

LAYOUT 2/15/08 INSP 4 _____
 INSP 2 2/15/08 INSP 5 _____
 INSP 3 2/21/08 INSP 6 _____

ISSUE DATE: 1/30/08

P 528473

APPROVAL DATE: 2/25/08

A 515042

PERMIT

TAX ID # 05443342

ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

Fogles Septic Clean Inc IS PERMITTED TO INSTALL ALTER

ADDRESS: 580 Obrecht Rd PHONE NUMBER: 410-795-5670

SUBDIVISION: Homewood Crossing LOT NUMBER: 69

ADDRESS: 11119 Old Homewood Rd Ct PROPERTY OWNER: Toll MD III LP

SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): _____ COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 4

4-7'

SQUARE FEET PER BEDROOM: _____

LINEAR FEET OF TRENCH REQUIRED: ~~205~~ 160' 0.8 43 = 250 (1.62) = 155'

TRENCHES:	Trench to be 3.0 feet wide. Inlet 4.0 feet below original grade. Bottom maximum depth <u>7.0</u> feet below original grade. Effective area begins at 5.0 feet below original grade. <u>3.0</u> feet of stone below distribution pipe.
LOCATION:	1) Set distribution box 70 feet east of septic easement southwest corner. 2) Install <u>2x30'</u> trenches on contour to west, _____ 3) Set septic tank for gravity flow to distribution box.
NOTES:	1) Stake septic easement corners. 2) Call for layout inspection. 3) Gravel tickets must be available for inspectors.

PLANS APPROVED: Robert Bricker DATE: 2/1/08

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM

NOT TO SCALE

See separate sheet for As-Built

TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	4'	7'
NUMBER OF TRENCHES		2
TOTAL LENGTH		161'
ABSORPTION AREA		483'±SW
DISTRIBUTION BOX LEVEL		unders.
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	Yes
CAPACITY	2000 GAL
SEAM LOC	Top
TANK LID DEPTH	1.5'-2.5'
BAFFLES	Yes
BAFFLE FILTER	—
MANHOLE LOC	Front/Re
6" PORT LOC	none
WATERTIGHT TEST	—
SEPTIC TANK 2 LEVEL	
CAPACITY	— GAL
SEAM LOC	—
TANK LID DEPTH	—
BAFFLES	—
BAFFLE FILTER	—
MANHOLE LOC	—
6" PORT LOC	—
WATERTIGHT TEST	—

