



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 2/21/17

Permit No.: B17001120

Building Address: 1824 FL...
 City: ... State: ... Zip Code: 21792
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: ...
 Section: _____ Area: _____ Lot: 17
 Tax Map: 36 Parcel: ... Grid: ...
 Zoning: _____ Map Coordinates: _____ Lot Size: 115'x16

Existing Use: _____
 Proposed Use: _____
 Estimated Construction Cost: \$ _____
 Description of Work: _____

Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: _____
 Contact Person: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 License No.: 7714
 Phone: _____ Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor: _____ 2 nd floor: _____
Area of construction (sq. ft.):	Basement: <input type="checkbox"/> Finished Basement <input type="checkbox"/> Unfinished Basement
Use group:	<input type="checkbox"/> Crawl Space <input type="checkbox"/> Slab on Grade
Construction type:	No. of Bedrooms: _____
<input type="checkbox"/> Reinforced Concrete	Multi-family Dwelling
<input type="checkbox"/> Structural Steel	No. of efficiency units: _____
<input type="checkbox"/> Masonry	No. of 1 BR units: _____
<input type="checkbox"/> Wood Frame	No. of 2 BR units: _____
<input type="checkbox"/> State Certified Modular	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	<u>6177000416</u>
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: _____
 Email Address: _____
 Title/Company: _____

Print Name: _____
 Date: 2/21/17

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>2/21/2017</u>	<u>R. Buelker</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$	<u>100</u>
Permit Fee	\$	
Tech Fee	\$	
Excise Tax	\$	
PSFS	\$	
Guaranty Fund	\$	
Add'l per Fee	\$	
Total Fees	\$	
Sub- Total Paid	\$	
Balance Due	\$	
Check	#	



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Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

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Permit No.: 111001111

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 City: Md State: MD Zip Code: 21771
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
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Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
Water Supply
<input type="checkbox"/> Public
<input type="checkbox"/> Private
Sewage Disposal
<input type="checkbox"/> Public
<input type="checkbox"/> Private
Heating System
<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:
Sprinkler System:
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
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Building Shell Permit Number:

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PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

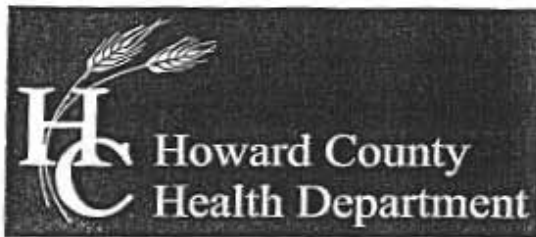
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Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org


Facebook: www.facebook.com/hocohealth

Twitter: [HowardCoHealthDep](https://twitter.com/HowardCoHealthDep)

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: *Curtis Cumberland, Cumberland Development Custom Homes*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.* 
Well & Septic Program

RE: *1824 Florence Road, Potential Basement Bedroom*

DATE: *May 25, 2017*

I have reviewed the floor plans in support of Building Permit *B17001120* for a new home at *1824 Florence Road* and noted that there is a rough-in for a full bathroom in the unfinished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the basement to finished living space.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

Analysis of the area available for one initial septic system drainfield and two replacements reveals that the area available for the drainfields is exhausted by the four (4)-bedroom design for the proposed dwelling. Any future plans to add one or more bedrooms to the structure likely will result in a requirement for installation of an advanced pre-treatment unit, or additional percolation testing to define more area for wastewater disposal. This memo will be retained in the Health Department file for future reference.

COPY: Craig Wieber, owner
File, Bureau of Environmental Health

GENERAL NOTES

BUILDING CODES:

- A. ALL CONSTRUCTION SHALL CONFORM WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC).
- B. ALL CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE LOCAL CODES/AMENDMENTS.

DESIGN CRITERIA: (PER SECTION R301 OF IRC 2015)

