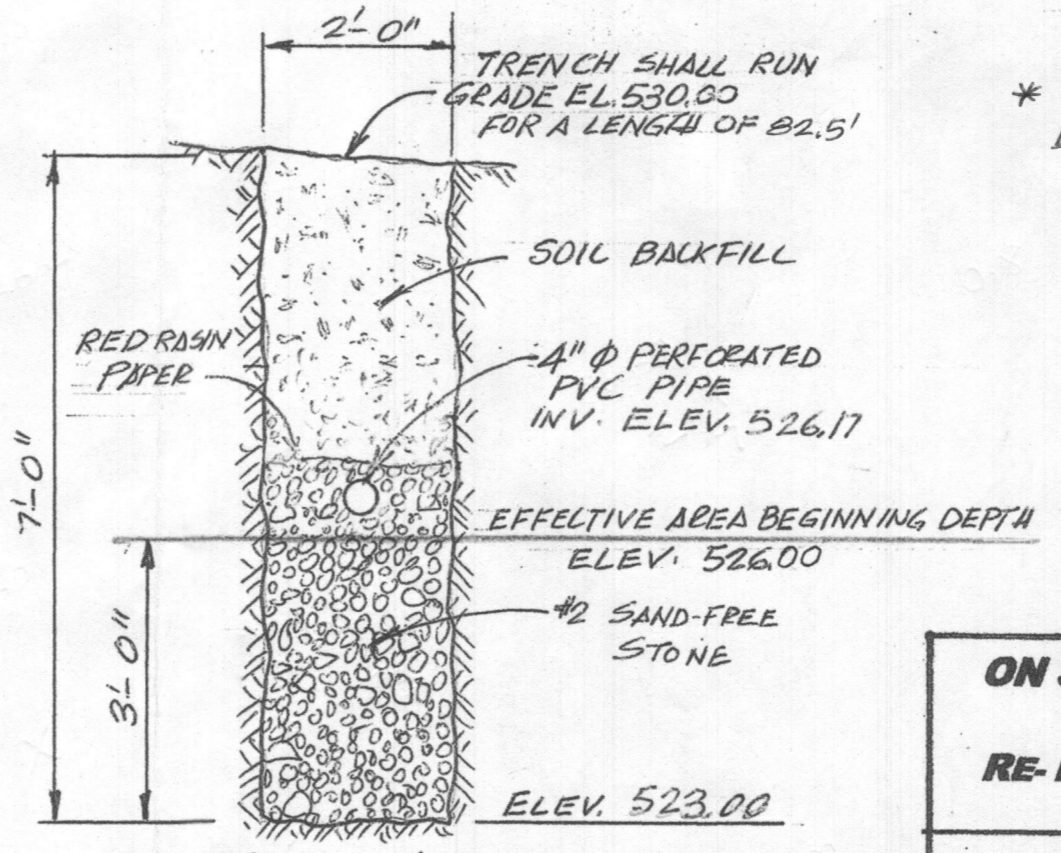
WEIGHT = 11,250 lbs.

**1,000 GALLON SEPTIC TANK 2-Compartment**  
 Stock Item  
 Dwg. No. 1000-2C No Scale Aug 11, 2008

**MBI**  
 Mayer Bros., Inc. 6284 Race Road, Ellicott City, Maryland 21043  
 Tel. 410.786.1434 Fax. 410.786.1438  
 www.maybrosgroup.com



Approved Septic System Plan  
 Howard County Health Department  
 Hank Oswald 6/21/17  
 Signature Date



**PROFESSIONAL CERTIFICATE**  
 I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY MYSELF, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND WITH CURRENT LINCENSE NO. 40727.

*Rosario Dimarco* 6/1/17  
 ROSARIO DIMARCO, P.E.

**SYSTEM CALCULATIONS**

**INITIAL:** 2 Bedrooms @ 300gpd/.8 (Absorption Rate) require 375Sq.Ft. Area of Trench. Applying Sidewall Reduction: 375Sq.Ft./2Ft.(Trench Width)x .44(Sidewall Reduction)=82.5' of trench.

**FIRST REPLACEMENT:** 2 Bedrooms @ 300gpd/.8 (Absorption Rate) require 375Sq.Ft. Area of Trench. Applying Sidewall Reduction: 375Sq.Ft./2Ft.(Trench Width)x .44(Sidewall Reduction)=82.5' of trench. THE ABOVE IS PROVIDED AS SHOWN ON PLAN.

**GENERAL NOTES**

- SEPTIC SYSTEM SHALL BE CONSTRUCTED BY AN INSTALLER APPROVED BY HO. CO. HEALTH DEPARTMENT.
- PRIOR BACKFILLING ANY COMPONENT OF THE SYSTEM, INSTALLER SHALL SECURE APPROVAL BY HO. CO. INSPECTOR.
- IF IT WILL BECOME NECESSARY TO MODIFY ANY ELEMENT OF THE SYSTEM, MODIFICATIONS SHALL BE APPROVED BY ENGINEER AND HO. CO. HEALTH DEPARTMENT. NEW DRAWING SHOULD BE SUBMITTED UNLESS CHANGES CAN BE CLEARLY SHOWN BY RED LINE MARKINGS.
- ALL WELLS WITHIN 100' OF PROPOSED SEPTIC SYSTEM HAVE BEEN PROPERLY ABANDONED.

