

File No. F-0367  
Noah's Window

**DEPARTMENT OF PLANNING AND ZONING  
FINAL PLAT ORIGINAL FOR SIGNATURE APPROVAL**

This form is for the processing of originals for signature approvals. If corrections or additions must be made to the original, the corrections needed must be identified in the space provided and the plans must be returned unsigned to the Department of Planning and Zoning. DPZ will notify the owner of the required revisions and request that the owner's engineer make the corrections or contact the appropriate County agency with questions concerning such revisions.

**DPZ** Kent Henlecke 5/15/03 5/15/03  
Reviewing Agent

Rejected For: \_\_\_\_\_  
\_\_\_\_\_

① **HEALTH** F. Sh... 5/19/03 5-21-03  
Reviewing Agent

Rejected For: \_\_\_\_\_  
\_\_\_\_\_

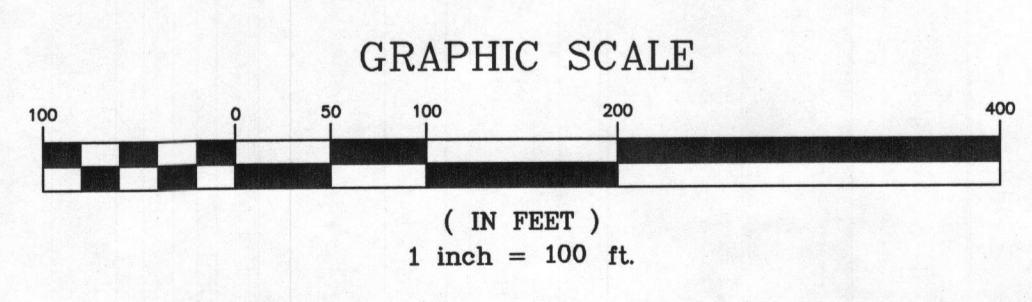
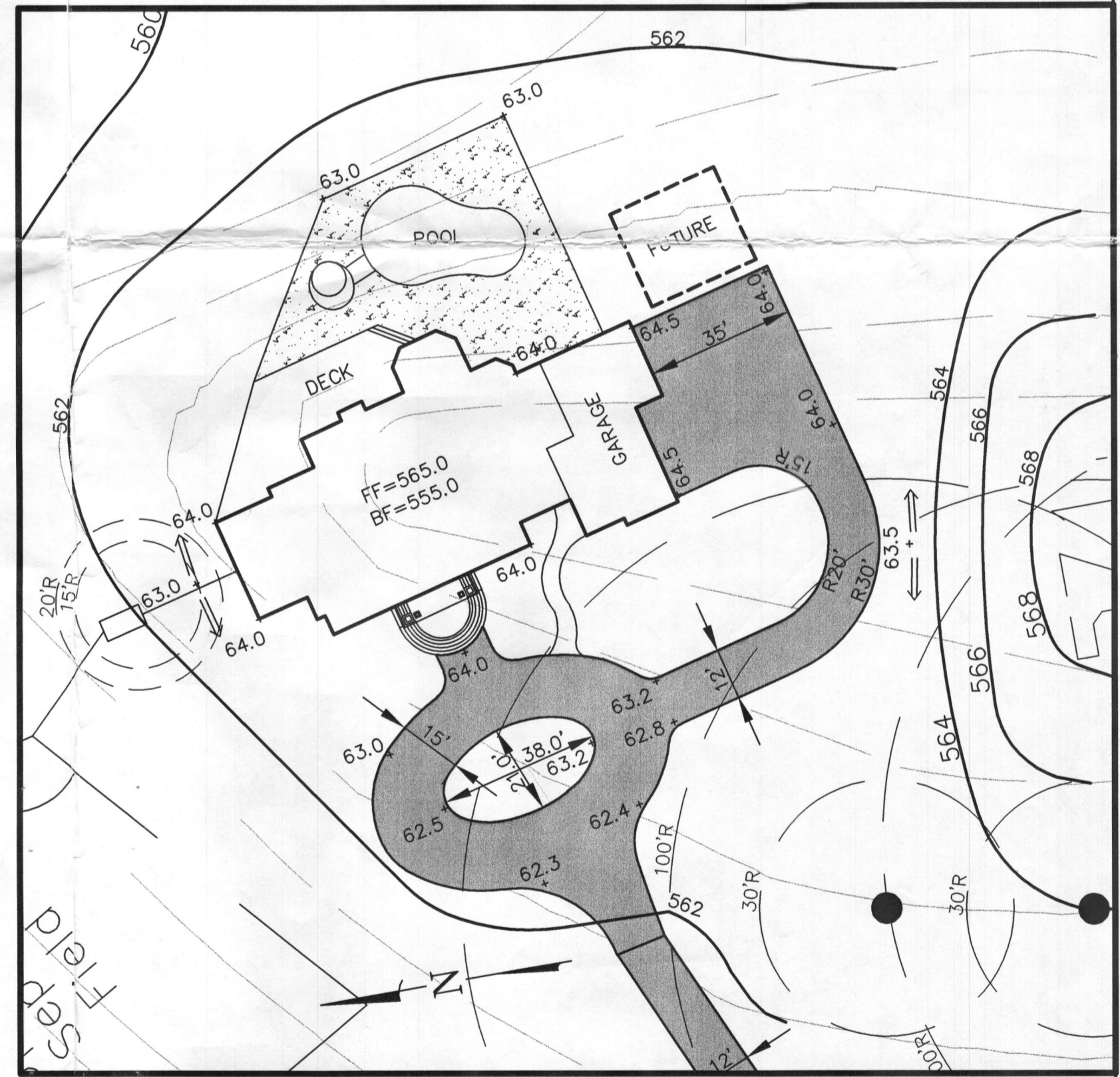
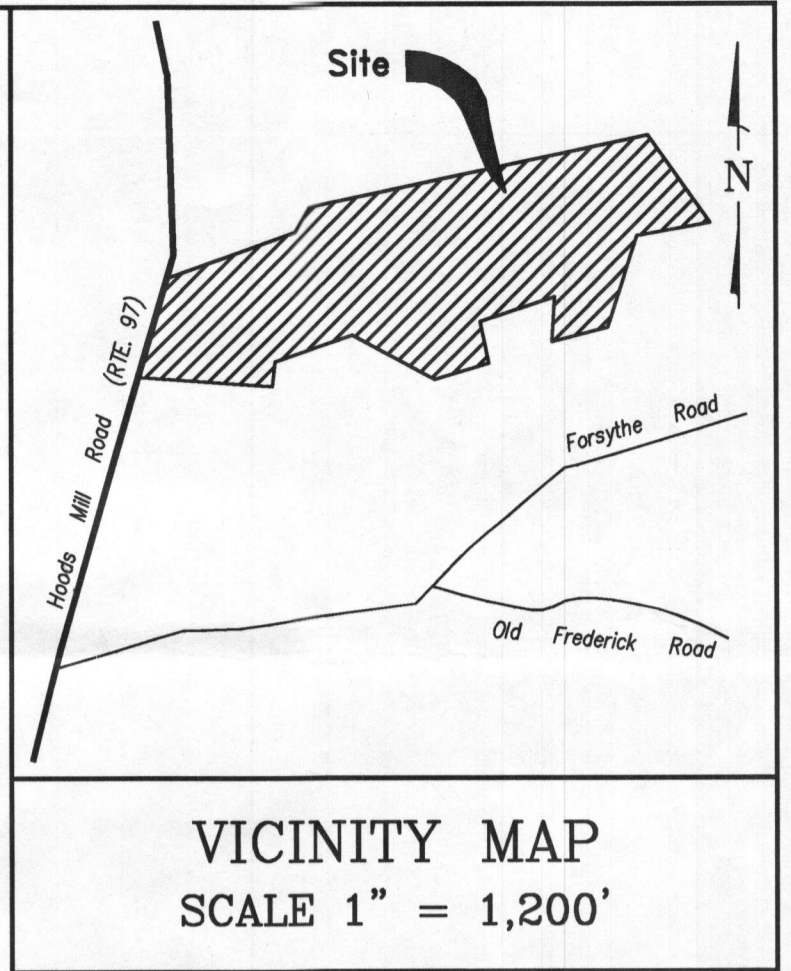
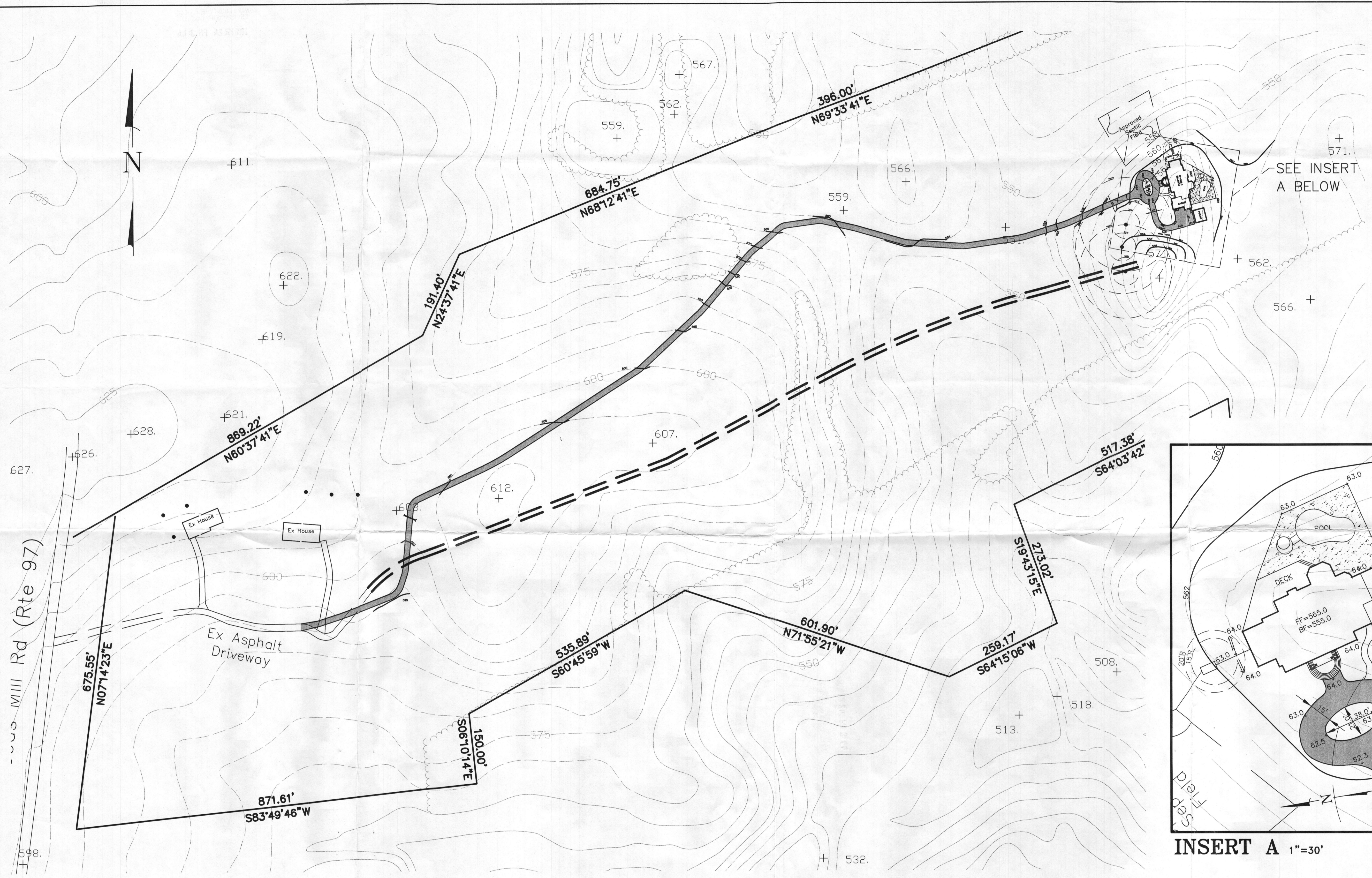
② **DED** \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_  
Reviewing Agent

