



40044  
2049 #  
2045

# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: 8/14/14

Permit No.: B14002986

Building Address: 2045 DROVERS LN.  
 City: Cooksville State: MD Zip Code: 21723  
 Suite/Apt. #: - SDP/WP/BA #: 6P-09-86  
 Census Tract: \_\_\_\_\_ Subdivision: VISTA RIDGE  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 15  
 Tax Map: 8 Parcel: 176 Grid: 23  
 Zoning: \_\_\_\_\_ Map Coordinates: 469249 Lot Size: \_\_\_\_\_

Property Owner's Name: DR HORTON INC.  
 Address: 1356 BEVERLY RD.  
 City: McLEAN State: VA Zip Code: 22101  
 Phone: 571-723-0813 Fax: 800-551-5015  
 Email: \_\_\_\_\_

Existing Use: VACANT LOT  
 Proposed Use: NEW SFD  
 Estimated Construction Cost: \$ 300,000  
 Description of Work: SETBACK W/ 4' FHM RM.  
EXT. REM SUNROOM  
2 STORY, FULL BSMT, 14R  
 Occupant or Tenant: 3 FB, 1 HB, FPE, 3 CM  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: GAINOR (4BR)  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (If other than stated herein)  
 Applicant's Name: Vicky Meyer  
 Address: 1602 PINNACLE RD  
 City: TOWSON State: MD Zip Code: 21286  
 Phone: 410-296-6900 Fax: \_\_\_\_\_  
 Email: mdBldgPermits@comcast.net

Contractor Company: DR HORTON INC.  
 Contact Person: MELANIE COOKE  
 Address: 1356 BEVERLY RD.  
 City: McLEAN State: VA Zip Code: 22101  
 License No.: 535  
 Phone: 571-723-0813 Fax: 800-551-5015  
 Email: ML.COOKE@DRHORTON.COM

Engineer/Architect Company: BENCHMARK ENGINEERING  
 Responsible Design Prof.: JOHN CAMEY  
 Address: 8480 BATHO, N'L PIKE  
 City: ELLSWORTH CITY State: MD Zip Code: 21043  
 Phone: 410-465-6105 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
	<input checked="" type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input checked="" type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<b>Heating System</b>	
<input type="checkbox"/> Electric	<input type="checkbox"/> Oil
<input checked="" type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Grading Permit Number: <u>G-12000277</u>	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: V. Meyer  
 Email Address: mdBldgPermits@comcast.net  
 Title/Company: AGENT

Print Name: Vicky Meyer  
 Date: 8/14/14  
 RECEIVED AUG 14 2014  
 LICENSES & PERMITS DIVISION  
 ck# 503841

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health		

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

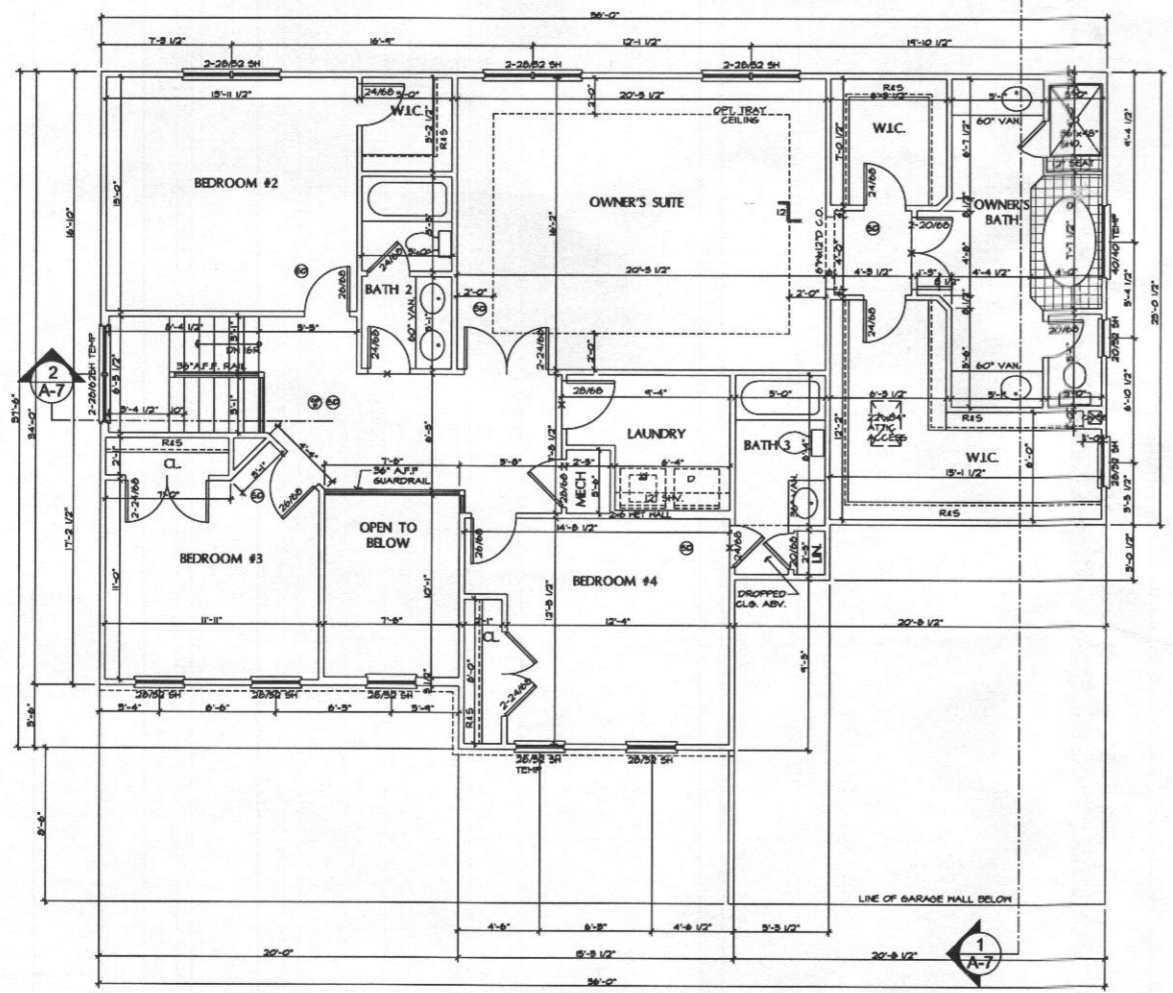
DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>180.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50.00</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>503841</u>

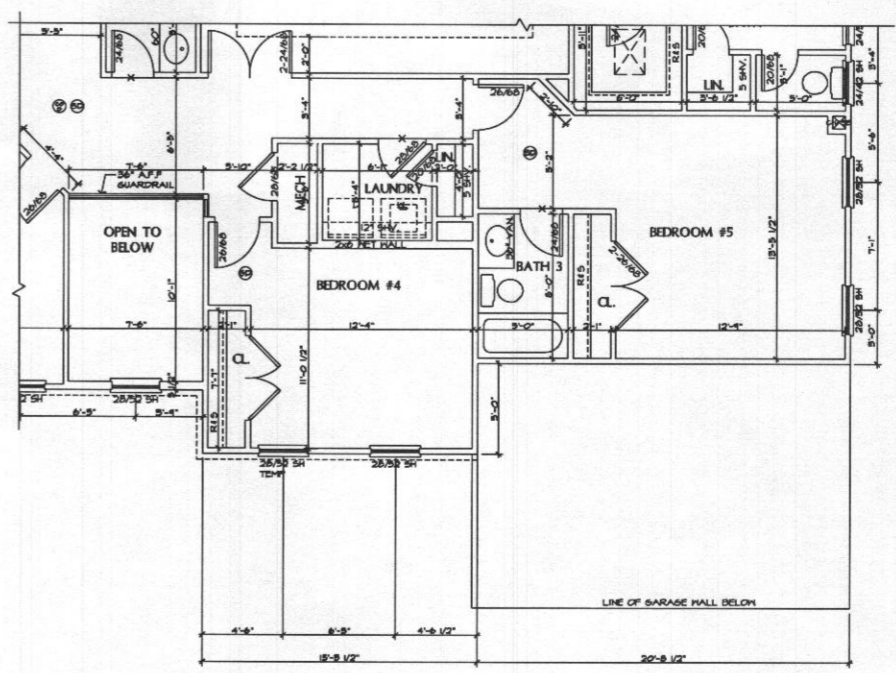




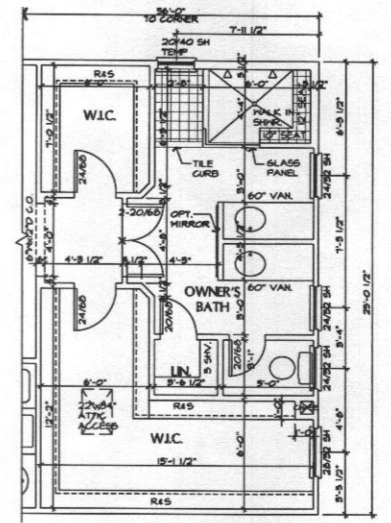
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**1 SECOND FLOOR PLAN @ ELEV. A**  
 SCALE: 1/4" = 1'-0"  
 AREA: 1642 SQ. FT.



**2 PARTIAL SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 AREA: 977 SQ. FT. @ OPT. 5TH BEDROOM



**3 PARTIAL SECOND FLOOR PLAN @ ALT. OWNER'S BATH**  
 SCALE: 1/4" = 1'-0"

NOTE:  
 PROVIDE WINDOW FALL PREVENTION DEVICE IN COMPLIANCE WITH ASPI P1008 OR P1009 ON ALL OPERABLE WINDOWS WHERE THE OPENING IS LOCATED MORE THAN 10' (INCHES) ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW AND WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 34" INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.

