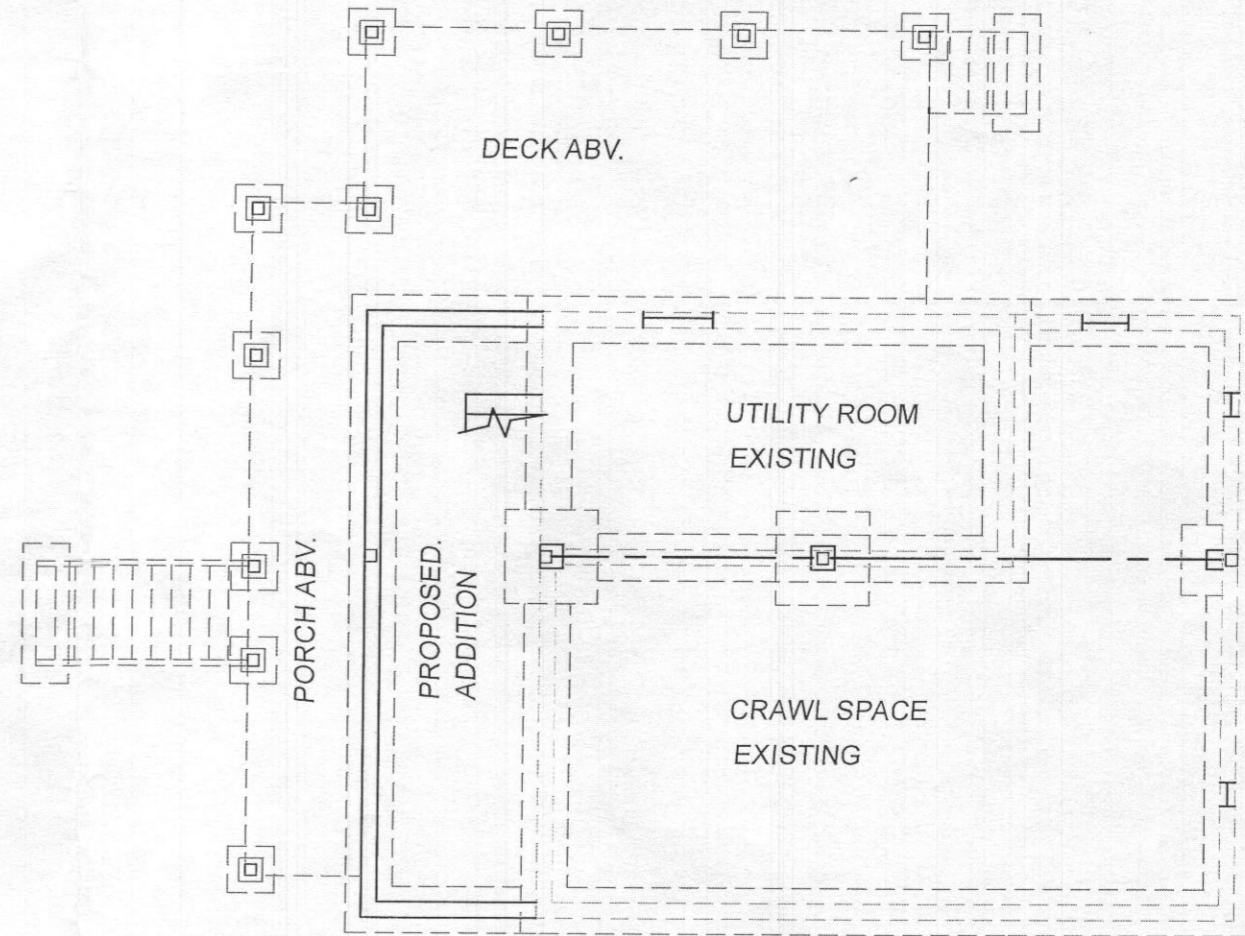
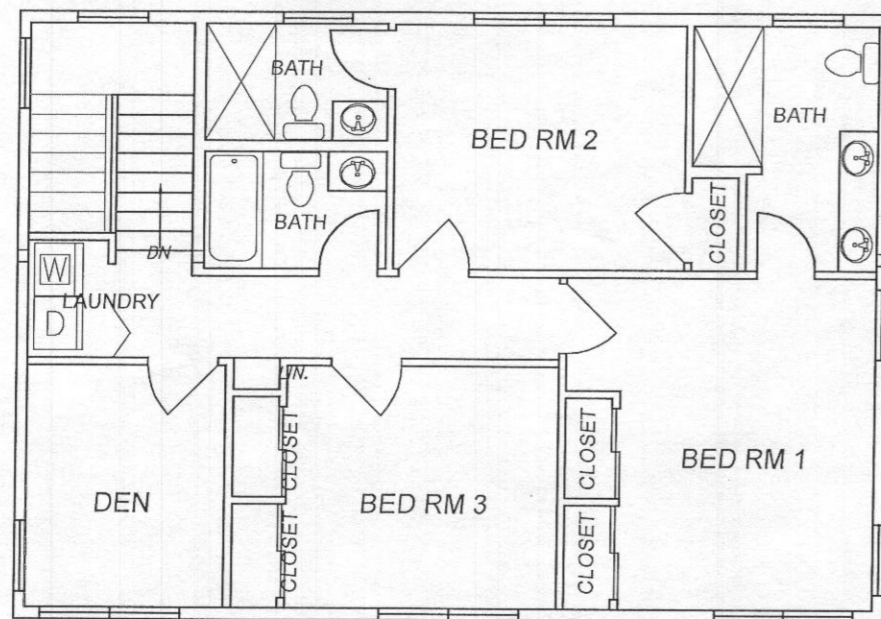


FIRST FLOOR PLAN

SCALE 1/8"=1'-0"



BASEMENT FLOOR PLAN

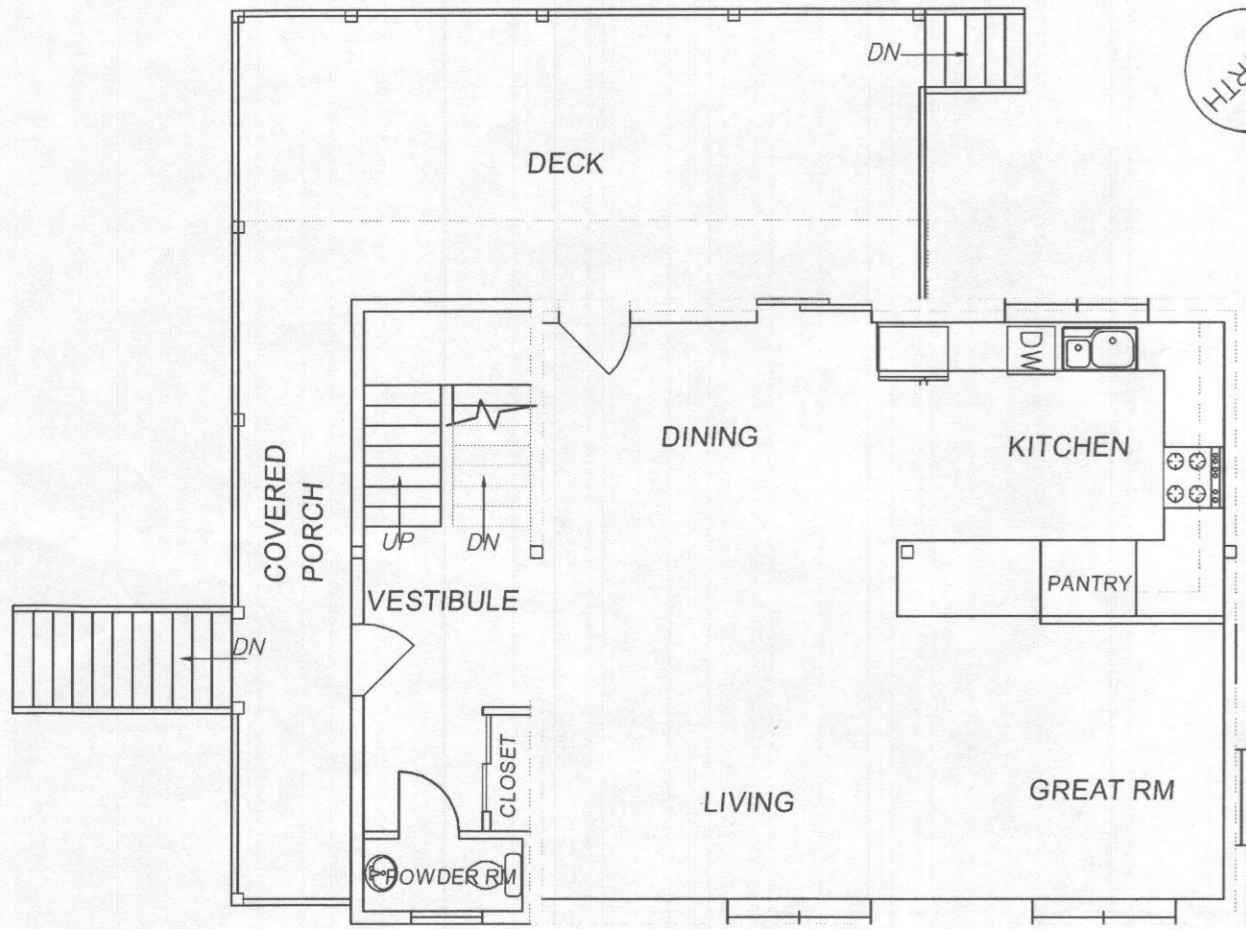


SECOND FLOOR PLAN

REVISED
 Date: 11/20/17
 Comments: B17003591
 REDUCE # OF BEDROOMS TO 3BR

SIMPLIFIED FLOOR PLANS	Proj. No. 16-2
PARCEL 0094, GRID 0012, MAP 0006 1140 SHAFFERSVILLE RD MT. AIRY 21771-3114 HOWARD COUNTY, MARYLAND	Dwg. No. SFP-1

