



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILP 2017 SEP 26 PAGE 111

Date Received: _____

Permit No.: BT003586

Building Address: 11410 OLDFREDRICK ROAD
 City: MIDDLEBURY State: MD Zip Code: 21102
 Suite/Apt. #: N/A SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: _____
 Tax Map: 10 Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: 1 AC.

Property Owner's Name: ROSARIO + MARIA D. MARIO
 Address: 11410 OLD FREDRICK ROAD
 City: MIDDLEBURY State: MD Zip Code: 21102
 Phone: 410-442-1676 Fax: _____
 Email: rdm@rdm-engineering.com

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: BY OWNER
 Contact Person: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 License No.: _____
 Phone: _____ Fax: _____
 Email: _____

Engineer/Architect Company: RDM ENGINEERING, INC.
 Responsible Design Prof.: ROSARIO D. MARIO P.E.
 Address: 11410 OLDFREDRICK ROAD
 City: MIDDLEBURY State: MD Zip Code: 21102
 Phone: 410-442-1250 Fax: _____
 Email: rdm@rdm-engineering.com

Existing Use: RESIDENTIAL
 Proposed Use: SAME
 Estimated Construction Cost: \$ 350K
 Description of Work: CONSTRUCT HOUSE AS SHOWN ON ATTACHED DRAWING
 Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor: <u>1400 S.F.</u>
Area of construction (sq. ft.):	2 nd floor: <u>NA</u>
Use group:	Basement: <u>1200 S.F.</u>
	<input type="checkbox"/> Finished Basement
	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input checked="" type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>2</u>
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input checked="" type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<u>NA</u> <input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input checked="" type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
<input checked="" type="checkbox"/> Other:	<u>TO BE DECIDED</u>
Sprinkler System:	
<input type="checkbox"/> Yes	<input type="checkbox"/> No
Grading Permit Number:	<u>NA</u>
Building Shell Permit Number:	<u>N/A</u>

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Rosario D. Mario Print Name: ROSARIO D. MARIO
 Email Address: rdm@rdm-engineering.com Date: SEPT. 25, 2017
 Title/Company: RDM ENGINEERING, INC.

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL	DPZ SETBACK INFORMATION	Filing Fee	\$100.00
State Highways			Front:	Permit Fee	\$
Building Officials			Rear:	Tech Fee	\$
PSZA (Zoning)			Side:	Excise Tax	\$
PSZA (Engineering)			Side St.:	PSFS	\$
Health	<u>09/17</u>	<u>H. Oswald</u>	All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No	Guaranty Fund	\$
Is Sediment Control approval required for issuance? <input type="checkbox"/> Yes <input type="checkbox"/> No			Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No	Add'l per Fee	\$
<input type="checkbox"/> CONTINGENCY CONSTRUCTION START			Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No	Total Fees	\$
			Lot Coverage for New Town Zone:	Sub-Total Paid	\$
			SDP/Red-line approval date:	Balance Due	\$
				Check	# <u>2542</u>

Oswald, Hank

From: Oswald, Hank
Sent: Wednesday, October 18, 2017 2:59 PM
To: 'Rosario Dimarco'
Subject: RE: B17003586_11410 Old Frederick Road

Hi Mr. Dimarco:

If you agree to supply the Health Department with a wall check detailing the top of foundation elevation but before the septic system layout inspection, then this office would sign-off on the building permit. Please let me know how you would like to proceed.

Thanks,

Hank

From: Rosario Dimarco [mailto:rdm.engineering@verizon.net]
Sent: Friday, October 13, 2017 8:53 AM
To: Oswald, Hank
Subject: Re: B17003586_11410 Old Frederick Road

Mr. Oswald:

Please release the Building Permit. We have lost so much time that it may be well to build the foundations before the septic as required. Contractor assured me that he can work around house.

Thank you

Rosario Dimarco
rdm.engineering@verizon.net

-----Original Message-----

From: Oswald, Hank <hoswald@howardcountymd.gov>
To: rdm.engineering <rdm.engineering@verizon.net>
Sent: Wed, Oct 11, 2017 12:09 pm
Subject: B17003586_11410 Old Frederick Road

Hi Mr. Dimarco:

This office is in receipt of the building permit (B17003586) to construct a house at 11410 Old Frederick Road. At this time, the building permit has been placed on hold until this office receives confirmation on the information as outlined in your letter dated September 20, 2017. The letter has been attached for your review.

Should you have any questions or concerns, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.

COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

Date: 10/16/17
To: DANIEL SWINDER
(Person's Name and Division)
From: ROSARIO DI MARCO ()
(Your Name, Company Name and Telephone Number)
Subject: Project name RE-BUILDING OF 11410 OLD FREDERICK RD
Project site address 11410 OLD FREDERICK RD
Permit # B17003586 SDP # _____
Other information pertinent to this project _____

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of _____ (be specific).
Health Department Request _____ DPZ/ DED Request _____ Applicant's Request _____
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- Other REVISED PLAN OF HOUSE TO SHOW DECK & DORMERS

RECEIVED

OCT 16 2017

LICENSES & PERMITS
DIVISION

Contact Person Information: (Required)

ROSARIO DI MARCO
Please Print Name

Telephone No: (442) 472-6259
(410) 442-1676 Per
E-Mail Address: rdm.engineering@verizon.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by [Signature]

Heath

5 - 2% — .10

526.50 +

526.60

528.87 -

528.87

527.75

526.60 +

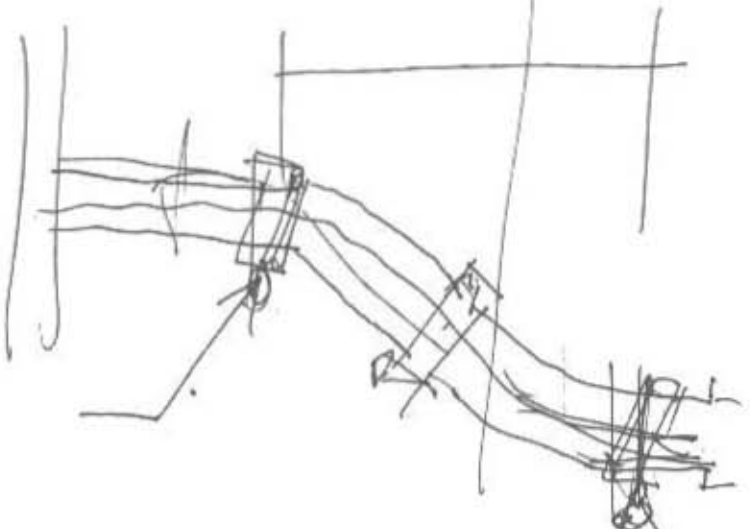
1.50

528.10

1.8

526.60

3' 0"



ELV → 3' → TANK

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Monday, November 13, 2017 3:37 PM
To: 'marcdherethconstruction@gmail.com'
Cc: Collins, Sarah; Oswald, Hank
Subject: dimarco property
Attachments: DIMARCO - septic; Re: DIMARCO - septic; FW: B17003586_11410 Old Frederick Road; Re: DiMarco septic; Re: DiMarco Septic

Hello Marc. Sarah told me you were looking for the agreements we made with Mr. Dimarco regarding his house project. This has been going around in circles for months now. We originally agreed to do septic before building permit subject to agreed-upon conditions. He then wanted to switch back to doing building permit first and we agreed subject to some new conditions. He then wanted to switch back to doing the septic first and we are now back again as of 10/30 to him wanting to do the building permit first and he was informed again at that time that he would need a wall check approved before a septic layout inspection. I've attached the various email chains with this information. Thanks

Jeff Williams
Program Supervisor, Well & Septic Program
Bureau of Environmental Health
Howard County Health Dept.
410-313-4261
jewilliams@howardcountymd.gov

CONFIDENTIALITY NOTICE

This message and the accompanying documents are intended only for the use of the individual or entity to which they are addressed and may contain information that is privileged, confidential, or exempt from disclosure under applicable law. If the reader of this email is not the intended recipient, you are hereby notified that you are strictly prohibited from reading, disseminating, distributing, or copying this communication. If you have received this email in error, please notify the sender immediately and destroy the original transmission.

Oswald, Hank

From: Oswald, Hank
Sent: Wednesday, October 11, 2017 12:09 PM
To: rdm.engineering@verizon.net
Subject: B17003586_11410 Old Frederick Road
Attachments: Letter.pdf

Hi Mr. Dimarco:

This office is in receipt of the building permit (B17003586) to construct a house at 11410 Old Frederick Road. At this time, the building permit has been placed on hold until this office receives confirmation on the information as outlined in your letter dated September 20, 2017. The letter has been attached for your review.

Should you have any questions or concerns, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
410.313.2648 (Fax)

LEGEND

- PROPOSED 28'x44' ONE STORY DWELLING WITH 24'x24' ATTACHED GARAGE.
- BUILDING RESTRICTION LINES.
- GmB SOIL TYPE
- EXISTING SEPTIC SYSTEM EASEMENT MODIFIED TO CLEAR PROPOSED PUBLIC WATER EASEMENT
- INITIAL SYSTEM TRENCH
- FIRST REPLACEMENT TRENCH
- 1000 GALLONS SEPTIC TANK
- NEW ASPHALT PAVING
- EXISTING PAVING
- PROPOSED PUBLIC WATER EASEMENT.
- EXISTING PUBLIC WATER METER VAULT.
- TREE LINE TO REMAIN
- M-5 DOWNSPOUT BOOTH WITH 4" Ø PVC PIPE DRAIN TO M-5 DRYWELL

ELEVATIONS:

BASEMENT FLOOR: 527.25
 1ST FLOOR: 535.65

EXISTING PAVED COMMON ENTRANCE DRIVEWAY RECORDED IN HO. CO. LIBER 2288 FOLIO 0700 ON 2/15/1991

MD. R.TE 99 (OLD FREDERICK RD)

SITE PLAN

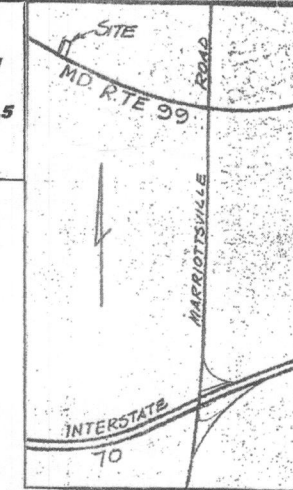
SCALE: 1"=60'

SEPTIC SYSTEM NOTES

1. SEPTIC SYSTEM SHALL BE CONSTRUCTED AS SHOWN ON THE ON SITE SEWAGE DISPOSAL SYSTEM PLAN APPROVED BY HOWARD COUNTY HEALTH DEPARTMENT ON JUNE 21, 2017.
2. THE INVERT ELEVATION OF THE SEWER PIPE AT THE FOUNDATION WALL OF THE HOUSE SHALL NOT BE BELOW 526.75 TO ASSURE A MINIMUM SLOPE OF 1% INTO THE SEPTIC TANK.
3. THE INVERT ELEVATION OF THE SEWER PIPE INTO SEPTIC TANK SHALL BE 526.50 AND SHALL OUT-FLOW INTO TRENCH AT ELEVATION 526.25.
4. THE SEPTIC TANK SHALL HAVE A MINIMUM CAPACITY OF 1000 GAL. BOTTOM OF TANK SHALL BE SET AT ELEVATION 522.25.
5. TRENCH BOTTOM ELEVATION SHALL BE 523.00. TRENCH SHALL BE 83' LONG, 2' WIDE AND 7' DEEP.
6. ALL ELEVATIONS GIVEN ABOVE SHALL BE SET ACCORDING TO THE HUBS SET IN FIELD ON AUGUST 22, 2017 BY PRECISION MEASUREMENTS, INC.
7. SEPTIC SYSTEM SHALL BE CONSTRUCTED BY AN INSTALLER APPROVED BY HO. CO. HEALTH DEPARTMENT AFTER OBTAINING PROPER PERMIT.
8. IF IT WILL BECOME NECESSARY TO MODIFY ANY ELEMENT OF THE SYSTEM, MODIFICATIONS SHALL BE APPROVED BY ENGINEER AND HO. CO. HEALTH DEPARTMENT. NEW DRAWING SHOULD BE SUBMITTED UNLESS CHANGES CAN BE CLEARLY SHOWN BY RED LINE MARKINGS.