Professional certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Virginia, license number 8858. Expiration Date: 09/28/2017.



CLIENT:  
 D. R. HORTON  
 CAPITAL DIVISION  
 1356 Beverly Rd., Suite #100  
 McLean, VA 22101  
 703-345-8001

**#3399 - THE GLEN ABBEY**

CLIENT: D. R. HORTON CAPITAL DIVISION

1	07/14/15	ARCHITECT
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3	07/14/15	ARCHITECT
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DESIGN DELIVERABLE: ISSUE TYPE  
 ISSUE DATE:

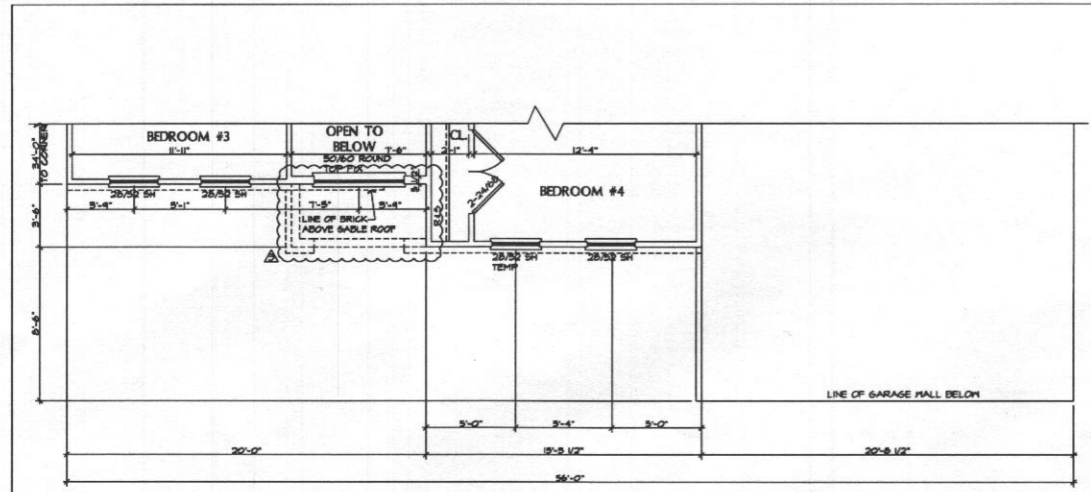
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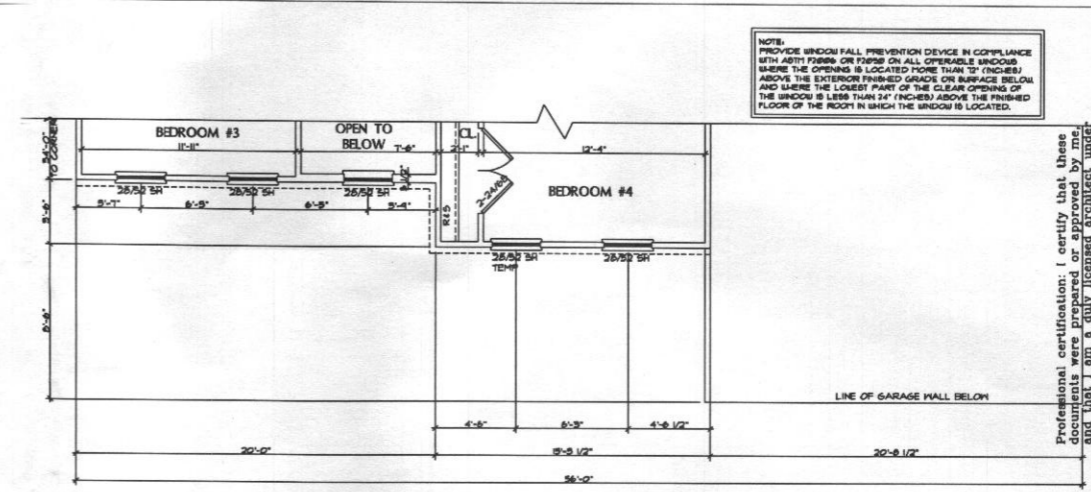
**SECOND FLOOR PLAN**

SHEET NUMBER:

**A.3**



3 PARTIAL SECOND FLOOR PLAN @ ELEV. B  
A.3.1 SCALE 1/4"=1'-0"



6 PARTIAL SECOND FLOOR PLAN @ ELEV. C  
A.3.1 SCALE 1/4"=1'-0"

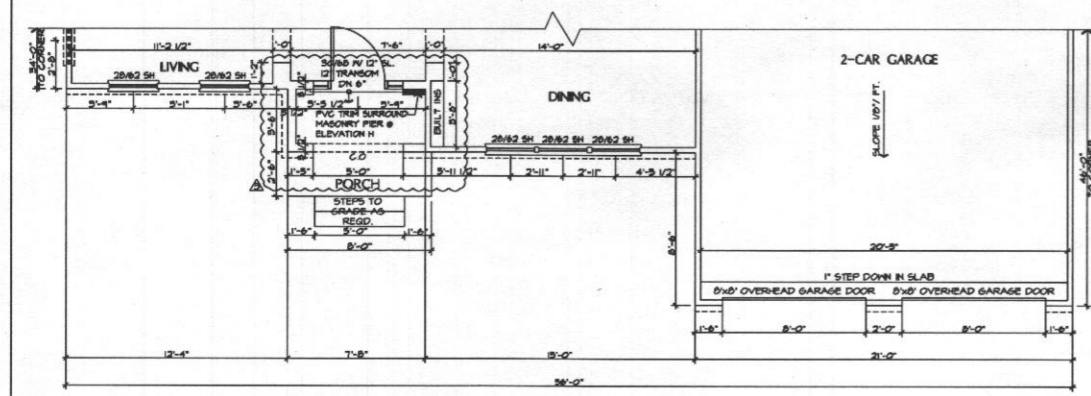
NOTE:  
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Professional certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under number 8588. Expiration Date: 06/23/2017.

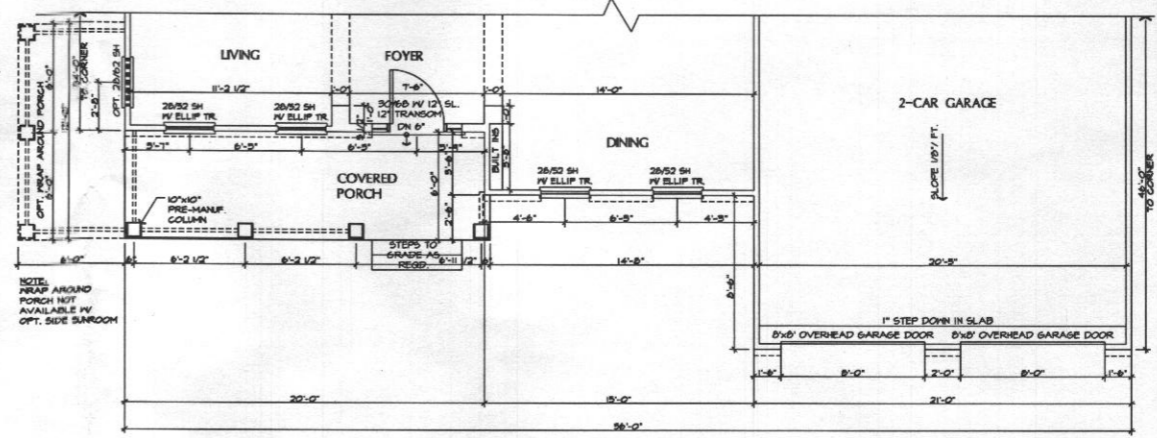


D. R. HORTON  
CAPITAL DIVISION  
1356 Beverly Rd, Suite #300  
McLean, VA 22101  
703-345-8001

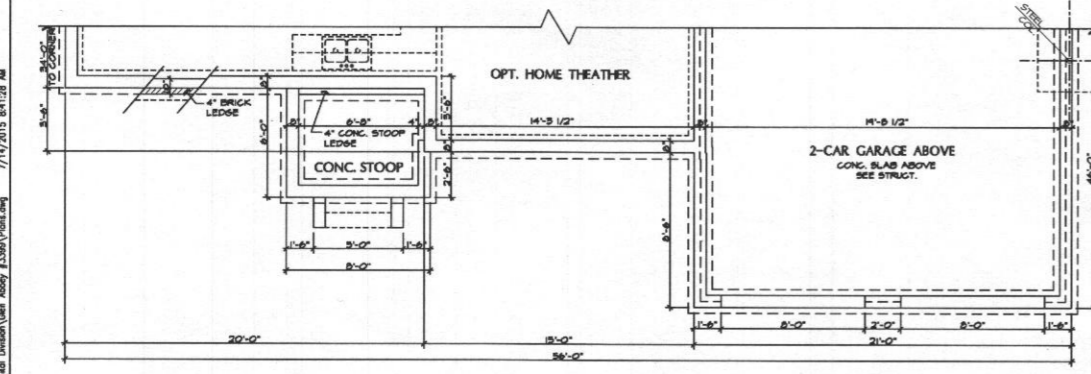
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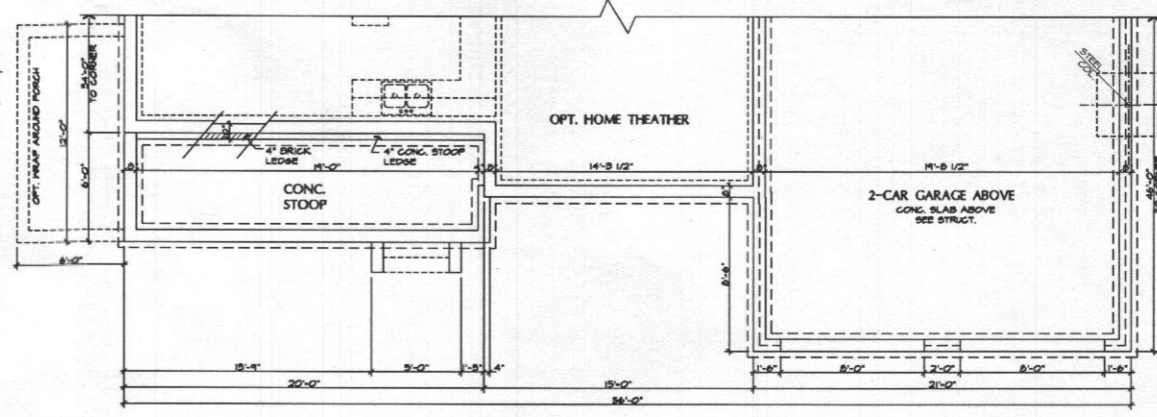
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A.3.1 SCALE 1/4"=1'-0"



