

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Friday, February 05, 2016 3:04 PM
To: 'Rosario DIMARCO'
Cc: Oswald, Hank
Subject: RE: RE: Dimarco Property Lot N.4
Attachments: 20160205143636058.pdf

Mr. DiMarco:

Even though I have emailed you stating that the records are not available, I have still been checking some of our older sections of file storage for the property file to see if it was hidden somewhere.

The good news is that I ended up finding the property file in an older section. The file was so old that the label adhesive had dried and the label had fallen off. The perc notes in the file did have sufficient info to meet current requirements.

The bad news is that the existing well and the well on lot 3 are located less than 100' from the approved sewage disposal area. Part of the sewage disposal area for lot 2 is also less than 200' upgrade of the well location. Also, the perc test notes indicate hole 3 to be mostly rock and is not suitable under current standards. Please see the attached test notes.

What this means is that from the list of required steps I sent you before, you should start with having someone develop a perc certification plan for the lot using the existing sewage disposal area and well location. We could potentially approve the plan without having to do additional testing to move the area if the plan can show how 3 systems can fit in the portion of the area outside of the 100' setback from the wells. Luckily hole 3 was in the corner that is inside the 100' well setback, so if you stay outside the 100' setback, you will be staying away from hole 3 as well. If there is not enough room, additional perc testing may be needed to adjust the area. Attached are septic specs for the lot to use in that attempt. Please note that the proposed house and driveway locations must also be shown on the plan.

The plan must also show a replacement well site meeting those setbacks as well (including at least 200' away from the sewage area on lot 2 if downgrade of it). If replacement well area is not possible on the lot, I suggest establishing an offsite well easement on the front part of lot 1 close to the street that would be over 200' away from the sewage areas on lots 2 and 4. Let me know if you have any questions.

From: Rosario DIMARCO [mailto:rdm.engineering@verizon.net]
Sent: Thursday, February 04, 2016 2:52 PM
To: Williams, Jeffrey
Subject: Re: RE: Dimarco Property Lot N.4

Thank you for your quick reply, Mr. Williams. However your message does not explain why the records of the original percolation tests are missing. The test requirements that were done in 1977 are not very different to the requirements that you list in your message. Therefore one must conclude that the data of the neighboring lots could be sufficient. Why those data exist and the data for lot 4 do not, it is very puzzling.

As far as the best practices to remove nitrogen and the rest I have had no problem to comply with the new regs. Please understand that all of the expenses of staking out the perc holes, preparing a plan, calling a backhoe etc. were already sustained by us and it is unfair to lay on us additional financial hardship.

In the hope that the records could be found please have your staff look for a file originated by LUCILLE M. ROSITZKY who after completing the percolation tests, did not purchase the property. Some of the test holes on that application were transferred to the DiMarco property. It is also possible that the spelling of DiMarco may have entered in the computer DI MARCO, having a space between DI and MARCO. Please look into that possibility to locate the original records.

Thank you
Rosario DiMarco

On 02/04/16, Williams, Jeffrey<jewilliams@howardcountymd.gov> wrote:

Hello Mr. Dimarco. Unfortunately, there are no records available at the Health Department for the percolation testing done in support of the subdivision at 11410 Old Frederick in 1977. As I stated in our meeting, the records from the other lots in the subdivision indicate that the method of testing done at that time does not meet current requirements under COMAR 26.04.02 for approving a building permit. Using the data from a neighboring lot is also not sufficient for Health approval of a building permit.

Attached are fact sheets explaining the process required in order to construct a house on the lot. Following is a summary of the necessary steps prior to Health approval of a building permit:

1. Submit an application for perc testing including an appropriate perc test plan. Once the test plan is approved, the test holes must be staked by a surveyor and a backhoe operator must meet us onsite to conduct the testing.
2. If the tests are passing, a perc certification plan must be submitted for Health Officer approval showing the proposed sewage disposal area and well areas.
3. A BAT design plan must be submitted for Health review showing the details of the sewage disposal system design for the proposed house.
4. Floor plans for the proposed house must be submitted directly to the Health Department when the building permit application is received to compare the number of bedrooms against the BAT design plan.
5. If a well is not already drilled, a well permit must be submitted along with a well exhibit showing the proposed location matching the most recent approved perc certification plan. The well must be drilled prior to Health approval of a building permit.

Feel free to contact us with any questions along the way. Thanks

Jeff Williams

Program Supervisor, Well & Septic Program

Bureau of Environmental Health

Howard County Health Dept.

410-313-4261

jewilliams@howardcountymd.gov

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Davis, Michael J

From: Davis, Michael J
Sent: Thursday, March 23, 2017 12:28 PM
To: 'Rosario DIMARCO'
Subject: RE: RE: Supervisor's input

Mr. DiMarco,

The 100 foot setback is in COMAR 26.04.02.04. The three options available to you at this point are to abandon the well, re-perc the lot establish area that is 100 feet away from the well, or request a variance that would ultimately be reviewed by the Maryland Department of the Environment.

Michael J. Davis
Assistant Director
Bureau of Environmental Health
Howard County Health Department

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From: Rosario DIMARCO [<mailto:rdm.engineering@verizon.net>]
Sent: Tuesday, March 21, 2017 1:11 PM
To: Davis, Michael J
Subject: Re: RE: Supervisor's input

Thank you Mr. Davis, will be there at 10:00AM.
Rosario DiMarco

On 03/21/17, Davis, Michael J <mjdavis@howardcountymd.gov> wrote:

Mr. DiMarco,

I am available to meet at 10AM March 23,2017. Please confirm if that date and time works for you.

Mike

Michael J. Davis

Bureau of Environmental Health

Howard County Health Department

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From: Rosario DIMARCO [<mailto:rdm.engineering@verizon.net>]
Sent: Friday, March 17, 2017 3:51 PM
To: Davis, Michael J
Subject: Supervisor's input

Mr. Davis:

Since February 29016 I have unsuccessfully tried to get a septic system permit for a lot that I own in Howard County. Too many items to address in an email, therefore, I would like to come to your office and discuss the matter in person to try to get a resolution at your level.

At you convenience, please, indicate a time and a date that we can met.

Thank you

Rosario DiMarco

Oswald, Hank

From: Williams, Jeffrey
Sent: Friday, March 03, 2017 2:33 PM
To: Rosario DIMARCO
Cc: Oswald, Hank
Subject: RE: RE: RE: DiMarco - Septic
Attachments: Easement Plant Markup with Septic Easement_170209.pdf

Attached is the water easement location and the field surveyed location of the actual water line. What we want you to do is come in to redline the existing perc cert plan to remove the portion of the sewage disposal areas on lots 4 and 2 that overlap the easement and the portion of lot 4 area that falls within 10' of the water line. At that time, we can figure out the square footage of the area removed and you can redline the area to add it in along the west side and possibly the bottom corner. On lot two, it can be added on the bottom.

Alternatively, you can use this attachment to submit a revised perc cert plan for our signature showing the new area along with the water easement and water line.

Once this is done, you can revise the OSDS design plan according to the requirements I listed in my last email.

We are not in a position to require abandonment of the neighbor's well. It is in use according to them and we have no record of contamination for that well. As you are building a new house with public water available and your well was never put into service, you will be required to properly abandon and seal the well prior to building permit approval.

From: Rosario DIMARCO [mailto:rdm.engineering@verizon.net]
Sent: Thursday, March 02, 2017 5:22 PM
To: Williams, Jeffrey
Subject: Re: RE: RE: DiMarco - Septic

Mr. Williams:

This is a second reply to your e-mail.

If before you leave, there is no time to resolve the well issue, please, send me via e-mail the red line of what you proposed to Utilities along with a list of items that need to be shown on plan. If a meeting is needed we can meet during the week of march 6th. I have had a lot of financial losses as result of " the good news is..." and " the bad news are..." Please let conclude this ordeal.

Thank you

Rosario DiMarco

On 03/01/17, Williams, Jeffrey<jewilliams@howardcountymd.gov> wrote:

Mr. DiMarco. Unfortunately, my week has become booked up. I will be out of the office next week. We can schedule for some time the following week or you can schedule with Hank for some time next week. Regarding the other items you mention, please closely review my responses as this has been going around in circles for quite some time and it needs to come to a close:

- During Hank's site visit, he observed the well in the neighbor's yard and a conversation with them confirmed that the well is still in use connected to a hose bib. I actually did get DPW to double check the water connection and they found the record of their connection with an address problem. However, as I already stated, this is irrelevant because the well is still there in use and as such there is still a 100' setback to any sewage disposal

found in my file references that, contrary to what you wrote in your e-mail to Mr. Davis, we had spoken about public water line and wells. I am not including him in this e-mail trying to resolve all the BIG issues at your level.

Please at your convenience, let me know how the meeting went.

Thank you

Rosario DiMarco

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Tuesday, February 14, 2017 9:39 AM
To: 'Rosario DIMARCO'
Cc: Oswald, Hank
Subject: RE: Lot 4 Septic System - DiMarco Property
Attachments: FW: Public Water Connection Inquiry

I am not prepared to meet with you in order to negotiate items that are required by the regulations. I am happy to meet with you to discuss our requirements and make sure you understand what you must show on a system design plan in order to proceed towards approval. The system specs given to you indicate a 0.8 loading rate, which is based on the soil absorption capabilities. Hank has explained to you that he was in error in offering a 1.2 rate and that I made it clear that the 0.8 rate was appropriate for this property. We will not approve a plan with a loading rate other than 0.8.

If you are in the process of getting an easement for your lot, is that coming through as a record plat? We will need to see that easement boundary on your design plan and the SDA may not be overlapping that easement. I do not want to meet until you know where that easement is located and if you want to bring a plan showing the easement and the SDA, we can discuss your options.

If you wish, we can meet to discuss the layout requirements and sleeving issues after you have finalized the easement and can bring in a plan showing the location. In the meantime, we will perform a site visit to confirm the well at 11406. Please see the attached email message from the Bureau of Utilities stating that there is no public water service at 11406. You will be required to show the well and comply with the related requirements as I explained in my previous email. Let me know what happens with DPW and the water line easement.

From: Rosario DIMARCO [<mailto:rdm.engineering@verizon.net>]
Sent: Monday, February 13, 2017 4:02 PM
To: Williams, Jeffrey
Subject: Lot 4 Septic System - DiMarco Property

Mr. Williams:

I wrote to you to try to clarify the referenced matter. From your reply I get additional requirements. I am getting very frustrated and running out of patience. I have a lot with a septic easement approved by the health department. On it I designed a system according to information given to me by your office. As a Professional Engineer with knowledge of the soils

I am confident that the system will be more than adequate to support the house that I want to build. Believe me, I would not spend hundreds of thousands of dollars on a house knowing that it septic would be inadequate. However, if you can suggest another design that will fit the approved lot I will be more than glad to implement it.

Replying to your e-mail point by point:

1- I do not see in the record all of the dimensions that you state.

2- 11406 is served by public water. Please indicate who confirmed what you state. I will restrict operations within the approved septic area of my lot there is no need to re-percolate

the area.

3- I have contacted the utility department to revise the GPS plan to show the water line. I have not signed the easement documents as of yet, however, intend to do so as this matter clarifies. The line is well outside the septic easement. Only near test hole #3 it is 6.5' +/-.

Did you receive information on wells contamination from Mr. Gliptis ? I tried to reach him and got his out of the office reply. Hope he sent you some info before he left.

In any event, in evaluating the well matter please consider the following:

- 1-When the county brought public water, the wells had to be abandoned. Plumbers decided to abandon wells in place.
- 2-The well and the proposed septic system are in opposite sides of a natural ridge running along the property line, in the area where a layer of impermeable rock was found during percolation test.(Hole no. 3) 3-The well, if still working, is a secondary source of water; Does COMAR is meant to protect it ? One would think that the regulations are written for necessary sources of water.
- 4-Would it be fair that the primary source of water to the Correnti's household flows from my property, the proposed easement which I intend to grant, and their well should stop my development ?

Please try to consider closing this long matter so I can continue with my development. The well could remain as it is.

Thank you

Rosario DiMarco

Sent from my iPhone

Please try to consider closing this long matter so I can continue with my development. The well could remain as it is.
Thank you
Rosario DiMarco

Sent from my iPhone

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Friday, March 17, 2017 2:47 PM
To: 'Verizon'
Cc: Rosario DIMARCO (rdm.engineering@verizon.net); Oswald, Hank
Subject: RE: DiMarco septic - Correnti's well

Hello Mr. DiMarco. I did meet with Joshua to discuss the project and requirements. Neither DPW nor Health Department has any evidence of contamination of the neighbor's well. As it stands, the well is in use and we have no basis to require them to abandon it.

With that, we are required by state regulations (COMAR 26.04.02) to not approve a building permit for a house construction unless there is an approved sewage disposal area and design for a sewage disposal system that meets all current requirements including setbacks. The setback to a water supply well is 100 feet. There is no distinction in the regulation between a primary source or backup or secondary domestic well. We are not in a position to waive that setback requirement. Please review our correspondence from early on in the process where I stated that the sewage disposal area must meet setbacks to wells and a revision to the area, possibly including new perc testing, might be required.

Knowing that the neighbor's well is in use and seeing that the location of the well leaves little room in the existing sewage disposal area outside of the 100' setback, you have two choices in order to proceed towards Health approval of a building permit:

1. You could attempt to come to a private deal with the neighbors to seal and abandon the well. Please be advised that the Health Department will not be a part of that negotiation as we have no enforcement authority for the abandonment in this circumstance. If the well is properly sealed by a licensed well driller and we receive an abandonment report, there would be no setback anymore and you could use the entirety of your newly redlined area for your system design.

2. If the neighbor's well is remaining, you will need to establish a sewage disposal area of at least 10,000 square feet that meets all current setbacks and location requirements. Any revision to the area will require perc testing leading to a new perc certification plan. To initiate perc testing, you must submit a perc test application along with a perc test plan showing the location of the proposed area and the proposed test holes along with the application fee of \$506. Once we review and approve a test plan, we can schedule perc testing. Following successful testing, a revised perc certification plan showing a new disposal area based on the new tests must be submitted for our review and approval. Once that is approved, a sewage disposal system design plan can be submitted showing the proposed disposal system serving the proposed house within the new area.