Rejected For: \_\_\_\_\_  
\_\_\_\_\_

③ **Chief, DLD** \_\_\_\_\_ \_\_\_\_\_ \_\_\_\_\_  
Reviewing Agent

Rejected For: \_\_\_\_\_  
\_\_\_\_\_

PLAT MA 01 148003  
DEPARTMENT OF PLANNING AND ZONING  
COUNTY OF HENRIETTA, NEW YORK



**SITE PLAN**

**MULLINIX PROPERTY**  
LIBER 896 FOLIO 217  
4TH ELECTION DISTRICT - MONTGOMERY COUNTY - MARYLAND

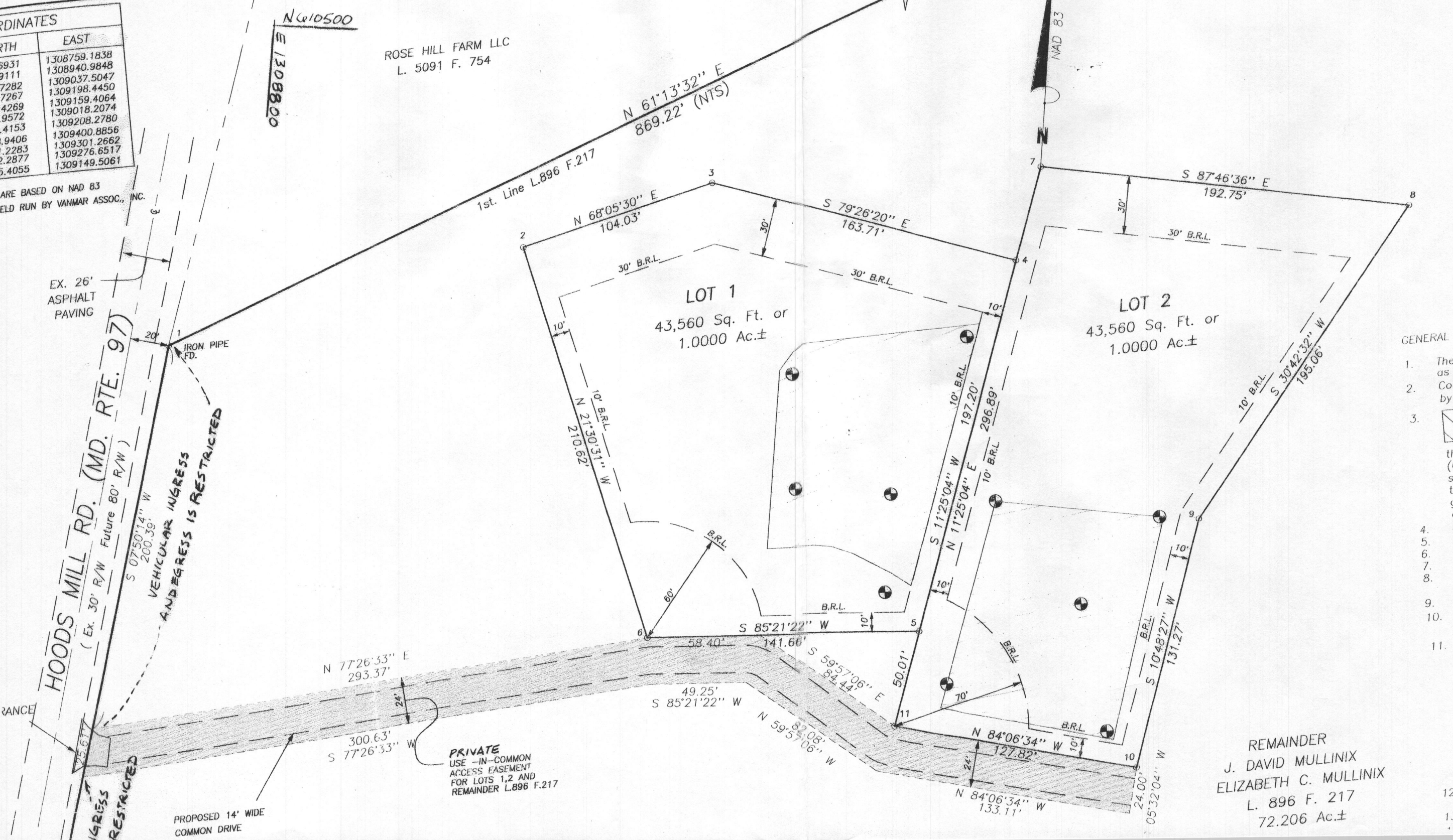
<b>MHG</b> <small>9220 Wightman Road, Suite 120 Montgomery Village, Maryland 20886-1279</small>	<b>Macris, Hendricks &amp; Glascock, P.A.</b>	<b>Proj. Mgr.</b>	<b>Designer</b>
	Engineers • Planners Landscape Architects • Surveyors	xxx	xx
	Phone 301.670.0840 Fax 301.948.0693 www.mhgpa.com	Date	Scale
		7/18/05	1"=100'
	Project No.	Sheet	
	05-229	1 of 1	