5 PARTIAL FIRST FLOOR PLAN @ C  
A.3.1 SCALE 1/4"=1'-0"



1 PARTIAL BASEMENT FLOOR PLAN @ B  
A.3.1 SCALE 1/4"=1'-0"



4 PARTIAL BASEMENT FLOOR PLAN @ C  
A.3.1 SCALE 1/4"=1'-0"

#3399 - THE GLEN ABBEY

CLIENT: D. R. HORTON CAPITAL DIVISION

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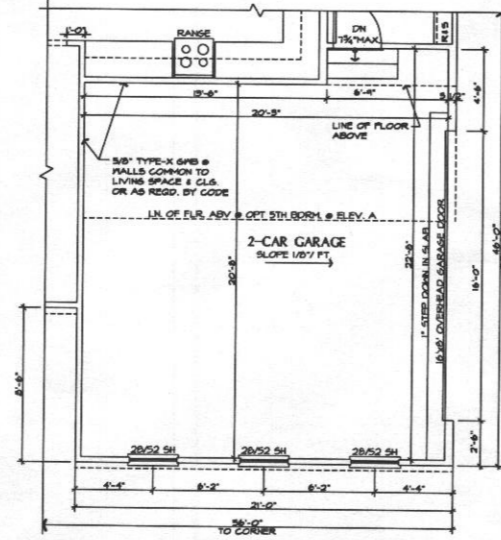
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ISSUE DATE:  
PROJECT NUMBER: 20110682.00  
DRAWN BY: RV  
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PARTIAL FLOOR PLAN @ ELEV. B & ELEV. C

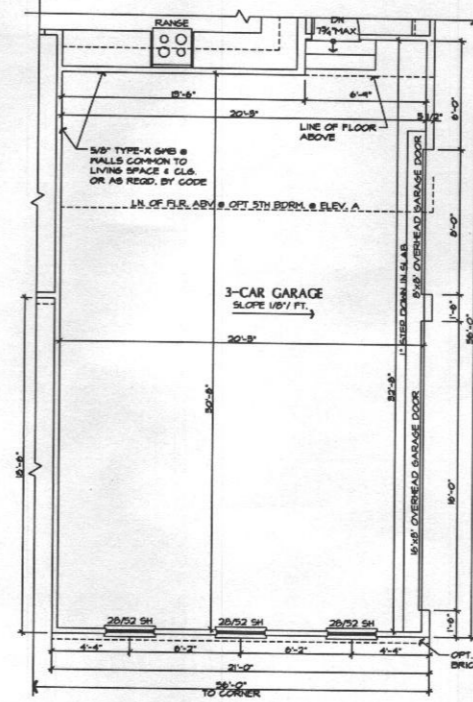
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A.3.1

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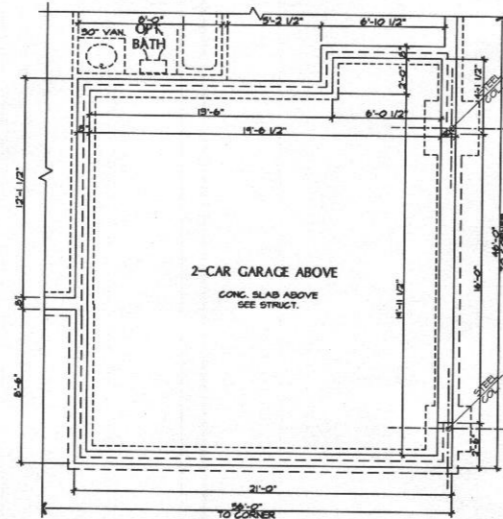
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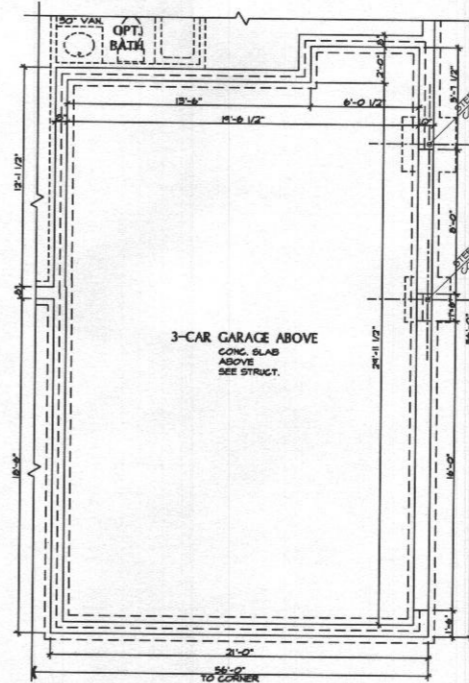
**2 PARTIAL FIRST FLOOR PLAN**  
 SCALE 1/4"=1'-0" W 2-CAR SIDE LOAD GARAGE



**4 PARTIAL FIRST FLOOR PLAN**  
 SCALE 1/4"=1'-0" W 3-CAR SIDE LOAD GARAGE



**1 PARTIAL BASEMENT FLOOR PLAN**  
 SCALE 1/4"=1'-0" W 2-CAR SIDE LOAD GARAGE



**3 PARTIAL BASEMENT FLOOR PLAN**  
 SCALE 1/4"=1'-0" W 3-CAR SIDE LOAD GARAGE

NOTE: PROVIDE WINDOW FALL PREVENTION DEVICE IN COMPLIANCE WITH 40TH FLOOR OR FLOOR ON ALL OPERABLE WINDOWS WHERE THE OPENING IS LOCATED MORE THAN 20" (INCHES) ABOVE THE EXTERIOR FINISHED GARAGE OR SURFACE BELOW AND WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" (INCHES) ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.

Professional certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 8588, Expiration Date: 05/28/2017.



CLIENT: D. R. HORTON  
 CAPITAL DIVISION  
 1356 Beverly Rd, Suite #300  
 McLean, VA 22101  
 703-389-8001

CONSULTANT:

14

#3399 - THE GLEN ABBEY

CLIENT: D. R. HORTON CAPITAL DIVISION

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	7/14/2015
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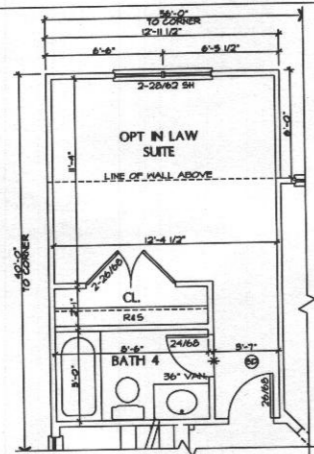
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 ISSUE DATE:

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 CHECKED BY: SA

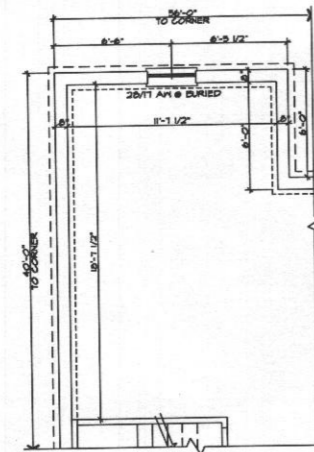
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**PARTIAL FLOOR PLAN @ 2 & 3 CAR GARAGE SIDE LOAD**

SHEET NAME: **A.3.2**

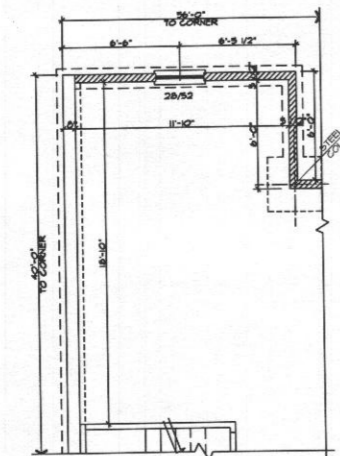
1: Single Family/DRH - Capital Division/Glen Abbey 13389/Vista Ave 7/14/2015 8:41:32 AM



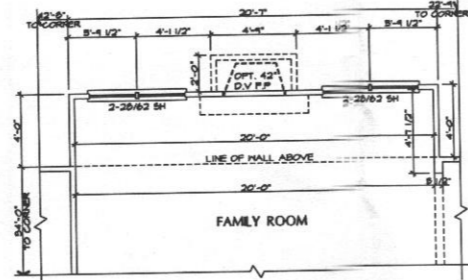
3 PARTIAL FIRST FLOOR PLAN  
A.3.3 SCALE 1/4"=1'-0" @ IN LAW SUITE EXT.