- A. THE DESIGN DEAD LOADS FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS AND INDICATED IN THE GENERAL NOTES.
- B. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADS FOR ALL NEW FRAMING SHALL BE AS FOLLOWS:
 FLOOR LOAD (U₀)
 SLEEPING RMS, / ATTIC WITH FIXED STAIR LL=40 PSF / DL=10 PSF
 GARAGE FLOOR LL=30 PSF / DL=10 PSF
 ROOF LIVE LOAD LL=50 PSF / 2000# POINT MIN. 30 PSF
 ATTIC AND TRUSS BOTTOM CHORD LL=20 PSF (LIMITED STORAGE)
 LL=10 PSF (NO STORAGE)
- C. ROOF SNOW LOAD DESIGN CRITERIA:
 GROUND SNOW LOAD (P_g)= 30 PSF (40 PSF ELEVATIONS IN EXCESS OR 400')
- D. WIND LOAD DESIGN CRITERIA:
 BASIC WIND SPEED= 90 MPH 3 SECOND GUST
 TOPOGRAPHIC EFFECTS= NO
- E. EARTHQUAKE LOAD DESIGN CRITERIA:
 SEISMIC DESIGN CATEGORY= A
- F. SUBJECT TO DAMAGE FROM:
 WEATHERING SEVERE
 FROST LINE DEPTH 30"
 TERMITE MOD-HEAVY
- G. TEMPERATURE AND FLOODING:
 WINTER DESIGN TEMPERATURE 13° F
 ICE BARRIER UNDERLAYMENT REQUIRED YES
 FLOOD HAZARDS SEE FLOOD MAPS
 AIR FREEZING INDEX 1500
 MEAN ANNUAL TEMPERATURE 55° F
 RADON PROTECTION REQUIRED YES
- H. THE STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF THE FLOORS AND ROOF. THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND SHALL PROVIDE ALL TEMPORARY BRACINGS AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE STRUCTURE AND TO SUPPORT CONSTRUCTION LOADS DURING CONSTRUCTION INCLUDING SOILS ON WALLS FROM BACK FILLING PRIOR TO PLACING SLABS ON GRADE. DESIGN OF ALL BRACING IS THE CONTRACTOR'S RESPONSIBILITY.

SPREAD FOOTING FOUNDATIONS:

- A. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 30" BELOW FINISH GRADE FOR FROST PROTECTION.
- B. ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
- C. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED IN THE CONTRACT DOCUMENTS.

CONCRETE SLAB-ON-GRADE:

- A. ALL SLABS ON GRADE, UNLESS OTHERWISE NOTED, SHALL CONSIST OF A 4 INCH THICK CONCRETE SLAB REINFORCED WITH ONE LAYER OF 6"x6"-W-4XW-4 WELDED WIRE FABRIC AND PLACED OVER A 6 MIL POLYETHYLENE VAPOR RETARDER AND 4 INCHES OF COMPACTED GRANULAR BASE. ALL EDGES OF VAPOR RETARDER SHALL BE LAPPED A MINIMUM OF 6 INCHES AND TAPED. MAXIMUM AGGREGATE SIZE OF GRANULAR BASE SHALL BE 1/2 INCH.
- B. FILL DEPTHS UNDER SLAB SHALL NOT EXCEED 24 INCHES FOR CLEAN SAND OR GRAVEL AND 8 INCHES FOR COMPACTED SOIL. SLABS ON GREATER FILL SHALL BE ENGINEERED SUPPORTED SLABS. COORDINATE WITH ENGINEER WHERE REQUIRED.
- C. PLACE CONCRETE PER ACI 302. CONTRACTOR SHALL READ, UNDERSTAND & FOLLOW GUIDELINES SET FORTH FOR PREPARING SUBGRADE, PLACING, CONSOLIDATING, FINISHING AND CURING CONCRETE SLABS.

CAST IN PLACE CONCRETE:

- A. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301)" AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)".
- B. IN ADDITION TO THE ABOVE, ALL CONCRETE WORK SHALL CONFORM TO THE FOLLOWING:
 1. RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING (ACI 305).
 2. RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING (ACI 306).
 3. RECOMMENDED PRACTICE FOR CONCRETE FORM WORK (ACI 347).
- C. ALL CONCRETE, UNLESS OTHERWISE NOTED, SHALL BE STONE AGGREGATE CONCRETE HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 5%-7%. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. MAXIMUM AGGREGATE SIZE SHALL BE 1" AND MAXIMUM SLUMP SHALL BE 4" (3" FOR SLABS ON GRADE). ALL CONCRETE, EXCEPT FOOTINGS, SHALL CONTAIN A WATER REDUCING ADMIXTURE. PORTLAND CEMENT SHALL CONFORM TO ASTM C150 AND NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C33.
- D. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A615 GRADE 60. ALL WELDED WIRE FABRIC (W.W.F.) SHALL CONFORM TO ASTM A108. LAP ALL REINFORCING BARS A MINIMUM OF 48xBAR DIA. (EX. - LAP 1/2" BAR 24") AND ALL W.W.F. A MINIMUM OF TWO FULL GRIDS, UNLESS OTHERWISE INDICATED.