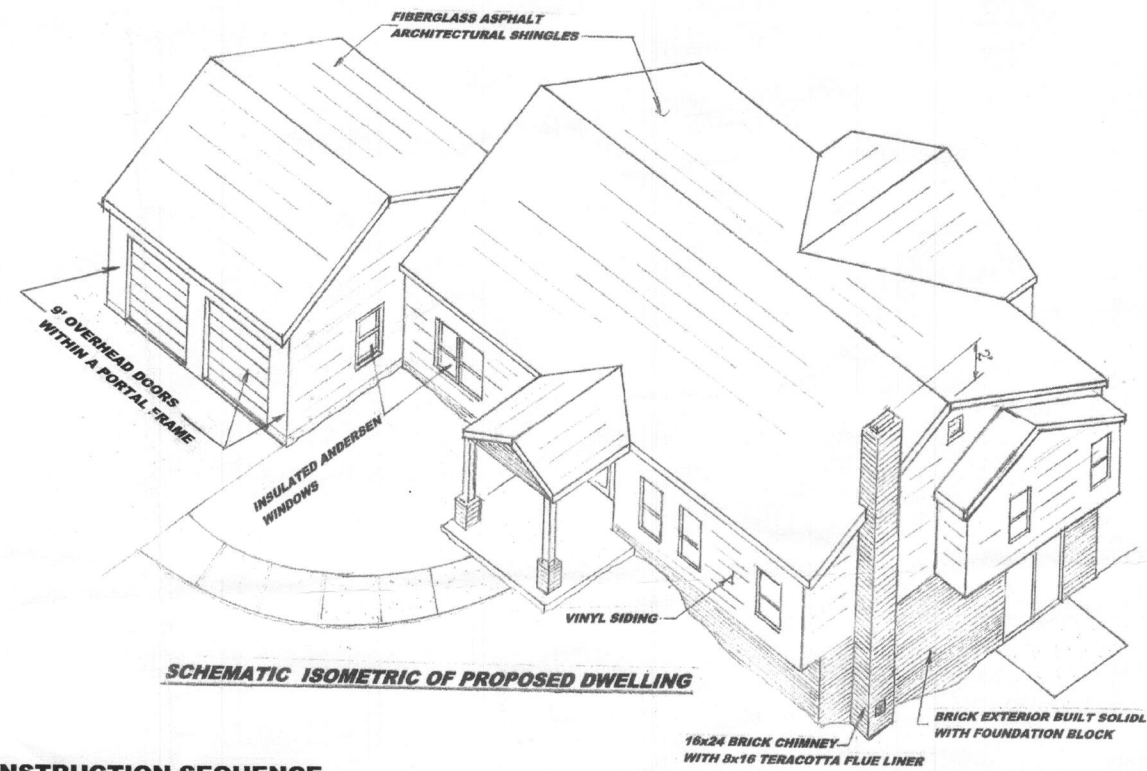
PROPERTY DATA

- 1 - SUBDIVISION NAME: DIMARCO PROPERTY - REG. PLAT 3731
- 2 - LOT NO. 4; LOT AREA 1.139ac.
- 3 - TAX MAP NO. 10; ELECT. DISTRICT NO.5
- 4 - UTILITIES - PUBLIC WATER & PRIVATE SEWER SYSTEM.



VICINITY MAP

L.O.D.









SCHEMATIC ISOMETRIC OF PROPOSED DWELLING

SITE WORK CONSTRUCTION SEQUENCE

- A - PRIOR TO START ANY SITE WORK EXCAVATING SUBCONTRACTOR SHALL INSTALL A LAYER OF NO.2 STONE OF A MINIMUM THICKNESS OF 8" IN THE AREA OF NEW PAVING 24' WIDE BY 50' LONG TO SERVE AS STABILIZED CONSTRUCTION ENTRANCE.
- B - TO MINIMIZE IMPACT OF SOIL DISTURBANCE WORK SHALL BE EXECUTED IN PHASES AS FOLLOWS:
 - 1 - INSTALL SEPTIC SYSTEM - APPROXIMATE AREA 2000 S.F. (20' WIDE BY 100' LONG)
 - 2 - GRADE, SEED AND FENCE SEPTIC SYSTEM AREA.
 - 3 - EXCAVATE HOUSE FOUNDATION - APPROXIMATE AREA 2900 S.F.
 - 4 - EXCAVATE TRENCHES FOR UTILITIES: SEWER TO SEPTIC TANK AND WATER FROM PUBLIC MAIN.
 - 5 - BACKFILL TRENCHES AND FOUNDATION AFTER COATING WALLS WITH ASPHALT.
 - 6 - FRAME HOUSE, INSTALL DOORS AND WINDOWS AND COMPLETE EXTERIOR FINISHES INCLUDING ROOF, GUTTERS AND DOWNSPOUTS.
 - 7 - INSTALL DRYWELLS M-5 ACCORDING TO APPROVED ENVIRONMENTAL CONCEPT PLAN.
 - 8 - GRADE, SEED AND MULCH SITE.
 - 9 - PAVE DRIVEWAY AND LANDSCAPE.
- C - FOR QUESTIONS AND CLARIFICATIONS CONCERNING THIS PROJECT, E-MAIL ROSARIO DIMARCO AT: rdm.engineering@verizon.net

RE-BUILDING OF 11410 OLD FREDERICK ROAD			
MARRIOTTSVILLE, MARYLAND 21104			
OWNER:			
MR. & MRS. ROSARIO DIMARCO			
11416 OLD FREDERICK ROAD			
MARRIOTTSVILLE, MARYLAND 21104			
CONTRACTOR:			
BY OWNER			
ENGINEER:			
RDM ENGINEERING, INC. 11416 OLD FREDERICK ROAD, MARRIOTTSVILLE, MD 21104			
SCALE:	DATE:	DRAWN BY:	DRAWING NO.
As Noted		RDM	1 OF 4

LEGEND

-  PROPOSED 30'x44' ONE STORY DWELLING WITH 24'x24' ATTACHED GARAGE.
-  BUILDING RESTRICTION LINES.
-  SEPTIC SYSTEM EASEMENT.
-  NEW ASPHALT PAVING
-  EXISTING PAVING
-  EXISTING PUBLIC WATER METER VAULT.

PROPERTY DATA

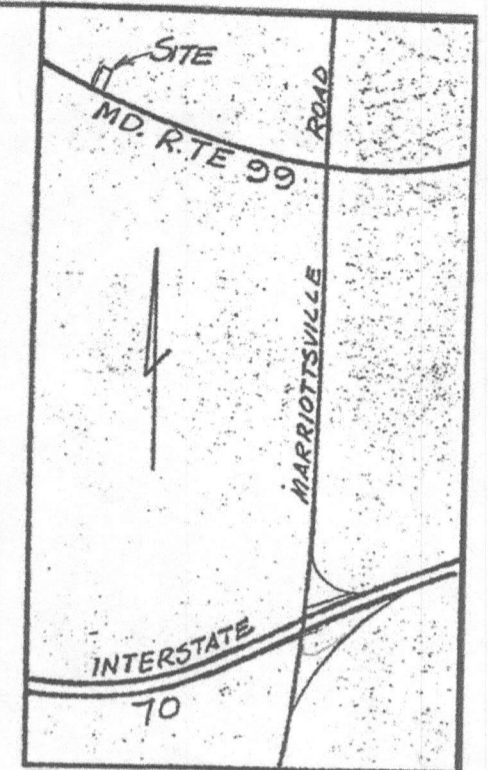
- 1 - SUBDIVISION NAME: DIMARCO PROPERTY - REG. PLAT 3731 (6/28/1977)
- 2 - LOT NO. 4; LOT AREA 1.139Ac.
- 3 - TAX MAP NO. 10; ELECT. DISTRICT NO.5
- 4 - UTILITIES - PUBLIC WATER & PRIVATE SEWER SYSTEM.

DISTURBED AREA CALCULATION:

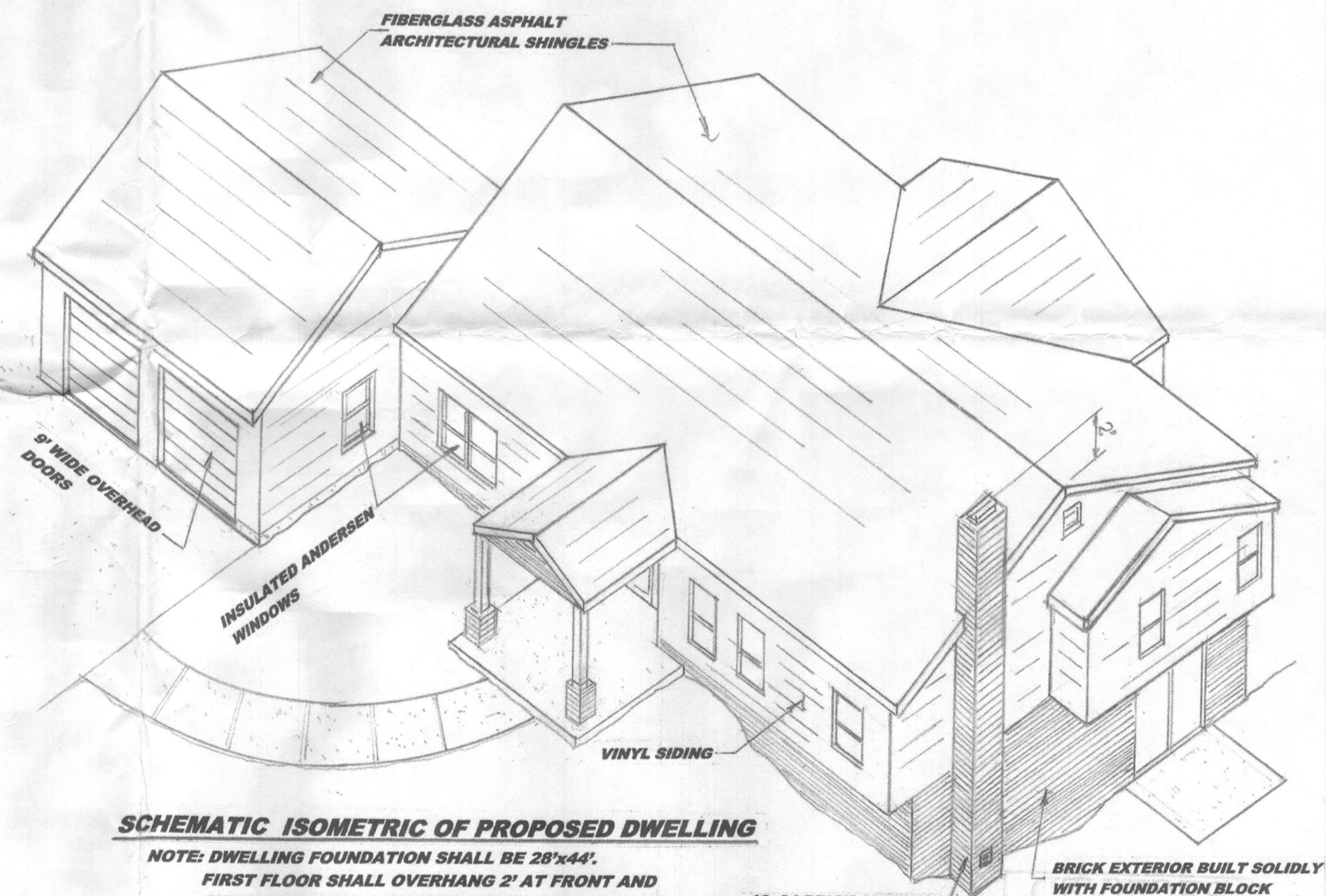
- | | |
|------------------------|--------------------|
| 1 - HOUSE - 44'x30' | 1320 sq.ft |
| 2 - GARAGE - 24'x24' | 576 |
| 3 - NEW PAVING | 1776 |
| 4 - SIDEWALK AND PATIO | 220 |
| TOTAL | 3892 sq.ft. |

GENERAL NOTES

- 1- CONSTRUCTION MATERIALS TO BE USED SHALL BE AS FOLLOWS:
 CONCRETE - 3000PSI - ACI SPECS
 REINFORCING STEEL - ASTM GRADE 60
 LUMBER - HEM FIR or SOUTHERN PINE NO. 1 STRUCTURAL GRADE FOR JOISTS & EXTERIOR STUDS; NO.2 OR BETTER FOR INTERIOR STUDS.
 STRUCTURAL STEEL - ASTM A36 FOR CENTER BEAM AND GRADE 50 FOR COLUMNS.
 INSULATION - R20 FIBERGLASS FOR EXTERIOR WALLS & R49 IN ATTIC.
- 2- EXTERIOR DIMENSIONS SHOWN ON PLAN DO NOT INCLUDE THICKNESS OF VINYL SIDING.
- 3- ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 2X6 STUDS, SPACED AT 24"O/C. WITH A CONTINUOUS LAYER OF 1/2" OSB BOARDS AROUND THE ENTIRE PERIMETER.
- 4- ROOF TRUSSES SHALL BE FABRICATED AND CERTIFIED BY AN APPROVED MANUFACTURER.