F-03-067

POINT	EAST
5931	1308759.1838
9111	1308940.9848
7282	1309037.5047
7267	1309198.4450
4269	1309159.4064
9572	1309018.2074
4153	1309208.2780
19406	1309400.8856
12283	1309301.2662
22877	1309276.6517
34055	1309149.5061

COORDINATES ARE BASED ON NAD 83  
FIELD RUN BY VANMAR ASSOC., INC.

ROSE HILL FARM LLC  
L. 5091 F. 754



GENERAL NOTES

- The lots shown as required
- Coordinates by Howard
- the Maryland Public Access Act (COMAR 26.06.02) and records in the public grant vary by direct effect.

B.R.L. - Represents

Percolation

Public water will be provided

Subject property

For flag or are provided

Driveways for new dwelling minimum requirements

  - Width - Jo
  - Surface
  - Geomet
  - Structure
  - Drainage depth
  - Mainten
- This plat is or about A
- Areas as st
- No wetlands



Date 01/14/02

REMAINDER  
J. DAVID MULLINIX  
ELIZABETH C. MULLINIX  
L. 896 F. 217  
72.206 Ac.±

PROPOSED 14' WIDE COMMON DRIVE

PRIVATE USE -IN-COMMON ACCESS EASEMENT FOR LOTS 1,2 AND REMAINDER L.896 F.217

EX. 26' ASPHALT PAVING

HOODS MILL RD. (MD. RTE. 97)  
(Ex. 30' R/W Future 80' R/W)

VEHICULAR INGRESS AND EGRESS IS RESTRICTED

IRON PIPE FD.

NAD 83

N

N 61°13'32" E  
E 1308800

1st. Line L.896 F.217

LOT 1  
43,560 Sq. Ft. or  
1.0000 Ac.±

LOT 2  
43,560 Sq. Ft. or  
1.0000 Ac.±

N 77°26'33" E  
293.37'

S 77°26'33" W  
300.63'

S 85°21'22" W  
58.40'

S 85°21'22" W  
141.66'

S 59°57'06" E  
84.44'

N 59°57'06" W  
82.08'

N 84°06'34" W  
127.82'

N 84°06'34" W  
133.11'