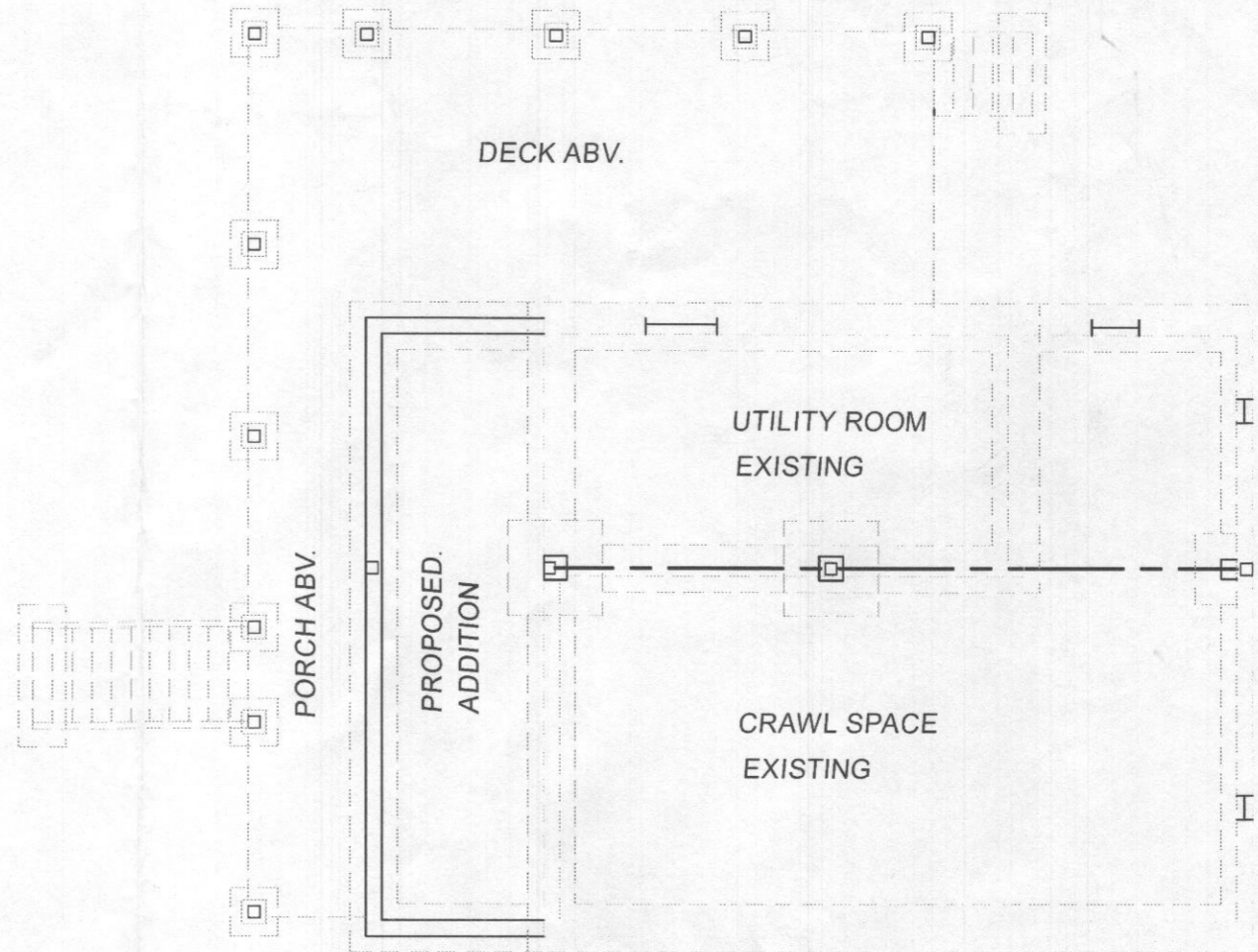
HEALTH DEPT



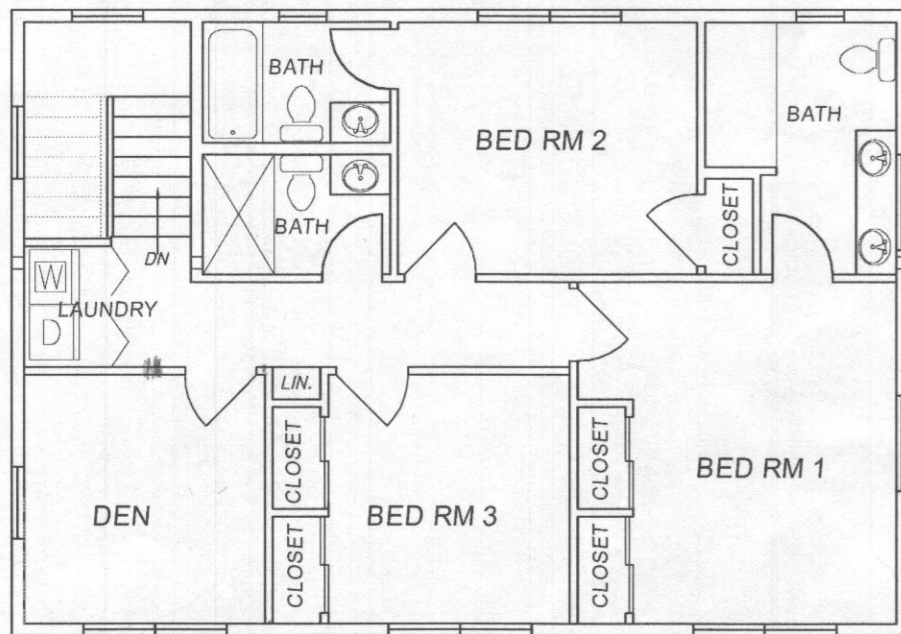
FIRST FLOOR PLAN



SCALE 1/8"=1'-0"