VICINITY MAP
(N.T.S.)



SCHMATIC ISOMETRIC OF PROPOSED DWELLING

NOTE: DWELLING FOUNDATION SHALL BE 28'x44'. FIRST FLOOR SHALL OVERHANG 2' AT FRONT AND SHALL BE 30'x44'. DORMERS SHALL BE AS SHOWN ON FIRST FLOOR PLAN DWG 3 OF 4.

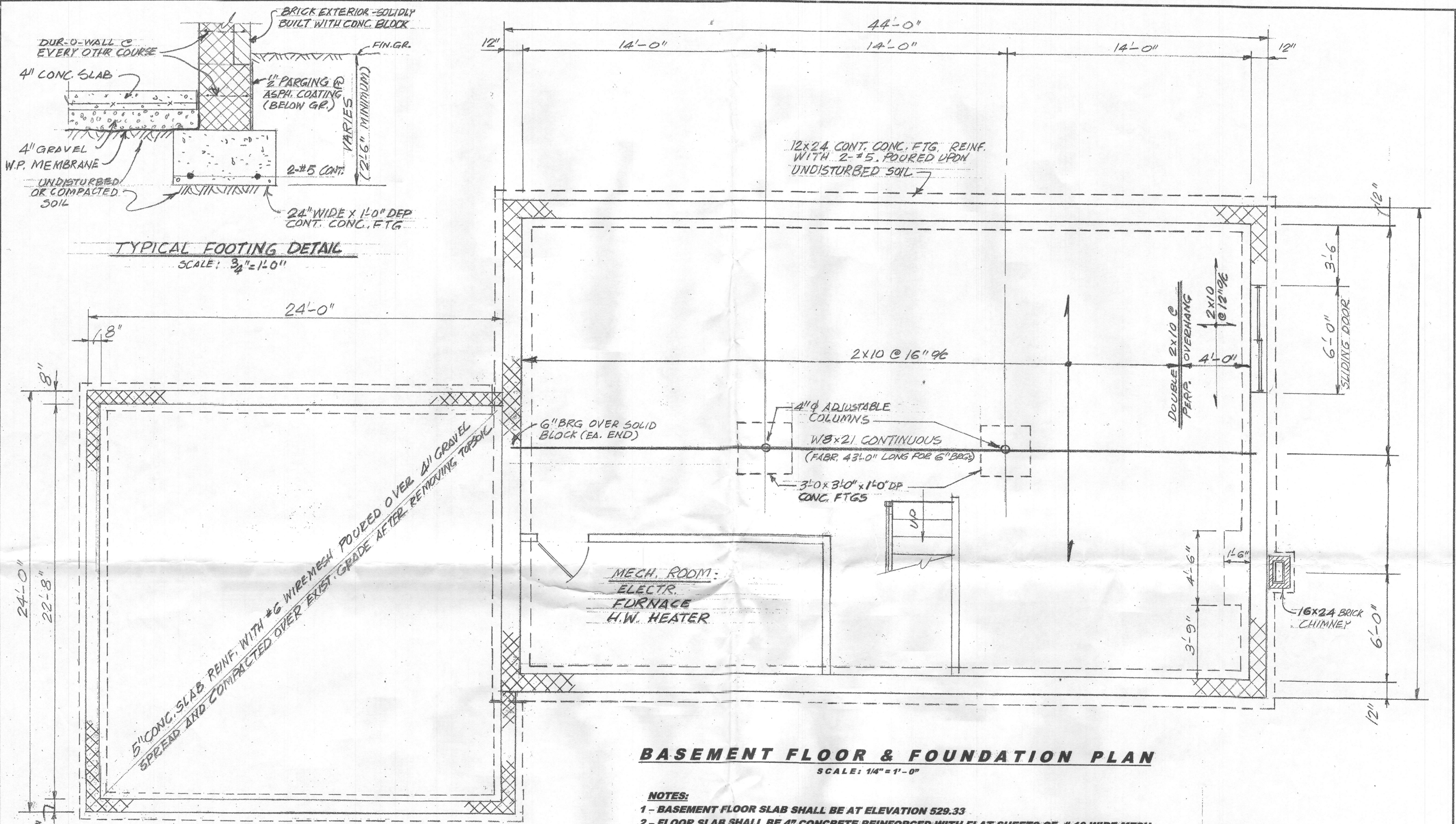
SEPTIC SYSTEM REQUIREMENTS

- 1 - SEPTIC SYSTEM SHALL BE CONSTRUCTED AS APPROVED BY HOWARD COUNTY HEALTH DEPARTMENT BY SUBMITTING AN ON SITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN PREPARED BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN MARYLAND.
- 2 - SEPTIC SYSTEM SHALL BE INSTALLED WITHIN THE EXISTING EASEMENT.
- 3 - SYSTEM SHALL CONSIST IN A SEPTIC TANK OF A MINIMUM CAPACITY OF 1000 GALLONS, DISCHARGING INTO A DRAIN FIELD CAPABLE TO RECEIVE THE FLOW OF 300gpd (TWO BEDROOMS @ 150gpd).
- 4 - DRAIN FIELD TRENCHES SHALL RUN ON CONTOURS ELEVATIONS AND SHALL BE OF SUFFICIENT DEPTH BELOW THE EFFECTIVE AREA BEGINNING ELEVATION WHICH, FROM SOIL INVESTIGATION, IS 4' BELOW EXISTING GRADE.

PRE-CONSTRUCTION NOTES

- 1 - FOR QUESTIONS OR CLARIFICATIONS CONCERNING THIS PLAN CONTACT Rosario DiMarco AT rdm.engineering@verizon.net OR BY PHONE AT (410) 442-1250.
- 2 - PRIOR STARTING ANY SITE WORK EXCAVATING SUBCONTRACTOR SHALL INSTALL AN 8" LAYER OF NO. 2 STONE IN THE AREA OF NEW PAVING TO SERVE AS CONSTRUCTION ENTRANCE.
- 3 - ALL DIMENSIONS SHALL BE VERIFIED BEFORE STARTING FOUNDATION WORK.

RE-BUILDING OF 11410 OLD FREDERICK ROAD MARRIOTTSVILLE, MARYLAND 21104			
OWNER: MR. & MRS. ROSARIO DIMARCO 11416 OLD FREDERICK ROAD MARRIOTTSVILLE, MARYLAND 21104			
CONTRACTOR: BY OWNER			
ENGINEER: RDM ENGINEERING, INC. 11416 OLD FREDERICK ROAD, MARRIOTTSVILLE, MD 21104			
SCALE: As Noted	DATE: JAN. 2017	DRAWN BY: RDM	DRAWING NO. 10FA



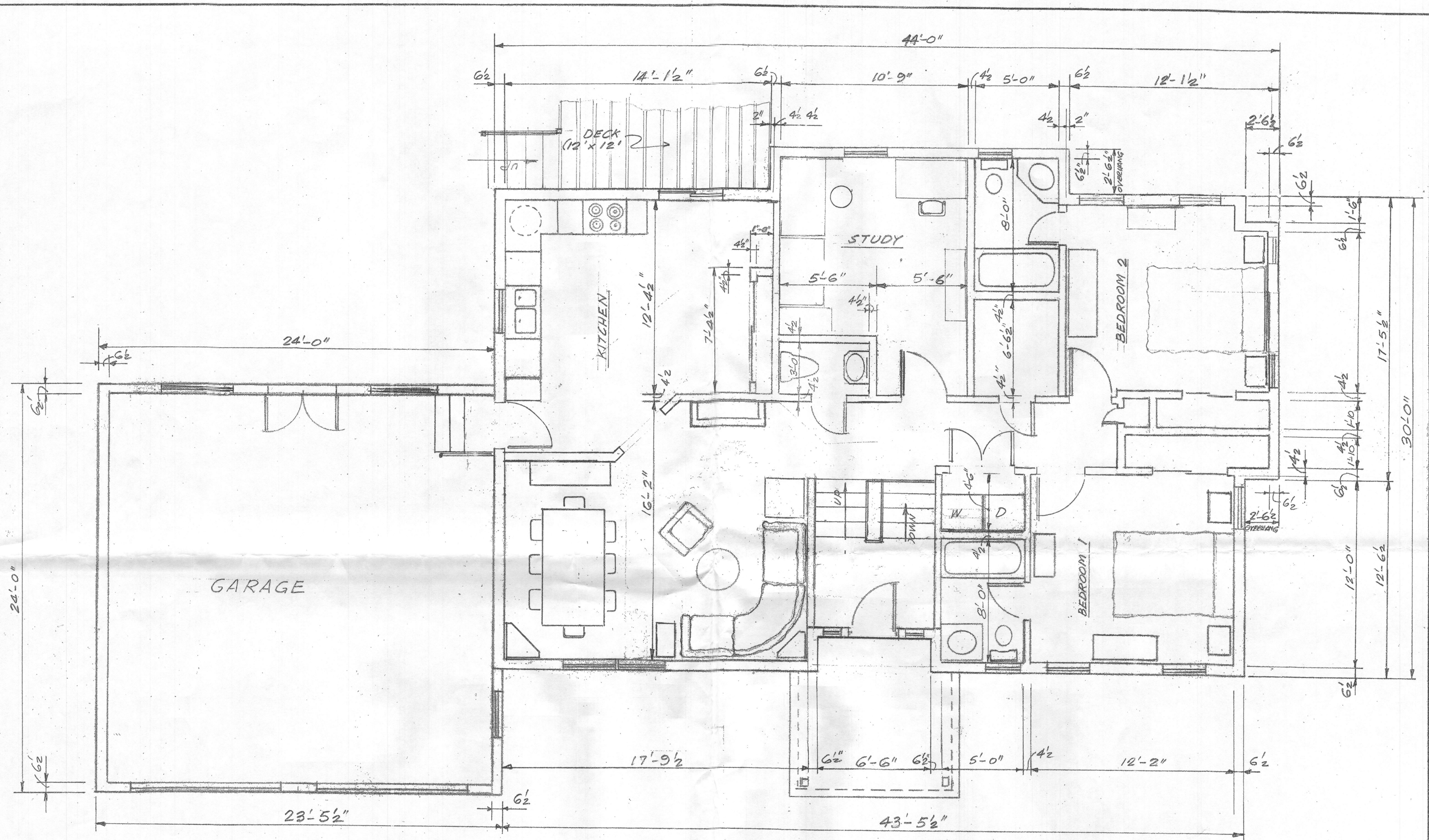
BASEMENT FLOOR & FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

- NOTES:**
- 1 - BASEMENT FLOOR SLAB SHALL BE AT ELEVATION 529.33
 - 2 - FLOOR SLAB SHALL BE 4" CONCRETE REINFORCED WITH FLAT SHEETS OF # 10 WIRE MESH LAPPING TO EACH OTHER AT LEAST 6". CONCRETE SHALL BE POURED OVER 4" COMPACTED GRAVEL SPREAD OVER POLYETHYLENE WATERPROOFING MEMBRANED.
 - 3 - BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 2'-6" BELOW FINISHED GRADE AND SHALL BEAR UPON UNDISTURBED SOIL OR COMPACTED FILL.
 - 4 - IF REQUIRED TO STEP EXTERIOR FOOTINGS, STEPS SHALL BE ON BLOCK COURSES NOT TO EXCEED 24".