STRUCTURAL AND MISCELLANEOUS STEEL:

- A. ALL STEEL CONSTRUCTION SHALL CONFORM TO THE THIRTEENTH EDITION OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN" AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
- B. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A992 GRADE 50 OR ASTM A36 AT THE CONTRACTOR'S OPTION.
- C. ALL MISCELLANEOUS STEEL (ANGLES, PLATES, ETC.) SHALL CONFORM TO ASTM A36 HAVING A MINIMUM YIELD STRENGTH OF F_y=36,000 PSI.
- D. ALL STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A501 HAVING A MINIMUM YIELD STRENGTH OF F_y=36,000 PSI OR TO ASTM A53, TYPE "E" OR "B" GRADE "B", HAVING A MINIMUM YIELD STRENGTH OF F_y=35,000 PSI.
- E. ALL STRUCTURAL STEEL TUBES SHALL CONFORM TO ASTM A500, GRADE "B", HAVING A MINIMUM YIELD STRENGTH OF F_y=46,000 PSI.
- F. ALL CONNECTIONS, UNLESS OTHERWISE NOTED, SHALL BE DOUBLE ANGLE OR SINGLE PLATE SHEAR CONNECTIONS DESIGNED AND DETAILED IN ACCORDANCE WITH THE AISC "STEEL CONSTRUCTION MANUAL" WITH A MINIMUM EDGE DISTANCE OF 1-1/2 INCHES AND BOLT SPACINGS OF 3 INCHES.
- G. THE CONTRACTOR SHALL NOT SPLICE OR CUT OPENINGS IN STEEL MEMBERS NOT SHOWN ON CONTRACT DRAWINGS WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER.

WOOD FRAMING:

- A. ALL WOOD FRAMING SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- B. ALL NEW LUMBER SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER. ALL NEW PRESSURE TREATED LUMBER SHALL BE SOUTHERN PINE NO. 2 OR BETTER.
- C. NAILING OF ALL WOOD FRAMING SHALL MEET THE MINIMUM RECOMMENDED REQUIREMENTS PROVIDED IN THE NAILING SCHEDULE OF THE IRC BUILDING CODE.
- D. PROVIDE DOUBLE JOISTS OR HEADERS ALONG EACH SIDE OF FLOOR OR ROOF OPENINGS, UNDER THE CENTERLINE OF PARTITION WALLS PARALLEL TO JOIST SPANS, AND ABOVE ALL WALL OPENINGS UNLESS OTHERWISE INDICATED.
- E. THE CONTRACTOR SHALL CUT OR NOTCH THE WOOD FRAMING ONLY AS REQUIRED AND IN ACCORDANCE WITH THE IRC BUILDING CODE, THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", OR AS SHOWN ON THE CONTRACT DRAWINGS.
- F. PROVIDE DOUBLE OR TRIPLE STUDS AT ALL CORNERS, SIDES OF OPENINGS, AND BENEATH ALL WOOD BEAMS AND LINTELS, UNLESS OTHERWISE INDICATED.
- G. WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE'S "NATIONAL DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" FOR THE DESIGN LOADS INDICATED ON THE CONTRACT DOCUMENTS.
- H. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ALL WOOD TRUSSES INCLUDING MEMBER LAYOUT, WOOD SPECIES AND GRADE, MEMBER SIZES, TRUSS BEARING CONNECTION DETAILS, CAPACITY OF CONNECTOR PLATES AND THE SIZE AND LOCATION OF ALL REQUIRED BRIDGINGS. THE CALCULATIONS AND SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE APPLICABLE STATE OR JURISDICTION REVIEWING THE PROJECT.
- I. THE CONTRACTOR SHALL PROVIDE TRUSS TIES EQUIVALENT TO OR BETTER THAN THE UPLIFT LOADS INDICATED ON THE TRUSS SHOP DRAWINGS.

STAIRS, HANDRAILS and GUARDS:

- A. STAIRS SHALL COMPLY WITH SECTION R311 OF THE IRC. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQ'D HEADROOM HEIGHT; 31.5 INCHES WHERE A HANDRAIL IS INSTALLED ON ONE SIDE; 27 INCHES WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.
- B. MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FEET 8 INCHES.
- C. MAXIMUM STAIR RISER HEIGHT SHALL BE 7-3/4 INCHES AND MINIMUM TREAD DEPTH SHALL BE 10 INCHES. (UNLESS NOTED OTHERWISE IN CONTRACT DRAWINGS.)
- D. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS. HANDRAILS SHALL BE A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES ABOVE TREAD NOSING.
- E. PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT.
- F. REQUIRED GUARDS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER.