BASEMENT FLOOR PLAN

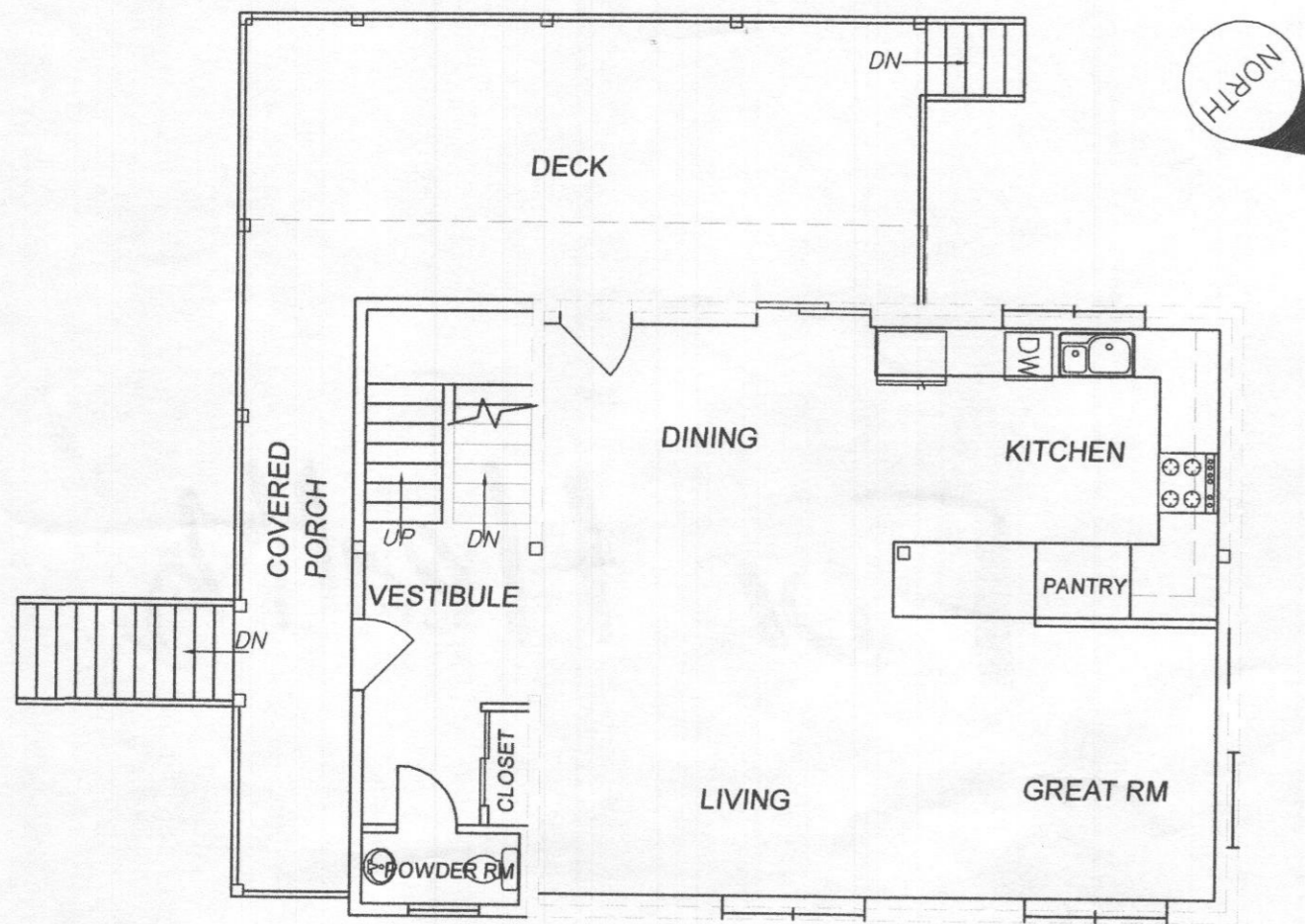


SECOND FLOOR PLAN

REVISED
 Date: 10/10/17
 Comments: B17003591
 REDUCE # OF BR
 TO (3BR)

HEALTH DEPT

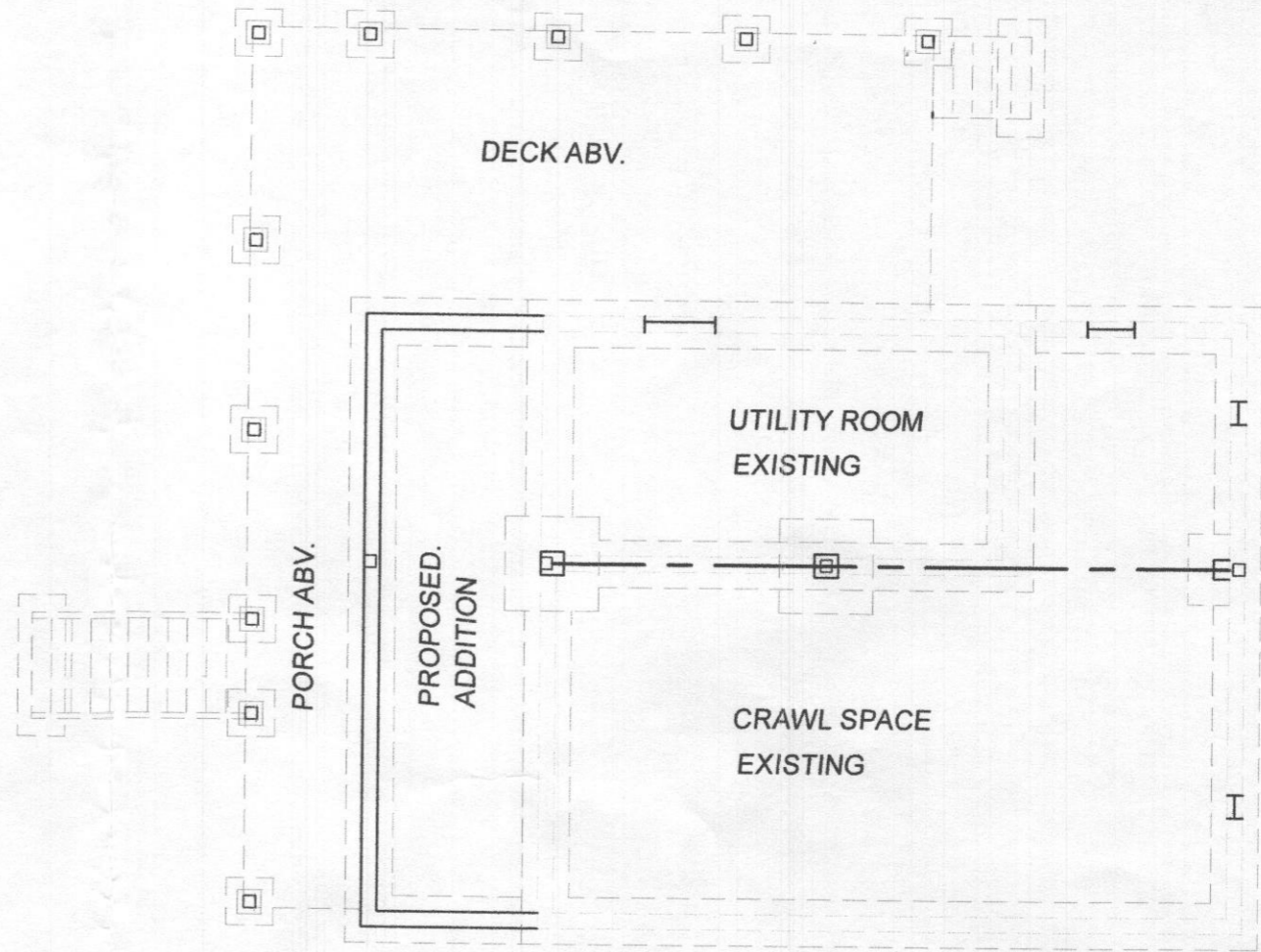
SIMPLIFIED FLOOR PLANS	Proj. No. 16-2
PARCEL 0094, GRID 0012, MAP 0006 1140 SHAFFERSVILLE RD MT. AIRY 21771-3114 HOWARD COUNTY, MARYLAND	Dwg. No. SFP-1



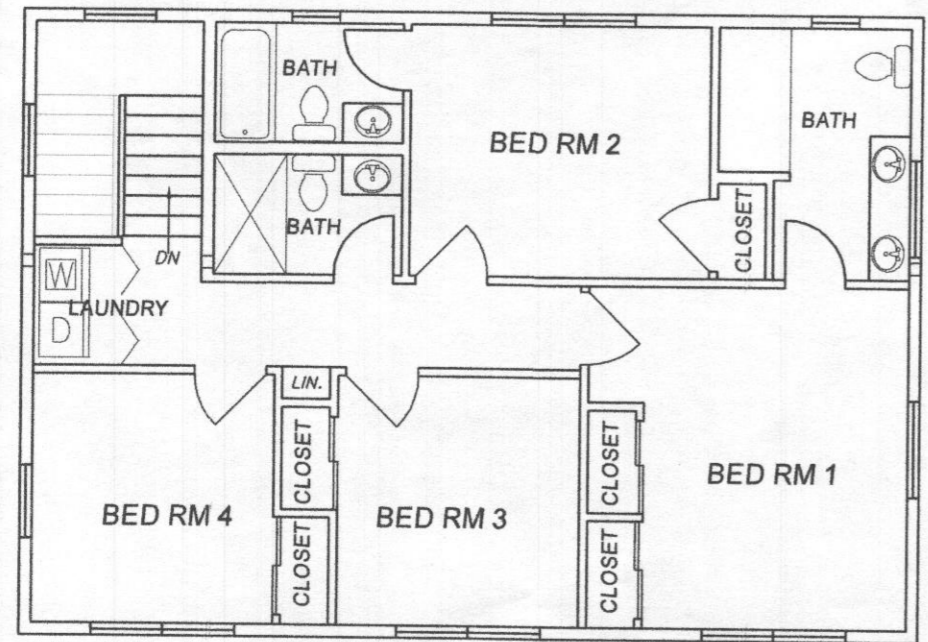
FIRST FLOOR PLAN



SCALE 1/8"=1'-0"



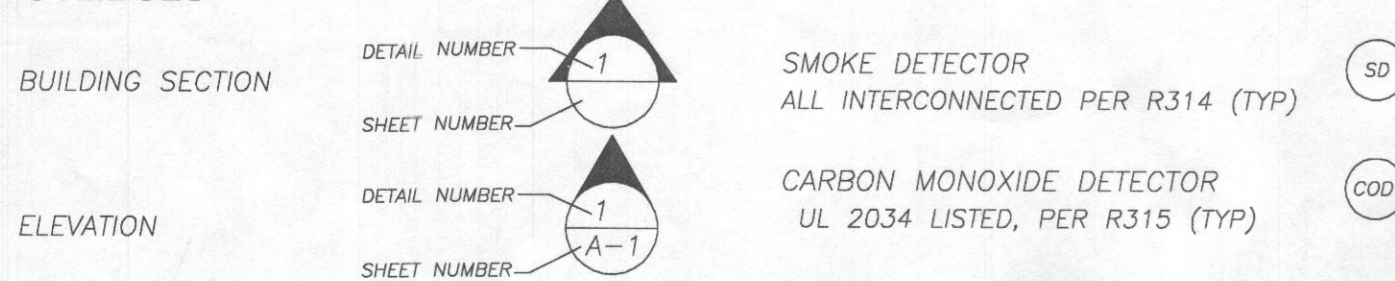
BASEMENT FLOOR PLAN



SECOND FLOOR PLAN

SIMPLIFIED FLOOR PLANS	Proj. No. 16-2
PARCEL 0094, GRID 0012, MAP 0006 1140 SHAFFERSVILLE RD MT. AIRY 21771-3114 HOWARD COUNTY, MARYLAND	Dwg. No. SFP-1