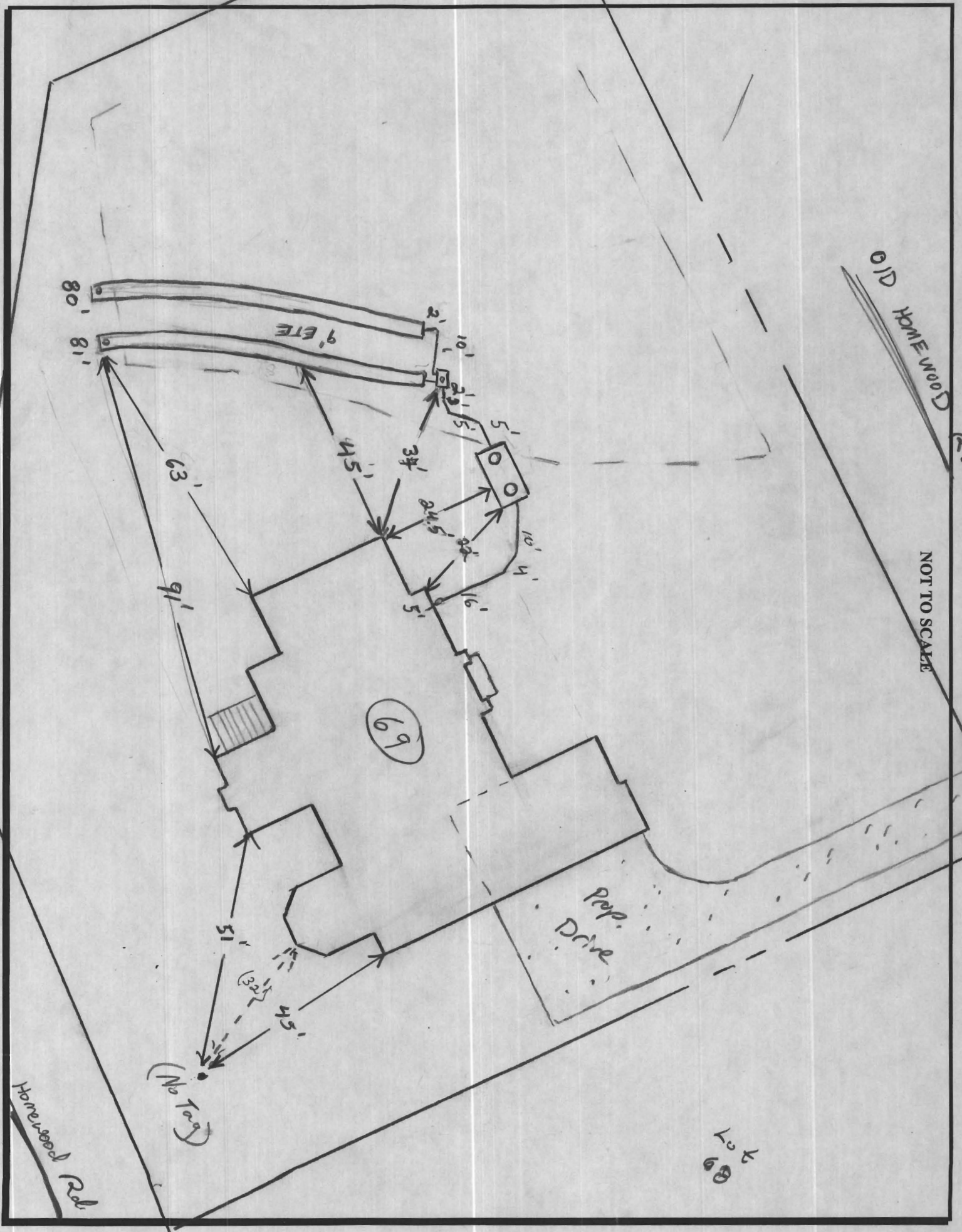
*Bo
2 comp
slotted*

ROAD

PRE-CONSTRUCTION 2/14/08 Set Tank 20' from house, Install 2x80 trenches on contour running towards west prop. line. OK to INSTALLATION pull ends of trenches out of SRA a few feet. (KW)

2/19/08 House connection made, plumbing up to Tank. Tank hole dug. (KW) 2/20/08 Tank set. Baffles installed w/ Riser. OK to continue. No trenches dug. (KW) 2/21/08 D box set, 1/2 way dug and stored top trench. Only 6.5' depth. need to go deeper to 7'. Must verify depth's before covering rest of top trench (KW) 2/25/08 Top trench finished. Bottom trench 3/4 finished. Inlets and Depth's on trenches

FINAL INSPECTOR R. Kuff DATE OF APPROVAL 2/25/08
 reiterated. OK to Back fill trenches when finished. Sys. complete