INSULATION & MOISTURE PROTECTION:

- A. PROVIDE 30 lb. BUILDING FELT OR PAPER AT BRICK VENEER WITH FLASHING AT OPENING TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER.
- B. PROVIDE MINIMUM ONE LAYER OF 15 lb. ROOFING FELT AT THE ROOF TO PROVIDE A WATER-RESISTANT BASE FOR FIBERGLASS COMPOSITION ROOF SHINGLES.
- C. AN ICE BARRIER, IF REQUIRED, THAT CONSISTS OF TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.
- D. PROVIDE INSULATION TO ACHIEVE MINIMUM R-VALUES AS FOLLOWS:
 CEILING: R-41 (R-38 IF UNCONDITIONED EXTENDS OVER WALL TOP PLATE)
 EXTERIOR FRAME WALLS: R-21 (TOTAL WALL ASSEMBLY)
 BASEMENT (CONCRETE) WALLS: R-10 CONTINUOUS
 R-13 CAVITY
 FLOORS OVER UNCONDITIONED SPACE: R-19
 WINDOWS / GLASS DOORS: U-FACTOR ≤ 0.35
 SKYLIGHTS: U-FACTOR ≤ 0.35
- E. THE CONTRACTOR SHALL PROVIDE CORROSION-RESISTANT METAL FLASHING ABOVE ALL WINDOW AND DOOR OPENINGS TO PREVENT MOISTURE PENETRATION. SIMILAR FLASHING SHALL BE PROVIDED AT ROOF VALLEYS AND ROOF OPENINGS, WOOD OR METAL COPINGS AND SILLS.
- F. THE CONTRACTOR SHALL PROVIDE PERFORATED SOFFITS AT THE ROOF EAVES AND A CONTINUOUS RIDGE VENT AT THE ROOF TO PROVIDE REQUIRED ATTIC VENTILATION.

SPECIALTIES:

- A. SMOKE ALARMS SHALL COMPLY WITH SECTION R314 OF THE IRC. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE HOUSE INCLUDING THE BASEMENT.
- B. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE HOUSE WIRING. WHEN PRIMARY POWER IS INTERRUPTED, SMOKE ALARMS SHALL RECEIVE POWER FROM A BATTERY.
- C. CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTION R315 OF THE IRC. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- D. CARBON MONOXIDE ALARMS ARE REQUIRED IN DWELLING UNITS WHICH HAVE FUEL-FIRED APPLIANCES OR ATTACHED GARAGES.

MECHANICAL, ELECTRICAL & PLUMBING:

- A. H.V.A.C. DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED MECHANICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.
- B. ELECTRICAL DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED ELECTRICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.
- C. PLUMBING DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED PLUMBING CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.
- D. IF REQUIRED, FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED BY LICENSED SPRINKLER CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.

WINDOWS AND DOORS:

- A. ALL WINDOW NUMBERS INDICATE MODEL NUMBERS FOR "ANDERSEN" WINDOW UNITS.
- B. WINDOWS INDICATED ON DRAWINGS AS "EGRESS" SHOULD MEET BUILDING CODE REQUIREMENTS PER SECTION R310 OF THE IRC.
- C. WINDOWS IN DOORS, SIDE LIGHTS AND WINDOWS WITHIN 24" OF DOORS SHALL BE PROVIDED WITH SAFETY GLASS TO COMPLY WITH SECTION R308 OF THE IRC.
- D. GLASS AT TUBS AND SHOWER ENCLOSURES SHALL BE PROVIDED WITH SAFETY GLASS TO COMPLY WITH SECTION R308 OF THE IRC.