SYMBOLS



CODES AND STANDARDS

BUILDING ENERGY MECHANICAL	MECHANICAL	PLUMBING & GAS	ELECTRICAL	LIFE SAFETY	FIRE PREVENTION
ICC-IRC 2015 W/ LOCAL AMENDMENT	ICC-IMC 2015	2009 NSPCI & 2009 NFGC (NFPA 54)	NEC 2014 W/ LOCAL AMENDMENT	LIFE SAFETY CODE 2015	NFPA 72 2007 COMAR

MINIMUM DESIGN LIVE LOADS

ATTICS WITH STORAGE	ATTICS WITHOUT STORAGE	BEDROOMS	DECKS & BALCONIES	GARAGES	GUARDRAILS/HANDRAILS	OTHER ROOMS	STAIRS
20 PSF	10 PSF	30 PSF	40 PSF	50 PSF	200 LB @ ANY POINT	40 PSF	40 PSF

RESIDENTIAL COSTRUCTION DESIGN PARAMETERS

ROOF LOAD/ SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.	RADON POTENTIAL (APP. F)
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY						
30 PSF	90 MPH	B	SEVERE	30 IN	MODERATE TO HEAVY	SLIGHT TO MODERATE	12°	YES	JULY 2, 1979	<1,500	52°F	HIGH (ZONE 1)

ENERGY WORKSHEET

(SPECIFIED TO MEET/EXCEED: IECC 2012)

CLIMATE ZONE (IECC)	HEATING DEGREE DAYS	MAXIMUM			PRESCRIPTIVE METHOD								HEATING EQUIPMENT AFUE	COOLING EQUIPMENT SEER
		GLAZING AREA %	GLAZING U-FACTOR	DOOR U-FACTOR	CEILINGS	WALLS	FLOORS	BASEMENT WALLS	SLAB PERIMETER	CRAWL SPACE	DUCT INSULATION			
4A	5400	<25%	0.35	0.35	49	20 OR 13+5	19 ABV. UNHATED SPACE 30 CANTILEVE	10/13	10/2 FT	10/13	8	80%	14	

BLOWER DOOR TEST MANDATORY, DUCT BLASTER TEST IF APPLICABLE.

CONSTRUCTION NOTES

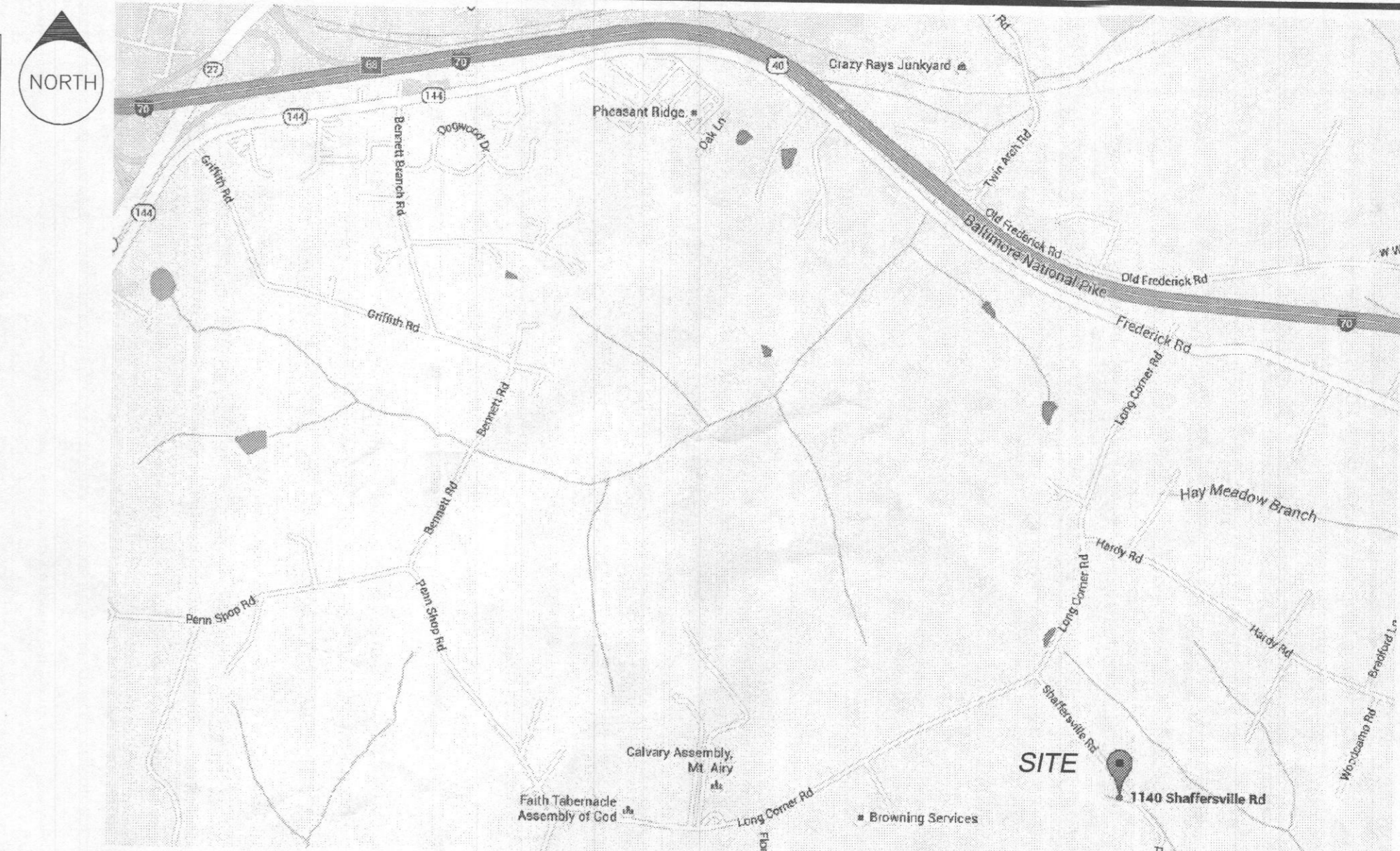
ALL FOUNDATION/SUMP DRAINS MUST BE MINIMUM 10' AWAY FROM THE BUILDINGS. RISERS AND TRENCHES MUST BE UNIFORMLY SIZED IN A GROUP OF STEPS AND MUST MEET ALL CURRENT APPLICABLE CODES.
 PROVIDE STRUCTURAL FILL AS REQUIRED BY ALL APPLICABLE REGULATIONS OR IF REQUIRED BY THE COUNTY INSPECTOR.
 • PLACE CLASS 1 FILL UNDER BUILDINGS, WALLS, AND OTHER STRUCTURES.
 • PLACE CLASS 2 FILL UNDER ROADWAYS, PAVEMENTS, RIGID UTILITY LINES, HOUSE CONNECTIONS, AND ANCILLARY STRUCTURES.

MISS UTILITY

FOR LOCATION OF UTILITIES CALL 1-800-552-7001, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CODES AND GUIDELINES.