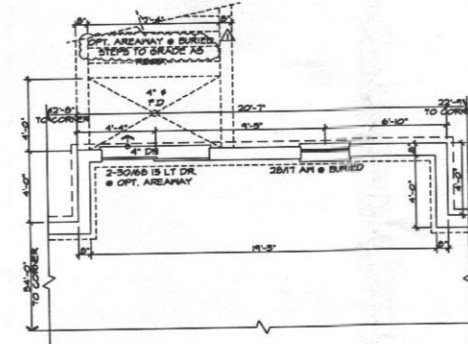
2 PARTIAL BASEMENT FLOOR PLAN  
A.3.3 SCALE 1/4"=1'-0" @ IN LAW SUITE EXT.



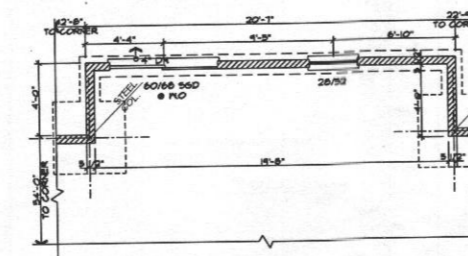
1 PARTIAL BASEMENT FLOOR PLAN  
A.3.3 SCALE 1/4"=1'-0" W/ IN LAW SUITE EXT. @ P.O.



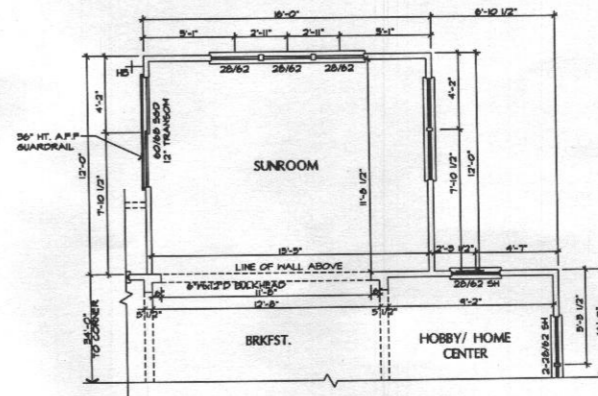
6 PARTIAL FIRST FLOOR PLAN  
A.3.3 SCALE 1/4"=1'-0" @ FAMILY ROOM EXT.



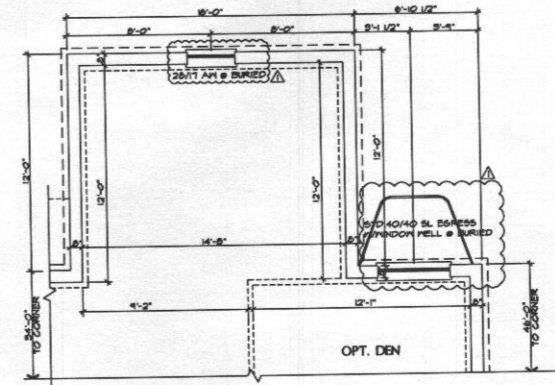
5 PARTIAL BASEMENT FLOOR PLAN  
A.3.3 SCALE 1/4"=1'-0" @ FAMILY ROOM EXT.



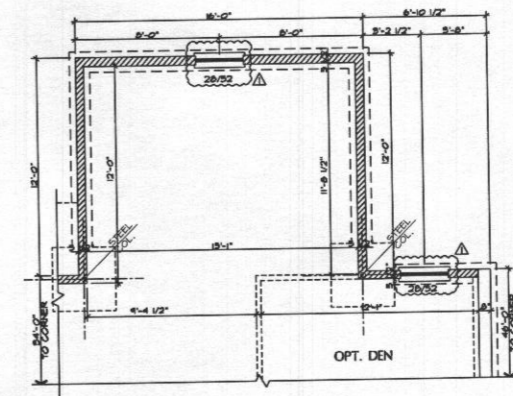
4 PARTIAL BASEMENT FLOOR PLAN  
A.3.3 SCALE 1/4"=1'-0" W/ FAMILY ROOM EXT. @ P.O.



9 PARTIAL FIRST FLOOR PLAN  
A.3.3 SCALE 1/4"=1'-0" @ SUNROOM EXT.



8 PARTIAL BASEMENT FLOOR PLAN  
A.3.3 SCALE 1/4"=1'-0" @ SUNROOM EXT.



7 PARTIAL BASEMENT FLOOR PLAN  
A.3.3 SCALE 1/4"=1'-0" W/ SUNROOM EXT. @ P.O.

NOTE: PROVIDE WINDOW FALL PREVENTION DEVICE IN COMPLIANCE WITH ASTM F2092 OR F2093 ON ALL OPERABLE WINDOWS WHERE THE OPENING IS LOCATED MORE THAN 1' (TWO FEET) ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW AND WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 36" (THREE FEET) ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.



D. R. HORTON  
CAPITAL DIVISION  
1356 Beverly Rd, Suite #300  
McLean, VA 22101  
703-385-8001

Professional certification: I certify that these documents were prepared by me or under my direct supervision and I am a duly licensed architect under the laws of the State of Maryland, license number 85588. Expiration date: 05/26/2017.

#3399 - THE GLEN ABBEY

CLIENT: D. R. HORTON CAPITAL DIVISION

1	PARTIAL FIRST FLOOR PLAN
2	PARTIAL BASEMENT FLOOR PLAN
3	PARTIAL FIRST FLOOR PLAN
4	PARTIAL BASEMENT FLOOR PLAN
5	PARTIAL BASEMENT FLOOR PLAN
6	PARTIAL FIRST FLOOR PLAN
7	PARTIAL BASEMENT FLOOR PLAN
8	PARTIAL BASEMENT FLOOR PLAN
9	PARTIAL FIRST FLOOR PLAN

DESIGN DELIVERABLE: ISSUE TYPE  
ISSUE DATE:  
PROJECT NUMBER: 20110462.00  
DRAWN BY: RV  
CHECKED BY: SA

PARTIAL FLOOR PLAN @ OPTIONAL EXTENSION

A.3.3







CLIENT:  
D.R. HORTON  
CAPITAL DIVISION  
1356 Beverly Rd., Suite #300  
McLean, VA 22101  
P: 703-385-8001

# D.R. HORTON CAPITAL DIVISION

## #4426 - SOMERSET

Lot 15  
2049 Drovers Lane  
OWNER

1 Bedroom in Basement  
4 " on 2nd Floor  
5 Bedrooms total

### GENERAL REQUIREMENTS

**BUILDER, CONTRACTOR, SUB-CONTRACTOR RESPONSIBILITIES**  
The term Work as used in construction documents shall include all provisions as drawn or specified in these documents as well as other provisions specifically included by the Architect in the form of drawings, specifications, written and other instructions issued by the Architect.

1. Contractor/Builder understands that drawings graphically depict design intent of the project. Locations and dimensions shown on drawings are diagrammatic. Builder/Contractor understands that drawings show the general arrangement, design and extent of Work and are not intended to be scaled for measurements or serve as shop drawings.

2. Contractor/Builder shall properly fabricate, transport, fabricate, install, erect, construct and test, finish and supply all labor, materials, labor, equipment, apparatus, appurtenances, and all other items and expenses necessary to properly complete the Work in place and ready for operation or use as intended for by the Architect.

3. Contractor/Builder shall be familiar with provisions of all applicable codes, shall ensure compliance with same and shall be responsible for and be required to discover, through exercising care, skill and diligence in reviewing the Construction Drawings, any omissions, and discrepancies and shall bring same to the attention of the Architect prior to construction.

4. By executing the Contract, the Contractor/Builder warrants that he has closely inspected the site and it's environs, and has determined to his satisfaction the physical condition of such, furnished himself with the local conditions under which the Work is to be performed, compared his observations with the requirements of the Construction Drawings, and knows of no other information required to complete the Work as intended for by the Architect, and as per local jurisdiction requirements.

5. If any item or material is not shown or omitted on the drawings, but is otherwise reasonably inferable therefrom, the Contractor shall inform Architect, and be required to furnish and install such item or material which conforms to the type and quality of similar items otherwise established in the Construction Drawings and Specifications.

6. Where a typical detail is shown or indicated on the drawings, that condition shall be representative of and shall constitute the standard for workmanship, materials, and performance for conditions and materials and workmanship throughout corresponding and similar conditions throughout the Work.

7. The Contractor/Builder are responsible for thoroughly examining all drawings, specifications and applicable codes, as well as making all actual measurements and establishing all actual dimensions for each particular type of Work, and for co-ordinating the Work described, and also responsible for determining the exact scope of Work for each section, as well as checking cross references of Work, and any Work excluded from any section.

8. By making substitution of products or procedures in the Work, the Contractor/Builder represents that he has personally investigated the proposed substitute and determined that it is equal or superior in all respects to that specified; represents that he will provide equal or better warranty for the substitution; represents that he will co-ordinate the installation of the approved substitute, making all changes as may be required.

9. Where reference is made in these documents to Builder/Contractor, it shall refer to Builder, General Contractor, and all Sub-Contractors and their employees.

10. Nothing hereunder shall create any contractual relationship between the Architect and any sub-contractor.

11. These documents do not include the necessary components for construction safety, care of adjacent properties during construction, compliance with state and federal regulations regarding safety. Compliance with all safety requirements shall be the Contractor's responsibility. Contractor/Builder shall supervise and direct the Work and be solely responsible for all construction means, methods, techniques and safety procedures, and for coordinating all portions of the Work.

### OWNER

D.R. HORTON CAPITAL DIVISION  
1356 BEVERLY RD., SUITE 300  
MCLEAN, VA 22101  
703.385.8001  
703.385.8002 - FAX

### ARCHITECT

KTGY GROUP, INC.  
8625 WESTWOOD CENTER DR., SUITE #300  
TYSON CORNER, VA 22091  
703.922.6716  
703.922.6428 - FAX

### STRUCTURAL ENGINEER

ALLIANCE STRUCTURAL ENGINEERS, Inc.  
12355 SUNRISE VALLEY DRIVE, SUITE 220  
RESTON, VA 20191  
703.749.7941  
703.749.7942 - FAX

### CODE INFORMATION

GOVERNING CODE BOOK: IRC 200 AS AMENDED BY LOCAL JURISDICTION

### SQUARE FOOTAGE

AS PER NRS STANDARDS  
STANDARD FIRST FLOOR: 2,245 SF.  
STANDARD SECOND FLOOR: 2,247 SF.  
TOTAL: 4,492 SF.