NOT TO SCALE

10
6
7

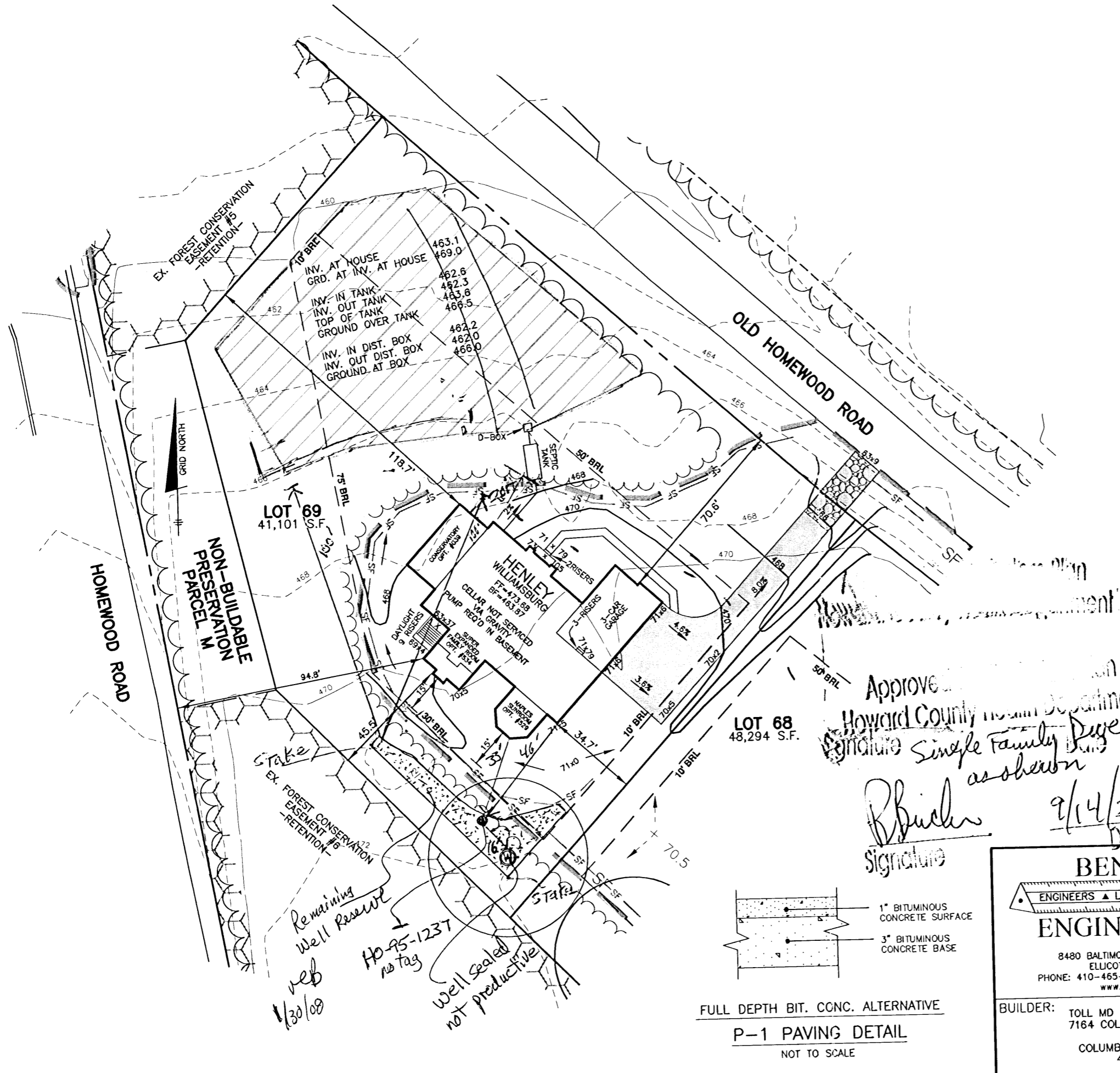
11119 Old Homewood Ct

NOTES:

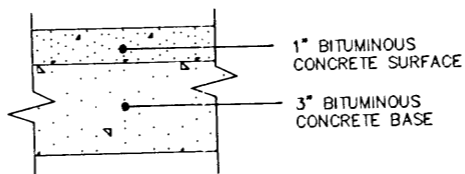
1. THE LOT SHOWN HEREON WAS RECORDED ON MAY 2, 2006 AS PLAT NUMBER 18245. REFER TO THIS PLAT FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND BUILDING RESTRICTIONS.
2. THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF 10,000 SQUARE FEET AS REQUIRED BY THE STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA IS RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT PLAT SHALL NOT BE NECESSARY.
3. EXACT LENGTH OF SEPTIC TRENCHES ARE TO BE DETERMINED BY THE HEALTH DEPARTMENT AT THE TIME OF PRECONSTRUCTION INSPECTION.
4. SPOIL FROM THE TRENCHING OF THE SEPTIC AREA IS TO BE PLACED ON THE UPHILL SIDE OF THE EXCAVATION FOR EACH INDIVIDUAL LOT.
5. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER F-05-069 AND GP-07-067 AND SHALL COMPLY WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
6. STORMWATER MANAGEMENT FOR THIS LOT WAS PROVIDED UNDER F-05-069.
7. THE EXISTING WELL (TAG NO. HO-) SHOWN ON THIS PLAN HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC. ON AND IS ACCURATELY SHOWN.
8. DRIVEWAY CULVERT IS NOT REQUIRED FOR THIS LOT'S DRIVEWAY AS THERE IS NO SIDE DITCH ALONG THE EXISTING ROAD. FLOW DRAINS ACROSS EXISTING PAVEMENT INTO DITCH ON OPPOSITE SIDE OF ROAD.