Please let me know if you have any questions regarding the process as outlined above. Thanks Jeff

-----Original Message-----

From: Verizon [<mailto:rdm.engineering@verizon.net>]
Sent: Friday, March 17, 2017 8:43 AM
To: Williams, Jeffrey
Subject: DiMarco septic - Correnti's well

Hi Mr. Williams

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: Rosario & Maria DiMarco
Sent via email to ram.engineering@verizon.net on 2/14/18

FROM: Sarah Collins, L.E.H.S. *SEC*
Howard County Health Department
Well and Septic Program

DATE: February 14, 2018

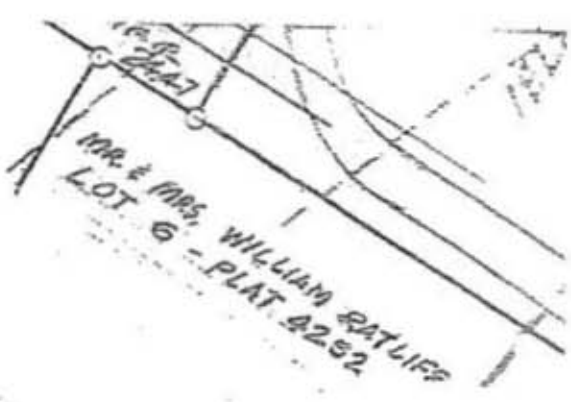
RE: **Approved septic permit for 11410 Old Frederick Road**

The septic system at 11410 Old Frederick Road has been installed. The Health Department approved the septic permit on 2/13/18; please see the attached document for a copy of the approved septic permit and as-built drawing of construction.

The property is served by public water. All requirements of the Health Department for Use and Occupancy have been met.

Feel free to contact me at SCollins@howardcountymd.gov or 410-313-6287 with any questions.

*Cc: Howard County Department of Inspections, Licenses, and Permits
File*



CORRENTI
LAT 0252

MBI
Mayer Bros, Inc.
www.mayerbrosgroup.com

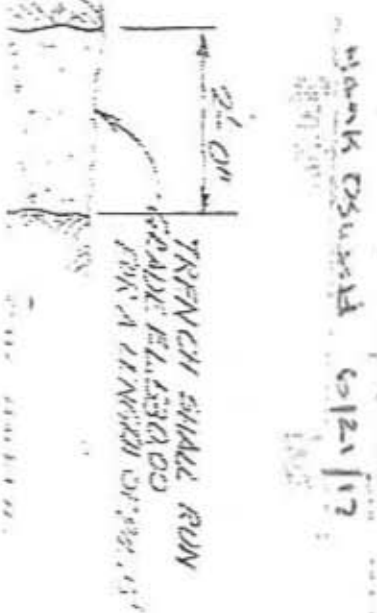
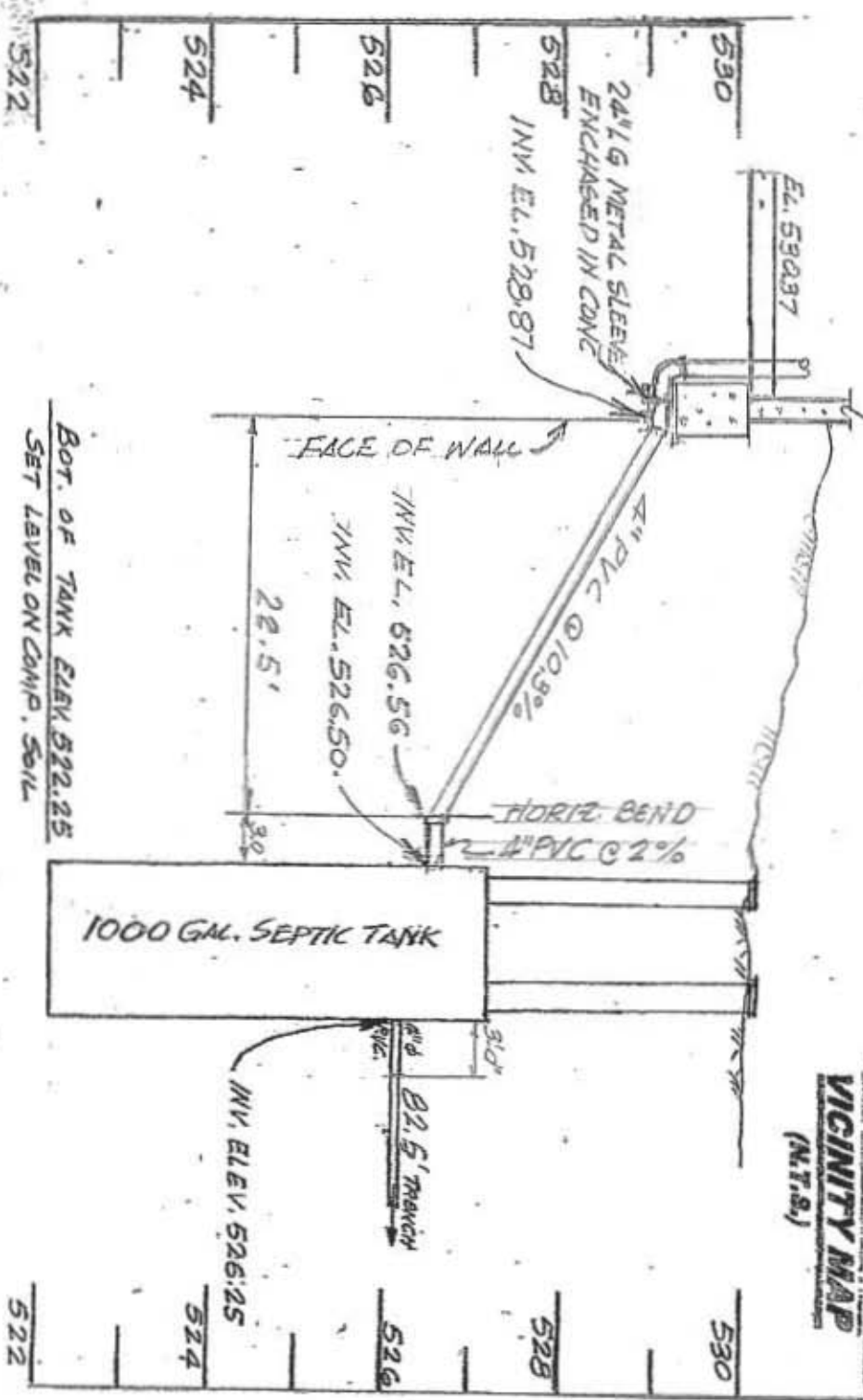
COLLECTORIAL
INSTALLATION
1,000 GALLON 31" I.D. 1,000
2-COMPARTMENT
P.C. 102000000
P.C. 102000000

1,000 GALLON 31" I.D. 1,000
2-COMPARTMENT
Stock Item

Eng. No. 100023 No. Scale Aug 11, 2008

VICINITY MAP
(N.T.S.)

INLET
70



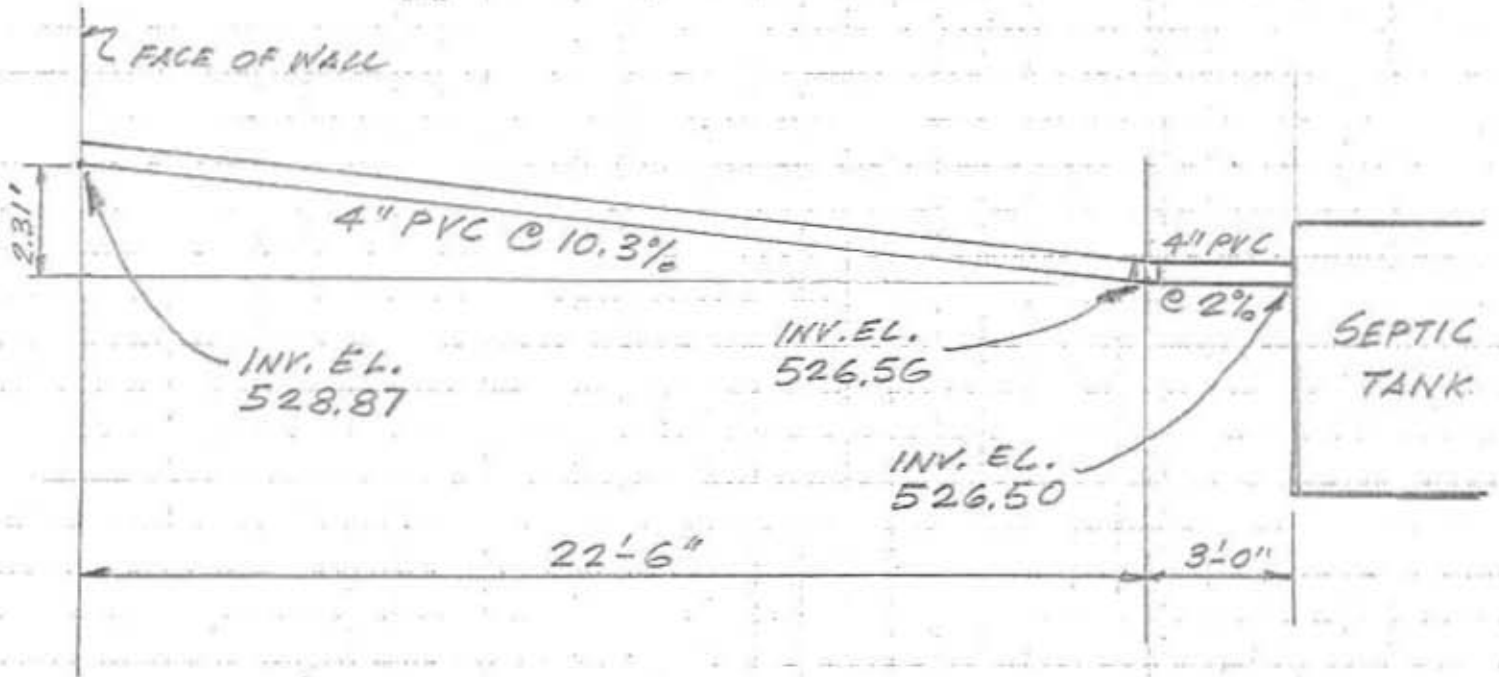
SEPTIC SYSTEM PROFILE

SCALE: HORIZ. 1" = 10'
VERT. 1" = 2'

(REVISED JAN. 5TH 2018)

ACTUAL PROFILE OF INFLOW @ 10.3%

SCALE $\frac{1}{4}'' = 1'-0''$



LEGEND

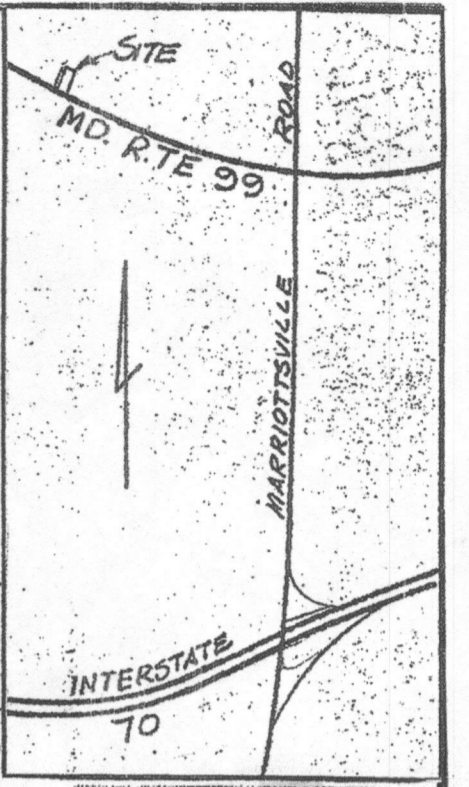
- PROPOSED 28'x44' ONE STORY DWELLING WITH 24'x24' ATTACHED GARAGE.
- BUILDING RESTRICTION LINES.
- SOIL TYPE
- EXISTING SEPTIC SYSTEM EASEMENT MODIFIED TO CLEAR PROPOSED PUBLIC WATER EASEMENT
- INITIAL SYSTEM TRENCH
- FIRST REPLACEMENT TRENCH
- 1000 GALLONS SEPTIC TANK
- NEW ASPHALT PAVING
- EXISTING PAVING
- PROPOSED PUBLIC WATER EASEMENT.
- EXISTING PUBLIC WATER METER VAULT.

PROPERTY DATA
 1 - SUBDIVISION NAME : DIMARCO PROPERTY - REC. PLAT 3731
 2 - LOT NO. 4; LOT AREA 1.139Ac.
 3 - TAX MAP NO. 10; ELECT. DISTRICT NO.5
 4 - UTILITIES - PUBLIC WATER & PRIVATE SEWER SYSTEM.

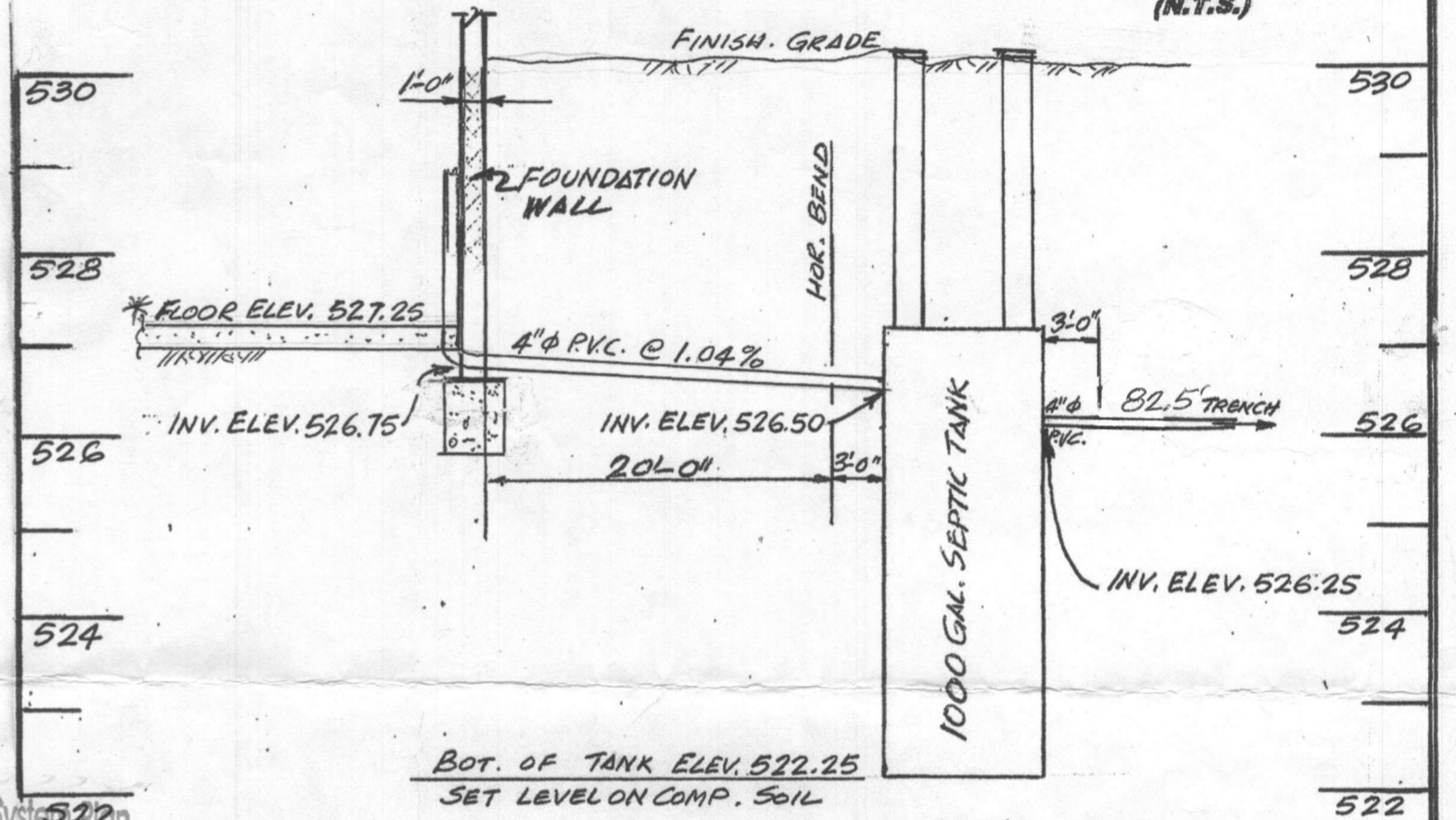
DESIGN DATA & GENERAL NOTES
 (1) Concrete strength F'c=4,000 p.s.i. @ 28 days. Density = 150 pcf.
 (2) Cement - Portland Type III per ASTM C 150-92.
 (3) Admixtures & plasticizers per ASTM C 260-96 & C 484-92.
 (4) Reinforcing per ASTM A108. Min. 1/2" cover.
 (5) Top slab sealed with butyl rope mastic.
 (6) 4" long, 1/2" dia. & wall thickness.
 (7) Max 2" of cover.
 (8) Depending on use of tank, Inlet & Outlet baffle may be required by code.