**ON SITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN**  
 FOR  
**RE-BUILDING OF 11410 OLD FREDERICK ROAD**  
**MARIOTTSVILLE, MARYLAND 21104**

OWNER:  
**MR. & MRS. ROSARIO DIMARCO**  
 11416 OLD FREDERICK ROAD  
 MARIOTTSVILLE, MARYLAND 21104

CONTRACTOR:  
 TO BE SELECTED

ENGINEER:  
**RDM ENGINEERING, INC. 11416 OLD FREDERICK ROAD, MARIOTTSVILLE, MD 21104**

SCALE: As Noted DATE: JAN. 2017 DRAWN BY: RDM DRAWING NO. 1 of 1

REVISIONS - JUNE 1, 2017 - VARIOUS HEALTH DEPT. COMMENTS

## Williams, Jeffrey

---

**From:** Rosario Dimarco <rdm.engineering@verizon.net>  
**Sent:** Friday, October 27, 2017 10:20 AM  
**To:** Williams, Jeffrey  
**Subject:** Re: DiMarco Septic

Mr. Williams:

It is true that I have had to change direction to accommodate the requirements of your office.

I will confirm with the contractor that he can start work on Monday and then you can pull the permit, he can set the septic as shown on the drawings, the surveyor can verify them and you can re-send the permit. All is a paperwork exercise.

If it needs to be done that way so be it

Thank you

Rosario DiMarco

Sent from AOL Mobile Mail

-----Original Message-----

**From:** Williams, Jeffrey <jewilliams@howardcountymd.gov>  
**To:** Rosario Dimarco <rdm.engineering@verizon.net>  
**Cc:** Oswald, Hank <hoswald@howardcountymd.gov>; marcdherethconstruction <marcdherethconstruction@gmail.com>  
**Sent:** Fri, Oct 27, 2017 08:38 AM  
**Subject:** RE: DiMarco Septic

Mr. DiMarco: You were given the conditions of the two paths to take and you have changed your decision 3 times now. At each turn, you initially agreed to meet the conditions before changing directions. We are happy to accommodate this latest decision change, but there are conditions to be met. Here are your two options at this point:

1. Continue with the building permit and provide us a wall check to approve. Once that is approved, the septic contractor can meet with us to do a preconstruction meeting/layout.
2. Request that we withdraw our approval of the building permit, assuming it has not yet been issued. Once it is back on hold, the septic contractor can schedule a layout with us, install the system, fence it off, and you provide a surveyed elevation of the tank inlet invert to compare to the design plan as you specified in your original signed letter. If it matches, we can re-approve the building permit.

**From:** Rosario Dimarco [<mailto:rdm.engineering@verizon.net>]  
**Sent:** Thursday, October 26, 2017 4:33 PM  
**To:** Williams, Jeffrey

Thank you

Rosario DiMarco

Sent from AOL Mobile Mail

**Cc:** Oswald, Hank; [marcdherethconstruction@gmail.com](mailto:marcdherethconstruction@gmail.com)

**Subject:** Re: DiMarco Septic

Mr. Williams:

I am very disappointed my project is creating such a big issue about: it is like we are asking what came first the chicken or the egg ? As I stated in my e-mail to Mr. Oswald, at this point I want to move on. I agreed that the elevations would be checked by surveyor and I will make sure that they are as shown on the permits, both septic and building . Your concern about the 1% is more my concern because I will leave in the house.

However, I don't think that it is necessary to withdraw your approval to building permit, because there is no way that the inflow pipe coming from a split level house would ever be below the tank inlet. The worse condition could be that the basement would not be able to be serviced by gravity as often has happened even with the elevations shown on permits. A let you decide if you can allow the contractor to install septic: he said that he has had expenses, was ready to mobilize and could finish in two days.

I would appreciate you cooperation.

Thank you

Rosario Dimarco

[rdm.engineering@verizon.net](mailto:rdm.engineering@verizon.net)

-----Original Message-----

From: Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>

To: rdm.engineering <[rdm.engineering@verizon.net](mailto:rdm.engineering@verizon.net)>

Cc: Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>; marcdherethconstruction <[marcdherethconstruction@gmail.com](mailto:marcdherethconstruction@gmail.com)>

Sent: Thu, Oct 26, 2017 3:21 pm

Subject: RE: DiMarco Septic

Mr. DiMarco:

You originally requested to install the septic system prior to the house construction. We normally require a wall check to verify the foundation elevation and location prior to issuing a septic permit in order to ensure that the % fall and setbacks are acceptable and match the design plan. In order to accommodate your request, we had you sign a document stating that upon septic system completion, you would fence off the septic tank and trench area and provide the tank inlet invert elevation on the building permit plot plan prior to us approving the building permit. Upon receipt of that letter we issued the septic permit. You then requested that we issue the building permit right away instead of proceeding in the agreed upon fashion. We again accommodated you by stating that we would approve the building permit, but would not conduct the septic layout inspection unit we get a wall check similar to the standard procedure. You agreed to that requirement and we approved the building permit.

I see that the building permit has not yet been approved by two other agencies. With this circumstance, we have a limited window to again accommodate your request if we can withdraw our approval of the building permit before the other agencies approve it. Then, we can go back to the original condition of installing the septic system before we approve the building permit. If you choose to do that, please let me know as soon as possible. Be aware that the conditions you agreed to in your signed letter will again apply, which includes fencing off the tank and area and providing a field surveyed elevation of the tank inlet invert on the building permit plot plan.