RECEIVED
 FEB 01 2017
 HUNNARD COUNTY HEALTH DEPT.
 BUREAU OF ENVIRONMENTAL HEALTH

RE-BUILDING OF 11410 OLD FREDERICK ROAD MARRIOTTSTVILLE, MARYLAND 21104			
OWNER: MR. & MRS. ROSARIO DIMARCO 11416 OLD FREDERICK ROAD MARRIOTTSTVILLE, MARYLAND 21104			
CONTRACTOR: BY OWNER			
ENGINEER: RDM ENGINEERING, INC. 11416 OLD FREDERICK ROAD, MARRIOTTSTVILLE, MD 21104			
SCALE: As Noted	DATE: JAN. 2017	DRAWN BY: RDM	DRAWING NO. 204

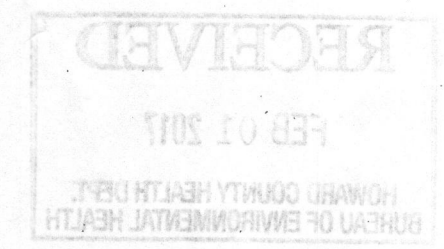


FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTES:

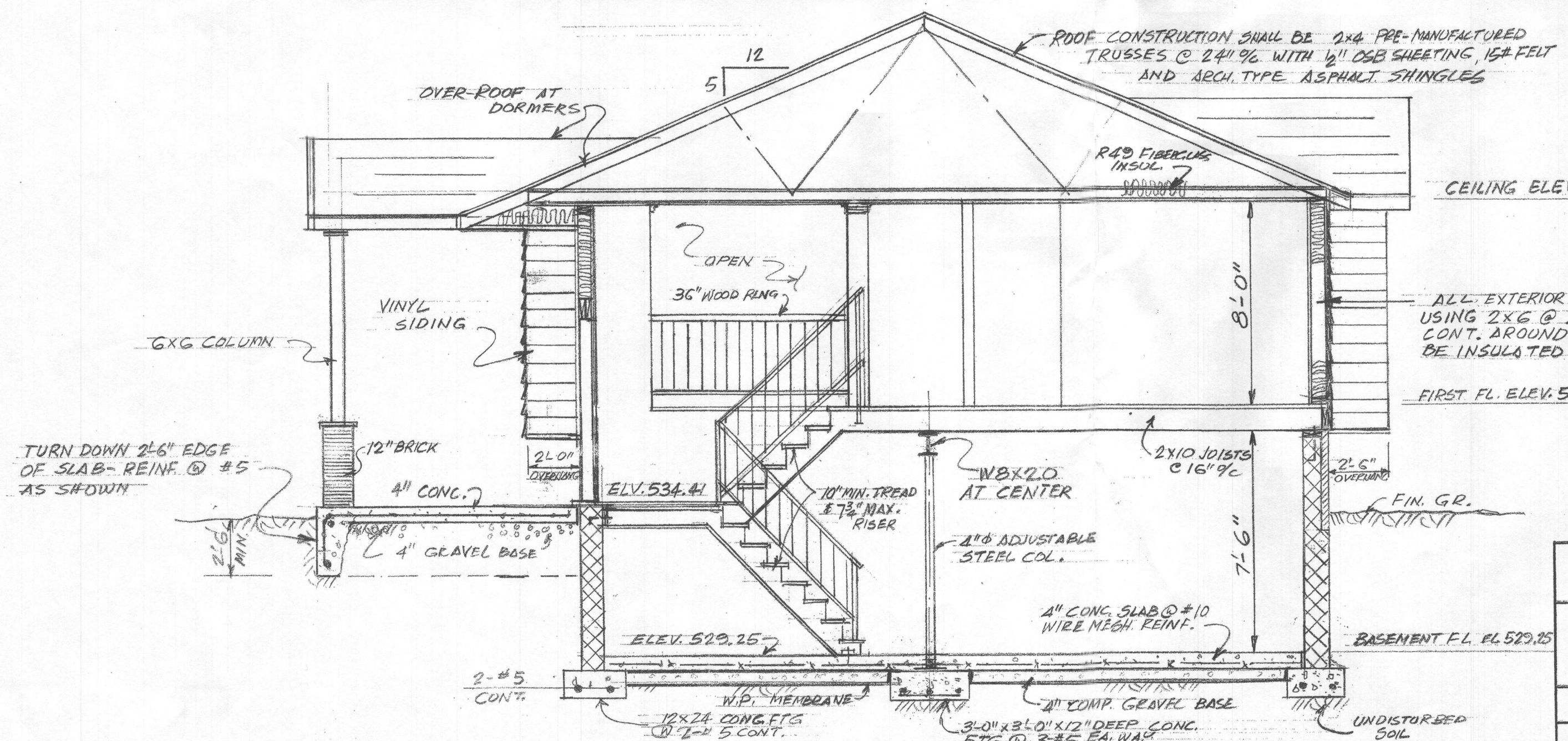
- 1 - FLOOR CONSTRUCTION SHALL BE 2X10 @16" o/c FLOOR JOISTS WITH 5/8 T&G PLYWOOD GLUED & NAILED.
- 2 - FLOOR FINISHES SHALL BE CERAMIC TILES IN BATHROOMS, WASH ROOM, KITCHEN, STUDY, ENTRANCE AND HALLWAY; OAK PLANKS 3/4 THICK SHALL BE USED IN BEDROOMS AND FAMILY ROOM.
- 3 - ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 @24" o/c WITH 1/2 - 4X8 OSB BOARDS CONTINUOUS AROUND ENTIRE PERIMETER WRAPPED WITH TYVEK INSULATED MEMBRANE PROPERLY STAPPLED AND TAPED AROUND ALL OPENINGS.
- 4 - ALL INTERIOR PARTITIONS SHALL BE BUILT WITH 2X4 @16" o/c AND FINISHED WITH 1/2 GYPSUM BOARD IN BOTH SIDES.
- 5 - ALL WINDOWS SHALL BE ANDERSEN INSULATED DOUBLE PANES 200 SERIES OF APPROXIMATE SIZE 28x42. EXCEPT IN BASEMENT AND GARAGE.



RE-BUILDING OF 11410 OLD FREDERICK ROAD MARRIOTTVILLE, MARYLAND 21104			
OWNER: MR. & MRS. ROSARIO DIMARCO 11416 OLD FREDERICK ROAD MARRIOTTVILLE, MARYLAND 21104			
CONTRACTOR: BY OWNER			
ENGINEER: RDM ENGINEERING, INC. 11416 OLD FREDERICK ROAD, MARRIOTTVILLE, MD 21104			
SCALE: As Noted	DATE: JAN. 2017	DRAWN BY: RDM	DRAWING NO. 30F4

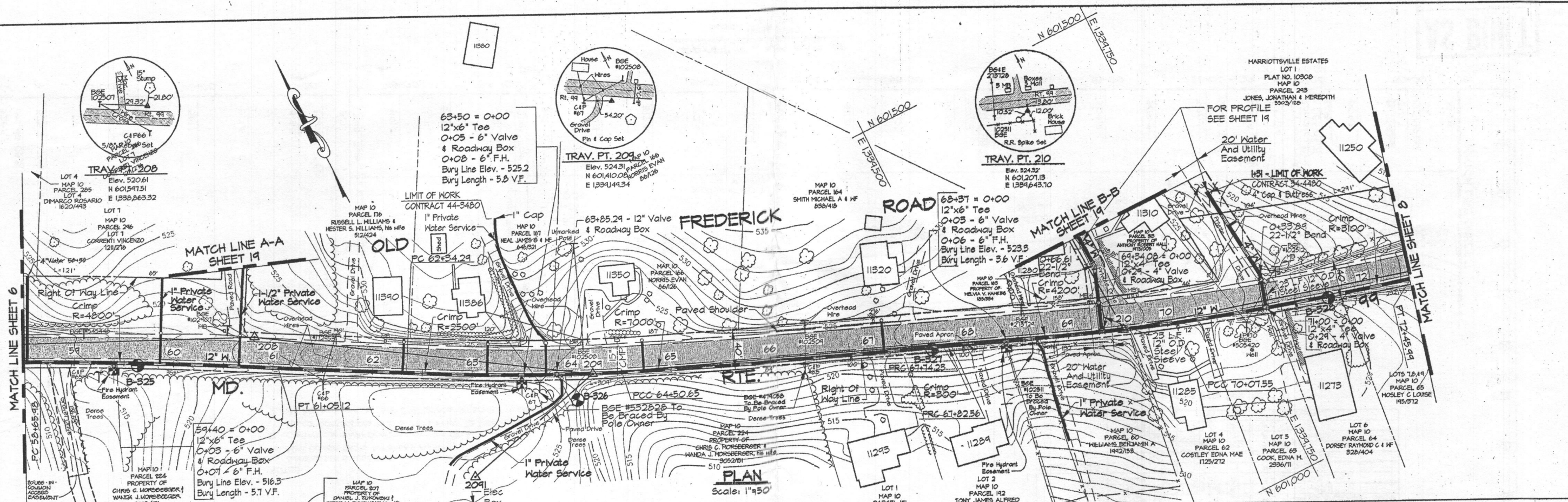


REAR ELEVATION
SCALE: 1/4" = 1'-0"



TRANSVERSAL SECTION AT ENTRY
SCALE: 1/4" = 1'-0"

RE-BUILDING OF 11410 OLD FREDERICK ROAD MARRIOTTVILLE, MARYLAND 21104			
OWNER: MR. & MRS. ROSARIO DIMARCO 11416 OLD FREDERICK ROAD MARRIOTTVILLE, MARYLAND 21104			
CONTRACTOR: BY OWNER			
ENGINEER: RDM ENGINEERING, INC. 11416 OLD FREDERICK ROAD, MARRIOTTVILLE, MD 21104			
SCALE: As Noted	DATE: JAN. 2017	DRAWN BY: RDM	DRAWING NO. 4 OF 4



- NOTES:
- Contractor Shall Remove And Replace Existing Mail Boxes, Signs & Fences As Required.
 - Contractor Shall Confirm Location Of All Water House Connections With Owners Prior To Installation.
 - All Water Services Are 3/4" Unless Otherwise Noted.
 - The Contractor Shall Work Only From 9:00am to 4:00pm When Constructing The 4" Water Main And House Connections Within The Private Driveways At Sta. 69+34 & 71+00 And The Private Water Services Within The Private Driveways At Sta. 60+65.68, 63+75, 63+90 & 68+69.
 - During Construction The Contractor Shall Maintain Ingress And Egress For The Residents And Emergency Vehicles At All Times.
 - Trenches Will Not Be Permitted To Remain Open After Working Hours Within The Private Driveways.
 - Stored Materials Will Not Be Permitted Within The Private Driveways Or Easement Area.