FIRST FLOOR OPTIONS:  
REAR SUNROOM: 272 SF.  
SIDE SUNROOM: 17' x 33' = 561 SF.  
17' x 33' = 561 SF.

### LIST OF DRAWINGS

- CS-1 COVER SHEET
- SP-1 SPECIFICATIONS
- SP-2 SPECIFICATIONS
- SP-3 MONTGOMERY COUNTY CHECKLIST & RECORD REPORT
- A1 FOUNDATION BARRIERT PLAN
- A2 REST FLOOR PLAN
- A3 OPTIONAL FIRST FLOOR PLAN
- A31 SECOND FLOOR PLAN
- A32 PARTIAL FLOOR PLAN @ REV. B
- A33 PARTIAL FLOOR PLAN @ REV. C
- A34 PARTIAL FLOOR PLAN @ REV. C
- A35 PARTIAL FLOOR PLAN @ REV. C
- A36 PARTIAL FLOOR PLAN @ REV. C
- A37 PARTIAL FLOOR PLAN @ REV. C
- A38 PARTIAL FLOOR PLAN @ REV. C
- A39 PARTIAL FLOOR PLAN @ REV. C
- A4 FRONT ELEVATION ALJW
- A41 FRONT ELEVATION ALJW
- A42 FRONT ELEVATION ALJW
- A43 FRONT ELEVATION ALJW
- A44 FRONT ELEVATION ALJW
- A45 FRONT ELEVATION ALJW
- A46 FRONT ELEVATION ALJW
- A47 FRONT ELEVATION ALJW
- A48 FRONT ELEVATION ALJW
- A49 FRONT ELEVATION ALJW
- A5 REAR ELEVATION
- A51 REAR ELEVATION
- A52 REAR ELEVATION
- A53 REAR ELEVATION
- A54 REAR ELEVATION
- A55 REAR ELEVATION
- A56 REAR ELEVATION
- A57 REAR ELEVATION
- A58 REAR ELEVATION
- A59 REAR ELEVATION
- SB-1 SIDE SUNROOM
- SB-2 SIDE SUNROOM
- SB-3 SIDE SUNROOM
- SB-4 SIDE SUNROOM
- SB-5 SIDE SUNROOM
- SB-6 SIDE SUNROOM
- SB-7 SIDE SUNROOM
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- SB-96 SIDE SUNROOM
- SB-97 SIDE SUNROOM
- SB-98 SIDE SUNROOM
- SB-99 SIDE SUNROOM
- SB-100 SIDE SUNROOM
- E1 ELECTRICAL ON BASEMENT
- E2 ELECTRICAL ON 1ST FLOOR
- E3 ELECTRICAL ON 2ND FLOOR
- D1 DETAILS
- D2 DETAILS
- D3 DETAILS

#4426 - THE SOMERSET

CLIENT: D.R. HORTON CAPITAL DIVISION

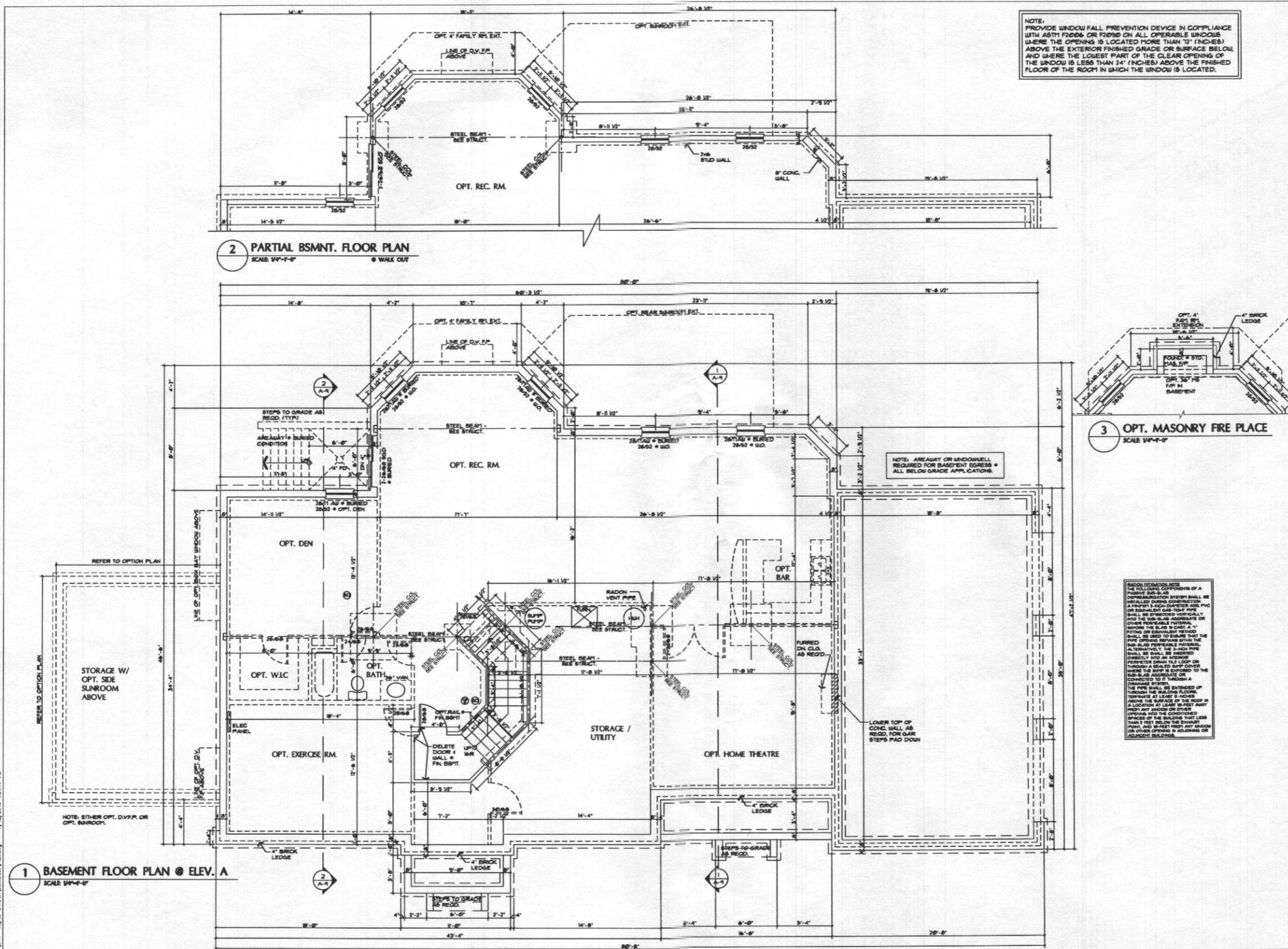
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ISSUE DATE:

PROJECT NUMBER: 20120015.00  
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CHECKED BY: SA

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SHEET TITLE:  
**COVER SHEET**

SHEET NUMBER:  
**CS**

10/10/14 Capital Division Somerset/Planning 7/12/2013 4:31:17 PM



NOTE: PROVIDE WINDOW FALL PREVENTION DEVICE IN COMPLIANCE WITH ASTM F2090 OR F2091 ON ALL OPERABLE WINDOWS WHERE THE OPENING IS LOCATED MORE THAN 12" (INCHES) ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW AND WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" (INCHES) ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.

NOTE: BREAKAWAY OR WINDOWWELL REQUIRED FOR BASEMENT EGRESS - ALL BELOW GRADE APPLICATIONS.

RADON MITIGATION MEASURE: THE FOLLOWING COMPONENTS OF A RADON RESISTANT ENTRY SYSTEM SHALL BE INSTALLED DURING CONSTRUCTION: A. FRESH AIR INLET SYSTEM: PVC OR EQUIVALENT AIR INTAKE PIPE SHALL BE EXTENDED VERTICALLY THROUGH THE SLAB AND ABOVE THE OTHER PERMEABLE MATERIALS INSIDE THE SLAB TO ABOUT 4" FITTING OR EQUIVALENT METHOD SHALL BE USED TO INSURE THAT THE PIPE CANNOT SEPARATE FROM THE SLAB. PERMEABLE MATERIAL SHALL BE INSTALLED OVER THE PIPE. THE PIPE SHALL BE INSERTED DIRECTLY INTO AN EXISTING PERFORATED DRAIN TILE LOOP OR THROUGH A SEALED RIFT COVER WHERE THE RIFT IS EXPOSED TO THE SUB-SLAB AIRSPACE. B. CHANGES TO THE EXISTING DRAINAGE SYSTEM: THE PIPE SHALL BE EXTENDED UP THROUGH THE BUILDING FLOOR, THROUGH AT LEAST 8" ABOVE THE SURFACE OF THE ROOM IN A LOCATION AT LEAST 8" FROM THE PERIMETER OF THE ROOM. FROM THE ROOM THE CONCENTRICED OPENING INTO THE CONCENTRICED OPENING OF THE BUILDING SHALL BE AT LEAST 8" FROM THE PERIMETER OF THE ROOM. C. OTHER OPENINGS IN ADJACENT OR ADJACENT BUILDINGS.