MBI
 Mayer Bros., Inc.
 6204 Race Road
 Ellicott City, Maryland 21076
 Tel. 410.786.1434
 Fax. 410.786.1438
 www.mayerbroscorp.com

1,000 GALLON SEPTIC TANK 2-Compartment		
Stock Item		
Dwg. No. 1000-2C	No Scale	Aug 11, 2008



SITE PLAN
 SCALE: 1"=40'

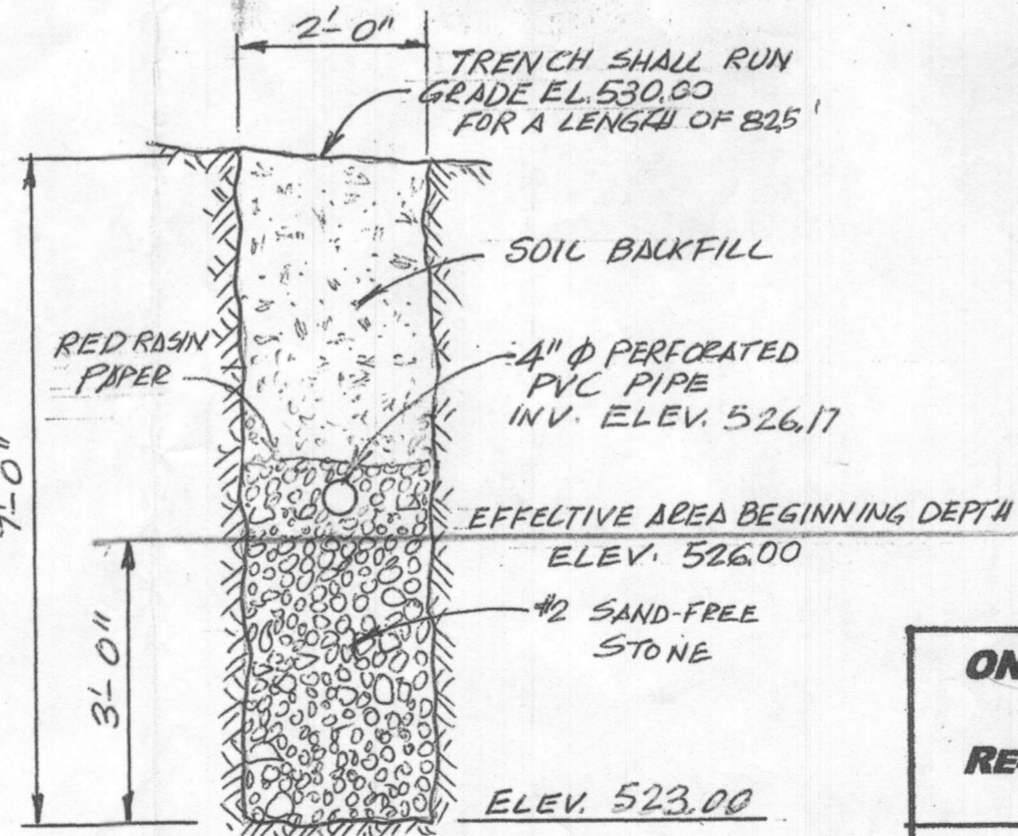


SEPTIC SYSTEM PROFILE

SCALE: HORIZ. 1" = 10'
 VERT. 1" = 2'

* REVISED OSDS PLAN SHALL BE SUBMITTED IF HOUSE ELEVATION CHANGES.

Approved Septic System Plan
 Howard County Health Department
 Hank Oswald 6/21/17
 Signature Date



INITIAL SYSTEM TRENCH DETAIL
 1/2" = 1'-0"

NOTE: FIRST REPLACEMENT SYSTEM TRENCH SHALL HAVE SAME DIMENSIONS OF INITIAL AND SHALL BE 82.5' LONG RUNNING AT ELEV. 528.00'

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY MYSELF, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND WITH CURRENT LICENSE NO. 10727.

Rosario Dimarco 6/1/17
 ROSARIO DIMARCO, P.E.



SYSTEM CALCULATIONS

INITIAL: 2 Bedrooms @ 300gpd/.8 (Absorption Rate) require 375Sq.Ft. Area of Trench. Applying Sidewall Reduction: 375Sq.Ft./2Ft.(Trench Width)x .44(Sidewall Reduction)=82Ft. of trench.
FIRST REPLACEMENT: 2 Bedrooms @ 300gpd/.8 (Absorption Rate) require 375Sq.Ft. Area of Trench. Applying Sidewall Reduction: 375Sq.Ft./2Ft.(Trench Width)x .44(Sidewall Reduction)=82Ft. of trench.
 THE ABOVE IS PROVIDED AS SHOWN ON PLAN.

GENERAL NOTES

- 1 - SEPTIC SYSTEM SHALL BE CONSTRUCTED BY AN INSTALLER APPROVED BY HO. CO. HEALTH DEPARTMENT.
- 2 - PRIOR BACKFILLING ANY COMPONENT OF THE SYSTEM, INSTALLER SHALL SECURE APPROVAL BY HO. CO. INSPECTOR.
- 3 - IF IT WILL BECOME NECESSARY TO MODIFY ANY ELEMENT OF THE SYSTEM, MODIFICATIONS SHALL BE APPROVED BY ENGINEER AND HO. CO. HEALTH DEPARTMENT. NEW DRAWING SHOULD BE SUBMITTED UNLESS CHANGES CAN BE CLEARLY SHOWN BY RED LINE MARKINGS.
- 4 - ALL WELLS WITHIN 100' OF PROPOSED SEPTIC SYSTEM HAVE BEEN PROPERLY ABANDONED.

REVISIONS - JUNE 1, 2017 - VARIOUS HEALTH DEPT. COMMENTS

ON SITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN

FOR
**RE-BUILDING OF 11410 OLD FREDERICK ROAD
 MARIOTTSVILLE, MARYLAND 21104**

OWNER: MR. & MRS. ROSARIO DIMARCO 11416 OLD FREDERICK ROAD MARIOTTSVILLE, MARYLAND 21104			
CONTRACTOR: TO BE SELECTED			
ENGINEER: RDM ENGINEERING, INC. 11416 OLD FREDERICK ROAD, MARIOTTSVILLE, MD 21104			
SCALE: As Noted	DATE: JAN 2017	DRAWN BY: RDM	DRAWING NO. 1 of 1



HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
BUREAU OF UTILITIES

8250 & 8270 Old Montgomery Road ■ Columbia, Maryland 21045 ■ 410-313-4900

Stephen Gerwin, Chief
www.howardcountymd.gov

FAX 410-313-4919
TDD 410-313-2323

March 10, 2017

Howard County Department of Health
8930 Stanford Boulevard
Columbia, Maryland 21045

RE: Rosario DiMarco Property

Attn: Mr. Jeffrey Williams

Thanks for the time and cooperation in resolving our easement overlap issue for the existing water main and proposed sewage disposal area. We understand Mr. DiMarco has been to your office to make redline revisions to the sewage disposal area eliminating the overlap with our proposed easement and thereby eliminating the conflict.

Separately, Mr. DiMarco has informed us that a well on 11406 Old Frederick Road, the property adjacent to his lot to be developed, is being considered another conflict with his proposed sewage disposal area. Therefore he does not feel comfortable in signing the public water easement prior to resolving the issue.

We are aware COMAR requires a 100' horizontal separation between sewage disposal areas and wells, however, does the requirement apply to wells used as a secondary source of water not intended for human consumption?

We understand from Mr. DiMarco that the Health Dept. has no evidence of contamination in the well. We know that these lots among others around the landfill were served with public water because there were claims the landfill introduced pollutants into the aquifer making it unsafe for consumption.

We have records that the 11406 property is on public water via the billing records sent to your office previously. Perhaps a waiver to the required setback can be granted which would allow Mr. DiMarco to continue with his project and Public Works to obtain the public water easement signed by him.

Please feel free to call me or suggest a time when we can meet for discussion.

Thanks,

Joshua Gliptis, P.E.
Engineer III
Bureau of Utilities

Cc: Stephen Gerwin, Chief *SGG*
Art Shapiro, Deputy Chief

Oswald, Hank

From: Allen, Nancy
Sent: Wednesday, February 08, 2017 6:44 AM
To: Oswald, Hank
Subject: RE: Public Water Connection Inquiry

Good Morning Hank,
11406 N Route 99 is not in our system for public water.
I think probably would be well and septic.
Have a good day!

From: Oswald, Hank
Sent: Tuesday, February 07, 2017 3:24 PM
To: Allen, Nancy
Subject: Public Water Connection Inquiry

Hi Nancy:

Is 11406 N ROUTE 99, MARRIOTTSVILLE 21104-0000 on public water?

Thanks,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
410.313.2648 (Fax)

Oswald, Hank

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To: Oswald, Hank
Subject: RE: Public Water Connection Inquiry

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Is 11406 N ROUTE 99, MARRIOTTSVILLE 21104-0000 on public water?

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Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
410.313.2648 (Fax)

LEGEND

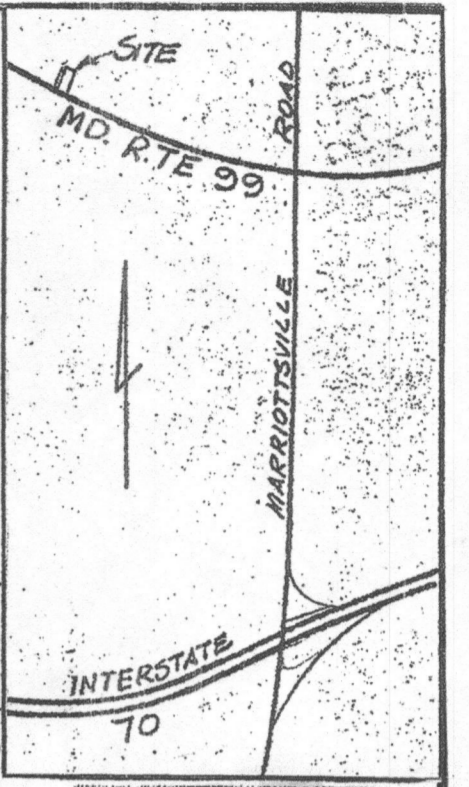
- PROPOSED 28'x44' ONE STORY DWELLING WITH 24'x24' ATTACHED GARAGE.
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- FIRST REPLACEMENT TRENCH
- 1000 GALLONS SEPTIC TANK
- NEW ASPHALT PAVING
- EXISTING PAVING
- PROPOSED PUBLIC WATER EASEMENT.
- EXISTING PUBLIC WATER METER VAULT.

PROPERTY DATA
 1 - SUBDIVISION NAME : DIMARCO PROPERTY - REC. PLAT 3731
 2 - LOT NO. 4; LOT AREA 1.139Ac.
 3 - TAX MAP NO. 10; ELECT. DISTRICT NO.5
 4 - UTILITIES - PUBLIC WATER & PRIVATE SEWER SYSTEM.

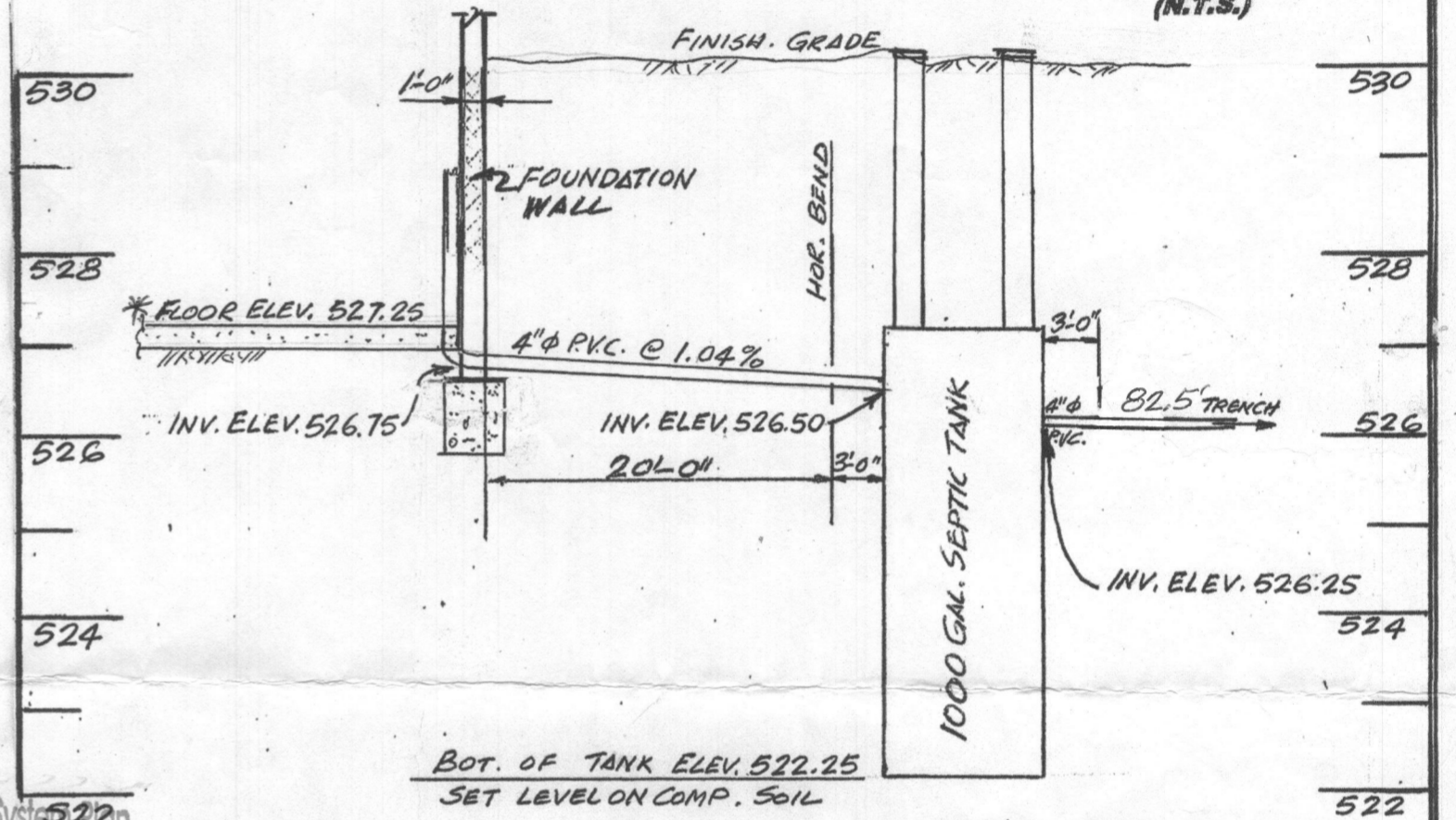
DESIGN DATA & GENERAL NOTES
 (1) Concrete strength F'c=4,000 p.s.i. @ 28 days. Density = 150 pcf.
 (2) Cement - Portland Type III per ASTM C 150-92.
 (3) Admixtures & plasticizers per ASTM C 200-96 & C 484-92.
 (4) Reinforcing per ASTM A108. Min. 1/2" cover.
 (5) Top slab sealed with butyl rope mastic.
 (6) 4" long, 1/2" dia. & wall thickness.
 (7) Max 2" of cover.
 (8) Depending on use of tank, Inlet & Outlet baffle may be required by code.