TRAVERSE LINE	STATION	OFFSET	DESCRIPTION
201 - 208	4+13.29	18.49' Rt.	P.C. - 58+65.98

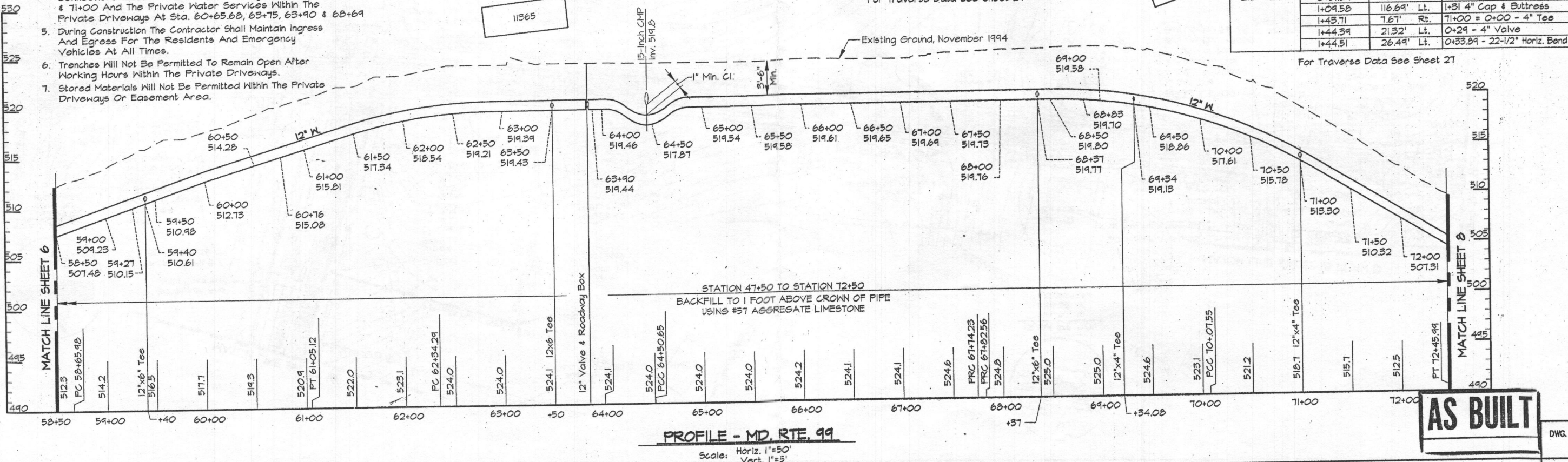
For Traverse Data See Sheet 27

TRAVERSE LINE	STATION	OFFSET	DESCRIPTION
208 - 209	0+26.81	28.27' Rt.	P.T. - 61+05.12
	1+55.67	19.54' Rt.	P.C. - 62+54.29

For Traverse Data See Sheet 27

TRAVERSE LINE	STATION	OFFSET	DESCRIPTION
209 - 210	0+29.02	0.98' Rt.	P.C.C. - 64+50.65
	3+52.57	1.99' Rt.	P.R.C. - 67+74.23
	3+60.90	1.94' Rt.	P.R.C. - 67+82.56
	5+10.24	66.06' Lt.	0+66.61 - 22-1/2" Horiz. Bend
210 - 211	5+2.41	0.51' Rt.	69+54.08 - 12"x4" Tee
	0+51.34	3.81' Rt.	P.C.C. - 70+07.55
	1+09.58	116.69' Lt.	1+31 4" Cap & Buttress
	1+43.71	7.67' Rt.	71+00 = 0+00 - 4" Tee
	1+44.39	21.32' Lt.	0+29 - 4" Valve
	1+44.51	26.49' Lt.	0+33.89 - 22-1/2" Horiz. Bend

For Traverse Data See Sheet 27



AS BUILT

LEGEND

- PROPOSED 28'x44' ONE STORY DWELLING WITH 24'x24' ATTACHED GARAGE.
- BUILDING RESTRICTION LINES.
- SOIL TYPE
- EXISTING SEPTIC SYSTEM EASEMENT MODIFIED TO CLEAR PROPOSED PUBLIC WATER EASEMENT
- INITIAL SYSTEM TRENCH
- FIRST REPLACEMENT TRENCH
- 1000 GALLONS SEPTIC TANK
- NEW ASPHALT PAVING
- EXISTING PAVING
- PROPOSED PUBLIC WATER EASEMENT.
- EXISTING PUBLIC WATER METER VAULT.
- TREE LINE TO REMAIN
- M-5 DOWNSPOUT BOOTH WITH 4" Ø PVC PIPE DRAIN TO M-5 DRYWELL

ELEVATIONS

BASEMENT FLOOR 527.25
 FIRST FLOOR 535.65



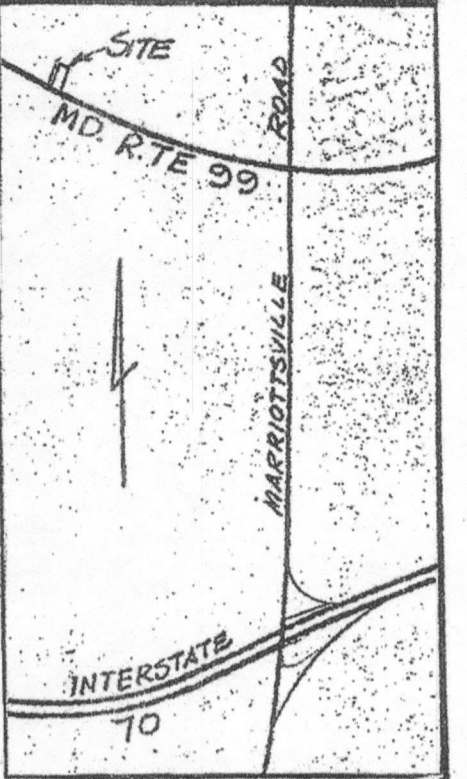
SITE PLAN

SCALE: 1"=40'

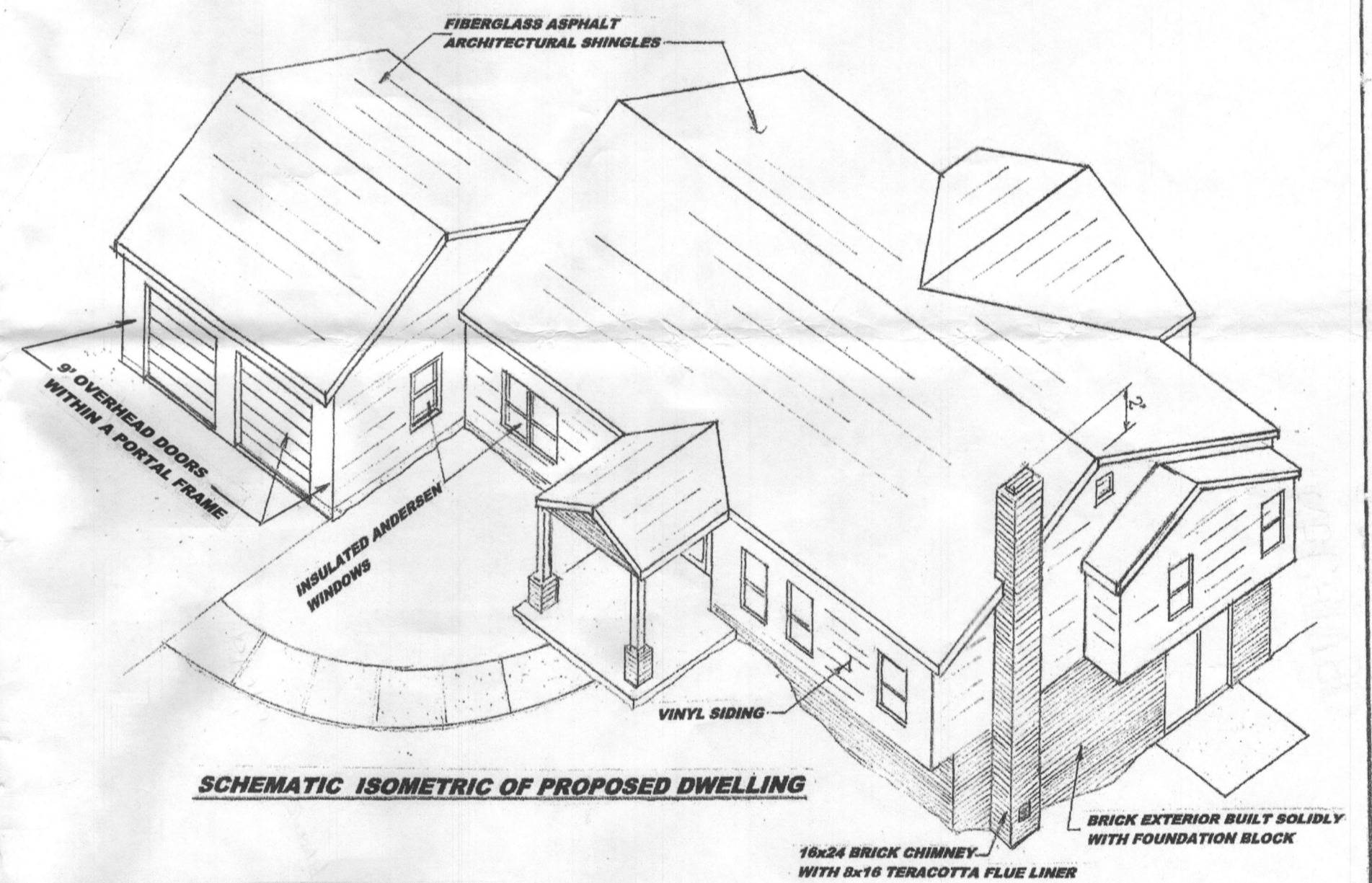
SEPTIC SYSTEM NOTES

1. SEPTIC SYSTEM SHALL BE CONSTRUCTED AS SHOWN ON THE ON SITE SEWAGE DISPOSAL SYSTEM PLAN APPROVED BY HOWARD COUNTY HEALTH DEPARTMENT ON JUNE 21, 2017.
2. THE INVERT ELEVATION OF THE SEWER PIPE AT THE FOUNDATION WALL OF THE HOUSE SHALL NOT BE BELOW 526.75 TO ASSURE A MINIMUM SLOPE OF 1% INTO THE SEPTIC TANK.
3. THE INVERT ELEVATION OF THE SEWER PIPE INTO SEPTIC TANK SHALL BE 526.50 AND SHALL OUT-FLOW INTO TRENCH AT ELEVATION 526.25.
4. THE SEPTIC TANK SHALL HAVE A MINIMUM CAPACITY OF 1000 GAL. BOTTOM OF TANK SHALL BE SET AT ELEVATION 522.25.
5. TRENCH BOTTOM ELEVATION SHALL BE 523.00. TRENCH SHALL BE 83' LONG, 2' WIDE AND 7' DEEP.
6. ALL ELEVATIONS GIVEN ABOVE SHALL BE SET ACCORDING TO THE HUBS SET IN FIELD ON AUGUST 22, 2017 BY PRECISION MEASUREMENTS, INC.
7. SEPTIC SYSTEM SHALL BE CONSTRUCTED BY AN INSTALLER APPROVED BY HO. CO. HEALTH DEPARTMENT AFTER OBTAINING PROPER PERMIT.
8. IF IT WILL BECOME NECESSARY TO MODIFY ANY ELEMENT OF THE SYSTEM, MODIFICATIONS SHALL BE APPROVED BY ENGINEER AND HO. CO. HEALTH DEPARTMENT. NEW DRAWING SHOULD BE SUBMITTED UNLESS CHANGES CAN BE CLEARLY SHOWN BY RED LINE MARKINGS.

PROPERTY DATA
 1 - SUBDIVISION NAME: DIMARCO PROPERTY - REC. PLAT 3731
 2 - LOT NO. 4; LOT AREA 1.139Ac.
 3 - TAX MAP NO. 10; ELECT. DISTRICT NO.5
 4 - UTILITIES - PUBLIC WATER & PRIVATE SEWER SYSTEM.