---

**From:** Oswald, Hank

**Sent:** Thursday, October 26, 2017 1:59 PM

**To:** Williams, Jeffrey

**Subject:** FW: DiMarco Septic

FYI

**From:** Rosario Dimarco [<mailto:rdm.engineering@verizon.net>]  
**Sent:** Wednesday, October 25, 2017 7:56 PM  
**To:** Oswald, Hank  
**Cc:** [marcdherethconstruction@gmail.com](mailto:marcdherethconstruction@gmail.com)  
**Subject:** DiMarco Septic

Mr. Oswald:

The contractor is telling me that Health Dept. will not let him proceed with septic while building permit is being approved. I don't understand the reason for this delay. My letter to health never implied that i would have to stop septic work to get septic permit. Please discuss this with Mr, Williams and allow contractor to proceed.

Thank you

Rosario Dimarco  
[rdm.engineering@verizon.net](mailto:rdm.engineering@verizon.net)

-----Original Message-----

From: Marc Hereth <[marcdherethconstruction@gmail.com](mailto:marcdherethconstruction@gmail.com)>  
To: Rosario Dimarco <[rdm.engineering@verizon.net](mailto:rdm.engineering@verizon.net)>  
Sent: Wed, Oct 25, 2017 1:54 pm  
Subject: Re:

I have talk to Hank he said I cannot do the septic layout until there is a wall check he said all of this is in emails back and forth from you guys that if you wanted them to sign on the building permit you would have to hold up on the septic I have paid for the permit already and bought materials it appears you have move forward with the building permit so I will be there to put in the construction entrance and silt fence as you requested

Sent from my iPhone

> On Oct 25, 2017, at 8:59 AM, Rosario Dimarco <[rdm.engineering@verizon.net](mailto:rdm.engineering@verizon.net)> wrote:  
>  
> Marc  
> Please let me know if Health dept. gives you problems or what is your work schedule for Thursday and Friday as you said that you would start septic,  
> Thank you  
> Rosario  
>  
> Sent from AOL Mobile Mail

## Williams, Jeffrey

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**From:** Williams, Jeffrey  
**Sent:** Monday, October 30, 2017 8:41 AM  
**To:** 'Rosario Dimarco'; Oswald, Hank  
**Subject:** RE: Question

The septic permit was paid for by the contractor. If you wish to switch, you would need another contractor to come pay for a new septic permit and the original contractor could request a refund.

**From:** Rosario Dimarco [<mailto:rdm.engineering@verizon.net>]  
**Sent:** Friday, October 27, 2017 3:42 PM  
**To:** Williams, Jeffrey; Oswald, Hank  
**Subject:** Question

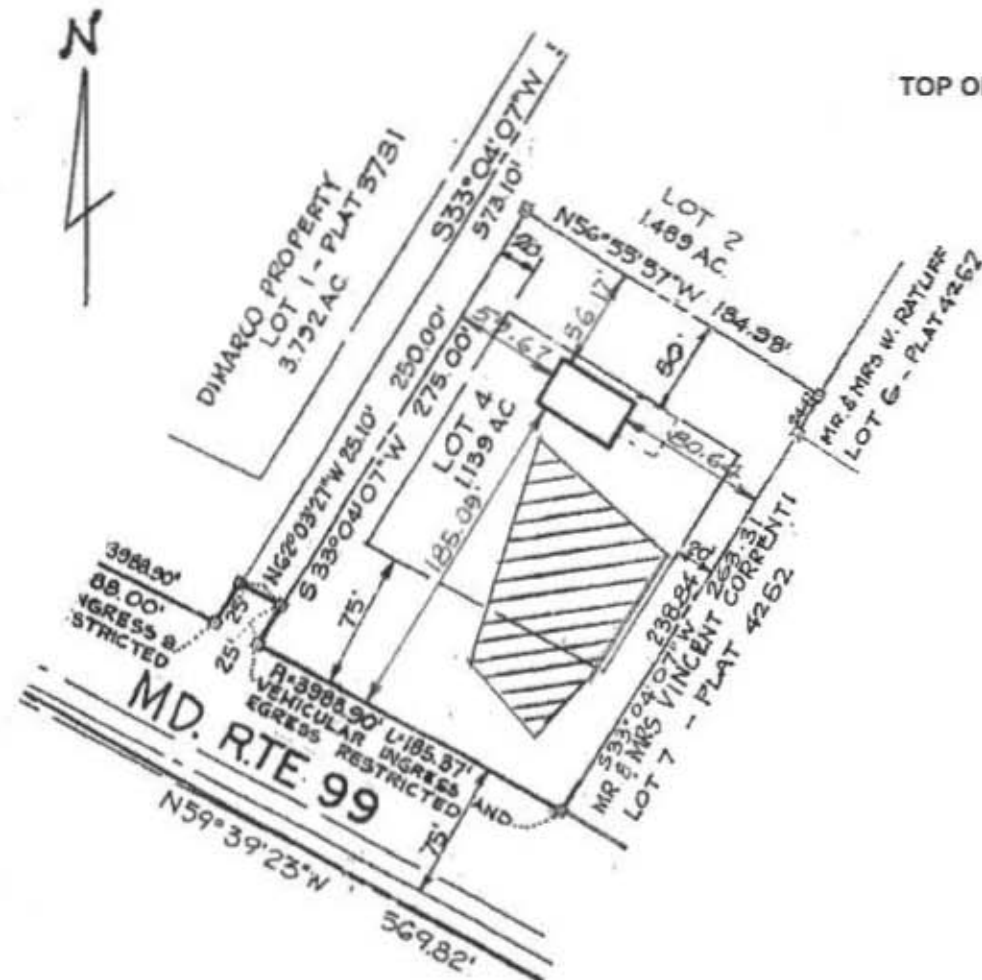
Gentlemen:

The septic contractor cannot start job at beginning of week and I may have another contractor that can jump in. What we need to do to transfer the permit ?