S 87°46'36" E  
192.75'

S 30°42'32" W  
195.06'

N 68°05'30" E  
104.03'

S 79°26'20" E  
163.71'

N 21°30'31" W  
210.62'

S 11°25'04" W  
197.20'

N 11°25'04" E  
296.89'

S 10°48'27" W  
131.27'

S 05°32'04" W  
24.00'

S 59°57'06" E  
50.01'



ELIZABETH C. MULLINIX  
 L. 896 F. 217  
 72.206 Ac.±  
 PARCEL No. 166  
 MULLINIX PROPERTY  
 Howard County Agricultural  
 Preservation Easement No.  
 HO-84-04E

13. Areas as stated on this plat are to be taken as more or less, unless otherwise noted.
14. No wetlands currently exist on this subdivision and the subdivision does not lie within a flood hazard area.
15. A use-in-common driveway maintenance agreement for lots 1, 2 and Parcel No.166 was recorded with the recording of this Final Plat at Howard County Land Records office.
16. This plat is subject to Section 15.514(b) of the Agricultural Preservation Program.
17. Lots 1 and 2 are created in accordance with the provisions of Section 104.E6 of Zoning Regulations and will be released from the Agricultural Land Preservation Program per section 15.514 of the Agricultural Land Preservation Act.
18. This subdivision is exempt from the requirements of the Forest Conservation Program per Section 16.1202(b)(1)(vi) of the Subdivision and Land Development Regulations because the property is in the Agricultural Preservation Program, and because the subdivision is subject to section 15.514 of the Agricultural Land Preservation Act.
19. Landscaping requirements for these lots shall be provided in accordance with the provisions of Section 16.124 of the Howard County Subdivision and Land Development Regulations and the Landscape Manual. **FINANCIAL SURETY FOR THE ROAD PERIMETER LANDSCAPING WILL BE POSTED WITH THE GRADING PERMIT FOR 9 SHADE TREES IN THE AMOUNT OF \$2,700.00**
20. This subdivision is subject to a Deed of Agricultural Preservation Easement recorded in Liber 1265 at Folio 483, a Confirmatory Deed recorded in Liber 1369 at Folio 343 and an Amendment to Deed of Agricultural Preservation Easement recorded in Liber 7025 at Folio 352.

Permit stage, lot grading and size of impervious  
 the location of the proposed houses and driveway  
 approved stormwater management exhibit. If  
 e, a new stormwater management report shall

SURVEYOR'S CERTIFICATE

I hereby certify that the final plat shown hereon is correct; that it is a subdivision of part of the lands conveyed by Robert R. Levick and Arthur Pincus to J. David Mullinix (deceased) and Elizabeth C. Mullinix by deed dated August 7, 1978 and recorded among the land records of Howard County, Maryland in Liber 896 Folio 217 and that all the monuments are in place or will be in place prior to the acceptance of the streets in the subdivision by Howard County as shown in accordance with the Annotated Code of Maryland as amended.

*Sourabh Munshi* 5/13/03  
 Sourabh G. Munshi, Prof. L.S. #10770 Date



RECORDED AS PLAT \_\_\_\_\_ ON \_\_\_\_\_  
 AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND

AGRICULTURAL PRESERVATION SUBDIVISION PLAT  
 FOR  
**NOAH'S MEADOW**

SECTION I  
 LOTS 1-2

*Signed Final*  
*5-21-03*

SITUATED ON EAST SIDE OF HOODS MILL ROAD (RTE. 97)  
 FOURTH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 50' MAY, 2003  
 EXISTING ZONING: RCDEO  
 TAX MAP: 8 GRID: 5 P/O PARCEL: 166



**VANMAR ASSOCIATES, INC.**  
 Engineers Surveyors Planners  
 310 South Main Street P.O. box 328 Mount Airy, Maryland 21771  
 (301) 829 2890 (301)831 5015 (410) 549 2751

File name T:\EP\JOBS\A2-457A\4574PLAT