VICINITY MAP

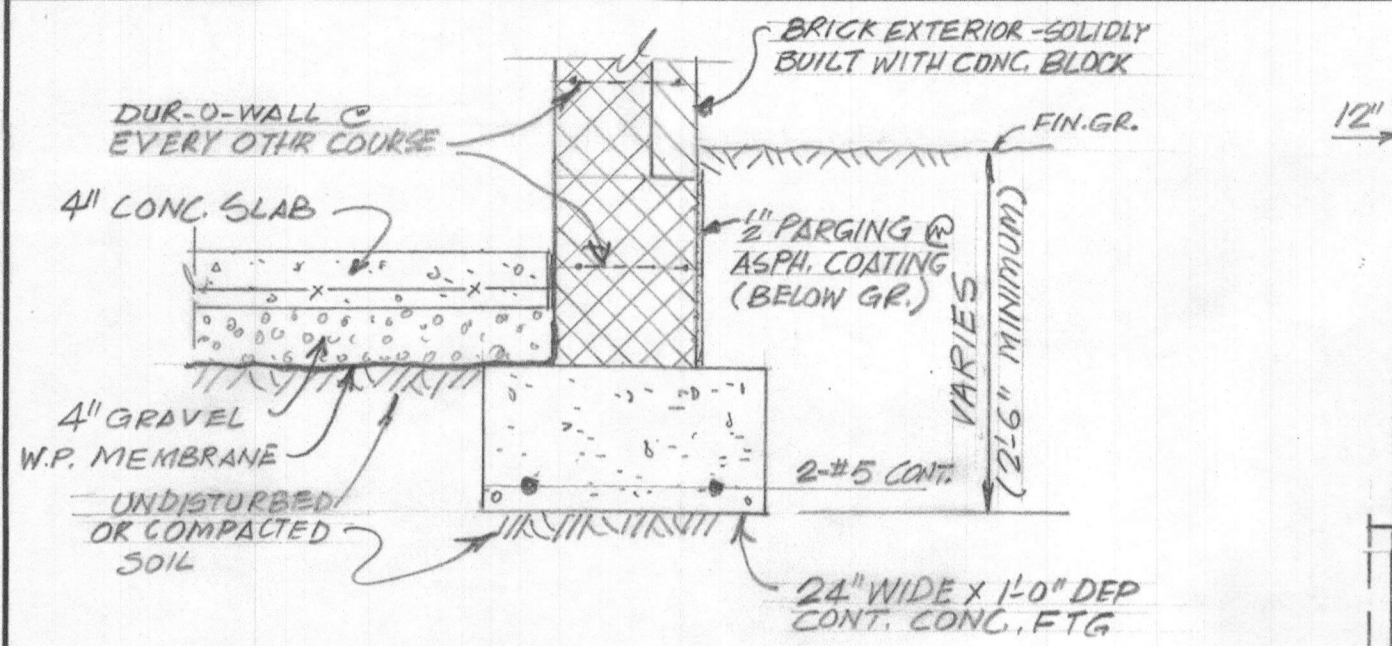


SCHEMATIC ISOMETRIC OF PROPOSED DWELLING

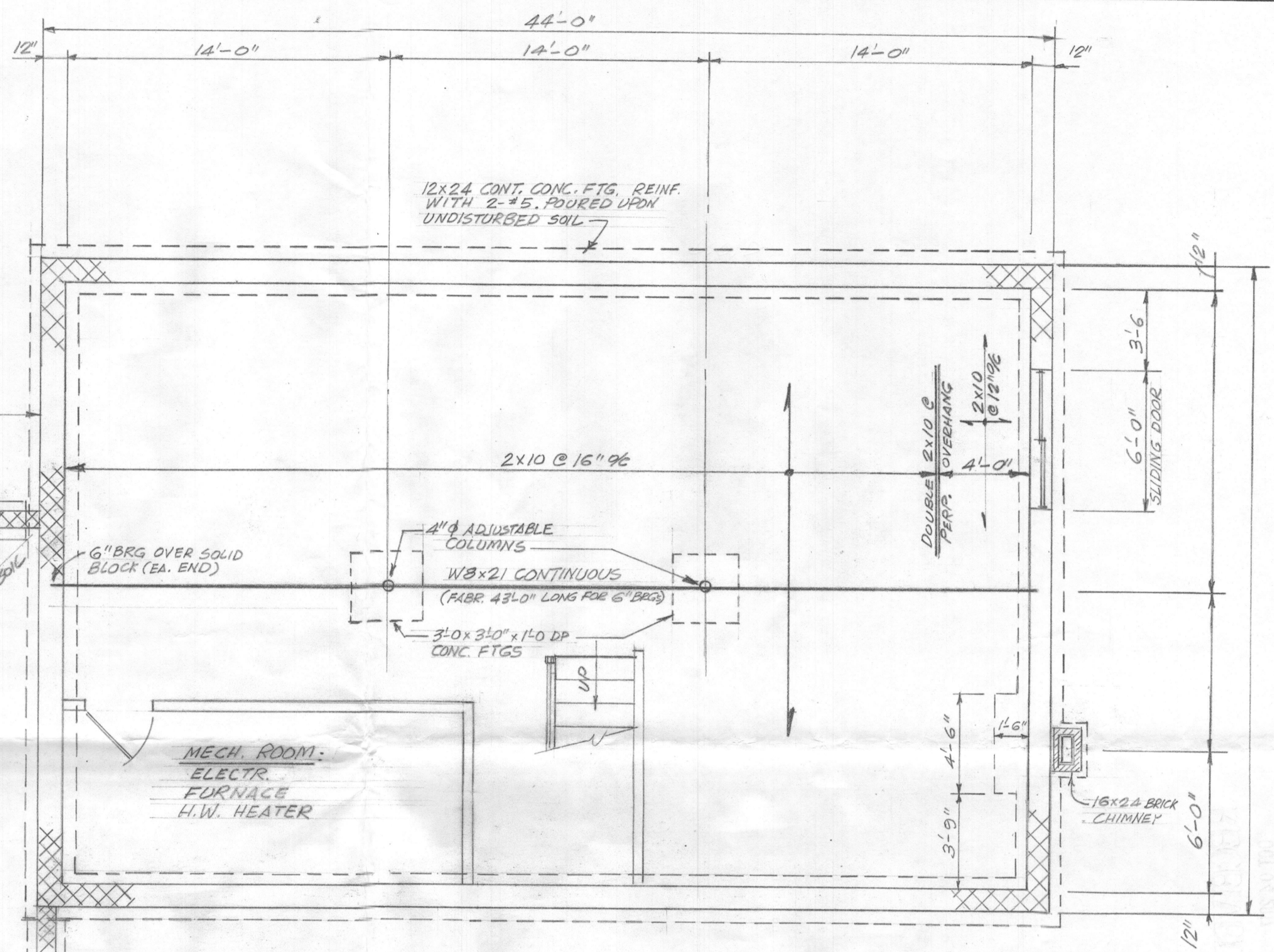
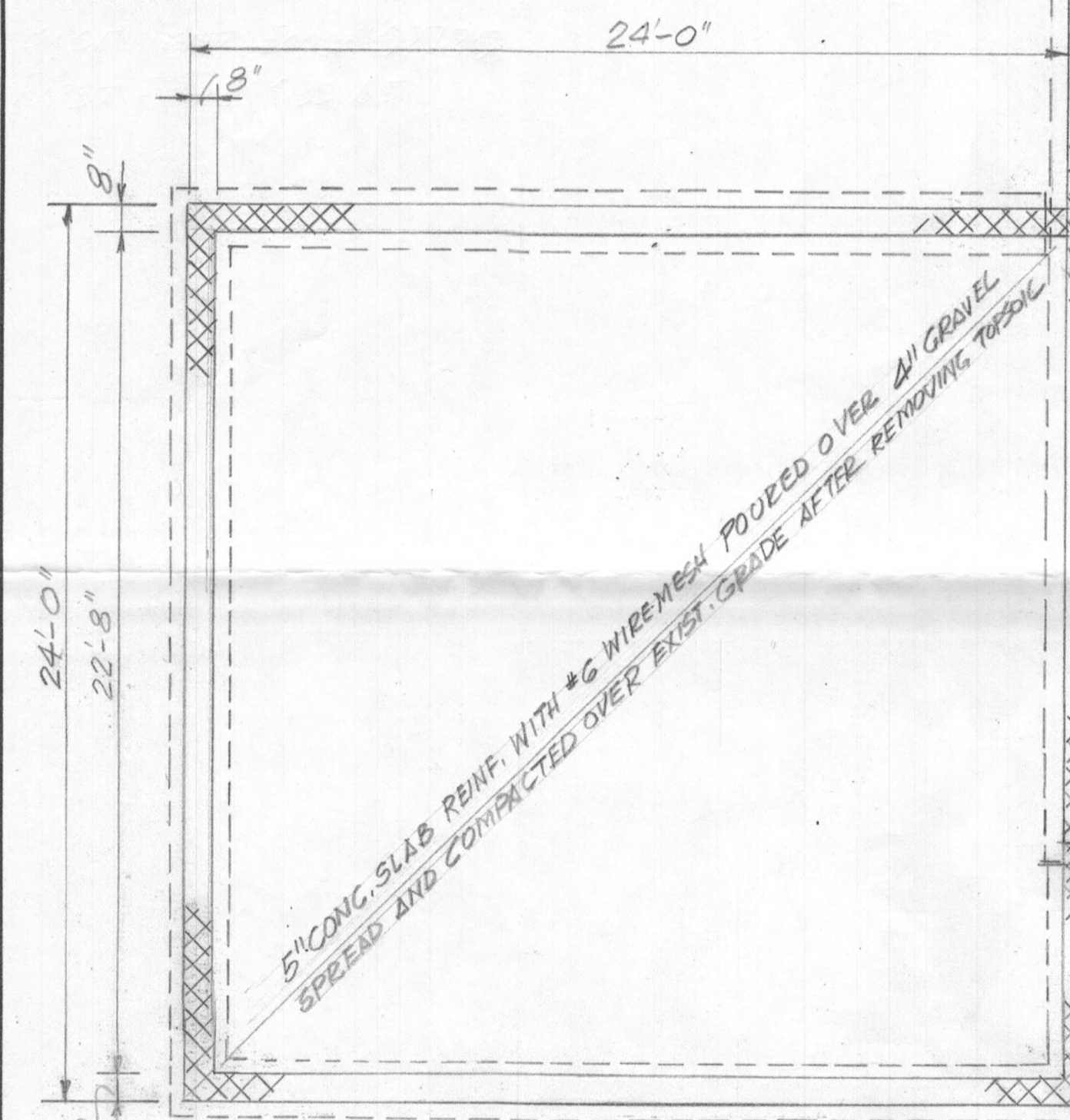
SITE WORK CONSTRUCTION SEQUENCE

- A - PRIOR TO START ANY SITE WORK EXCAVATING SUBCONTRACTOR SHALL INSTALL A LAYER OF NO.2 STONE OF A MINIMUM THICKNESS OF 8' IN THE AREA OF NEW PAVING 24' WIDE BY 50' LONG TO SERVE AS STABILIZED CONSTRUCTION ENTRANCE.
- B - TO MINIMIZE IMPACT OF SOIL DISTURBANCE WORK SHALL BE EXECUTED IN PHASES AS FOLLOWS:
 - 1 - INSTALL SEPTIC SYSTEM - APPROXIMATE AREA 2000 s.f. (20' WIDE BY 100' LONG)
 - 2 - GRADE, SEED AND FENCE SEPTIC SYSTEM AREA.
 - 3 - EXCAVATE HOUSE FOUNDATION - APPROXIMATE AREA 2900 S.F.
 - 4 - EXCAVATE TRENCHES FOR UTILITIES: SEWER TO SEPTIC TANK AND WATER FROM PUBLIC MAIN.
 - 5 - BACKFILL TRENCHES AND FOUNDATION AFTER COATING WALLS WITH ASPHALT.
 - 6 - FRAME HOUSE, INSTALL DOORS AND WINDOWS AND COMPLETE EXTERIOR FINISHES INCLUDING ROOF, GUTTERS AND DOWNSPOUTS.
 - 7 - INSTALL DRYWELL'S M-5 ACCORDING TO APPROVED ENVIRONMENTAL CONCEPT PLAN.
 - 8 - GRADE, SEED AND MULCH SITE.
 - 9 - PAVE DRIVEWAY AND LANDSCAPE.
- C - FOR QUESTIONS AND CLARIFICATIONS CONCERNING THIS PROJECT, E-MAIL ROSARIO DIMARCO AT: rdm.engineering@verizon.net