Appreciate a reply soon to decide what route to take.

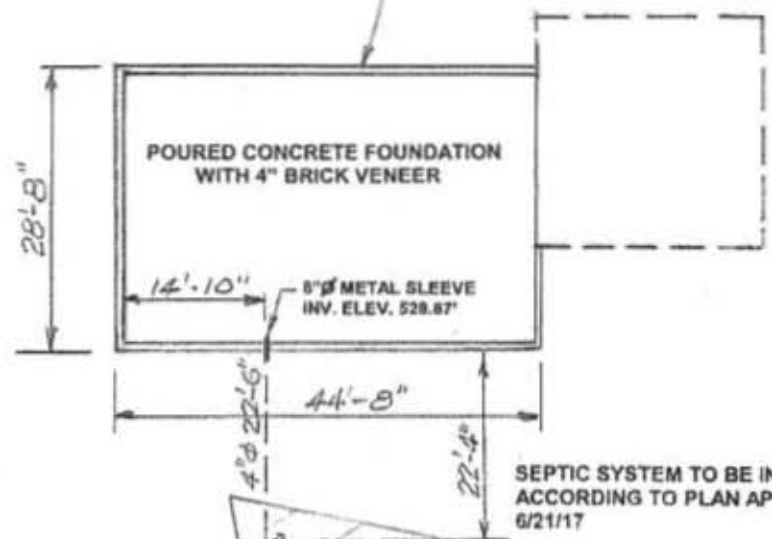
Thank you

Rosario Dimarco  
[rdm.engineering@verizon.net](mailto:rdm.engineering@verizon.net)



TOP OF FOUNDATION WALL ELEV. 538.03

24'x24' GARAGE TO BE ERECTED AFTER INSTALLATION OF SEPTIC SYSTEM



SEPTIC SYSTEM TO BE INSTALLED ACCORDING TO PLAN APPROVED 6/21/17

**FOUNDATION DETAIL  
WITH PART SEPTIC LAYOUT**  
SCALE: 1" = 20'

**PROFESSIONAL CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY MYSELF, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND WITH CURRENT LINCENSE NO. 10727.

ROSARIO DIMARCO, P.E.

**WALL CHECK**  
DIMARCO PROPERTY LOT NO 4  
PLAT 3731  
5TH ELECTION DISTRICT  
HOWARD COUNTY MARYLAND  
SCALE 1" = 100' DATE 12/22/2017

**RDM ENGINEERING, INC.**  
11416 Old Frederick Road,  
Marriottsville, Maryland 21104

ROSARIO DIMARCO  
11416 Old Frederick Road  
Marriottsville, MD 21104.

September 20, 2017

Howard County Health Department  
Bureau Of Environmental Health

Att.n: Mr. Jeffrey Williams

RE. : DIMARCO – Septic

Dear Mr. Williams:

This is to acknowledge the information received earlier today, by e-mail, as a condition to release the septic permit for the above.

The following is a transcript of the message:

1. the building permit plot plan must specify the surveyed invert elevation of the septic tank inlet as well as the proposed elevation of the sewer line leaving the house foundation. There must be at least 1% fall in every portion of that line in order for Health to approve the building permit.
2. The sewage disposal area as well as the area surrounding the septic tank must be fenced after septic system installation and prior to Health approval of the building permit.
3. The septic permit will not receive final approval until Health Department has inspected and approved the sewer line connection to the house during house construction. The contractor must call in this inspection per our normal procedures under the existing septic permit. If the house connection is to take place after the expiration date of the installation permit, the contractor will have to pay for and obtain a sewer house connection septic permit prior to making the house connection and getting it inspected.

All of the above, is part of the on site sewage disposal plan approved in June and field verified by Precision Measurements, Inc. , the surveyor, who will be verifying the final elevations as you request and I was planning to do. I have no intention to deviate from the computed design elevations.

Regarding the new requirement to fence out the entire septic easement, instead than the septic disposal area only. The contractor has already done that.

Hopefully the above acknowledgement will be sufficient to allow the contract to start the installation of the septic system.

Thank you  
  
Rosario DIMARCO

**Oswald, Hank**

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**From:** Williams, Jeffrey  
**Sent:** Thursday, September 21, 2017 10:00 AM  
**To:** Oswald, Hank  
**Subject:** FW: DIMARCO - septic  
**Attachments:** filename-1.pdf

See below.

**From:** Rosario Dimarco [<mailto:rdm.engineering@verizon.net>]  
**Sent:** Wednesday, September 20, 2017 9:13 PM  
**To:** Williams, Jeffrey  
**Subject:** DIMARCO - septic

Mr. Williams:

Attached herewith, please find requested acknowledgement letter. Hopefully the septic permit can be released.