INDEX OF DRAWINGS

- A-1 COVER SHEET, CODE ANALYSIS AND SITE PLAN
- A-2 PLANS
- A-3 ELEVATIONS
- A-4 SECTIONS AND DETAILS
- A-5 FRAMING PLANS
- A-6 WALL SHEATHING DIAGRAMS
- A-7 CAR PORT AND DECK DETAILS
- A-8 CONSTRUCTION NOTES AND SPECIFICATIONS



VICINITY MAP 1"=2 MILE

PROPERTY INFORMATION

APPLICANT/OWNER: GAF ONE, LLC
 PO BOX 2003, ELLICOTT CITY, MD 21041

PROPERTY ADDRESS: 1140 SHAFFERSVILLE RD, MT AIRY, MD 21771-3114

DISTRICT/ACCOUNT NUMBER: 04 / 324099

LOT/BLOCK/SUBDIVISION: LOT 13, SECTION 5, SUNRISE

TAX MAP/GRID/PARCEL: 0006/0012/0094

DEED REFERENCE: 16645/00445

PLAT REFERENCE: 0088/0037

ZONED: RC-DEO
 Rural Conservation-Development Exchange Option

USE GROUP: R-2

TYPE OF CONSTRUCTION: 5 B
 2 WITH BASEMENT

NUMBER OF STORIES: 2 WITH BASEMENT

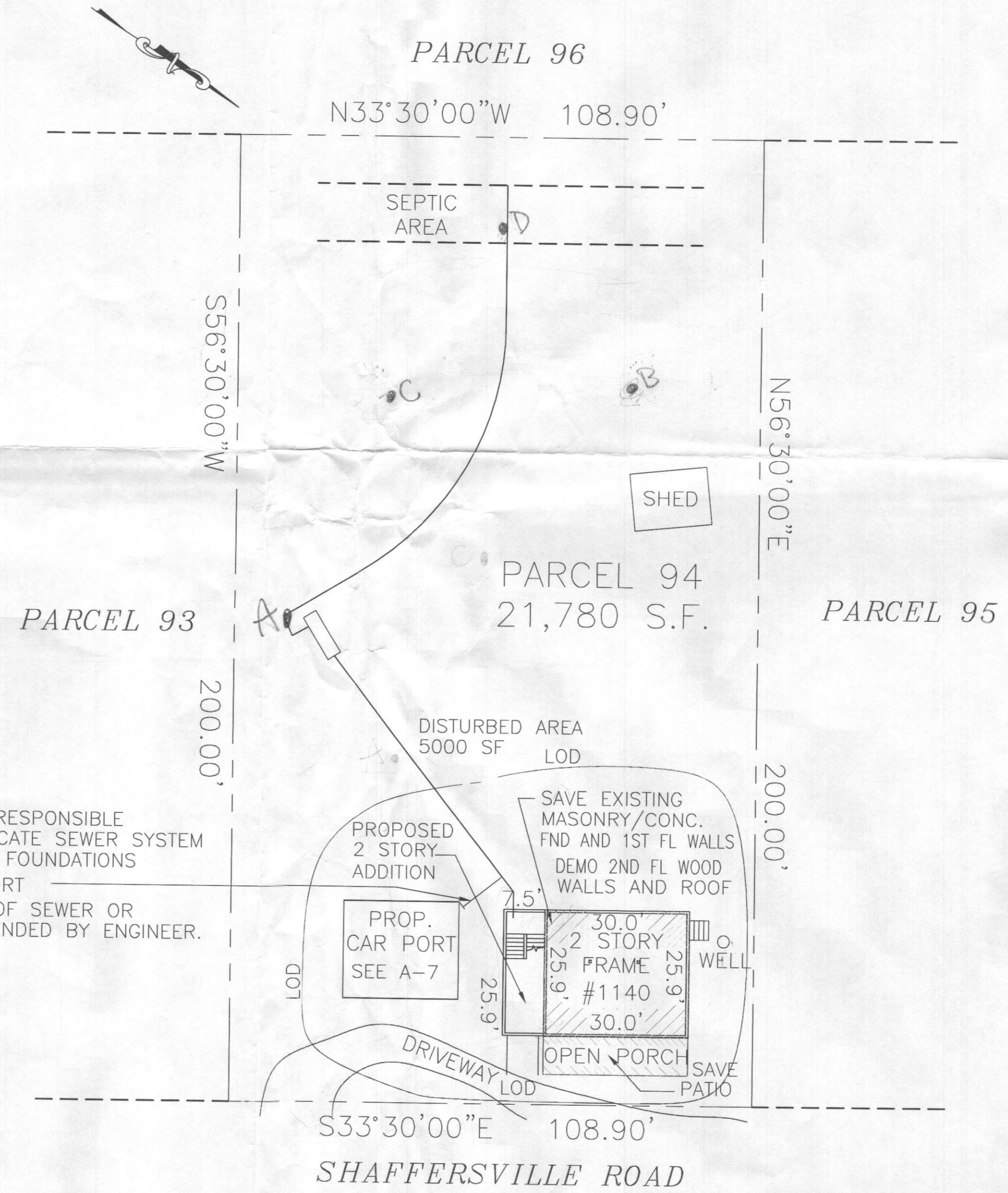
SITE AREA: 21,780 SF (.5 ACRE)

BOUNDARY: The property lines shown hereon are based on plat book 88, page 37.

THIS PLAN HAS BEEN PREPARED BASED ON AVAILABLE RECORDS, BUT WITHOUT THE BENEFIT OF A TITLE REPORT. PRIOR TO CONSTRUCTION, PLEASE CONTACT YOUR ATTORNEY OR TITLE COMPANY TO DETERMINE WHETHER THERE ARE ANY EASEMENTS OR RESTRICTIONS, OTHER THAN THOSE SHOWN, WHICH COULD AFFECT THE USE OF THIS PROPERTY.

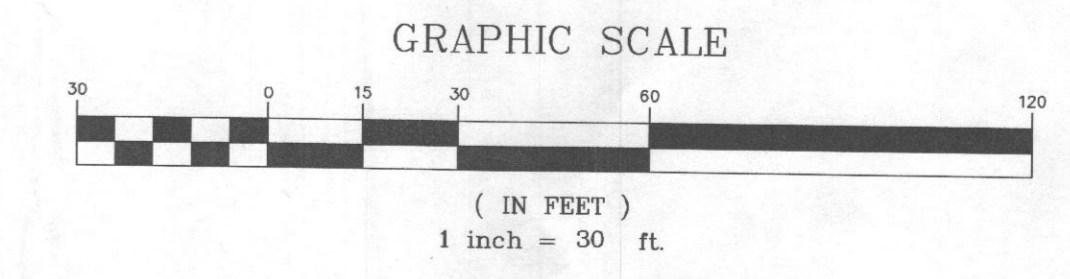
PROJECT NARRATIVE

SCOPE OF PROPOSED WORK IS TO DEMOLISH EXISTING SECOND FLOOR COMPROMISED WOOD WALLS AND ROOF, AND ADD 7.5' 2 STORY ADDITION TO EXISTING 2 STORY FRAME HOUSE.
 AREA OF PROPOSED WORK IS 2000 SF.
 TOTAL DISTURBED AREA IS 5,000 SF (0.11 AC).
 PROPOSED EARTHWORK TO BALANCE ON SITE. NO SIGNIFICANT EARTH MOVEMENT(SPOIL OR BORROW) IS PROPOSED.



BUILDER IS RESPONSIBLE TO FIELD LOCATE SEWER SYSTEM AND LOCATE FOUNDATIONS AND CAR PORT
 MIN DEPTH OF SEWER OR AS RECOMMENDED BY ENGINEER.

1 SITE PLAN
A-1 1"=20'



All designs, specifications and other data shown hereon are the intellectual property of Tom Nyein, AIA, and/or consultant(s) as noted. The designer reserves all copyright and common law rights applicable. THIS PLAN IS PREPARED FOR REVIEW AND APPROVAL BY ALL APPLICABLE AUTHORITIES AND NOT FOR CONSTRUCTION UNTIL ALL APPROVALS HAVE BEEN OBTAINED. NO WORK SHALL BE DONE BASED ON THIS PLAN UNLESS ALL REQUIRED APPROVAL STAMPS AND SIGNATURES ARE PRESENT.

Owner
 GAF ONE, LLC
 P.O. Box 2003
 Elllicott City, MD 21041
 410-294-2241
 tfisgin@gafdb.com

Architect
 Tom Nyein, AIA, NCARB, LEED AP
 9801 Traville Commons Drive #203
 Rockville, MD 20850
 (703)981-2853
 tnyein@msn.com

Tom Nyein
 TOM P. NYEIN
 8/1/17
 DATE

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT IN THE STATE OF MARYLAND, LICENSE NUMBER 14269, EXPIRATION DATE 06/16/2019.