CUMBERLAND DEVELOPMENT MODIFIED OLIVIA SPEC CARROLL COUNTY, MD



PROJECT GENERAL NOTES:

- A. WALL DIMENSIONS ARE FROM OUTSIDE FACE OF FRAMING AND ARE AS FOLLOWS (I.D.N.):
 INTERIOR PARTITIONS = 3-1/2" (2x4 WOOD STUDS @ 16" O.C.)
 5-1/2" (2x6 WOOD STUDS @ 16" O.C.)
 EXTERIOR WALLS (INSULATED) = 6" (2x6 STUDS @ 16" O.C. PLUS 1/2" SHEATHING)
 EXTERIOR WALLS (NON-INSULATED) = 4" (2x4 STUDS @ 16" O.C. PLUS 1/2" SHEATHING)
- B. THE CONTRACTOR AND HIS ASSOCIATED SUBCONTRACTORS ARE RESPONSIBLE TO THOROUGHLY REVIEW ALL DRAWINGS. ANY INCONSISTENCIES OR ERRORS ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION OR CORRECTION PRIOR TO THE START OF CONSTRUCTION OR MANUFACTURING OF PRE-FABRICATED COMPONENTS.
- C. IF THE CONTRACTOR MODIFIES OR DEVIATES FROM THESE PLANS FOR ANY REASON WITHOUT NOTIFYING CADDWORKS, INC., THE PLANS CODE COMPLIANCE BECOMES THE CONTRACTOR'S RESPONSIBILITY.
- D. SIZING/SPACING OF ALL PRE-ENGINEERED WOOD FRAMING PRODUCTS (MICROLAM, PARALLAMS, & FLOOR/ROOF TRUSSES) TO BE ENGINEERED/VERIFIED BY MANUFACTURER.
- E. FLOOR FRAMING TO BE ACCOMPLISHED WITH PRE-ENGINEERED WOOD "I" JOISTS; MANUFACTURER'S AGENT TO DESIGN JOIST LAYOUT AND PROVIDE ENGINEERED SHOP DRAWINGS; FLOOR SYSTEM TO BE DESIGNED WITH L/480 LIVE LOAD DEFLECTION MIN. (L/600 IN AREAS TO BE FINISHED WITH TILE).
- F. ROOF FRAMING TO BE ACCOMPLISHED WITH PRE-ENGINEERED WOOD TRUSSES; MANUFACTURER'S AGENT TO DESIGN TRUSS LAYOUT AND PROVIDE ENGINEERED SHOP DRAWINGS.
- G. THE STAIR MANUFACTURER SHALL VERIFY EXISTING FIELD CONDITIONS PRIOR TO FABRICATION OF STAIR STAIR TO BE BUILT IN COMPLIANCE WITH ALL APPLICABLE CODES.
- H. THESE DOCUMENTS ARE NOT TO BE SCALED. DIMENSIONS SHALL GOVERN ON ALL DRAWINGS. ANY OMISSIONS OR AREAS OF DISCREPANCY SHALL BE REFERRED TO CADDWORKS, INC. PRIOR TO CONSTRUCTION.

DRAWING INDEX

GENERAL INFORMATION

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- G-2 GENERAL NOTES

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- A-2 FIRST FLOOR PLAN
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- B-3 WALL BRACE DETAILS

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SUBMITTALS

ISSUE DATE	DRAWN BY	REMARKS
1-25-14	DWR	PRELIM PLANS
11-24-14	DWR	PERMIT SET PLANS
11-24-14	DWR	ADDED DECK
12-14-14	DWR	REVERSED HOME CHANGED MASTER BATH
11-24-16	DWR	UPDATED PLANS TO 2015 IRC