MBI
 Mayer Bros., Inc.
 6204 Race Road
 Ellicott City, Maryland 21076
 Tel. 410.786.1434
 Fax. 410.786.1438
 www.mayerbroscorp.com

1,000 GALLON SEPTIC TANK 2-Compartment		
Stock Item		
Dwg. No. 1000-2C	No Scale	Aug 11, 2008



SITE PLAN
 SCALE: 1"=40'

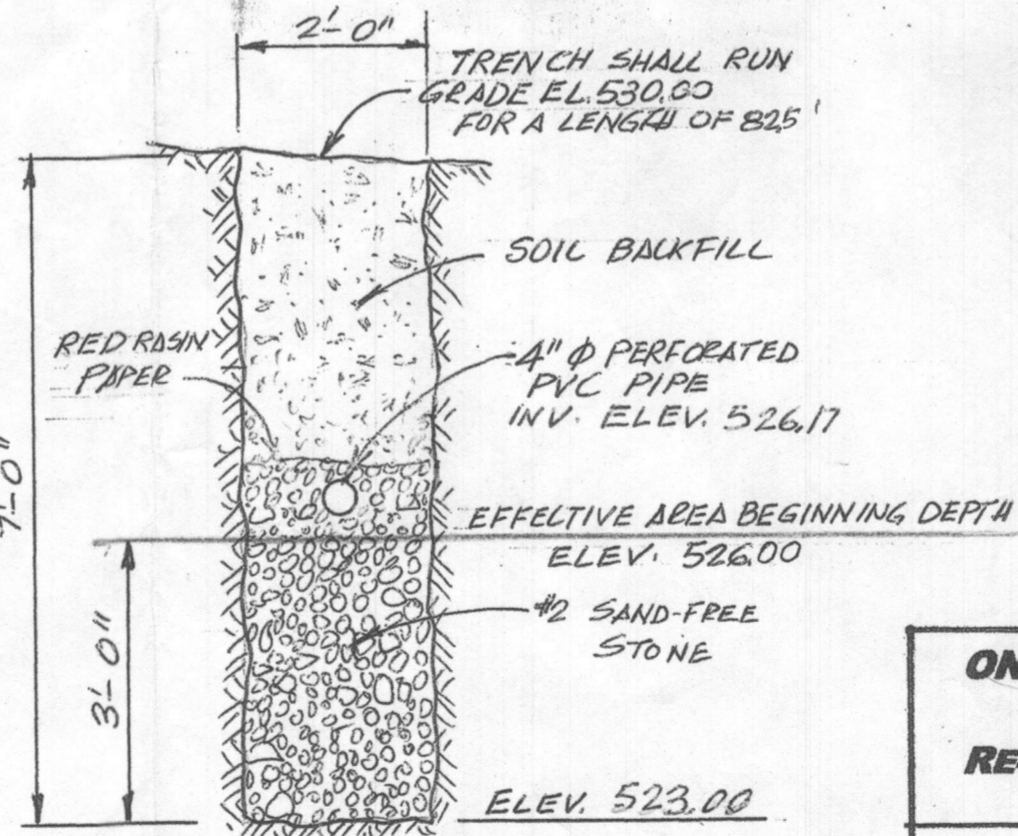


SEPTIC SYSTEM PROFILE

SCALE: HORIZ. 1" = 10'
 VERT. 1" = 2'

* REVISED OSDS PLAN SHALL BE SUBMITTED IF HOUSE ELEVATION CHANGES.

Approved Septic System Plan
 Howard County Health Department
 Hank Oswald 6/21/17
 Signature Date



INITIAL SYSTEM TRENCH DETAIL
 1/2" = 1'-0"

NOTE: FIRST REPLACEMENT SYSTEM TRENCH SHALL HAVE SAME DIMENSIONS OF INITIAL AND SHALL BE 82.5' LONG RUNNING AT ELEV. 528.00'

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY MYSELF, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND WITH CURRENT LICENSE NO. 10727.

Rosario Dimarco 6/1/17
 ROSARIO DIMARCO, P.E.



SYSTEM CALCULATIONS

INITIAL: 2 Bedrooms @ 300gpd/.8 (Absorption Rate) require 375Sq.Ft. Area of Trench. Applying Sidewall Reduction: 375Sq.Ft./2Ft.(Trench Width)x .44(Sidewall Reduction)=82Ft. of trench.
FIRST REPLACEMENT: 2 Bedrooms @ 300gpd/.8 (Absorption Rate) require 375Sq.Ft. Area of Trench. Applying Sidewall Reduction: 375Sq.Ft./2Ft.(Trench Width)x .44(Sidewall Reduction)=82Ft. of trench.
 THE ABOVE IS PROVIDED AS SHOWN ON PLAN.

GENERAL NOTES

- 1 - SEPTIC SYSTEM SHALL BE CONSTRUCTED BY AN INSTALLER APPROVED BY HO. CO. HEALTH DEPARTMENT.
- 2 - PRIOR BACKFILLING ANY COMPONENT OF THE SYSTEM, INSTALLER SHALL SECURE APPROVAL BY HO. CO. INSPECTOR.
- 3 - IF IT WILL BECOME NECESSARY TO MODIFY ANY ELEMENT OF THE SYSTEM, MODIFICATIONS SHALL BE APPROVED BY ENGINEER AND HO. CO. HEALTH DEPARTMENT. NEW DRAWING SHOULD BE SUBMITTED UNLESS CHANGES CAN BE CLEARLY SHOWN BY RED LINE MARKINGS.
- 4 - ALL WELLS WITHIN 100' OF PROPOSED SEPTIC SYSTEM HAVE BEEN PROPERLY ABANDONED.

REVISIONS - JUNE 1, 2017 - VARIOUS HEALTH DEPT. COMMENTS

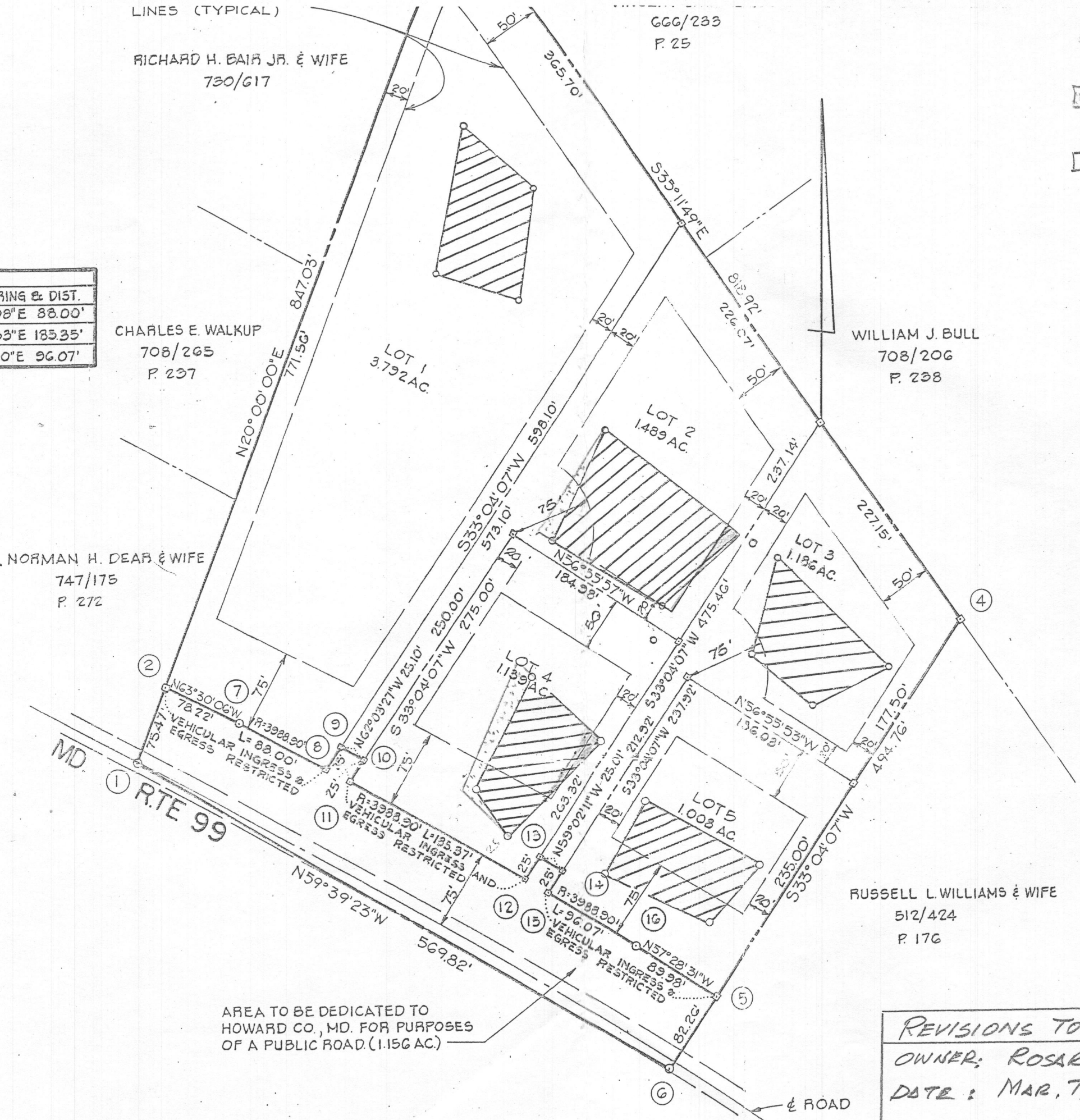
ON SITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN

FOR
**RE-BUILDING OF 11410 OLD FREDERICK ROAD
 MARIOTTSVILLE, MARYLAND 21104**

OWNER: MR. & MRS. ROSARIO DIMARCO 11416 OLD FREDERICK ROAD MARIOTTSVILLE, MARYLAND 21104			
CONTRACTOR: TO BE SELECTED			
ENGINEER: RDM ENGINEERING, INC. 11416 OLD FREDERICK ROAD, MARIOTTSVILLE, MD 21104			
SCALE: As Noted	DATE: JAN 2017	DRAWN BY: RDM	DRAWING NO. 1 of 1

5453.291
5057.355
5135.673
5149.314
5171.488
5157.847
5319.235
5332.876
5354.327
5340.686
5422.307

CURVE DATA			
Δ	L	T	CHD. BEARING & DIST.
01°15'51"	88.00'	44.00'	S62°52'08"E 88.00'
02°33'45"	185.37'	92.70'	S60°32'33"E 185.35'
01°22'48"	96.07'	48.04'	S58°10'00"E 96.07'



- PROPOSED PERC. AREA TO BE REMOVED
- PROPOSED PERC. AREA TO BE ADDED
- PROPOSED 20' PUBLIC WATER EASEMENT.

GENERAL NOTES

1. THE LOTS SHOWN HEREON AND LOT AREAS AS REQUIRED BY HEALTH AND MENTAL HYGIENE.
2. ALL PERC TEST HOLE LOGS TO BE FILED WITH THE DEPARTMENT OF HEALTH AND MENTAL HYGIENE.
3. THIS AREA DESIGNATED AS A SEPTIC TREATMENT SYSTEM SHALL BECOME NULL AND VOID UNTIL PUBLIC SEWAGE IS AVAILABLE.
4. DEED REFERENCE - 809/4
5. COORDINATES SHOWN HEREIN ARE SUBJECT TO VP-77-40.
6. SUBJECT TO VP-77-40.
7. FOR FLAG OR PIPE STEM LOCATION MAINTENANCE ARE PROVIDED AND THE ROAD RIGHT-OF-WAY SHALL BE MAINTAINED.
8. LOT 4 SEPTIC AREA WILL BE APPROVED BY THE SEPTIC BOARD.