Thank you

Rosario

## Oswald, Hank

---

**From:** Williams, Jeffrey  
**Sent:** Friday, September 22, 2017 1:55 PM  
**To:** Oswald, Hank  
**Subject:** FW: DIMARCO - septic

Discuss with me when you get the building permit to see if what he shows is adequate. Thanks  
Jeff

**From:** Rosario Dimarco [<mailto:rdm.engineering@verizon.net>]  
**Sent:** Friday, September 22, 2017 10:10 AM  
**To:** Williams, Jeffrey  
**Subject:** Re: DIMARCO - septic

Mr. Williams:

The surveyor left a hub in the field at ground (Elev. 530.00) the bottom of tank will be 7'-9" below. I am sure that the excavating contractor can measure that and the Health Dept. inspector can verify it. The site plan that will be filed with BLDG permit will have that reference.

Thank you

Rosario Dimarco  
[rdm.engineering@verizon.net](mailto:rdm.engineering@verizon.net)

-----Original Message-----

**From:** Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>  
**To:** Rosario Dimarco <[rdm.engineering@verizon.net](mailto:rdm.engineering@verizon.net)>  
**Cc:** Oswald, Hank <[hoswald@howardcountymd.gov](mailto:hoswald@howardcountymd.gov)>  
**Sent:** Fri, Sep 22, 2017 8:22 am  
**Subject:** RE: DIMARCO - septic

The septic permit is valid for 1 year after issue date. There's an expiration date on the permit. If you're submitting the building permit next week, you'll need to amend the plot plan to include the tank elevation once the tank is set before we sign off on the building permit unless you're able to set the tank and get the elevation before your initial submittal.

**From:** Rosario Dimarco [<mailto:rdm.engineering@verizon.net>]  
**Sent:** Thursday, September 21, 2017 5:13 PM  
**To:** Williams, Jeffrey  
**Cc:** Oswald, Hank  
**Subject:** Re: DIMARCO - septic

Thank you ! Hope everything will go well with my plan to build septic system before house. I have completed the Environmental Concept Plan and will apply for BLDG permit next week. For how long is the septic permit valid ? Please let me know to decide when to start work.

Rosario Dimarco  
[rdm.engineering@verizon.net](mailto:rdm.engineering@verizon.net)

-----Original Message-----

From: Williams, Jeffrey <[jewilliams@howardcountymd.gov](mailto:jewilliams@howardcountymd.gov)>

To: Rosario Dimarco <[rdm\\_engineering@verizon.net](mailto:rdm_engineering@verizon.net)>

Sent: Thu, Sep 21, 2017 10:01 am

Subject: RE: DIMARCO - septic

Looks good. The contractor can pick up a permit when he's ready.

**From:** Rosario Dimarco [[mailto:rdm\\_engineering@verizon.net](mailto:rdm_engineering@verizon.net)]

**Sent:** Wednesday, September 20, 2017 9:13 PM

**To:** Williams, Jeffrey

**Subject:** DIMARCO - septic

Mr. Williams:

Attached herewith, please find requested acknowledgement letter. Hopefully the septic permit can be released.

Thank you

Rosario

## Oswald, Hank

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**From:** Oswald, Hank  
**Sent:** Wednesday, June 21, 2017 2:30 PM  
**To:** rdm.engineering@verizon.net  
**Subject:** Septic Permit\_11410 Old Fredrick Road

Hello Mr. Dimarco:

I spoke to my supervisor about your comment this morning to install the septic system before constructing the house. In order to do this, the requirements will be as follow;

- 1.) Provide a survey elevation of the tank invert once the system has been installed.
- 2.) Provide proposed elevation of the house invert on the building permit site plan.
- 3.) Install fencing around entire sewage disposal area after septic system has been installed and prior to building permit approval.
- 4.) Provide original copies of both well abandonment reports (Well driller is currently working on this.)

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
410.313.2648 (Fax)

## Oswald, Hank

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**From:** Oswald, Hank  
**Sent:** Tuesday, June 06, 2017 3:59 PM  
**To:** rdm.engineering@verizon.net  
**Subject:** OSDS Comments\_11416 Old Frederick Road  
**Attachments:** OSDS\_11416 Old Frederick Road\_Comments\_2017.pdf

Hello Mr. Dimarco:

Attached, please find the OSDS plan review comments for 11416 Old Frederick Road. Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.1786 (Office)  
410.313.2648 (Fax)



## Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

[www.hchealth.org](http://www.hchealth.org)

Facebook: [www.facebook.com/hocohealth](https://www.facebook.com/hocohealth)

Twitter: [HowardCoHealthDep](https://twitter.com/HowardCoHealthDep)

**Maura J. Rossman, M.D., Health Officer**

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June 6, 2017

Rosario Dimarco  
11416 Old Frederick Road  
Marriottsville, MD 21104

*Sent via email to: [rdm.engineering@verizon.net](mailto:rdm.engineering@verizon.net)*

**RE: OSDS Plan  
11410 Old Frederick Road**

Hi Mr. DiMarco:

The OSDS Plan for 11410 Old Fredrick Road has been reviewed with the following comments:

- 1.) Plan shows 25 feet of line from house to tank, while profile shows 22.5 feet. Revise to match.
- 2.) Add note, if the house elevation changes, then a revised OSDS plan will be required prior to the issuance of the septic permit.
- 3.) Show separation between d-box and first trench (at least 2 – 5 feet)
- 4.) Trench length is 82.5 feet (not 82 feet). Show actual trench length on site plan meeting setback requirement.
- 5.) Show all wells on the plan
- 6.) Add note, existing well must be properly abandoned by a licensed well driller prior to Health Department approval of the building permit.
- 7.) Submit well abandonment report(s) from your licensed well driller for the neighboring well

Should you have any questions, please don't hesitate to ask.