GENERAL NOTES

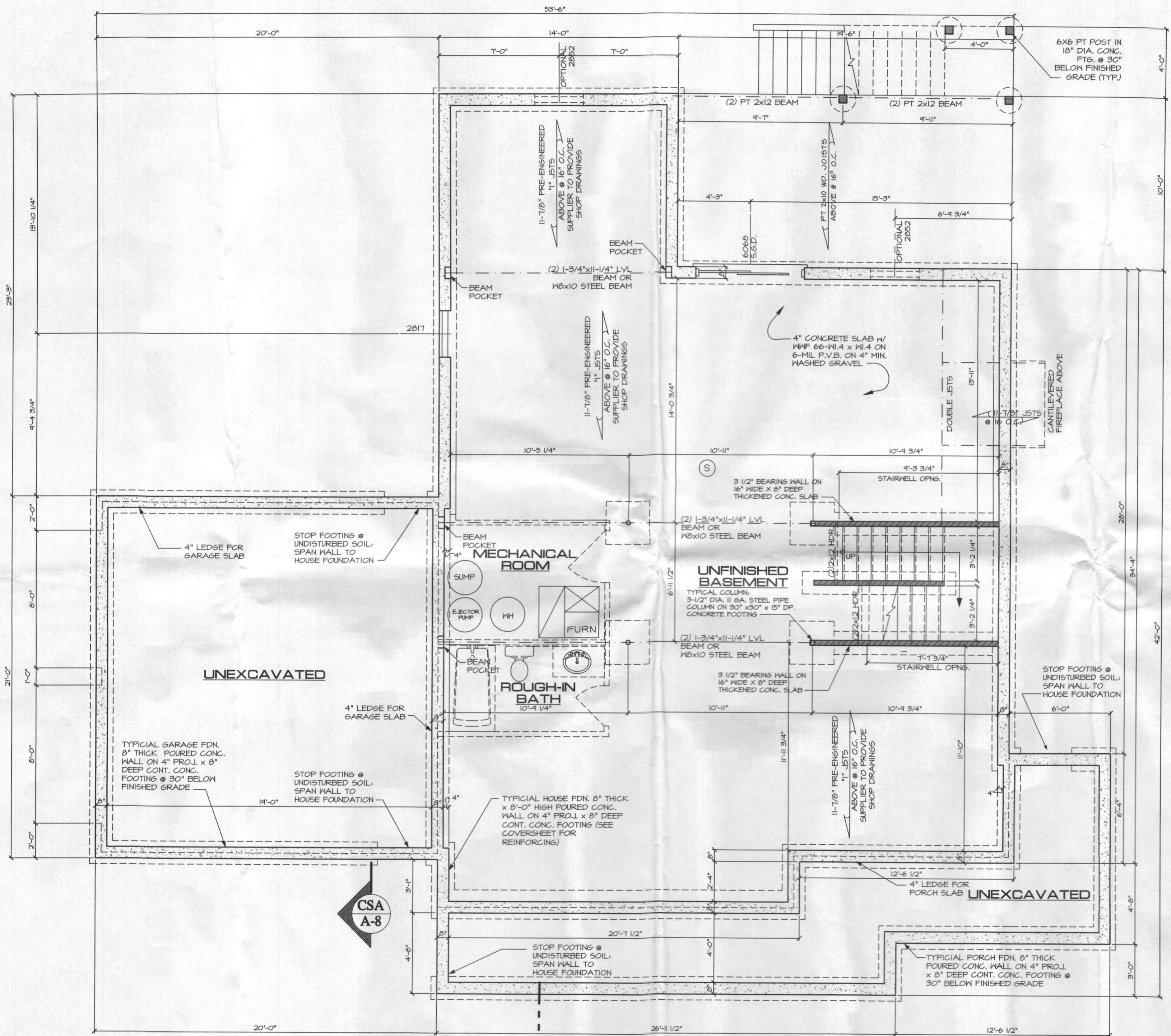
CUMBERLAND DEVELOPMENT

MODIFIED OLIVIA
Spec. House
CARROLL COUNTY, MARYLAND

SHEET NO.

G1

PROJ. NO: 1008-40



*ok
of bedrooms
send memo
ref*

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SUBMITTALS	
ISSUE DATE	REMARKS
1-23-14	PRELIM. PLANS
11-24-14	PERMIT SET PLANS
11-24-14	ADDED DECK
12-14-14	REVERSED HOPE CHAINED MASTER BATH
11-24-16	UPDATED PLANS TO 2015 IBC