LEGEND

- EXISTING CONTOURS ESTABLISHED UNDER F-05-069
- FIELD SURVEYED WELL LOCATION
- STREET TREES INSTALLED UNDER F-05-069
- INDICATES WALK-OUT BASEMENT LOCATION
- STABILIZED CONSTRUCTION ENTRANCE INSTALLED UNDER GP-07-067
- SUPER SILT FENCE INSTALLED UNDER F-05-069
- SUPER SILT FENCE INSTALLED UNDER GP-07-067
- SILT FENCE INSTALLED UNDER F-05-069
- LIMIT OF DISTURBANCE UNDER F-05-069



Approved by
 Howard County Health Department
 Signature: *Single Family Dwelling as shown*
R. Bucher
 Signature
 Date: 9/14/2007



FULL DEPTH BIT. CONC. ALTERNATIVE
P-1 PAVING DETAIL
 NOT TO SCALE

BENCHMARK
 ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE ▲ SUITE 418
 ELLICOTT CITY, MARYLAND 21043
 PHONE: 410-465-6105 FAX: 410-465-6644
 www.bei-civilengineering.com

BUILDER: TOLL MD III LIMITED PARTNERSHIP
 7164 COLUMBIA GATEWAY DRIVE
 SUITE 230
 COLUMBIA, MARYLAND 21046
 410-872-9105

HOMWOOD CROSSING
LOT 69

INDEPENDENCE WAY
 TAX MAP 29, GRID 9 - PARCEL 28
 3rd ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

HENLEY
GEORGIAN ELEVATION

DATE:	AUGUST 22, 2007	PROJECT NO.	1913
SCALE:	1" = 40'	DRAWING	1 OF 1

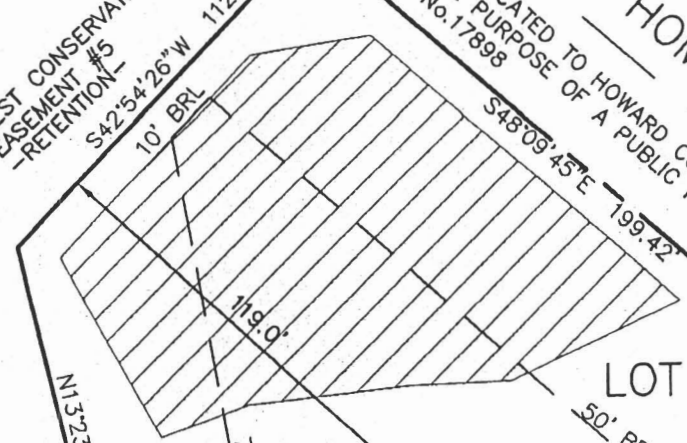


OLD HOMEWOOD ROAD
LAND DEDICATED TO HOWARD COUNTY, MARYLAND
FOR THE PURPOSE OF A PUBLIC ROADWAY.
PLAT No. 17898

EX. FOREST CONSERVATION
EASEMENT #5
RETENTION
S42°54'26"W 112.84'
10' BRL

NON-BUILDABLE
PRESERVATION
PARCEL M
N13°23'05"W 139.93'

HOMWOOD ROAD
MAJOR COLLECTOR



LOT 69

L=35.79'
R=1195.00'

SEE DETAIL

EX. FOREST CONSERVATION
EASEMENT #6
RETENTION
N44°31'55"W 123.53'

NON-BUILDABLE
PRESERVATION
PARCEL M

WELL
NO TAG No.



FOUNDATION DETAIL
SCALE: 1" = 30'

WALL CHECK
HOMWOOD CROSSING PHASE 2
LOTS 44 THRU 79
PLAT No. 18245
LOT No. 69

11119 OLD HOMEWOOD ROAD

3RD ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

FIELD OBS. BY KLD
COMP. BY EWF
DRAWN BY EWF
SCALE: 1" = 50' DATE: 12/17/07



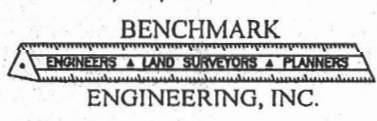
TOP OF FOUNDATION WALL ELEVATION = 472.5'
OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.2'

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL
KNOWLEDGE, INFORMATION AND BELIEF, THAT THE
DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON
ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN
SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC.
ON 12/17/07.

Stephan Jalon 12/19/07

STEPHAN JALON
PROFESSIONAL LAND SURVEYOR
MD REG. No. 10726
FOR BENCHMARK ENGINEERING, INC.
MD REG. No. 351
FEMA FIRM No. 240044 0027 B
ZONE: C
DATED: 12/04/86



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