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CAPITAL DIVISION  
1356 Beverly Rd, Suite #300  
McLean, VA 22101  
P: 703-385-8001

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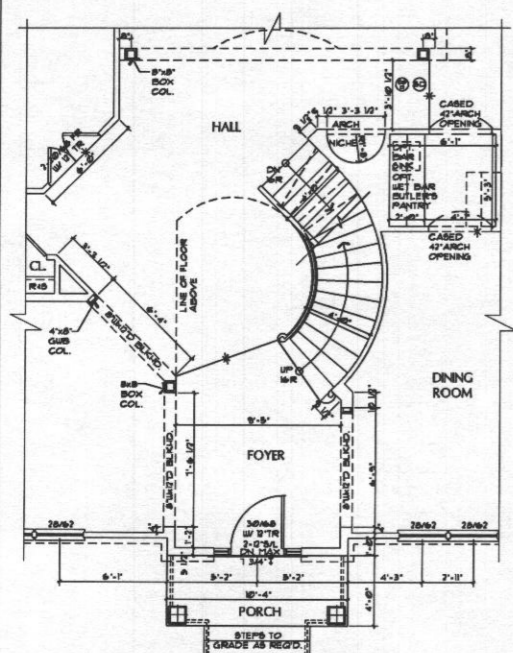
CLIENT: D. R. HORTON CAPITAL DIVISION

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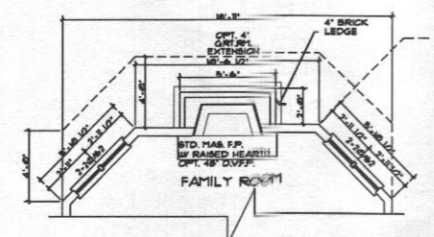
PROJECT NUMBER: 20120015.00  
DRAWN BY:  
CHECKED BY: SA

FOUNDATION/  
BASEMENT PLAN

A.1

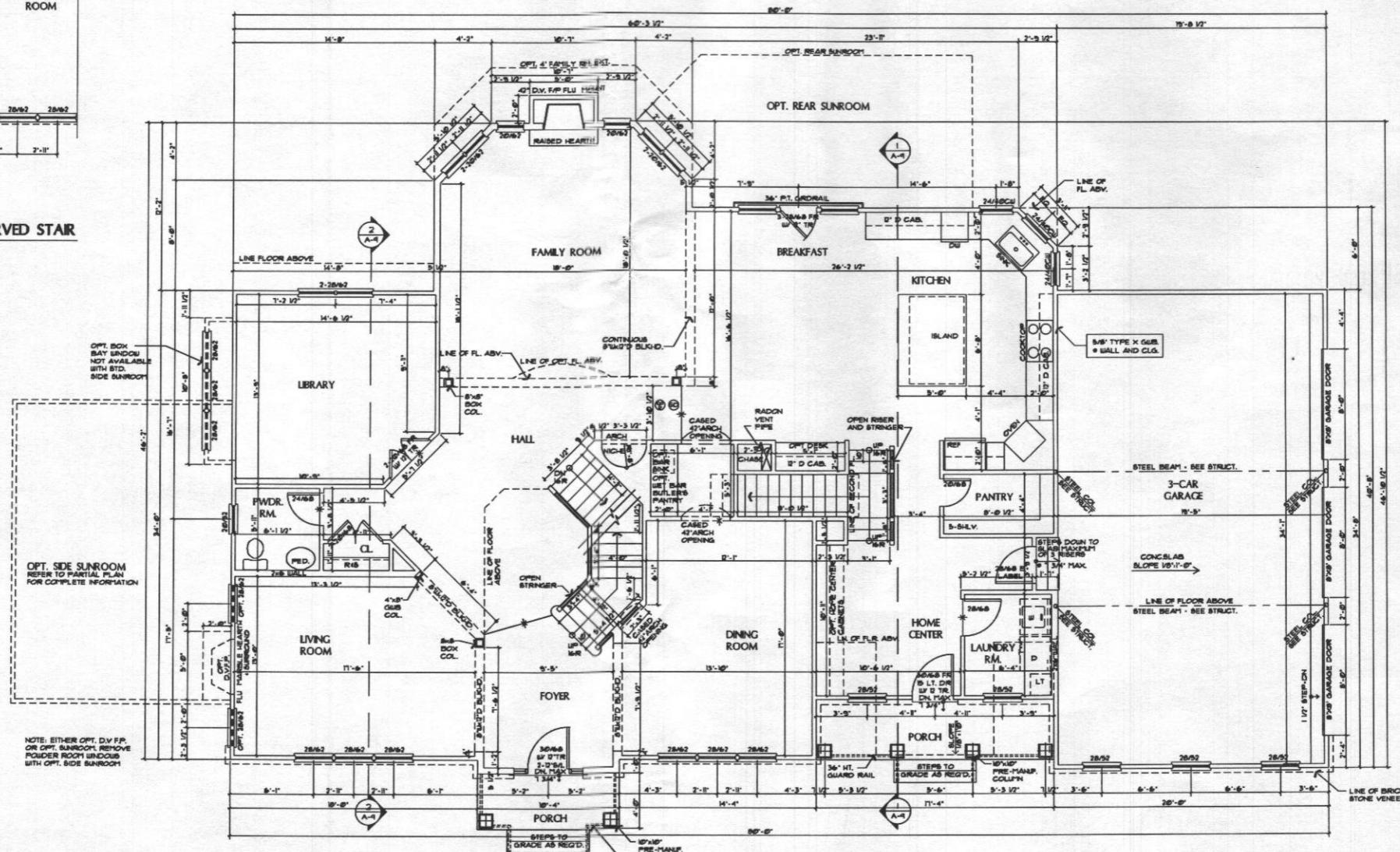


2 PARTIAL FIRST FLOOR PLAN @ CURVED STAIR  
SCALE 1/4"=1'-0"



3 OPT. MASONRY FIRE PLACE  
SCALE 1/4"=1'-0"

NOTE: PROVIDE WINDOW FALL PREVENTION DEVICE IN COMPLIANCE WITH ASTM F2006 OR F2090 ON ALL OPERABLE WINDOWS WHERE THE OPENING IS LOCATED MORE THAN 12" (INCHES) ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW AND WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" (INCHES) ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.



1 FIRST FLOOR PLAN @ ELEV. A  
SCALE 1/4"=1'-0" AREA=2345 SQ.FT.

K:\0418 - Capital Division\Sumner\Plan.dwg 7/12/2013 4:31:19 PM

OPT. BOX BAY WINDOW NOT AVAILABLE WITH STD. SIDE SUNROOM

NOTE: EITHER OPT. DV.F.P. OR OPT. SUNROOM REMOVE POWER ROOM WINDOWS WITH OPT. SIDE SUNROOM

OPT. SIDE SUNROOM REFER TO PARTIAL PLAN FOR COMPLETE INFORMATION

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 CAPITAL DIVISION  
 1300 Beverly Rd., Suite #300  
 Arlene, VA 22101  
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---

CONTRACT:

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FIRST FLOOR PLAN

---

A.2



NOTE:  
 PROVIDE WINDOW FALL PREVENTION DEVICE IN COMPLIANCE WITH ASTM F2090 OR F2098 ON ALL OPERABLE WINDOWS WHERE THE OPENING IS LOCATED MORE THAN 72" (INCHES) ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW AND WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" (INCHES) ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.



D.R. HORTON  
 CAPITAL DIVISION  
 1356 Beverly Rd, Suite #300  
 McLean, VA 22101  
 P: 703-345-8001

DESIGNER:

DATE:

SCALE:

PROJECT:

CLIENT:

NO.:

DATE:

SCALE:

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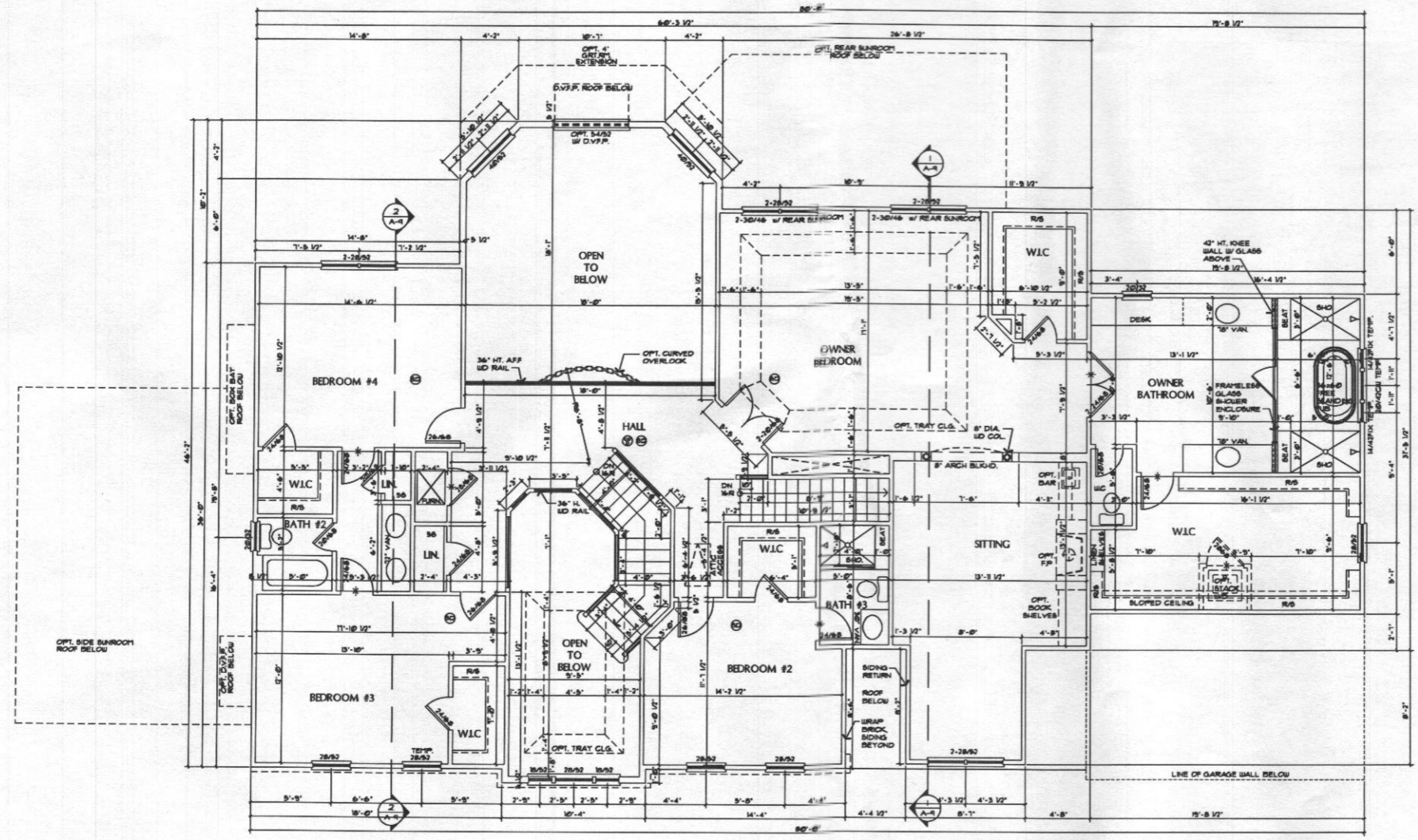
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DATE:

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PROJECT:

CLIENT:



1 SECOND FLOOR PLAN @ ELEV. A  
 SCALE: 1/4"=1'-0"  
 AREA: 2287 SQ. FT.

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SECOND FLOOR PLAN

SHEET NUMBER:

A.3

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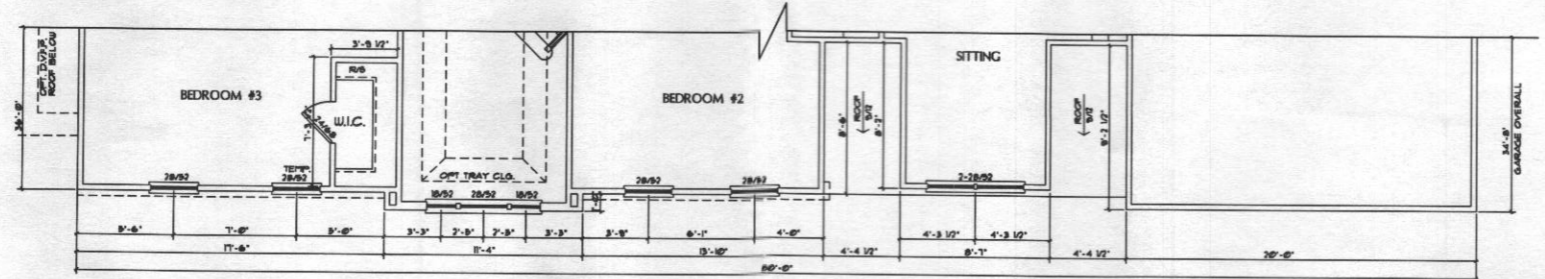
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NOTE:  
PROVIDE WINDOW FALL PREVENTION DEVICE IN COMPLIANCE WITH ASTM F2096 OR F2098 ON ALL OPERABLE WINDOWS WHERE THE OPENING IS LOCATED MORE THAN 12" (INCHES) ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW AND WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" (INCHES) ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.

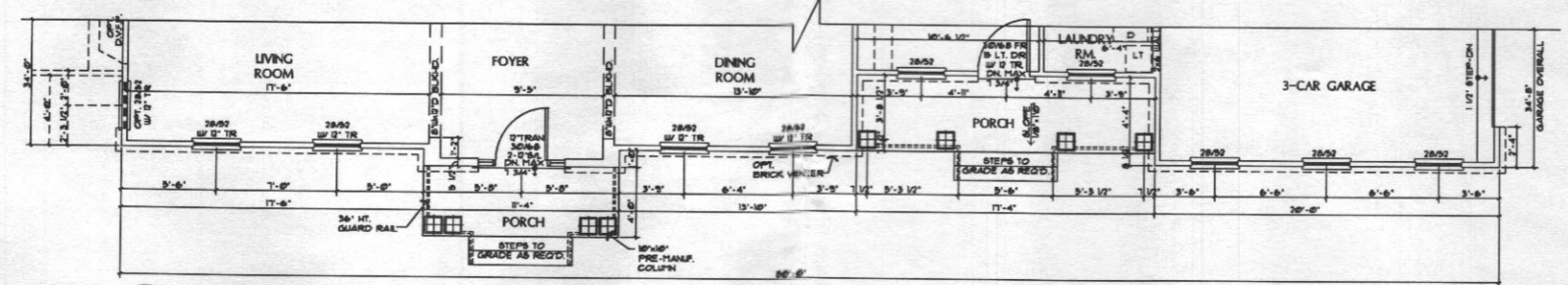


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CAPITAL DIVISION  
1356 Beverly Rd., Suite #300  
McLean, VA 22101  
P: 703-365-8001

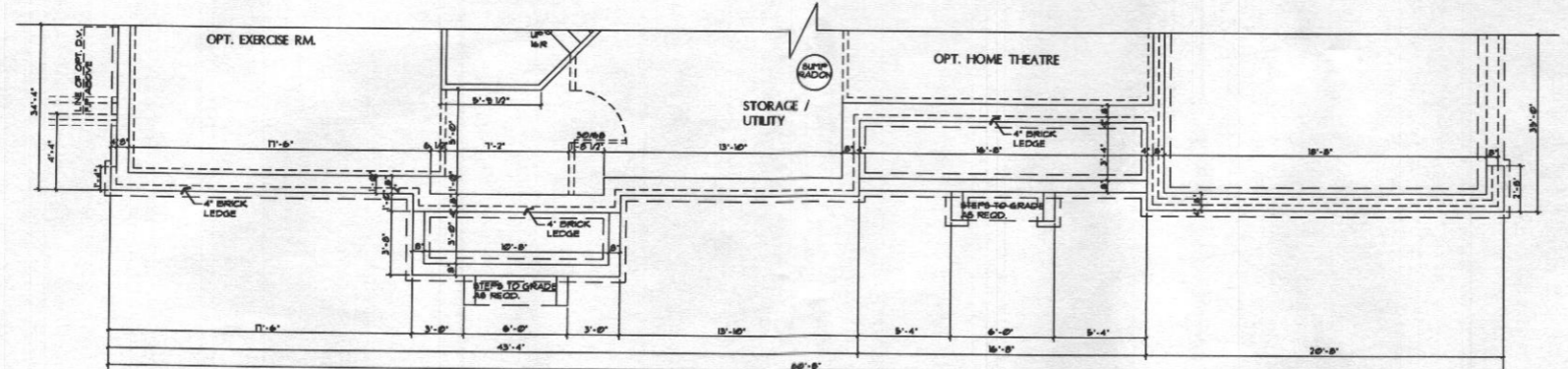
FORMALITY:



3 PARTIAL SECOND FLOOR PLAN @ B  
SCALE 1/4"=1'-0"



2 PARTIAL FIRST FLOOR PLAN @ B  
SCALE 1/4"=1'-0"



1 PARTIAL BASEMENT FLOOR PLAN @ B  
SCALE 1/4"=1'-0"

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CLIENT: D.R. HORTON CAPITAL DIVISION

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ISSUE DATE:

PROJECT NUMBER: 20120015.00

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PARTIAL FLOOR PLAN @ ELEV. B

SHEET NUMBER:  
A.3.1

NOTE:  
 PROVIDE WINDOW FALL PREVENTION DEVICE IN COMPLIANCE WITH ASTM F2090 OR F2092 ON ALL OPERABLE WINDOWS WHERE THE OPENING IS LOCATED MORE THAN 12" (INCHES) ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW AND WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" (INCHES) ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.