Scale:	Designed:	Drawn:	Issue Date:
AS NOTED	TPN	TPN	8/1/17
No			Date By

COVER SHEET, CODE ANALYSIS AND SITE PLAN
 PROPOSED RESIDENTIAL ADDITION & ALTERATION
 PARCEL 0094, GRID 0012, MAP 0006
 1140 SHAFFERSVILLE RD
 MT. AIRY 21771-3114
 HOWARD COUNTY, MARYLAND

Proj. No. 16-2
 Dwg. No. **A-1**

SYMBOLS

BUILDING SECTION	DETAIL NUMBER -1	SMOKE DETECTOR ALL INTERCONNECTED PER R314 (TYP)	(SD)
ELEVATION	SHEET NUMBER A-1	CARBON MONOXIDE DETECTOR UL 2034 LISTED, PER R315 (TYP)	(COO)

CODES AND STANDARDS

BUILDING ENERGY MECHANICAL	MECHANICAL	PLUMBING & GAS	ELECTRICAL	LIFE SAFETY	FIRE PREVENTION
ICC-IRC 2015 W/ LOCAL AMENDMENT	ICC-IMC 2015	2009 NSPCI & 2009 NFCC (NFPA 54)	NEC 2014 W/ LOCAL AMENDMENT	LIFE SAFETY CODE 2015	NFPA 72 2007 COMAR

MINIMUM DESIGN LIVE LOADS

ATTICS WITH STORAGE	ATTICS WITHOUT STORAGE	BEDROOMS	DECKS & BALCONIES	GARAGES	GUARDRAILS/HANDRAILS	OTHER ROOMS	STAIRS
20 PSF	10 PSF	30 PSF	40 PSF	50 PSF	200 LB @ ANY POINT	40 PSF	40 PSF

RESIDENTIAL COSTRUCTION DESIGN PARAMETERS

ROOF LOAD/ SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.	RADON POTENTIAL (APP. F)
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY						
30 PSF	90 MPH	B	SEVERE	30 IN	MODERATE TO HEAVY	SLIGHT TO MODERATE	12°F	YES	JULY 2, 1979	<1,500	52°F	HIGH (ZONE 1)

ENERGY WORKSHEET

(SPECIFIED TO MEET/EXCEED: IECC 2012)

CLIMATE ZONE (IECC)	HEATING DEGREE DAYS	MAXIMUM			PRESCRIPTIVE METHOD						HEATING EQUIPMENT AFUE	COOLING EQUIPMENT SEER		
		GLAZING AREA %	GLAZING U-FACTOR	DOOR U-FACTOR	CEILINGS	WALLS	FLOORS	BASEMENT WALLS	SLAB PERIMETER	CRAWL SPACE			DUCT INSULATION	
4A	5400	<25%	0.35	0.35	49	20 OR 13+5	19 OR 30	ABV. UNHEATED SPACE CANTILEVER	10/13	10/2 FT	10/13	8	80%	14

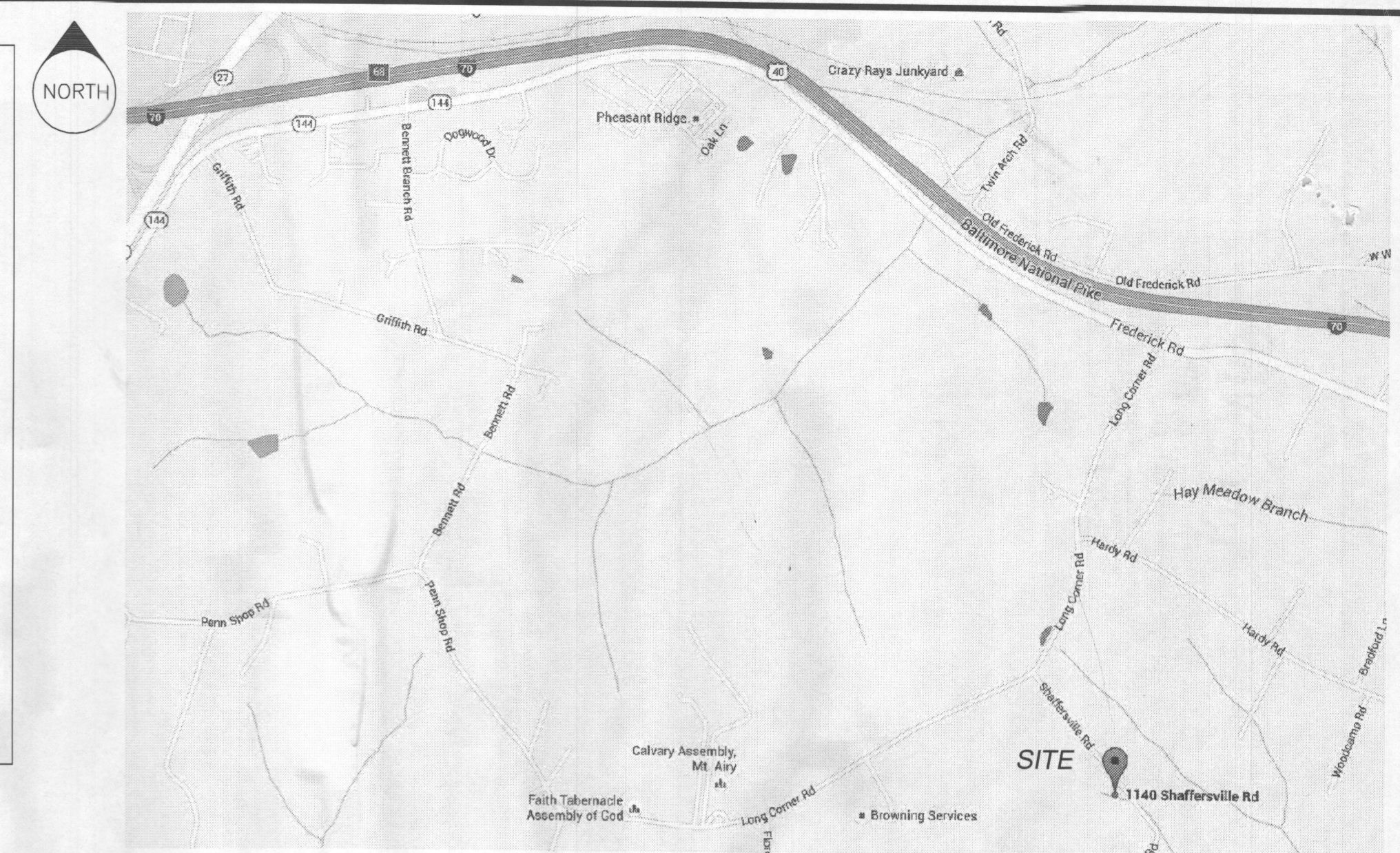
BLOWER DOOR TEST MANDATORY, DUCT BLASTER TEST IF APPLICABLE.

CONSTRUCTION NOTES

ALL FOUNDATION/SUMP DRAINS MUST BE MINIMUM 10' AWAY FROM THE BUILDINGS. RISERS AND TRENDS MUST BE UNIFORMLY SIZED IN A GROUP OF STEPS AND MUST MEET ALL CURRENT APPLICABLE CODES.
 PROVIDE STRUCTURAL FILL AS REQUIRED BY ALL APPLICABLE REGULATIONS OR IF REQUIRED BY THE COUNTY INSPECTOR.
 ● PLACE CLASS 1 FILL UNDER BUILDINGS, WALLS, AND OTHER STRUCTURES.
 ● PLACE CLASS 2 FILL UNDER ROADWAYS, PAVEMENTS, RIGID UTILITY LINES, HOUSE CONNECTIONS, AND ANCILLARY STRUCTURES.
MISS UTILITY
 FOR LOCATION OF UTILITIES CALL 1-800-552-7001, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CODES AND GUIDELINES.

INDEX OF DRAWINGS

- A-1 COVER SHEET, CODE ANALYSIS AND SITE PLAN
- A-2 PLANS
- A-3 ELEVATIONS
- A-4 SECTIONS AND DETAILS
- A-5 FRAMING PLANS
- A-6 WALL SHEATHING DIAGRAMS
- A-7 CAR PORT AND DECK DETAILS
- A-8 CONSTRUCTION NOTES AND SPECIFICATIONS