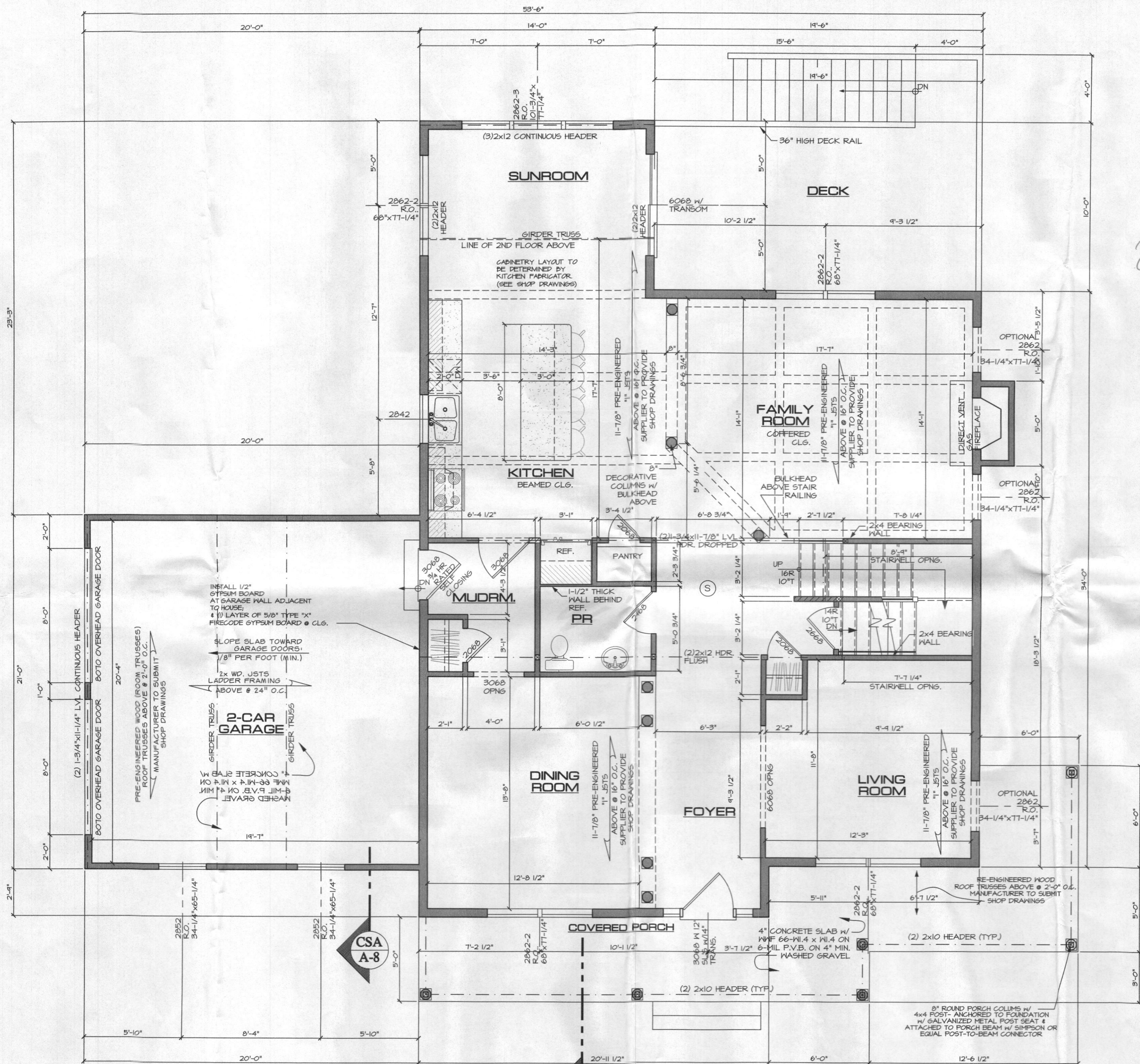
FOUNDATION PLAN

CUMBERLAND DEVELOPMENT
MODIFIED OLIVIA Spec. House
CARROLL COUNTY, MARYLAND

FOUNDATION PLAN
SCALE: 1/4"=1'-0"

SHEET NO.
A-1

PROJ. NO.: 1008-40



*OK!
Bedroom
FB*

FIRST FLOOR PLAN
1342 SQ. FT. 1ST FLR SCALE: 1/4" = 1'-0"

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SUBMITTALS

ISSUE DATE	BY	REMARKS
1-25-14	DWK	PRELIM PLANS
11-24-14	DWK	PERMIT SET PLANS
11-24-14	DWK	ADDED DECK
12-14-14	DWK	REVERSED HOME CHANGED MASTER BATH
11-24-16	DWK	UPDATED PLANS TO 2015 IRC