RE- BUILDING OF 11410 OLD FREDERICK ROAD MARRIOTTVILLE, MARYLAND 21104			
OWNER: MR. & MRS. ROSARIO DIMARCO 11416 OLD FREDERICK ROAD MARRIOTTVILLE, MARYLAND 21104			
CONTRACTOR: BY OWNER			
ENGINEER: RDM ENGINEERING, INC. 11416 OLD FREDERICK ROAD, MARRIOTTVILLE, MD 21104			
SCALE: As Noted	DATE: 9/25/17	DRAWN BY: RDM	DRAWING NO. 1 OF 4



TYPICAL FOOTING DETAIL
SCALE: 3/4" = 1'-0"



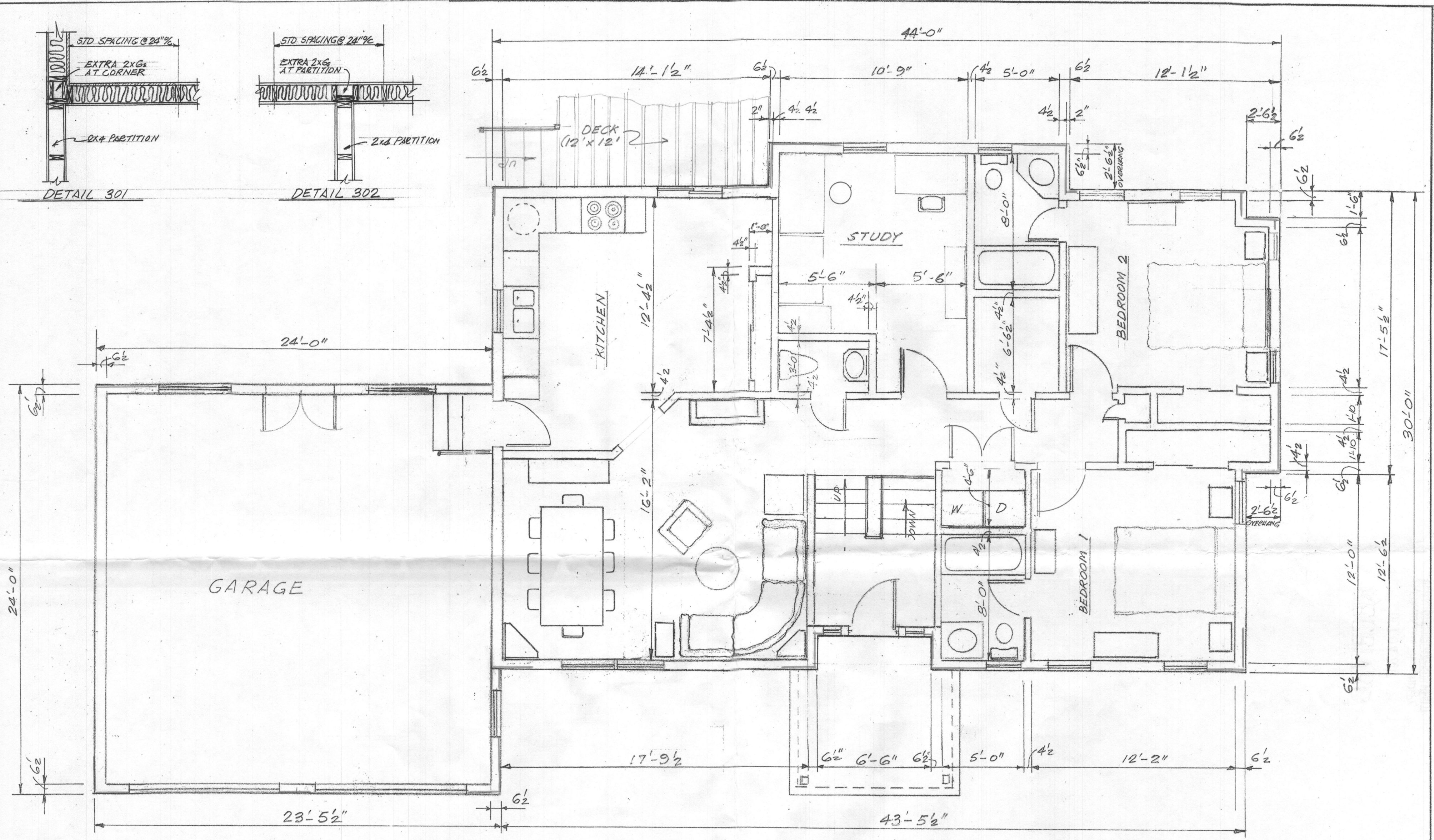
BASEMENT FLOOR & FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

- NOTES:**
- 1 - BASEMENT FLOOR SLAB SHALL BE AT ELEVATION 527.25
 - 2 - FLOOR SLAB SHALL BE 4" CONCRETE REINFORCED WITH FLAT SHEETS OF # 10 WIRE MESH LAPPING TO EACH OTHER AT LEAST 6". CONCRETE SHALL BE POURED OVER 4" COMPACTED GRAVEL SPREAD OVER POLYETHYLENE WATERPROOFING MEMBRANED.
 - 3 - BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 2'-6" BELOW FINISHED GRADE AND SHALL BEAR UPON UNDISTURBED SOIL OR COMPACTED FILL.
 - 4 - IF REQUIRED TO STEP EXTERIOR FOOTINGS, STEPS SHALL BE ON BLOCK COURSES NOT TO EXCEED 24".
 - 5 - DEPENDING ON COSTS CONCRETE BLOCK WALLS MAY BE CONSTRUCTED AS POURED IN PLACE CONCRETE.

CONSTRUCTION MATERIALS

- 1- CONSTRUCTION MATERIALS TO BE USED FOR THIS PROJECT SHALL BE AS FOLLOWS:
 CONCRETE - 3000PSI - ACI SPECS
 REINFORCING STEEL - ASTM GRADE 60
 LUMBER - HEM FIR or SOUTHERN PINE NO. 1 STRUCTURAL GRADE FOR JOISTS & EXTERIOR STUDS; NO.2 OR BETTER FOR INTERIOR PARTITIONS STUDS.
 STRUCTURAL STEEL - ASTM A36 FOR CENTER BEAM AND GRADE 50 FOR COLUMNS.
 INSULATION - R21 FIRBERGLASS FOR EXTERIOR WALLS & R49 IN ATTIC.
- 2- EXTERIOR DIMENSIONS SHOWN ON PLAN DO NOT INCLUDE THICKNESS OF VINYL SIDING.
- 3- ROOF TRUSSES SHALL BE FABRICATED AND CERTIFIED BY AN APPROVED MANUFACTURER.

RE- BUILDING OF 11410 OLD FREDERICK ROAD MARRIOTTSVILLE, MARYLAND 21104			
OWNER: MR. & MRS. ROSARIO DIMARCO 11416 OLD FREDERICK ROAD MARRIOTTSVILLE, MARYLAND 21104			
CONTRACTOR: BY OWNER			
ENGINEER: RDM ENGINEERING, INC. 11416 OLD FREDERICK ROAD, MARRIOTTSVILLE, MD 21104			
SCALE: As Noted	DATE: 9/25/17	DRAWN BY: RDM	DRAWING NO. 20F4



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

— INDICATES 1/2 PLYWOOD SHEETING IN LIEU OF OSB BOARD.

NOTES:

- 1 - FLOOR CONSTRUCTION SHALL BE 2X10 @16" o/c FLOOR JOISTS WITH 5/8 T&G PLYWOOD GLUED & NAILED.
- 2 - FLOOR FINISHES SHALL BE CERAMIC TILES IN BATHROOMS, WASH ROOM, KITCHEN, STUDY, ENTRANCE AND HALLWAY; OAK PLANKS 3/4 THICK SHALL BE USED IN BEDROOMS AND FAMILY ROOM.
- 3 - ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2X6 @24" o/c WITH 1/2 - 4X8 OSB BOARDS AROUND PERIMETER EXCEPT AS SHOWN ON PLAN. EXTERIOR SHALL BE WRAPPED WITH TYVEK INSULATED MEMBRANE PROPERLY STAPLED AND TAPED AROUND ALL OPENINGS.
- 4 - ALL INTERIOR PARTITIONS SHALL BE BUILT WITH 2X4 @16" o/c AND FINISHED WITH 1/2 GYPSUM BOARD IN BOTH SIDES.
- 5 - WHERE INTERIOR PARTITIONS INTERSECT EXTERIOR WALLS ADDITIONAL 2X6 STUDS SHALL BE PROVIDED ACCORDING TO DETAILS 301 AND 302.
- 6 - ALL WINDOWS SHALL BE ANDERSEN INSULATED DOUBLE PANES 200 SERIES OF APPROXIMATE SIZE 28x42. EXCEPT IN BASEMENT AND GARAGE.

RE-BUILDING OF 11410 OLD FREDERICK ROAD MARRIOTTSTVILLE, MARYLAND 21104			
OWNER: MR. & MRS. ROSARIO DIMARCO 11416 OLD FREDERICK ROAD MARRIOTTSTVILLE, MARYLAND 21104			
CONTRACTOR: BY OWNER			
ENGINEER: RDM ENGINEERING, INC. 11416 OLD FREDERICK ROAD, MARRIOTTSTVILLE, MD 21104			
SCALE: As Noted	DATE: 9/25/17	DRAWN BY: RDM	DRAWING NO. 30F4



REAR ELEVATION

SCALE: 1/4" = 1'-0"