A TABULATIONS

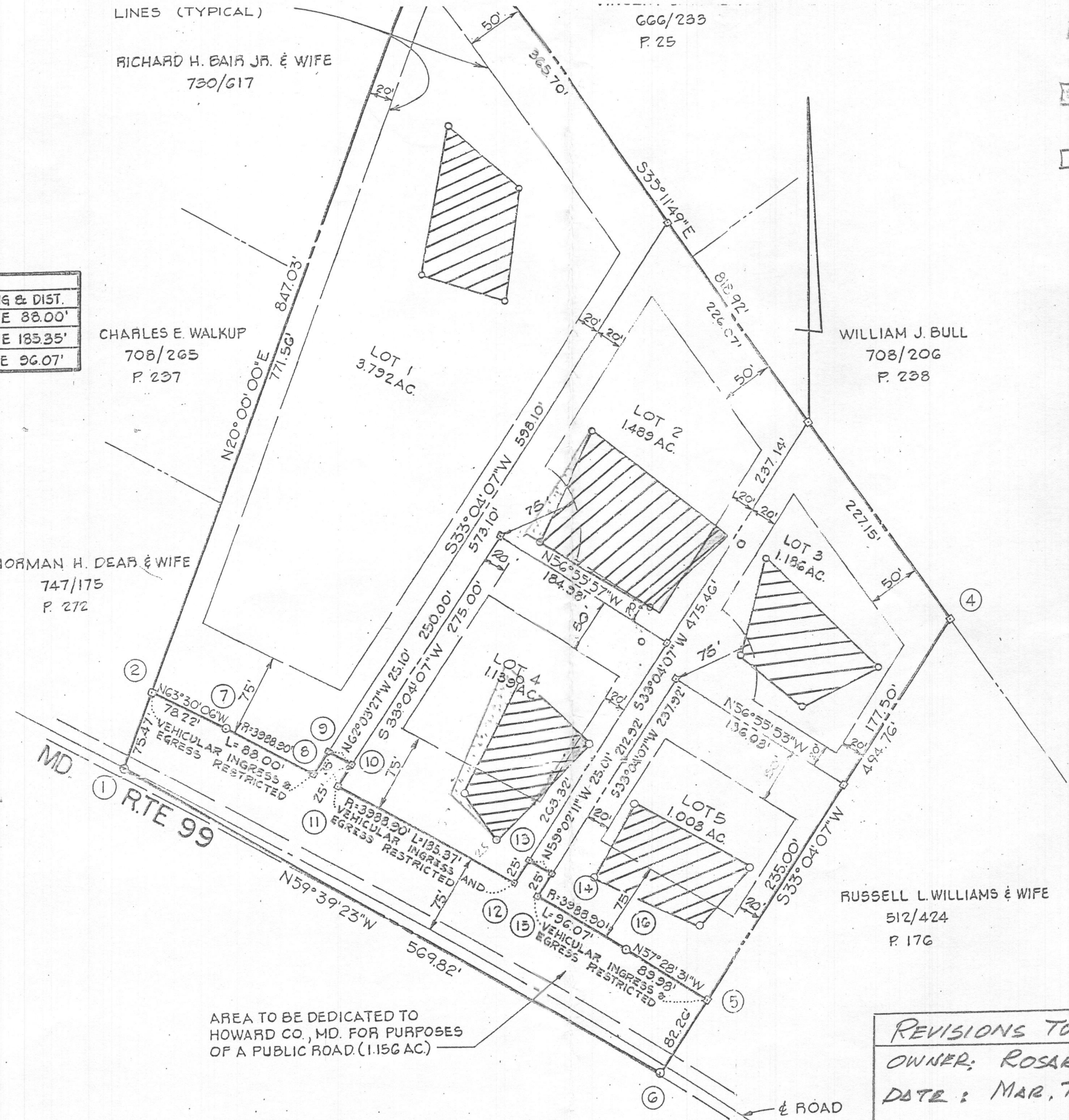
TOTAL PLAT : 9.770 AC.
 TOTAL LOTS : 5
 TOTAL LOT AREAS : 8.614 AC.
 TOTAL ROAD DEDICATION : 1.156 AC.

AREA TO BE DEDICATED TO HOWARD CO., MD. FOR PURPOSES OF A PUBLIC ROAD (1.156 AC.)

REVISIONS TO PERC. AREAS LOT NO 26124
 OWNER: ROSARIO D. MARCO
 DATE: MAR. 7, 2017

5453.291
5057.355
5135.673
5149.314
5171.488
5157.847
5319.235
5332.876
5354.327
5340.686
5422.307

CURVE DATA			
Δ	L	T	CHD. BEARING & DIST.
01°15'51"	88.00'	44.00'	S62°52'08"E 38.00'
02°39'45"	185.37'	92.70'	S60°32'33"E 185.35'
01°22'48"	96.07'	48.04'	S58°10'00"E 96.07'



- PROPOSED PERC. AREA TO BE REMOVED
- PROPOSED PERC. AREA TO BE ADDED
- PROPOSED 20' PUBLIC WATER EASEMENT.

GENERAL NOTES

1. THE LOTS SHOWN HEREON AND LOT AREAS AS REQUIRED BY HEALTH AND MENTAL HYGIENE.
2. ALL PERC TEST HOLE LOGS TO BE FILED WITH THE DEPARTMENT OF HEALTH AND MENTAL HYGIENE.
3. THIS AREA DESIGNATED AS PERC. AREA IS APPROXIMATELY 10,000 SQ. FT. AND IS SUBJECT TO THE DEPARTMENT OF HEALTH AND MENTAL HYGIENE'S REQUIREMENTS FOR SEWAGE DISPOSAL IMPROVEMENTS UNTIL PUBLIC SEWAGE IS AVAILABLE. IF SUCH IMPROVEMENTS SHALL BECOME NULL AND VOID, THIS AREA SHALL BECOME NULL AND VOID.
4. DEED REFERENCE - 809/4
5. COORDINATES SHOWN HEREON ARE BASED ON THE 1983 NAD 83 DATUM.
6. SUBJECT TO VP-77-40.
7. FOR FLAG OR PIPE STEM MAINTENANCE ARE PROVIDED AND THE ROAD RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER.
8. LOT 4 SEPTIC AREA WILL BE SUBJECT TO THE APPROVAL OF THE SEPTIC BOARD.

A. TABULATIONS

PLAT : 9.770 AC.
 LOTS : 5
 TOTAL LOTS : 0.614 AC.
 TOTAL ROAD DEDICATION : 1.156 AC.

REVISIONS TO PERC. AREAS LOT NO 25114
 OWNER: ROSARIO D. MARCO
 DATE: MAR. 7, 2017

Oswald, Hank

From: Oswald, Hank
Sent: Tuesday, February 07, 2017 3:24 PM
To: Allen, Nancy
Subject: Public Water Connection Inquiry

Hi Nancy:

Is 11406 N ROUTE 99, MARRIOTTSVILLE 21104-0000 on public water?

Thanks,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
410.313.2648 (Fax)

Davis, Michael J

From: Rosario Dimarco <rdm.engineering@verizon.net>
Sent: Tuesday, April 25, 2017 9:00 AM
To: Davis, Michael J
Subject: Re: DiMarco- Lot 4 septic

Mr. Davis:

COMAR reference given previously was not as you are now stating in you message. Will review and design accordingly.

Thank you

Rosario Dimarco
rdm.engineering@verizon.net

-----Original Message-----

From: Davis, Michael J <mjdavis@howardcountymd.gov>
To: Rosario Dimarco <rdm.engineering@verizon.net>
Sent: Tue, Apr 25, 2017 8:13 am
Subject: RE: DiMarco- Lot 4 septic

Mr. Dimarco,

The maximum loading rates are in COMAR 26.04.02.05 K. The majority of the percolation rates for lot 4 were between 6 and 15 minutes. Therefore, the appropriate loading rate is 0.8 gallons per day per square foot.

Michael J. Davis
Assistant Director
Bureau of Environmental Health
Howard County Health Department

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From: Rosario Dimarco [<mailto:rdm.engineering@verizon.net>]
Sent: Monday, April 24, 2017 10:50 AM
To: Davis, Michael J
Subject: DiMarco- Lot 4 septic

Hi Mr. Davis:

This is a follow-up to our meeting of March 23. We discussed the requirement to abandon the well on the Correnti's property and the design rate of absorption for the drain field. The well was grouted by a well driller on April 13. Please, feel free to make an inspection if necessary. So far I have spent more than \$1000.00 for the outside work; The interior plumbing work to remove tank and re-connect outside faucet to the public water system is going to add to the expense. I am still of the opinion that the requirement was not in COMAR and

that confined and unconfined aquifers depend upon the site characteristics and not a particular County as Mr. Crieg, the MDE consultant, stated to me during his telephone call.

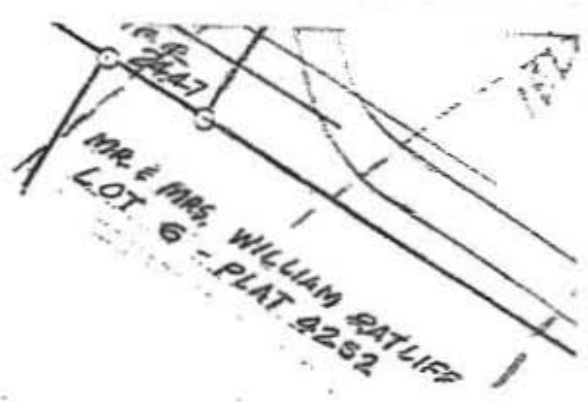
Regarding the absorption rate, I presented that from soil characteristics, shown by percolation test results, if it takes 10 minutes for the test water to drop 1", the allowable rate of sewage application is 1.7gal/sf. per day. If it takes 30 minutes for the test water to drop 1" then the rate drops to .8 gal/sf per day. This is what the civil engineering manual states. Lot 4 soil is better than that, however, Mr. William in one of his e-mails explained that the rate should be .8 as specified by COMAR 26.04.02.04; I cannot find that specification in COMAR. Unless specific COMAR reference is given, I would like to use the rate of 1.7gal/sf per day recommended by the engineering manual or at least the rate of 1.2gal/sf per day given to me by Mr. Oswald. Please advise.

Thank you very much for your assistance and cooperation

Rosario Dimarco
rdm.engineering@verizon.net

* well abandonment
report for neighboring
well - Lot 5
* well on lot
not shown - Lot 4

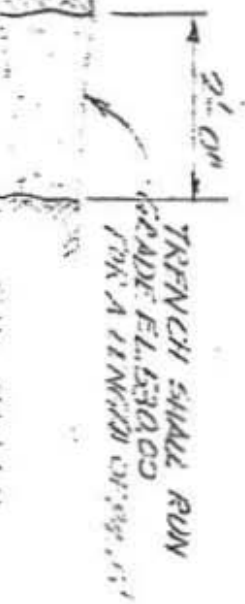
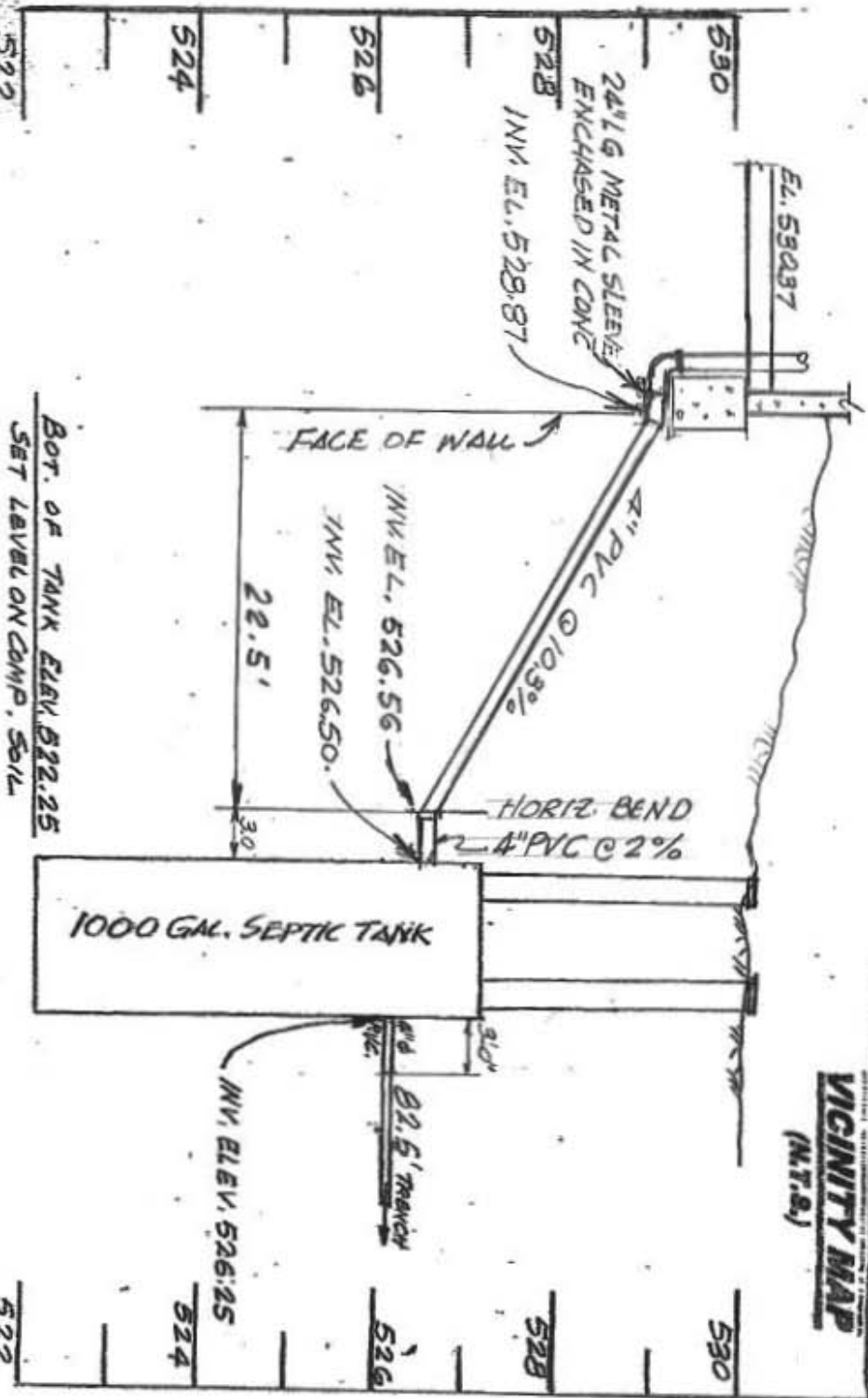
CORRENTI
LAT 4252



MBI
Mayer Bros, Inc.
4044 Rockwood
Lubbock, Texas 79409
TEL. (817) 792-4494
FAX (817) 792-4400
www.mayerbros.com

1,000 GALLON S.P.T.W. TANK
2-Compartment
Stock Item
Dwg. No. 1000-20 No. 0000
Aug 11, 2008