VICINITY MAP 1"=±2 MILE

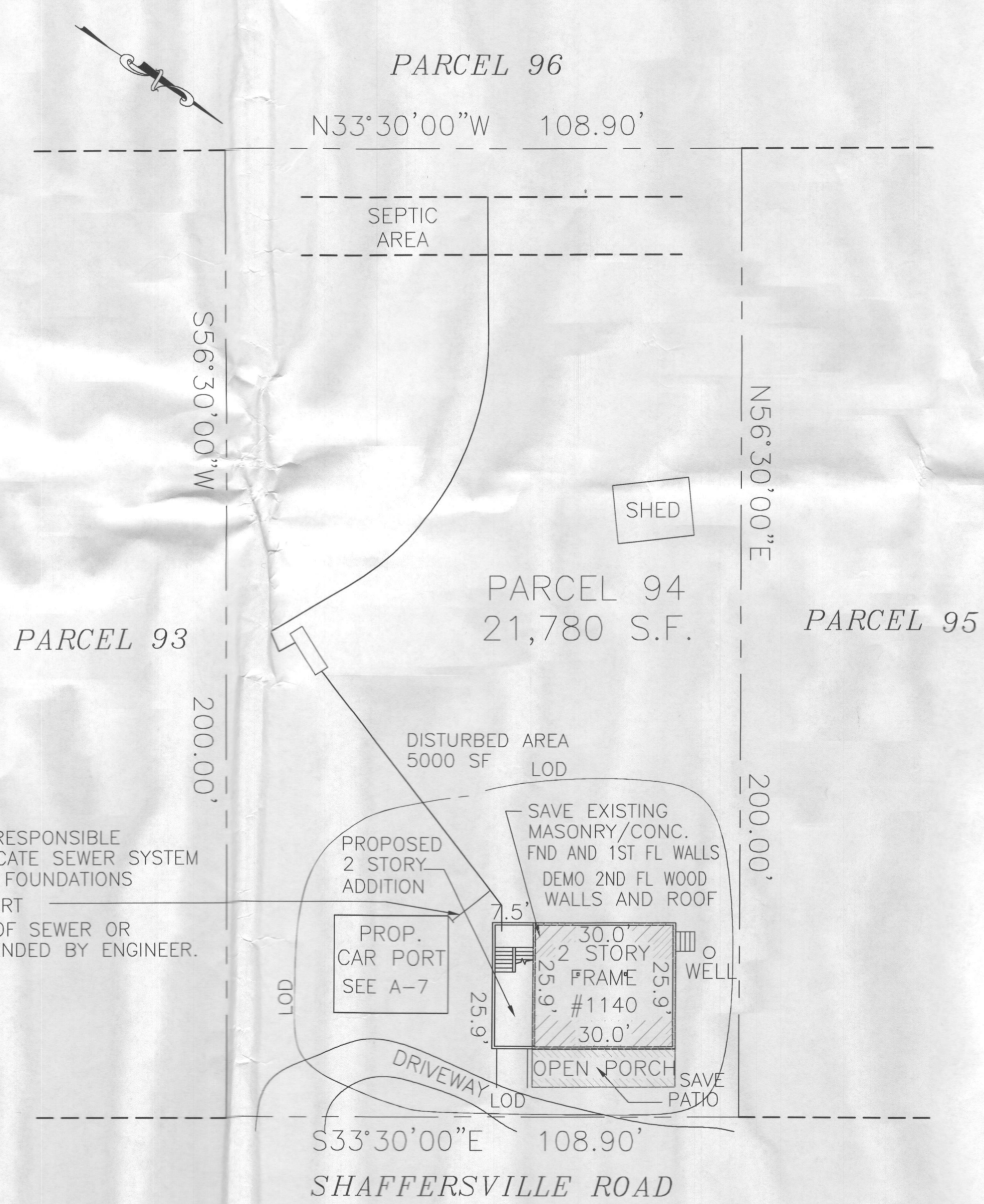
PROPERTY INFORMATION

APPLICANT/OWNER: GAF ONE, LLC
 PO BOX 2003, ELLICOTT CITY, MD 21041
PROPERTY ADDRESS: 1140 SHAFFERSVILLE RD, MT AIRY, MD 21771-3114
DISTRICT/ACCOUNT NUMBER: 04 / 324099
LOT/BLOCK/SUBDIVISION: LOT 13, SECTION 5, SUNRISE
TAX MAP/GRID/PARCEL: 0006/0012/0094
DEED REFERENCE: 16645/00445
PLAT REFERENCE: 0088/0037
ZONED: RC-DEO Rural Conservation-Development Exchange Option
USE GROUP: R-2
TYPE OF CONSTRUCTION: 5 B
NUMBER OF STORIES: 2 WITH BASEMENT
SITE AREA: 21,780 SF (.5 ACRE)
BOUNDARY: The property lines shown hereon are based on plat book 88, page 37.

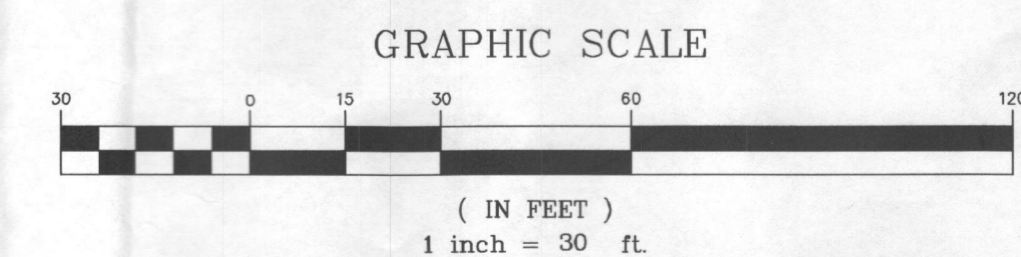
THIS PLAN HAS BEEN PREPARED BASED ON AVAILABLE RECORDS, BUT WITHOUT THE BENEFIT OF A TITLE REPORT. PRIOR TO CONSTRUCTION, PLEASE CONTACT YOUR ATTORNEY OR TITLE COMPANY TO DETERMINE WHETHER THERE ARE ANY EASEMENTS OR RESTRICTIONS, OTHER THAN THOSE SHOWN, WHICH COULD AFFECT THE USE OF THIS PROPERTY.

PROJECT NARRATIVE

SCOPE OF PROPOSED WORK IS TO DEMOLISH EXISTING SECOND FLOOR COMPROMISED WOOD WALLS AND ROOF, AND ADD 7.5' 2 STORY ADDITION TO EXISTING 2 STORY FRAME HOUSE.
 AREA OF PROPOSED WORK IS 2000 SF.
 TOTAL DISTURBED AREA IS 5,000 SF (0.11 AC).
 PROPOSED EARTHWORK TO BALANCE ON SITE. NO SIGNIFICANT EARTH MOVEMENT(SPOIL OR BORROW) IS PROPOSED.



BUILDER IS RESPONSIBLE TO FIELD LOCATE SEWER SYSTEM AND LOCATE FOUNDATIONS AND CAR PORT MIN DEPTH OF SEWER OR AS RECOMMENDED BY ENGINEER.



1 SITE PLAN 1"=20'

All designs, specifications and other data shown hereon are the intellectual property of Tom Nyein, AIA, and/or consultant(s) as noted. The designer reserves all copyright and common law rights applicable. THIS PLAN IS PREPARED FOR REVIEW AND APPROVAL BY ALL APPLICABLE AUTHORITIES AND NOT FOR CONSTRUCTION UNTIL ALL APPROVALS HAVE BEEN OBTAINED. NO WORK SHALL BE DONE BASED ON THIS PLAN UNLESS ALL REQUIRED APPROVAL STAMPS AND SIGNATURES ARE PRESENT.

Owner
 GAF ONE, LLC
 P.O. Box 2003
 Ellicott City, MD 21041
 410-294-2241
 tfisgin@gafdb.com

Architect
 Tom Nyein, AIA, NCARB, LEED AP
 9801 Traville Commons Drive #203
 Rockville, MD 20850
 (703)981-2853
 tnyein@msn.com

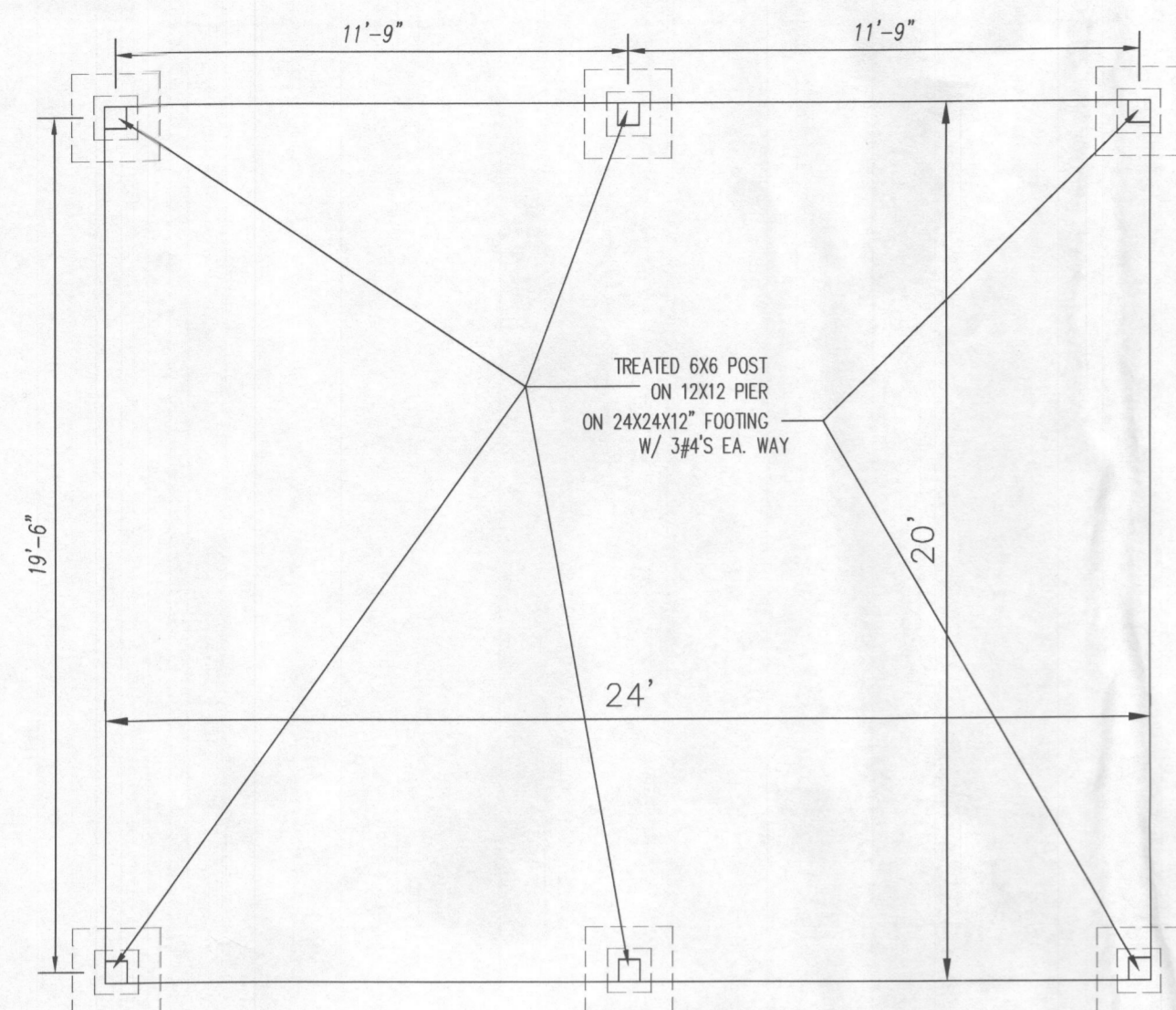
Tom Nyein
 TOM P. NYEIN
 8/1/17
 DATE
 I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT IN THE STATE OF MARYLAND, LICENSE NUMBER 14269, EXPIRATION DATE 06/16/2019.