Respectfully,

*Hank Oswald*

Hank Oswald, L.E.H.S  
Bureau of Environmental Health  
Well & Septic Program  
(410) 313-1786

## Williams, Jeffrey

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**From:** Williams, Jeffrey  
**Sent:** Friday, February 24, 2017 2:44 PM  
**To:** 'Rosario DIMARCO'  
**Cc:** Oswald, Hank  
**Subject:** RE: DiMarco - Septic

I met with DPW and they provided me with the location of the existing water line along with the location of the proposed public easement to be recorded. Looking at those locations relative to the sewage disposal area, there is a corner by hole 3 that overlaps the water line and a portion closer to the street that comes within 10' of the water line. The easement cuts into a larger portion of the disposal area by hole 3 and also cuts into a corner of the disposal area on lot 2.

We also have the issue of the neighbor's well that Hank observed the other day. The 100' setback to that well cuts into a portion of the disposal area also near hole 3.

As I previously wrote, we cannot allow the easement to overlap the disposal areas. We also cannot allow the water line to overlap the area and any area less than 10' from it will necessitate sleeving the line. I have come up with a solution to this conflict that I believe is the quickest and easiest way to resolve the problem. We could schedule a time for you to come into our office to redline the existing perc certification plan to remove the portion of the disposal area on lot 4 that is overlapping the water easement and less than 10' from the water line and draw in an addition to the area to make up the loss along the west side and possibly in the lower corner. Similarly, the small corner of lot 2 area overlapping the easement could be removed and made up along the lower edge via a redline. The alternative to this approach would be for you to submit a revised perc certification plan showing the new areas resolving the conflicts.

Once that is completed, you can submit a new sewage disposal design plan showing the new area along with a field located well site for the neighbor's well with a 100' radius setback line around it. If you can show 3 sets of disposal trenches outside that setback, we will allow the unused portion of the area to remain inside the setback. If you cannot show 3 systems fitting, we would need to discuss alternatives for moving the area outside the well setback. Also as previously written, the trenches must be designed with a 0.8 loading rate and the sidewall credit listed on the spec sheet.

Let me know which way you want to proceed. Thanks  
Jeff

**From:** Rosario DIMARCO [<mailto:rdm.engineering@verizon.net>]  
**Sent:** Friday, February 24, 2017 7:10 AM  
**To:** Williams, Jeffrey  
**Subject:** DiMarco - Septic

Mr. Williams:

Have not heard from you, did you meet with HC utilities? Hope the simple matter of the vicinity of hole #3 to the water line was resolved. Really I did not think it was a big deal since as you state in several e-mails the system has to stay away from hole #3. Also I found in my file references that, contrary to what you wrote in your e-mail to Mr. Davis, we had spoken about public water line and wells. I am not including him in this e-mail trying to resolve all the BIG issues at your level.

Please at your convenience, let me know how the meeting went.

Thank you



LOT #2 - Mr. & Mrs.  
ROSARIO DI MARCO

N56°55'57"W  
184.98

30' x 100' AREA  
FOR WELL LOCATION

LOT #4 - 1.139 AC  
CONCETTA DI MARCO  
SALLY MONTEFERRANTE

EXIST. WATER  
WELL


LOT #7 - Mr. & Mrs.  
VINCENZO CORRENTI

R=3988.90'  
L=185.37'

DEDICATED TO HOWARD COUNTY  
FOR ROAD WIDENING

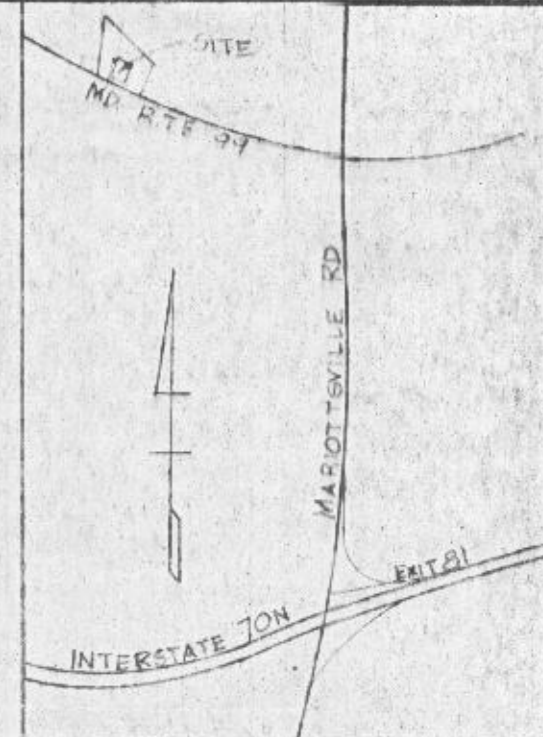
MD. R.TE 99

NOTES:

1. WATER WELL LOCATION TO BE WITHIN THE AREA DESIGNATED ON PLAN THUS: 
2. SEPTIC SYSTEM TO BE AS SPECIFIED BY HOWARD COUNTY HEALTH DEPARTMENT
3. REVISE SEPTIC SYSTEM OF LOT #2 AS RESULT OF FINAL WELL LOCATION ON LOT #4.

12/29/81

Primary Well site  
40' from rear line and  
20' from rightside line  
O.K. per T.C.O Rosario  
Di Marco - F.S.