VICINITY MAP
(N.T.S.)
10



MARK OSLO
6/21/17

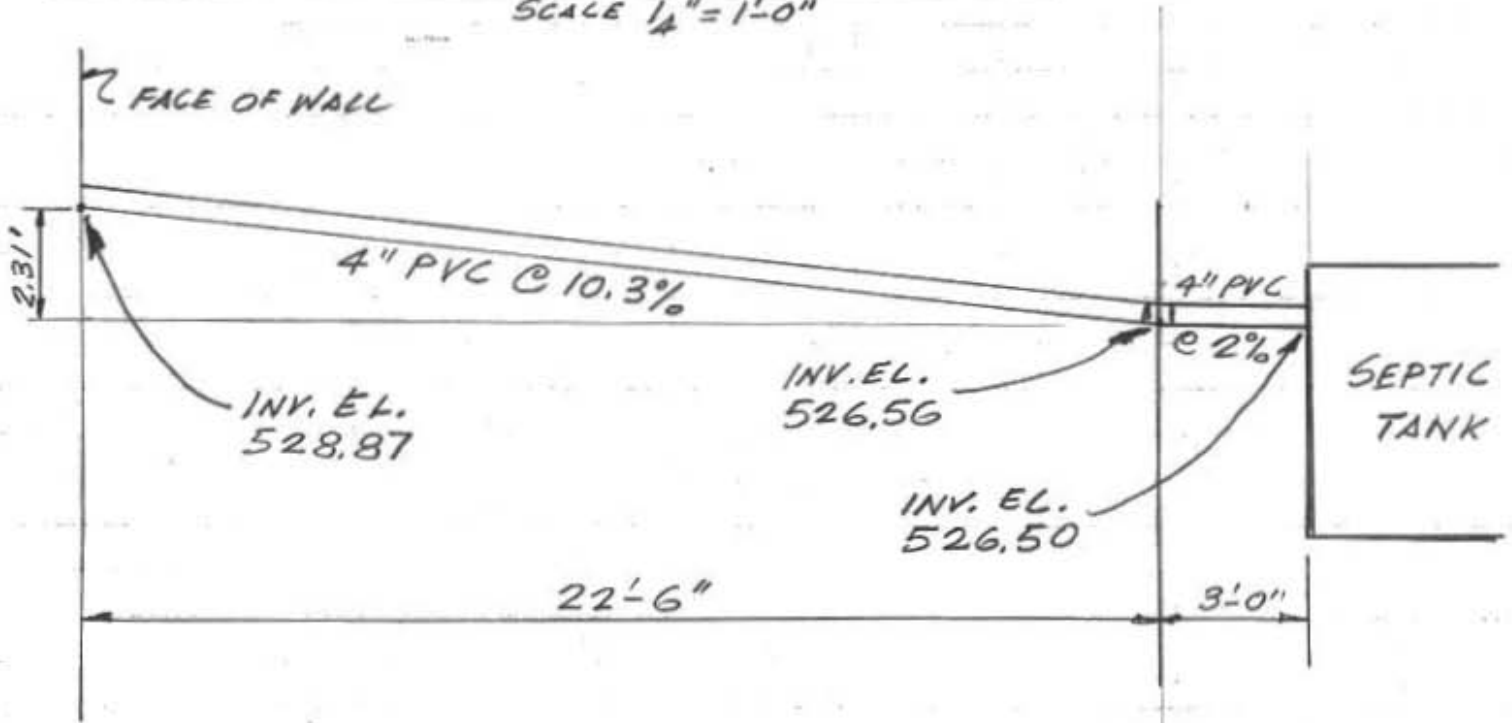
SEPTIC SYSTEM PROFILE

SCALE: HORIZ. 1" = 10'
VERT. 1" = 2'

(REVISED JAN. 5TH 2018)

ACTUAL PROFILE OF INFLOW @ 10.3%

SCALE $\frac{1}{4}'' = 1'-0''$



Williams, Jeffrey

From: Williams, Jeffrey
Sent: Thursday, February 16, 2017 2:15 PM
To: 'Rosario DIMARCO'
Cc: Davis, Michael J; Oswald, Hank
Subject: RE: RE: Lot 4 Septic System - DiMarco Property 11410 Old Frederick

Mr DiMarco: as I previously stated, Hank's statement of a 1.2 rate was in error and he and I have since corrected it. The loading rate is based on the percolation rates. COMAR 26.04.02 states that a 1.2 loading rate may be used for perc rates of 2-5 minutes per inch and a 0.8 rate for perc rates of 6-15. The perc rates for the 4 holes in your area were 7,6,6,5, which averages out to 6 minutes per inch, hence the 0.8 rate. The hole with the 5 rate was hole 4, which is in the top corner where you are placing the septic tank, so no part of the trenches are in the immediate vicinity of the one hole that is on the upper limit of justifying a 1.2 rate.

Furthermore, every issue involving your sewage disposal area has been addressed as soon as we were made aware of it. Keeping your trenches away from the neighboring well was discussed a year ago, as I documented in my last email. We obviously could not have spoken to you about issues surrounding the water meter, water line, or utility easement before you made us aware of them. As soon as we saw the water meter, we addressed the requirements for the water line. When you replied that it was a county line and mentioned an easement, we gave you the requirements for an easement at that time. It would certainly be difficult for us to provide feedback about things before we are made aware of their existence.

Ever since we discovered a copy of your perc certification plan signed by our Health Officer in 1977, we have honored that area. However, as the lot is undeveloped, the new construction including the sewage disposal system and water service must meet all current requirements. We have agreed to allow a waiver to the setback distance from the house to the disposal area as long as three sets of trenches can be over 20' away and fit in the area. We have agreed to allow the area to overlap the setback to the neighboring well as long as you could show three sets of trenches that fit in the area outside the setback. We have agreed to allow a water line to be within 10' of the area as long as the line is sleeved. We are not able to approve a sewage disposal area or disposal trenches overlapping a public utility easement or a water line. If the county has installed a public water line and there is to be a public easement that cuts through your previously established sewage disposal area, that is something you will have to work out with the Department of Public Works.

I will coordinate with Hank to make a site visit to look at well locations. He will let you know when he plans to make that visit. If we are able to confirm that the neighboring well was properly abandoned, we will make note of it and not require a 100' setback to it. We do not have a record of abandonment in the property file.

I have copied my supervisor, the Assistant Bureau Director on this email. I have discussed this project with him and he is in agreement with the requirements listed above. If you wish to contact him, you are welcome to do so. His name is Mike Davis, mjdavis@howardcountymd.gov, 410-313-2651.

From: Rosario DIMARCO [mailto:rdm.engineering@verizon.net]
Sent: Wednesday, February 15, 2017 9:11 PM
To: Williams, Jeffrey
Subject: Re: RE: Lot 4 Septic System - DiMarco Property

Mr. Williams:

1- With regard to the absorption rate Mr. Oswald revised the .8 to 1.2 after looking at the results of the percolation tests. When he returned the first set of comments and we met to discuss the same he said that he made a mistake " I should have checked with my supervisor" so it was not the soil "the supervisor".

2- With m the overlapping easements this is a new imposition you are trying to put on us. In the set of comments there is nothing about overlapping easements.

Do you feel that perhaps I should speak to another reviewer or your supervisor ?

As I indicated in my previous e-mail I feel that ever since your office had lost my file and I complained and refused your request to re-percolate the lot, there has been an effort to create problems for me.

The fact remains that I have a lot with percolation tests approved by Health Department and I need to built on it. Please avoid complicating a simple matter of building a hose were two people will try to leave in retirement.

Please Think about what you are writing and saying.

Rosario DiMarco

On 02/14/17, Williams, Jeffrey<jewilliams@howardcountymd.gov> wrote:

I am not prepared to meet with you in order to negotiate items that are required by the regulations. I am happy to meet with you to discuss our requirements and make sure you understand what you must show on a system design plan in order to proceed towards approval. The system specs given to you indicate a 0.8 loading rate, which is based on the soil absorption capabilities. Hank has explained to you that he was in error in offering a 1.2 rate and that I made it clear that the 0.8 rate was appropriate for this property. We will not approve a plan with a loading rate other than 0.8.

If you are in the process of getting an easement for your lot, is that coming through as a record plat? We will need to see that easement boundary on your design plan and the SDA may not be overlapping that easement. I do not want to meet until you know where that easement is located and if you want to bring a plan showing the easement and the SDA, we can discuss your options.

If you wish, we can meet to discuss the layout requirements and sleeving issues after you have finalized the easement and can bring in a plan showing the location. In the meantime, we will perform a site visit to confirm the well at 11406. Please see the attached email message from the Bureau of Utilities stating that there is no public water service at 11406. You will be required to show the well and comply with the related requirements as I explained in my previous email. Let me know what happens with DPW and the water line easement.

From: Rosario DIMARCO [<mailto:rdm.engineering@verizon.net>]

Sent: Monday, February 13, 2017 4:02 PM

To: Williams, Jeffrey

Subject: Lot 4 Septic System - DiMarco Property

Mr. Williams:

I wrote to you to try to clarify the referenced matter. From your reply I get additional requirements. I am getting very frustrated and running out of patience. I have a lot with a septic easement approved by the health department. On it I designed a system according to information given to me by your office. As a Professional Engineer with knowledge of the soils

I am confident that the system will be more than adequate to support the house that I want to build. Believe me, I would not spend hundreds of thousands of dollars on a house knowing that it septic would be inadequate. However, if you can suggest another design that will fit the approved lot I will be more than glad to implement it.

Replying to your e-mail point by point:

1- I do not see in the record all of the dimensions that you state.

2- 11406 is served by public water. Please indicate who confirmed what you state. I will restrict operations within the approved septic area of my lot there is no need to re-percolate

the area.

3-I have contacted the utility department to revise the GPS plan to show the water line. I have not signed the easement documents as of yet, however, intend to do so as this matter clarifies. The line is well outside the septic easement. Only near test hole #3 it is 6.5' +/- . This is the hole where you had requested that the system be 20' away therefore from an engineering point of view the sleeve would not be necessary. The county assured me that if Health Department requires, the line will be sleeved. Please rationalize and avoid this cost to County.

4-The loading rate was given to me at 0.8 changed to 1.2 when I requested to be changed to 1. The 55' trench 7' deep calculated is adequate for a two bedroom home. I will take full responsibility if the system will fail. The three system requirement is not mentioned in the first and second set of comments by Mr. Oswald. Beside, I have seen recently approved plans by your office where the rate is 1.2 the trenches with only 2' of stone and with an initial and a replacement system. Please apply the requirements uniformly.

5-Thank you for considering to relax the 20' distance.

I will re-submit my plan revising certain dimensions that are incorrect and I am willing to extend the trench to the end of the septic easement area which would correspond to a absorption rate of .9 approximately for sake of completing this permit.

At your convenience, I would still like to meet with you.

Thank you

Rosario DiMarco

From: Allen, Nancy
Sent: Wednesday, February 08, 2017 6:44 AM
To: Oswald, Hank
Subject: RE: Public Water Connection Inquiry

Good Morning Hank,

11406 N Route 99 is not in our system for public water.

I think probably would be well and septic.

Have a good day!

From: Oswald, Hank
Sent: Tuesday, February 07, 2017 3:24 PM

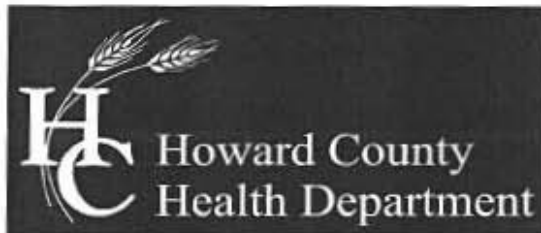
Hi Mr. Williams:

Recently I submitted a Private Sewage Disposal Plan for the above. I have been dealing with Mr. Oswald, of your office. I am writing to you because I have received comments regarding dimensioning, clearances, scaling-off and conflicting with previous information receive and reviewed. From an engineering view point, although maybe correct, . none of the comments are relevant for the construction of the system, unless the requirements keep changing, I would like to discuss this matter at a meeting with you, who, as a supervisor has the authority to relax requirements.

At your convenience, please, give me some time. There is no rush, because, as a result of the current delays I could not commit on my loan.

Thank you

Rosario DiMarco



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: [HowardCoHealthDep](https://twitter.com/HowardCoHealthDep)

Maura J. Rossman, M.D., Health Officer

February 8, 2017

Rosario Dimarco
11416 Old Frederick Road
Marriottsville, MD 21104

Sent via email to: rdm.engineering@verizon.net

**RE: OSDS Plan Comments
Dimarco Property, Lot 4
Marriottsville, MD 21104**

Hi Mr. Dimarco:

This is a follow-up to our meeting that took place on 2/7/17. The following comments apply to your OSDS plan. All of these comments were discussed internally, and this will be our final position on the subject.

- According to the record plat signed on 6.23.77, the North Lot Line measures 184.98 ft. but your plan measures 185 ft. The South Lot Line measure 185.37 ft. but your plan measures 183 ft. The East Lot Line measures 263.32 ft. but your plan measures 255 ft. The West Lot Line measures 275 ft. but your plan 267 ft. Please revise the plan to match the record plat.
- As discussed, the two lower perc test holes were inaccurately plotted on the plan. Please revise the plan to match the signed record plat. Also, place the perc test hole #/locations on plan.
- According to public works, Lot 5 is not utilizing public water. Therefore, you will be required to show this well on your septic plan. It must be 100 feet from your SDA or you will be required to provide a revised Percolation Certification Plan (Please see attachment for perc cert plan requirements).
- The septic spec. for the initial system remains at 0.8 gpd due to surrounding perc test data above 5 gpd. Revise calculation and trench layout.
- Add note - Topography of this plan was taken from _____ and is verified to accurately represent the changes on the subject property.
- Show existing well on this lot and add symbol to legend.
- Add note - Existing well must be properly abandoned prior to building permit approval by the Health Department.
- Add note - This lot will be served by public water.
- Add note - All wells have been field located and accurately shown on the plan
- The SDA shown on this plan is less than 20 feet from the proposed house. Revise house location to meet 20 foot setback requirement or submit a revised perc cert plan. You may apply for a waiver to the setback but if a revised perc cert is required for any other reason, this setback requirement will have to be met.
- Show water line and easement on the septic plan. If any part of the water line/easement is less than 10 feet from the SDA, then that part of the water line must be sleeved. If any part of the water line runs through the SDA, a revised perc cert will be required.
- The Septic System Profile pipe fall should = $528.4 - 527.85 / 23 \text{ feet} \times 100 = 2.39\%$ (not 4%)

As we discussed in our meeting, the septic system may be installed prior to building the house but the entire area must be fenced-off and protected at that time. Please note; if the location or elevations of the house changes, a revised septic plan may be required.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank Oswald

Hank Oswald, L.E.H.S.
Bureau of Environmental Health
Well & Septic Program

Oswald, Hank

From: Rosario DIMARCO <rdm.engineering@verizon.net>
Sent: Thursday, February 09, 2017 8:45 AM
To: Oswald, Hank
Subject: Re: OSDS Plan

Mr. Oswald:

1- As we discussed during the meeting, Lot 5 does no exist any more. That lot is designated as lot No. 7 and it is served by public water. The address is 11406 Old Frederick road. Please check back with utility department.
2- I will check myself the location of the public water line an advise public works if line needs to be sleeved.
3-With regard to the absorption rate of 1.2 you made no mistake; I was asking to have the rate changed to 1, we discussed, you examined the perc data and concluded that it could be 1.2; I would not spend hundreds of thousands of dollars, without making sure that the system would work.
4- As far as the dimensions, I will check again, however, 195 and 194.98 does not appear to be drastically different.
5-Assuming that Mr. Williams, your supervisor, is not aware of your comments, I will try to contact him regarding the location of the house versus the septic easement.
Thank you
Rosario DiMarco

On 02/08/17, Oswald, Hank<hoswald@howardcountymd.gov> wrote:

Mr. DiMarco:

Please see attached follow-up letter regarding the OSDS plan submitted for DiMarco Property, Lot 4.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.