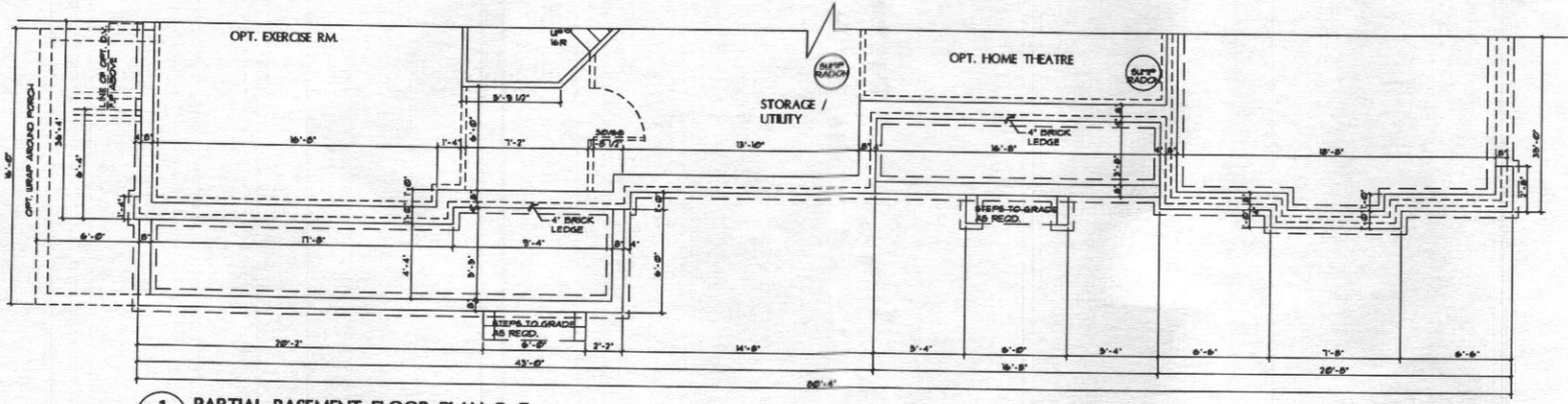
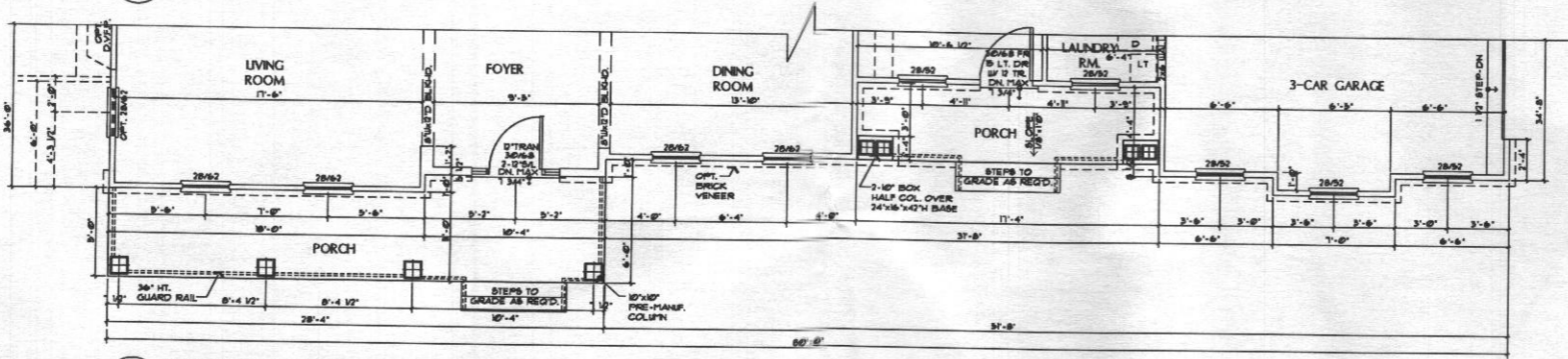
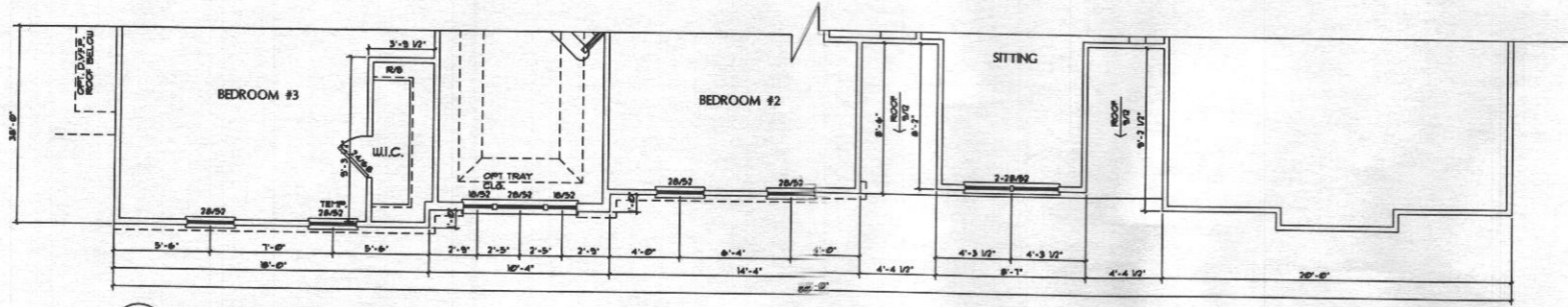
CLIENT:  
 D.R. HORTON  
 CAPITAL DIVISION  
 1356 Beverly Rd., Suite #300  
 McLean, VA 22101  
 P: 703-385-8001

DRAWN BY:

DATE:

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PROJECT NUMBER: 20120015.00  
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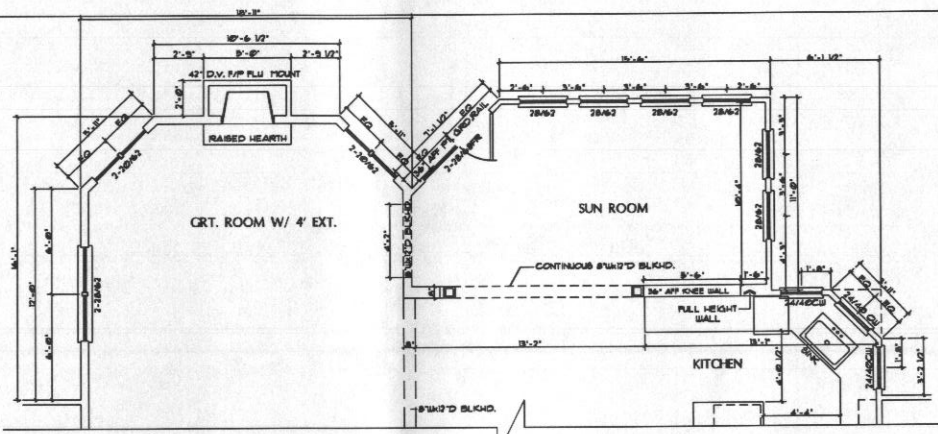
PARTIAL FLOOR PLAN @ ELEV. C

SHEET NUMBER:  
 A.3.2

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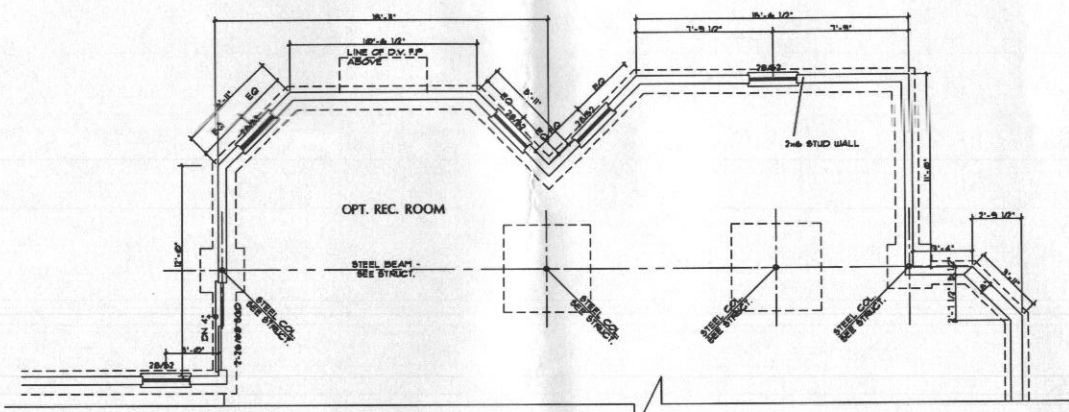


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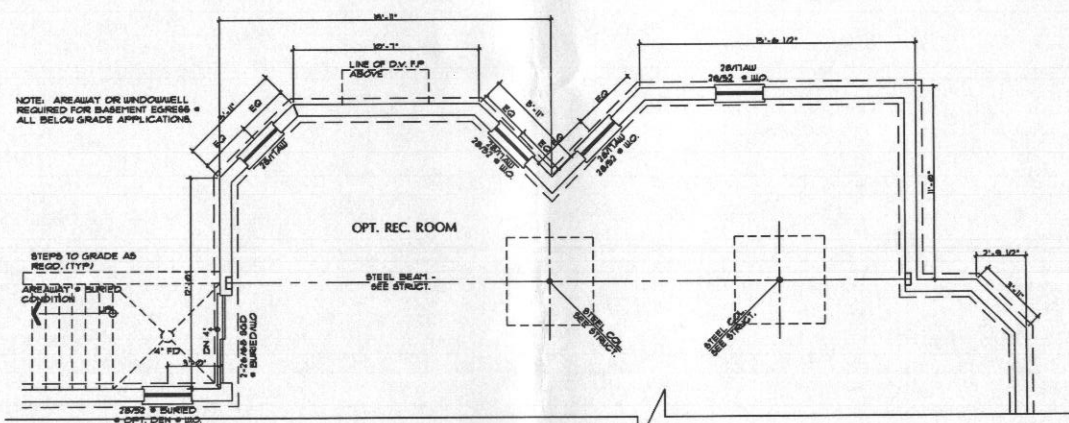


1 PARTIAL FIRST FLOOR PLAN  
SCALE 1/4"=1'-0"  
● OPT. FAMILY RM. EXT.  
● OPT. SUNROOM

NOTE:  
PROVIDE WINDOW FALL PREVENTION DEVICE IN COMPLIANCE WITH ASTM F2096 OR F2098 ON ALL OPERABLE WINDOWS WHERE THE OPENING IS LOCATED MORE THAN 12" (INCHES) ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW AND WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" (INCHES) ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.



2 PARTIAL BSMT. / FOUNDATION PLAN  
SCALE 1/4"=1'-0"  
● OPT. WALK OUT COND.  
● OPT. FAMILY RM. EXT.  
● OPT. SUNROOM



3 PARTIAL BSMT. / FOUNDATION PLAN  
SCALE 1/4"=1'-0"  
● OPT. FAMILY RM. EXT.  
● OPT. SUNROOM



D. R. HORTON  
CAPITAL DIVISION  
1256 Beverly Rd., Suite #300  
McLean, VA 22101  
P: 703-385-8001

#4426 - THE SOMERSET

CLIENT: D. R. HORTON CAPITAL DIVISION

DESIGN DELIVERABLE: ISSUE TYPE  
ISSUE DATE:  
PROJECT NUMBER: 20120015.00  
DRAWN BY:  
CHECKED BY: SA  
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PARTIAL PLANS @  
OPT. REAR SUNROOM  
& FAMILY ROOM EXT.  
SHEET NUMBER:  
A.3.4

No extra Bedrooms