VICINITY MAP

SITE PLAN

LOT #4 DI MARCO PROPERTY - PLOT #3731

SCALE: 1"=50' 0"

APPROVED BY

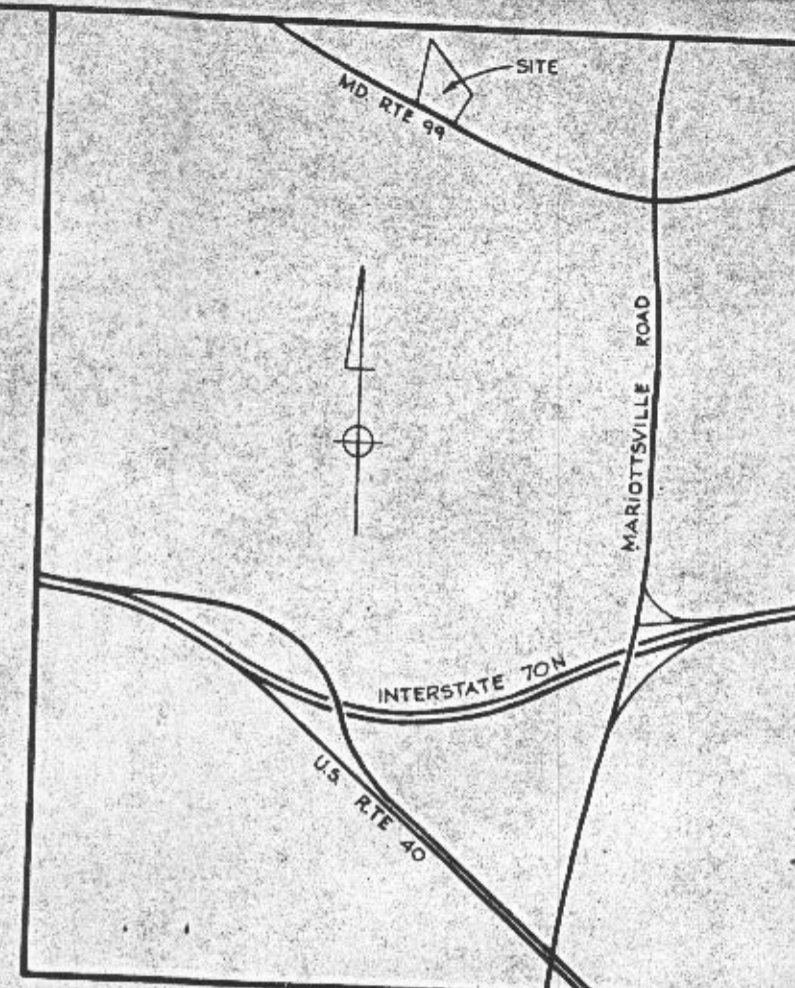
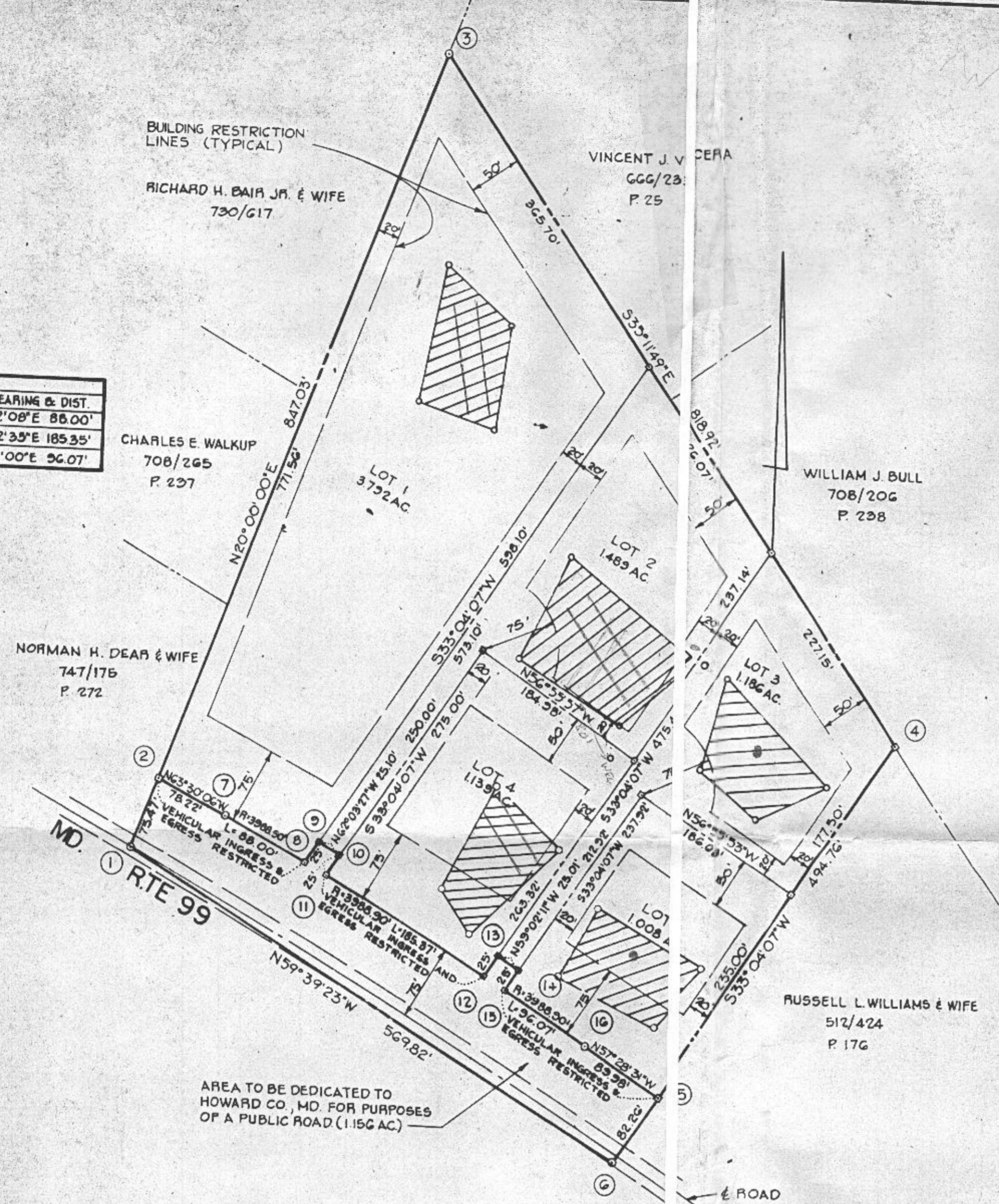
DRAWN BY RDM