Howard County Health Department

Bureau of Environmental Health

Well & Septic Program

8930 Stanford Boulevard

Oswald, Hank

From: Oswald, Hank
Sent: Thursday, February 02, 2017 3:41 PM
To: 'rdm.engineering@verizon.net'
Subject: OSDS Plan Comments_11410 Old Frederick Road
Attachments: OSDS Plan Comments_Dimarco Property Lot 4.pdf

Hello Mr. Dimarco:

Please see attached letter with comments pertaining to the Onsite Sewage Disposal system design plan for Dimarco Property Lot 4.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
410.313.1786 (Office)
410.313.2648 (Fax)

Oswald, Hank

From: Oswald, Hank
Sent: Wednesday, February 08, 2017 11:29 AM
To: rdm.engineering@verizon.net
Subject: OSDS Plan
Attachments: OSDS Plan_DiMarco Property_Lot 4_Final Comments.pdf; Percolation & Plan Requirements For Developed Lots.pdf

Mr. DiMarco:

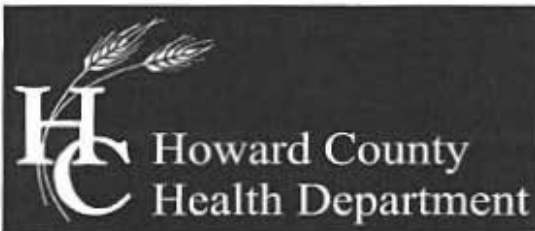
Please see attached follow-up letter regarding the OSDS plan submitted for DiMarco Property, Lot 4.

Should you have any questions, please don't hesitate to ask.

Respectfully,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
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Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: [HowardCoHealthDep](https://twitter.com/HowardCoHealthDep)

Maura J. Rossman, M.D., Health Officer

February 8, 2017

Rosario Dimarco
11416 Old Frederick Road
Marriottsville, MD 21104

Sent via email to: rdm.engineering@verizon.net

RE: **OSDS Plan Comments**
Dimarco Property, Lot 4
Marriottsville, MD 21104

Hi Mr. Dimarco:

This is a follow-up to our meeting that took place on 2/8/17. The following comments still apply to the OSDS plan received on 2.1.17.

- According to the record plat signed on 6.23.77, the North Lot Line should measure 184.98 ft. in length but I measured 185.5 ft. on your plan. The South Lot Line should measure 185.37 ft. but I measured 183 ft. on your plan. The East Lot Line should measure 263.32 ft. but I measured 155 ft. on your plan. The West Lot Line should measure 275 ft. but I measured 267 ft. on your plan. Please revise the plan accordingly.
- As discussed, the two lower perc test holes were inaccurately plotted on the plan. Please revise.
- According to public works, Lot 5 is not utilizing public water. Therefore, you will be required to show the well on the adjacent lot on your septic plan meeting the 100 foot setback
- The septic specs remain at 0.8 due to surrounding perc test data above 5 gpd.
- Add note -Topography of this plan was taken from _____and is verified to accurately represent the changes on the subject property.
- Show existing well on this lot and add symbol to legend.
- Add note - Existing well must be properly abandoned prior to building permit approval by the Health Department.
- Add note - This lot will be served by public water.
- The SDA shown on this plan is less than 20 feet from the proposed house. Revise house location to meet 20 foot setback requirement or submit a revised perc cert plan.

As I discussed in our meeting, the septic system may be installed prior to building the house but the entire area must be fenced-off and protected at the time of installation. Please note; if the location or elevations of the house changes, a revised septic plan may be required.

Should you have any questions, or you wish to have a meeting with me and/or my supervisor, you may call (410) 313 - 1786 or send an email to set-up an appointment.

Respectfully,

Hank Oswald

Hank Oswald, L.E.H.S
Bureau of Environmental Health
Well & Septic Program

From: Rosario DIMARCO [<mailto:rdm.engineering@verizon.net>]
Sent: Wednesday, February 03, 2016 10:44 AM
To: Williams, Jeffrey
Subject: Dimarco Property Lot N.4

Dear Mr. Williams:

Attached to this message, please, find an informal factsheet related to the reference matter. Please share it with you staff and if there is any discrepancy alert me soon.

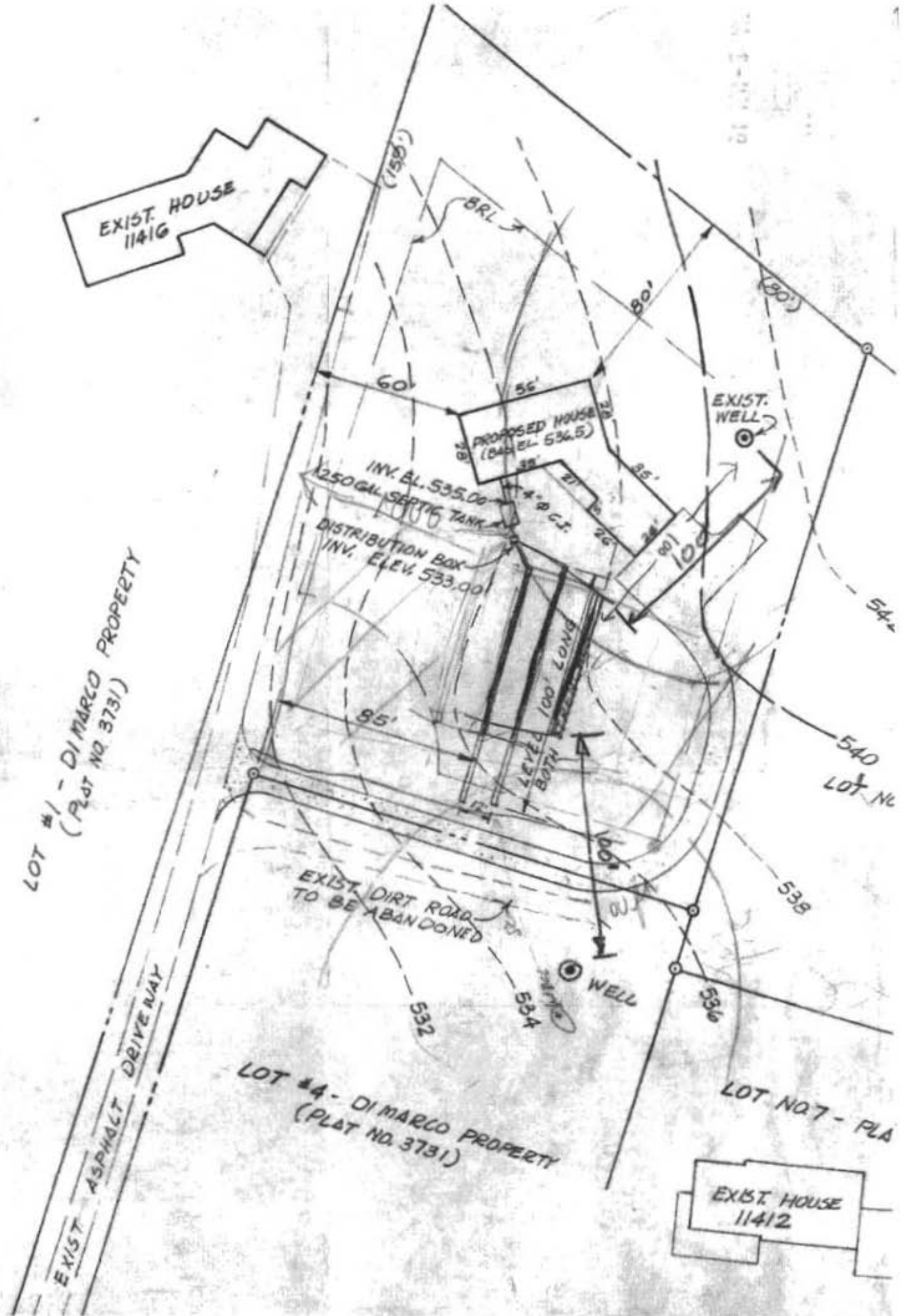
I take this opportunity to re-state that the simplest solution to resolve this matter without creating financial hardship on me or the Department would be to allow a septic system similar to lot N.2.

Yesterday you indicated that an incorrect depth of the drain field trenches could compromise the water table. Although your concern is valid it does not appear to be likely. Beside the water table in the area was contaminated by the Howard County Landfill which forced the County to bring public water.

I sincerely hope that you would re-consider this matter.

Thank you

Rosario DiMarco



RE. : SEPTIC SYSTEM REQUIREMENTS FOR LOT N. 4 – DIMARCO
PROPERTY

FACTS SHEET

- 1 – Lot N.4 of the DIMARCO Property subdivision is one of five lots created in 1977 and recorded among the land records of Howard County as subdivision plat 3731, on June 28, 1977.
- 2 - On February 1, 2016 I visited the Howard County Environmental Health Office for the purpose of obtaining septic system requirements for the referenced Lot. After waiting a considerable length of time I was informed by Mr. Hank Oswald that no records of the field noted of the percolation tests could be found. I was very surprised because I had seen the record file when other lots of the subdivision were developed and it was a relatively thick file containing results of percolation tests and well drilling information for all of the five lots of the subdivision. I remarked that it would be impossible that such a file would be lost or destroyed.
- 3- Subsequently Ms. Dana Benard came out at the counter and joined Mr. Oswald. Ms. Benard stated that she also had been looking for the records, however, since no records could be found the lot had to be re-percolated and requested me to file new applications for percolation tests. She stated that it was my responsibility to maintain the records of the tests done in 1977. I replied that the records were maintained by the Health Department and given to the installers at the time of application for septic system installation. I added that examples of that procedure were in my possession and would be brought the next day along with any other information that I would find in my files.
- 4-On February 2nd I returned to the Health Department to show Mr. Oswald and Ms Benard the records that I found in my files. After waiting for a while Ms. Benard told me that Mr. Oswald would help me but he was at lunch and would return at 1:00PM. I decided to leave and returned after 1:00PM.
- 5- After signing –in again and waiting for a while, I was introduced into the conference room, where I waited for another while for Mr. Oswald to come in.
- 6-When he came-in I presented the material that I found in my possession. it consisted of two applications for septic systems installation respectively for lot N.1 and Lot N.2; A letter from the Health Department dating April 19, 1979 advising me about water wells location; The results of the well drilled in lot N. 4 and an old record plat showing the subdivision with red marks indicating septic systems types in each lot: dry wells for two lots and drain fields for the other three one of which is lot N. 4.
- 7- Mr. Oswald took the old record plat back to show it to the director. After waiting a considerable length of time. Mr. Oswald returned joined by Ms. Benard and I was told that the information was not sufficient to give recommendations for the septic system for lot N.4 and was again told that I had to apply for re- percolation of the lot otherwise the lot would be un-buildable.
- 8- I stated that it would be unfair that I had to spend time and money when the records were lost, destroyed or misplaced by the department. I motioned to leave the conference room.

9- Ms. Benard said to wait so that the director could talk to me. I was left in the conference room to wait for the director. A while later, Mr. Williams, the director, and Mr. Oswald came in. After a long conversation during which I was suggesting some solutions and the director giving reasons why they were not acceptable, the meeting ended with the director position that the lot had to be re-percolated and my position as follows:

- A- Keep looking for the records since it is impossible that they were destroyed or lost.
- B- Make the required soil investigations to establish the width, depth and length of the drain field trenches at Health Department expense.
- C- Allow the construction of a septic system similar to that used in lot N. 2 since the soil characteristics would be similar

10- I left the Health Department sometime before 3:00PM

Imarco Prop.

RAMMERS

747-3072 office
NW2

10/14/80

REVISION 4

Absorbant Area/bedroom 150 A/BR

SEPTIC TANK	1000 gal	1250 gal	1500 gal
	3 bdrms	4 bdrms	5 bdrms

DRY WELL

inlet

Max. depth

Abs. Area

Located

2 TRENCHES

3 1/2
inlet

8
Max. depth

bedrooms

Length

Area (TOTAL)