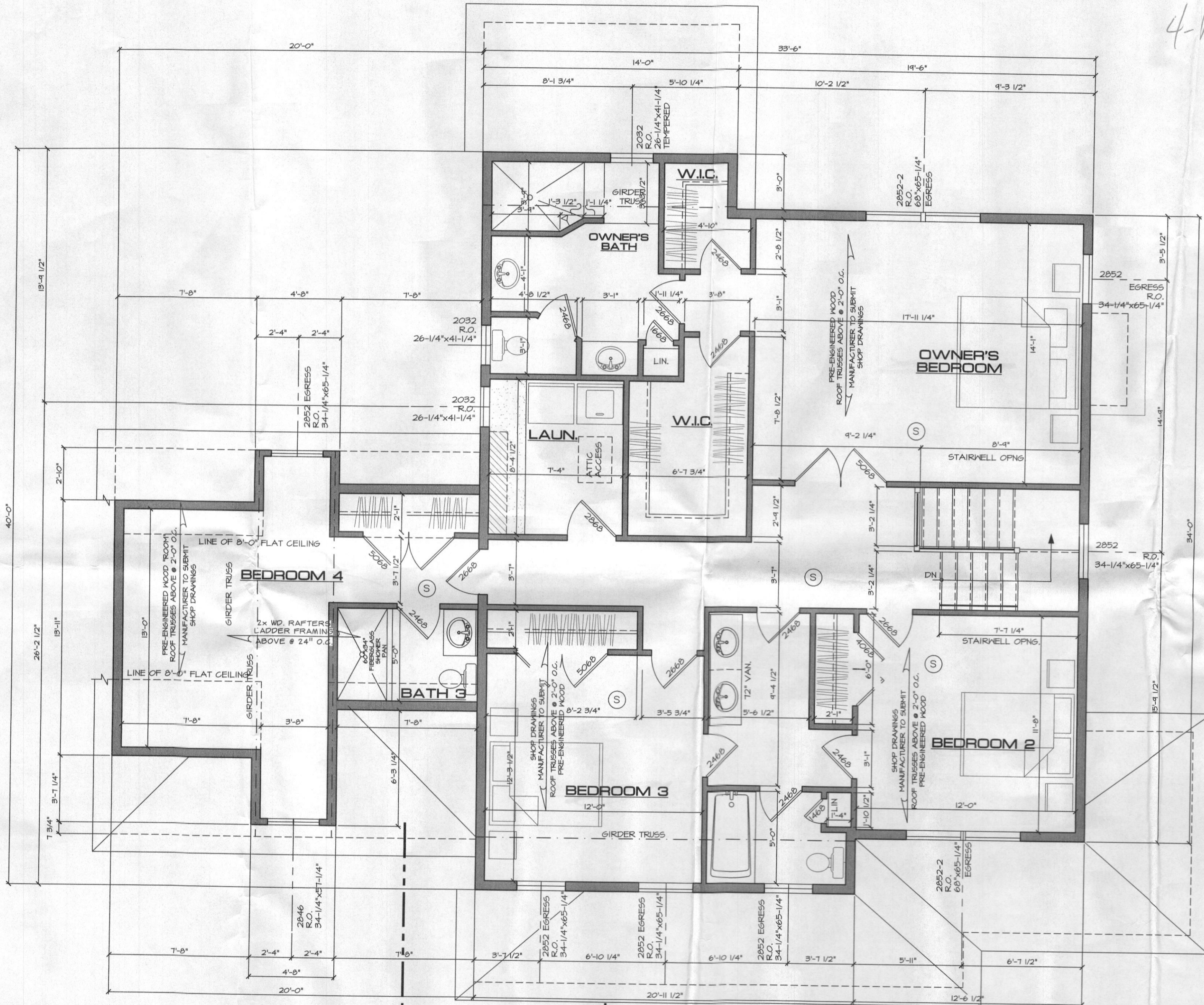
FIRST FLOOR PLAN

CUMBERLAND DEVELOPMENT
MODIFIED OLIVIA Spec. House
CARROLL COUNTY, MARYLAND

SHEET NO.
A-2

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4-Bedrooms
 REB 4/21/17

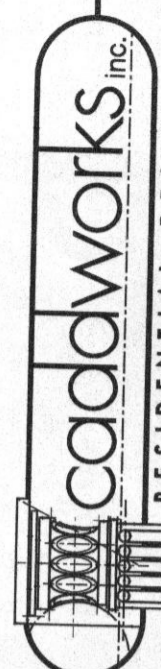


CSA
A-8

CSB
A-9

SECOND FLOOR PLAN

1494 SQ. FT. 2ND FLR SCALE: 1/4"=1'-0"



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SUBMITTALS

ISSUE DATE	DRAWN BY	REMARKS
1-25-14	DWR	PRELIM PLANS
11-24-14	DWR	PERMIT SET PLANS
11-24-14	DWR	ADDED DECK
12-14-14	DWR	REVERSED HOME CHANGED MASTER BATH
11-24-16	DWR	UPDATED PLANS TO 2016 IRC

SECOND FLOOR PLAN

CUMBERLAND DEVELOPMENT

MODIFIED OLIVIA
 Spec. House

CARROLL COUNTY, MARYLAND

SHEET NO.

A-3

PROJ. NO.: 1008-40