DATE: DEC. 1981

MRS. MONTEFERRANTE'S RESIDENCE  
MD. ROUTE 99 HOWARD COUNTY MARYLAND

NORTH	EAST
1894.310	4561.536
1965.229	4987.348
690.257	5251.237
021.056	5723.253
675.374	5498.175
606.438	5453.291
930.328	5057.355
890.197	5135.673
911.147	5149.314
899.385	5171.488
878.435	5157.847
787.285	5319.235
808.247	5332.876
795.376	5354.327
774.426	5340.686
723.752	5422.307

R.	Δ	L	T	CHD BEARING & DIST.
988.90'	01°15'51"	88.00'	44.00'	S62°52'08"E 88.00'
988.90'	02°30'45"	185.37'	92.70'	S60°32'35"E 185.35'
988.90'	01°22'48"	96.07'	48.04'	S58°10'00"E 96.07'



**GENERAL NOTES**

1. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE.
2. ALL PERC TEST HOLE LOCATIONS HAVE BEEN FIELD LOCATED.
3. THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF APPROXIMATELY 10,000 SQ. FT. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE ARE RESTRICTED IN THIS AREA UNTIL PUBLIC SEWAGE IS AVAILABLE AND SERVICING ANY RESIDENTIAL STRUCTURES CONSTRUCTED ON THESE BUILDING SITES. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM.
4. DEED REFERENCE - 809/455.
5. COORDINATES SHOWN HEREON ARE ASSUMED.
6. SUBJECT TO VP-77-40.
7. FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND THE ROAD RIGHT-OF-WAY LINE ONLY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.
8. LOT 4 SEPTIC AREA WILL BE CLEARED OF ALL LARGE TREES PRIOR TO APPROVAL OF THE SEPTIC SYSTEM.

**AREA TABULATIONS**

AREA OF PLAT: 9.770 AC.  
 AREA OF LOTS: 5  
 AREA OF LOTS: 8.614 AC.  
 AREA OF ROAD DEDICATION: 1.156 AC.

**APPROVALS**

FOR PRIVATE WATER AND SEWAGE SYSTEMS. HOWARD COUNTY DEPARTMENT.

*M. Floyd* 6-23-77  
DATE

HOWARD COUNTY OFFICE OF ZONING.

*L. H. Davis* 6-28-77  
DATE

FOR STORM DRAINAGE SYSTEMS AND ROADS. HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

6-26-77

**OWNERS STATEMENT**

WE, ROSARIO DI MARCO AND MARIA R. DI MARCO OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE OFFICE OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD CO., MD. ITS SUCCESSORS AND ASSIGNS; 1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS AND STREET RIGHT OF WAYS AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; 2) DEDICATE TO PUBLIC USE THE BEDS OF THE STREETS AND OR ROADS AND FLOOD PLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR ONE DOLLAR CONSIDERATION HEREBY GRANT THE RIGHT AND OPTION TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND OR ROADS AND FLOOD PLAINS AND OPEN SPACE WHERE APPLICABLE; 3) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHT OF WAYS; AND 4) IT IS FURTHER AGREED THAT MAINTENANCE OF ALL WATERWAYS, DRAINAGE EASEMENTS, AND/OR FLOOD PLAINS SHOWN HEREON ARE THE RESPONSIBILITY OF PROPERTY OWNERS ITS SUCCESSORS AND ASSIGNS.

WITNESS OUR HANDS THIS 4<sup>TH</sup> DAY OF MARCH 1977.

*Rosario Di Marco*  
*Maria R. Di Marco*

**SURVEYORS CERTIFICATE**

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS A TRUE AND CORRECT COPY OF THE ORIGINAL AS SUBMITTED TO ME BY THE OWNER. I HAVE RECORDED THIS DEED WITH THE ANNOTATED CODE OF MARYLAND.

*William G. Hartel*  
WILLIAM G. HARTEL P.L.S. NO. 943G  
DATE 3-21-77

RECORDED PLAT 3751  
ON 6-28 1977 AMONG THE LAND RECORDS OF  
HOWARD COUNTY, MD.

**OWNER & DEVELOPER**

ROSARIO DIMARCO  
1413 KIRKWOOD RD.  
BALTIMORE, MD 21207

**LOTS 1, 2, 3, 4 AND 5  
DIMARCO PROPERTY**

3RD ELECTION DISTRICT

HOWARD COUNTY, MD.

SCALE: 1" = 100'

MARCH 14 1977