3

50

450 A

4

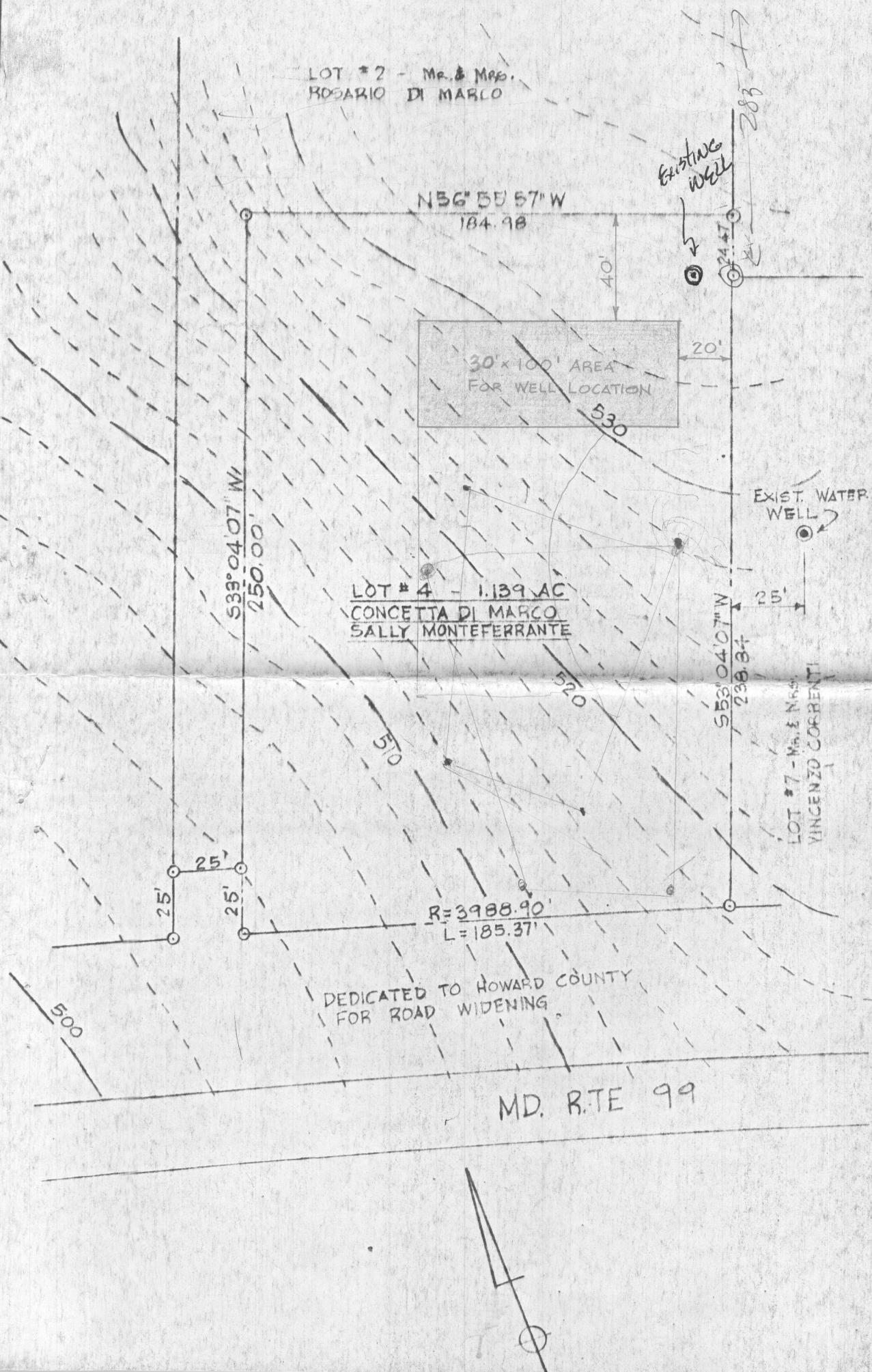
70

~600 A

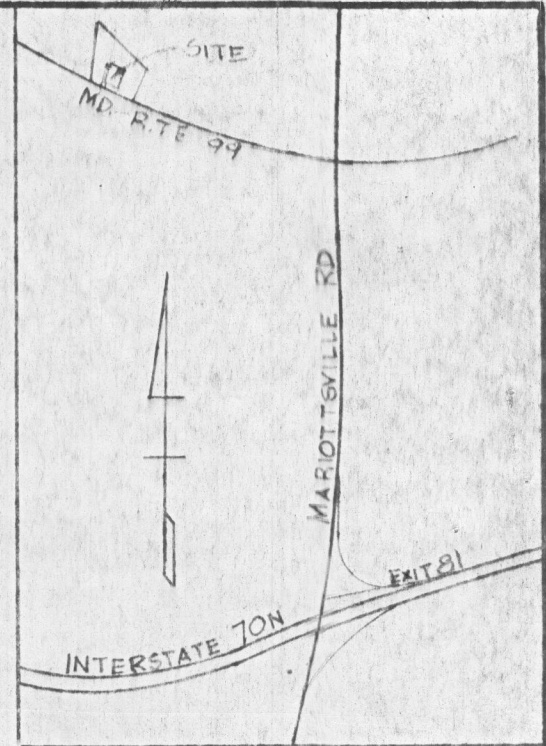
EACH TRENCH 30" WIDE

BEGIN 1ST TRENCH AT A POINT: 140' FROM THE REAR LOT LINE AND 10' FROM THE RIGHT LOT LINE (FROM RT 99). RUN TRENCH TOWARD LEFT LOT LINE FOLLOWING CONTOUR. PLACE 2ND TRENCH 15' DOWNSLOPE FROM FIRST AND PARALLEL TO FIRST.

- If dry well and trench are used leave a 5' earth buffer between them.
- Septic tank in 3' or more below grade, use manhole type cleanout to grade.
- If more than one trench is used space them parallel, twice their depth apart.
- Call office for inspection of trench before placing stone in trench.
- All pipe from home to disposal area cast iron.
- Install standpipe (6" min.) on septic tank and dry well. Cast iron, concrete, terra cotta ok. Trench distribution lines may be clay, asbestos cement, orangeburg type, open joint cast iron or heavy duty plastic. (Commercial standard Cs220-61).



- NOTES:**
1. WATER WELL LOCATION TO BE WITHIN THE AREA DESIGNATED ON PLAN THUS:
 2. SEPTIC SYSTEM TO BE AS SPECIFIED BY HOWARD COUNTY HEALTH DEPARTMENT
 3. REVISE SEPTIC SYSTEM OF LOT #2 AS RESULT OF FINAL WELL LOCATION ON LOT #4.



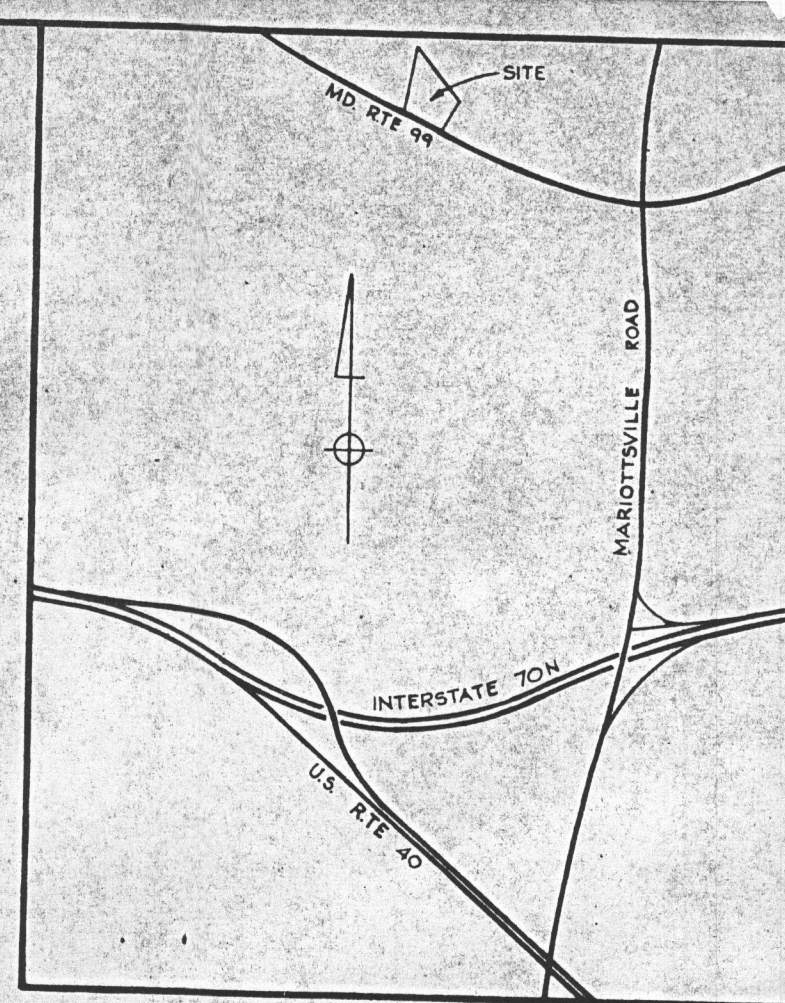
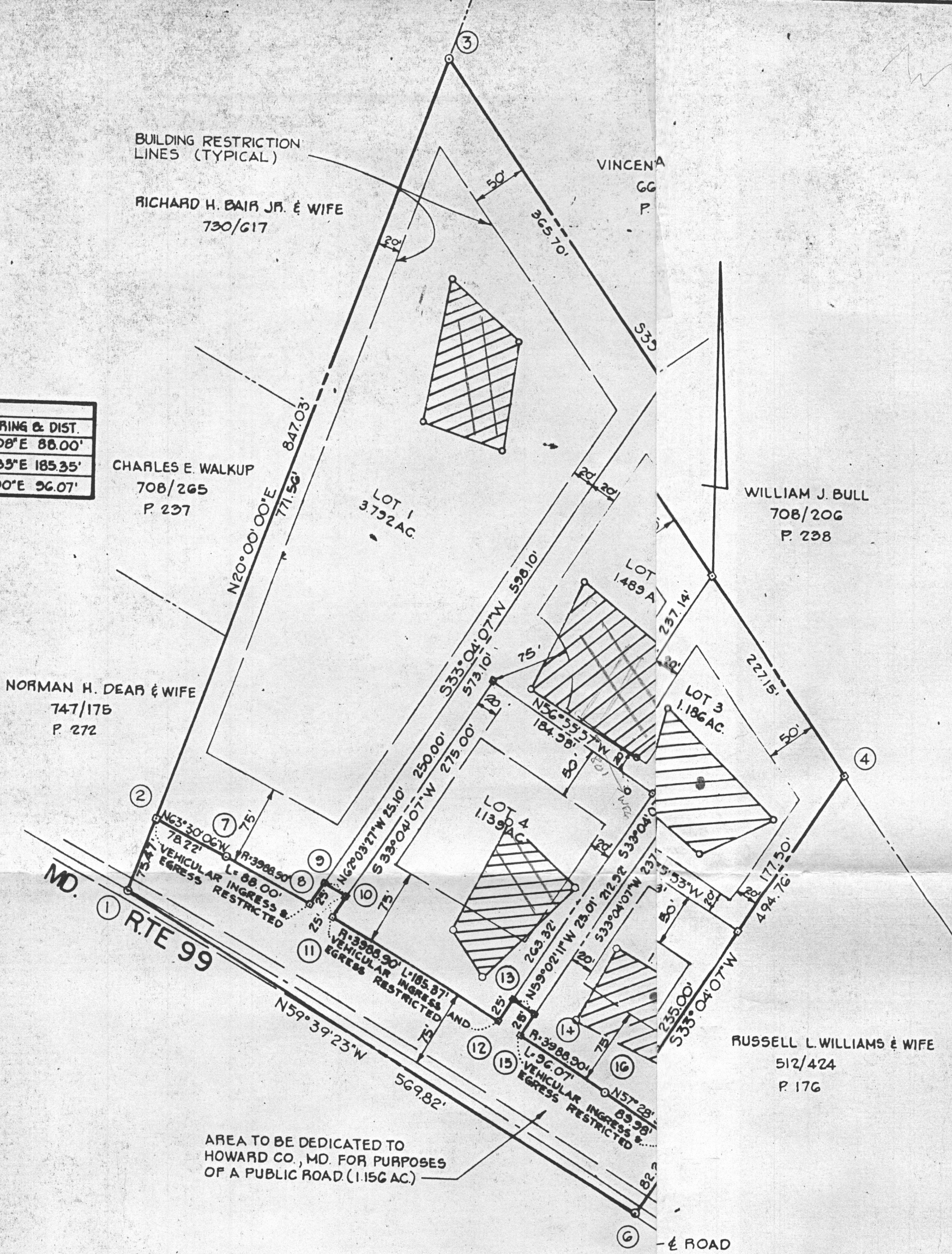
12/29/81
 Primary Well site
 40' from rear line and
 20' from rightside line
 O.K. per T.C.C. Rosario
 Di Marco. F.S.

VICINITY MAP

SITE PLAN		
LOT #4 DI MARCO PROPERTY - PLOT #3731		
SCALE: 1"=50'-0"	APPROVED BY	DRAWN BY RDM
DATE: DEC. 1981		
MRS. MONTEFERRANTE'S RESIDENCE MD. ROUTE 99 HOWARD COUNTY MARYLAND		

NORTH	EAST
1894.310	4961.536
1965.229	4987.348
690.257	5251.237
021.056	5723.253
675.374	5498.175
606.438	5453.291
930.328	5057.355
890.197	5135.673
911.147	5149.314
899.385	5171.488
878.435	5157.847
787.285	5319.235
808.247	5332.876
795.376	5354.327
774.426	5340.686
723.752	5422.307

CURVE DATA				
R	Δ	L	T	CHD. BEARING & DIST.
988.90'	01°15'51"	86.00'	44.00'	S62°52'08"E 88.00'
988.90'	02°39'45"	185.37'	92.70'	S60°32'35"E 185.35'
988.90'	01°22'48"	96.07'	48.04'	S58°10'00"E 96.07'



VICINITY MAP
SCALE: 1"=2000'

GENERAL NOTES

1. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE.
2. ALL PERC TEST HOLE LOCATIONS HAVE BEEN FIELD LOCATED.
3. THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF APPROXIMATELY 10,000 SQ. FT. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE ARE RESTRICTED IN THIS AREA UNTIL PUBLIC SEWAGE IS AVAILABLE AND SERVICING ANY RESIDENTIAL STRUCTURES CONSTRUCTED ON THESE BUILDING SITES. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM.
4. DEED REFERENCE - 809/455.
5. COORDINATES SHOWN HEREON ARE ASSUMED.
6. SUBJECT TO VP-77-40.
7. FOR FLAG OR PIPE STEM LOTS REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND THE ROAD RIGHT-OF-WAY LINE ONLY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.
8. LOT 4 SEPTIC AREA WILL BE CLEARED OF ALL LARGE TREES PRIOR TO APPROVAL OF THE SEPTIC SYSTEM.

AREA TABULATIONS

AREA OF PLAT : 9.770 AC.
NO. OF LOTS : 5
AREA OF LOTS : 8.614 AC.
AREA OF ROAD DEDICATION : 1.156 AC.

AREA TO BE DEDICATED TO HOWARD CO., MD. FOR PURPOSES OF A PUBLIC ROAD (1.156 AC.)

APPROVALS

FOR PRIVATE WATER AND SEWERAGE SYSTEMS. HOWARD COUNTY DEPARTMENT.
DATE: 6-23-77
FOR STORM DRAINAGE SYSTEMS, ROADS, HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
DATE: 6-26-77

OWNERS STATEMENT

WE, ROSARIO DI MARCO AND MARIA R. DI MARCO OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE OFFICE OF PLANNING AND ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD CO., MD. ITS SUCCESSORS AND ASSIGNS; 1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES IN AND UNDER ALL ROADS AND STREET RIGHT OF WAYS AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; 2) DEDICATE TO PUBLIC USE THE BEDS OF THE STREETS AND OR ROADS AND FLOOD PLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR ONE DOLLAR CONSIDERATION HEREBY GRANT THE RIGHT AND OPTION TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND OR ROADS AND FLOOD PLAINS AND OPEN SPACE WHERE APPLICABLE; 3) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHT OF WAYS; AND 4) IT IS FURTHER AGREED THAT MAINTENANCE OF ALL WATERWAYS, DRAINAGE EASEMENTS, AND/OR FLOOD PLAINS SHOWN HEREON ARE THE RESPONSIBILITY OF PROPERTY OWNERS ITS SUCCESSORS AND ASSIGNS.
WITNESS OUR HANDS THIS 4TH DAY OF MARCH 1977.

Rosario Di Marco
Maria R. Di Marco

SURVEYORS CERTIFICATE

CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS A FINAL SUBDIVISION OF THE LANDS OWNED BY METROPOLITAN SUPPLY AND EQUIPMENT CORP. BY ROSARIO DI MARCO AND MARIA R. DI MARCO HIS WIFE, BY DEED FEB. 11, 1977 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 809 FOLIO 455 AND THAT ALL MONUMENTS ARE IN PLACE AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND.

ami G. Hartel
G. HARTEL P.L.S. NO. 943G
DATE: 3-21-77

RECORDED PLAT 3751
ON 6-28-77 IN THE LAND RECORDS OF HOWARD COUNTY, MD.

OWNER & DEVELOPER

ROSARIO DIMARCO
1413 KIRKWOOD RD.
BALTIMORE, MD 21207

LOTS 1, 2, 3, 4 AND 5
DIMARCO PROPERTY

3RD ELECTION DISTRICT
SCALE: 1"=100'
HOWARD COUNTY, MD
MARCH 14, 1977