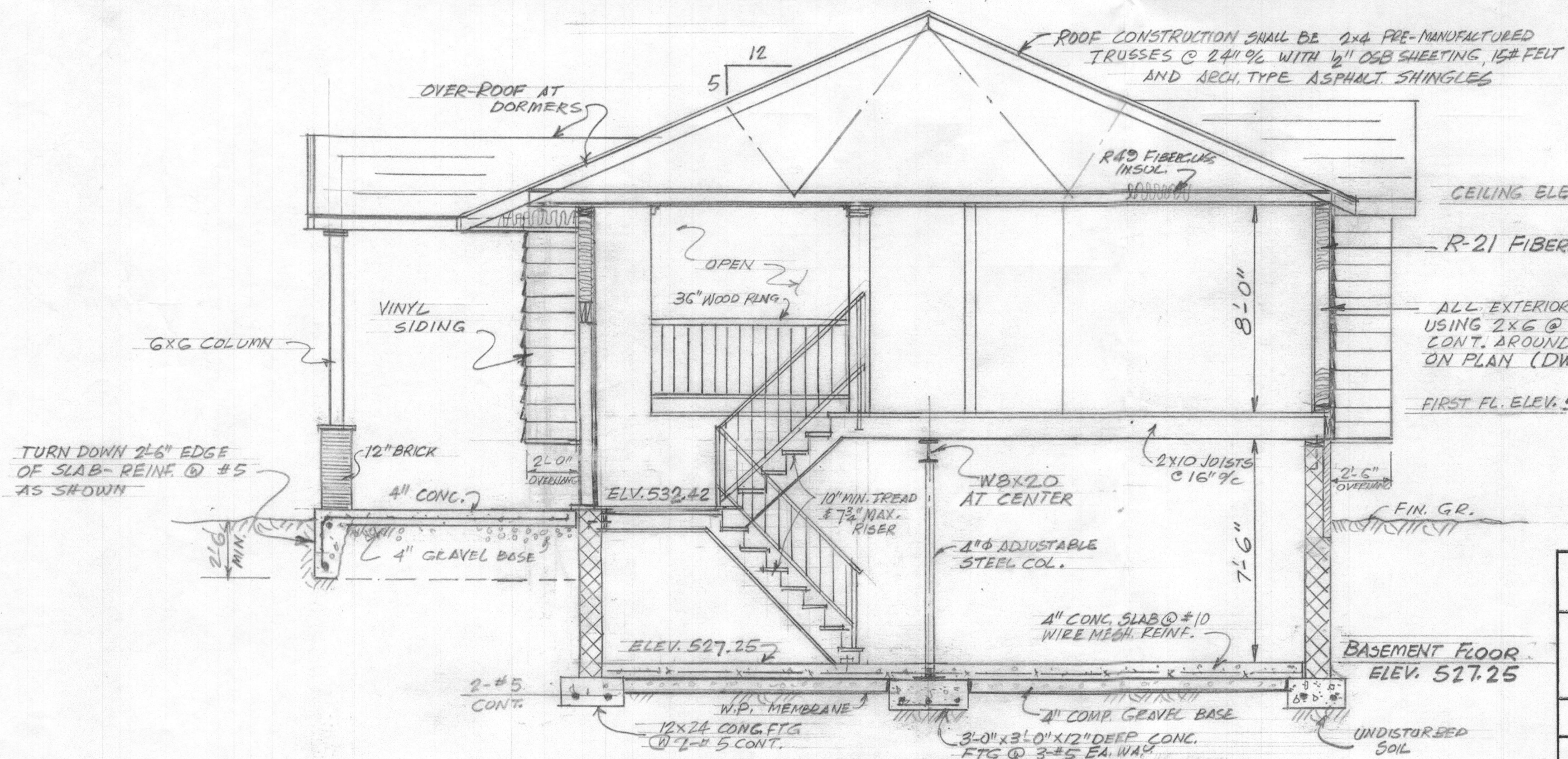
STRUCTURAL CERTIFICATION

THE FRAMING SHOWN HEREON WAS ANALYZED AND FOUND ADEQUATE TO CARRY THE FOLLOWING LOADS:

- 30lbs/sf snow load.
- 60lbs/sf live and dead loads.
- 100mph wind load.



ROSARIO DIMARCO, P.E.
RDM ENGINEERING, INC.



TRANSVERSAL SECTION AT ENTRY

SCALE: 1/4" = 1'-0"

CEILING ELEV. 543.65

R-21 FIBERGLASS INSULATION.

ALL EXTERIOR WALLS SHALL BE CONSTRUCTED USING 2x6 @ 24" OC WITH 1/2" OSB BOARD CONT. AROUND PERIMETER, EXCEPT AS SHOWN ON PLAN (DWG 30F4).

FIRST FL. ELEV. 535.65

FIN. GR.

BASEMENT FLOOR ELEV. 527.25

RE-BUILDING OF 11410 OLD FREDERICK ROAD MARRIOTTVILLE, MARYLAND 21104




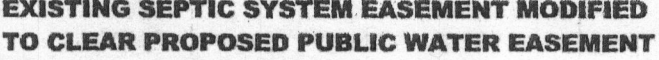
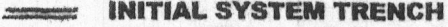








OWNER:
MR. & MRS. ROSARIO DIMARCO
11416 OLD FREDERICK ROAD
MARRIOTTVILLE, MARYLAND 21104

CONTRACTOR:
BY OWNER

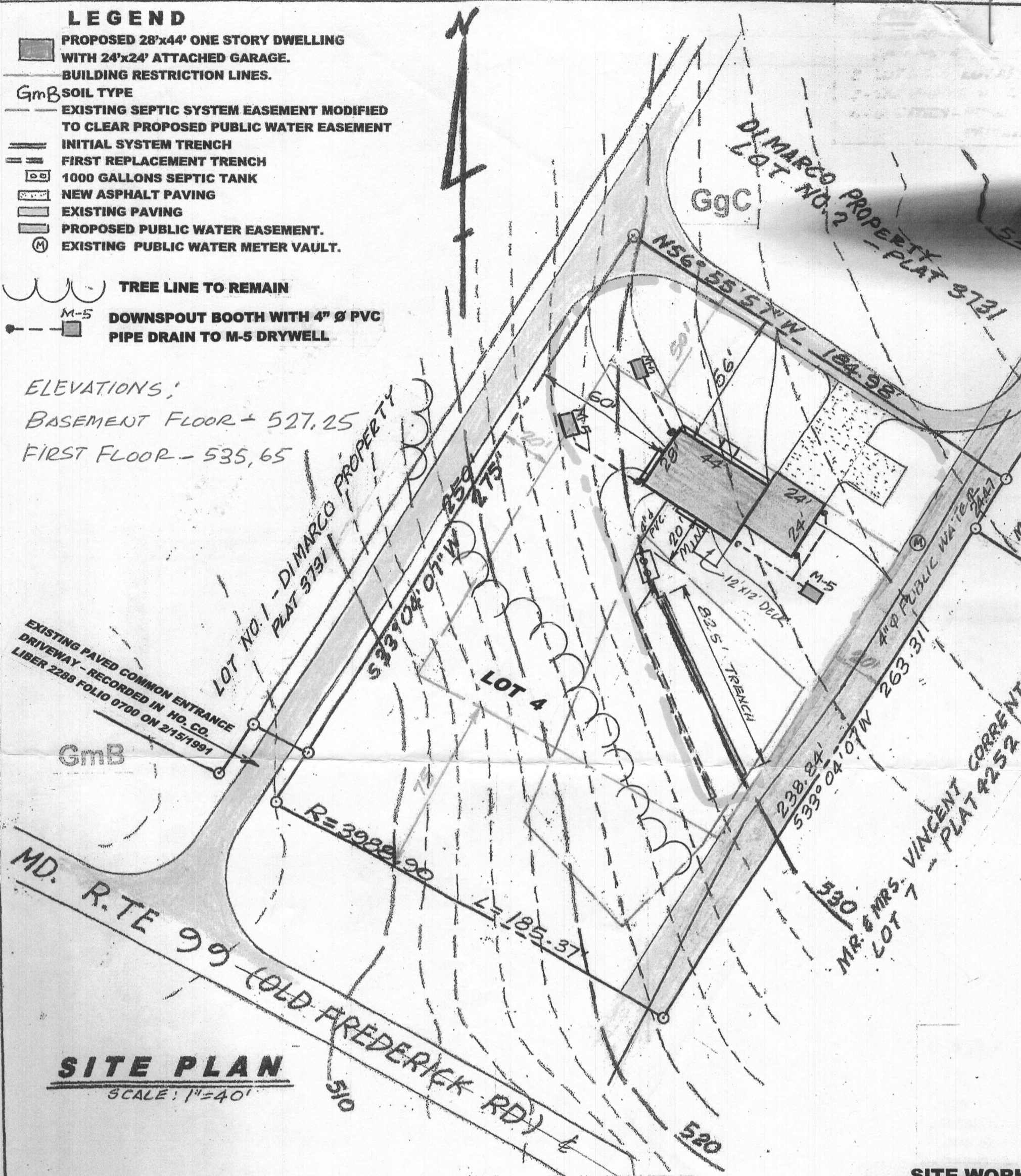
ENGINEER:
RDM ENGINEERING, INC. 11416 OLD FREDERICK ROAD, MARRIOTTVILLE, MD 21104

SCALE: As Noted	DATE:	DRAWN BY: RDM	DRAWING NO. 4 OF 4
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LEGEND

-  PROPOSED 28'x44' ONE STORY DWELLING WITH 24'x24' ATTACHED GARAGE.
-  BUILDING RESTRICTION LINES.
-  SOIL TYPE
-  EXISTING SEPTIC SYSTEM EASEMENT MODIFIED TO CLEAR PROPOSED PUBLIC WATER EASEMENT
-  INITIAL SYSTEM TRENCH
-  FIRST REPLACEMENT TRENCH
-  1000 GALLONS SEPTIC TANK
-  NEW ASPHALT PAVING
-  EXISTING PAVING
-  PROPOSED PUBLIC WATER EASEMENT.
-  EXISTING PUBLIC WATER METER VAULT.
-  TREE LINE TO REMAIN
-  DOWNSPOUT BOOTH WITH 4" Ø PVC PIPE DRAIN TO M-5 DRYWELL

ELEVATIONS:
 BASEMENT FLOOR - 527.25
 FIRST FLOOR - 535.65



SITE PLAN

SCALE: 1"=40'

SEPTIC SYSTEM NOTES

- 1 - SEPTIC SYSTEM SHALL BE CONSTRUCTED AS SHOWN ON THE ON SITE SEWAGE DISPOSAL SYSTEM PLAN APPROVED BY HOWARD COUNTY HEALTH DEPARTMENT ON JUNE 21, 2017.
- 2 - THE INVERT ELEVATION OF THE SEWER PIPE AT THE FOUNDATION WALL OF THE HOUSE SHALL NOT BE BELOW 526.75 TO ASSURE A MINIMUM SLOPE OF 1% INTO THE SEPTIC TANK.
- 3 - THE INVERT ELEVATION OF THE SEWER PIPE INTO SEPTIC TANK SHALL BE 526.50 AND SHALL OUT-FLOW INTO TRENCH AT ELEVATION 526.25.
- 4 - THE SEPTIC TANK SHALL HAVE A MINIMUM CAPACITY OF 1000 GAL. BOTTOM OF TANK SHALL BE SET AT ELEVATION 522.25.
- 5 - TRENCH BOTTOM ELEVATION SHALL BE 523.00. TRENCH SHALL BE 83' LONG, 2' WIDE AND 7' DEEP.
- 6 - ALL ELEVATIONS GIVEN ABOVE SHALL BE SET ACCORDING TO THE HUBS SET IN FIELD ON AUGUST 22, 2017 BY PRECISION MEASUREMENTS, INC.
- 7 - SEPTIC SYSTEM SHALL BE CONSTRUCTED BY AN INSTALLER APPROVED BY HO. CO. HEALTH DEPARTMENT AFTER OBTAINING PROPER PERMIT.
- 8 - IF IT WILL BECOME NECESSARY TO MODIFY ANY ELEMENT OF THE SYSTEM, MODIFICATIONS SHALL BE APPROVED BY ENGINEER AND HO. CO. HEALTH DEPARTMENT. NEW DRAWING SHOULD BE SUBMITTED UNLESS CHANGES CAN BE CLEARLY SHOWN BY RED LINE MARKINGS.

SITE WORK

- A - PRIOR TO START ANY CONSTRUCTION INSTALL A LAYER OF NEW PAVING 24' WIDE BY 100' LONG.
- B - TO MINIMIZE IMPACT OF CONSTRUCTION ENTIRE SITE SHALL BE PAVED IN PHASES AS FOLLOWS:
 - 1 - INSTALL SEPTIC SYSTEM
 - 2 - GRADE, SEED AND SOIL
 - 3 - EXCAVATE HOUSE FOUNDATION
 - 4 - EXCAVATE TRENCH FROM PUBLIC MAIN
 - 5 - BACKFILL TRENCH WITH ASPHALT.
 - 6 - FRAME HOUSE, INSULATE AND FINISHES INCLUDING ROOFING.
 - 7 - INSTALL DRYWELLS PER CONCEPT PLAN.
 - 8 - GRADE, SEED AND SOIL
 - 9 - PAVE DRIVEWAY AND FRONT PORCH
- C - FOR QUESTIONS AND CONCERNS CONTACT E-MAIL ROSARIO DIMARCO