ARCHITECT
 #14269
 TOM PE NYEIN
 STATE OF MARYLAND

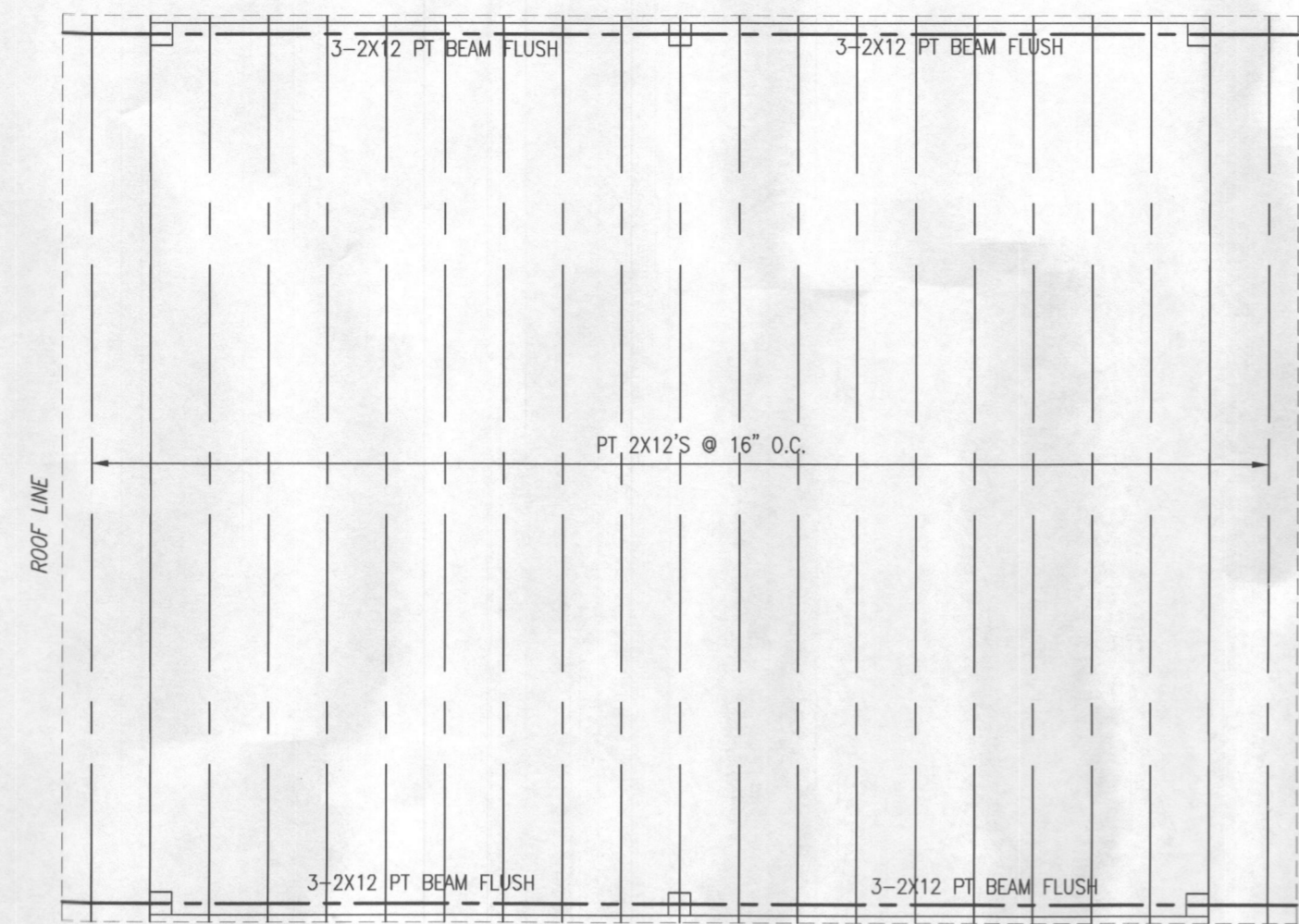
Scale:	Designed:	Drawn:	Issue Date:
AS NOTED	TPN	TPN	8/1/17
No.			Date By

COVER SHEET, CODE ANALYSIS AND SITE PLAN
 PROPOSED RESIDENTIAL ADDITION & ALTERATION
 PARCEL 0094, GRID 0012, MAP 0003
 1140 SHAFFERSVILLE RD
 MT. AIRY 21771-3114
 HOWARD COUNTY, MARYLAND

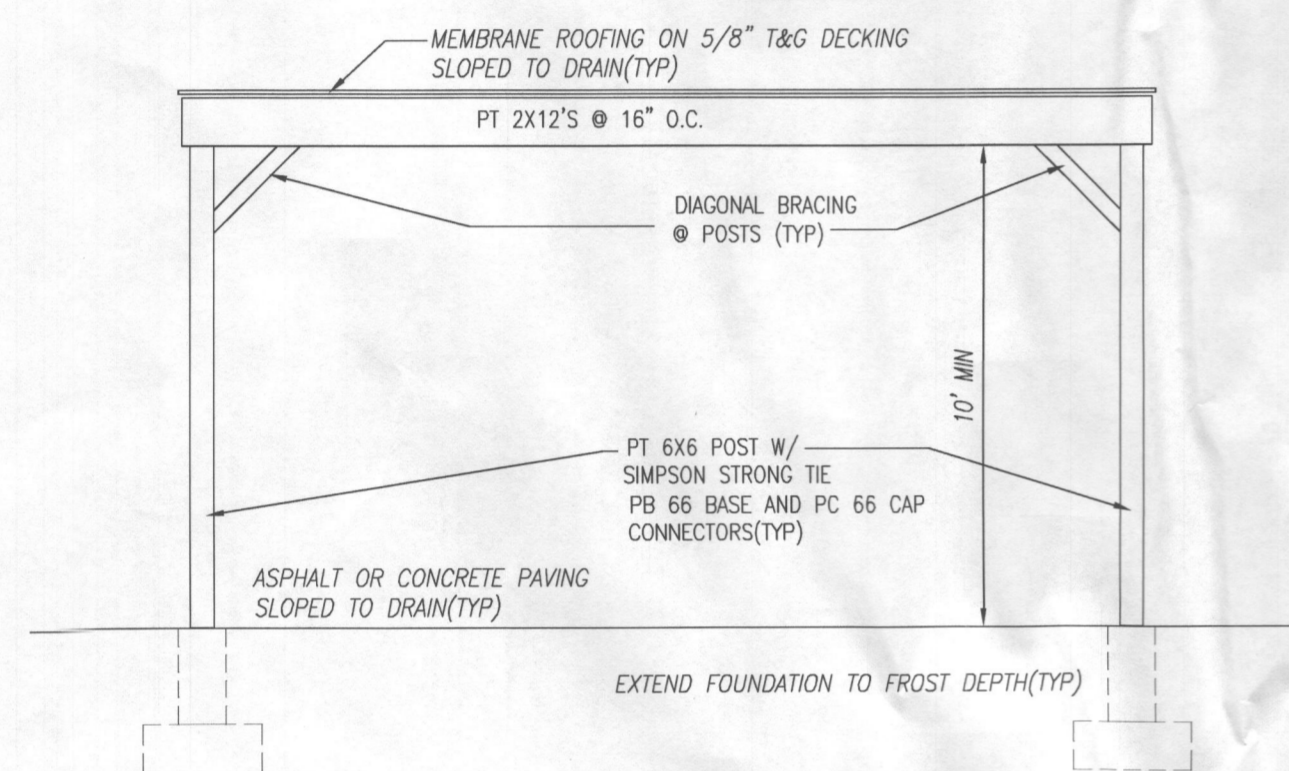
Proj. No. 16-2
 Dwg. No. **A-1**



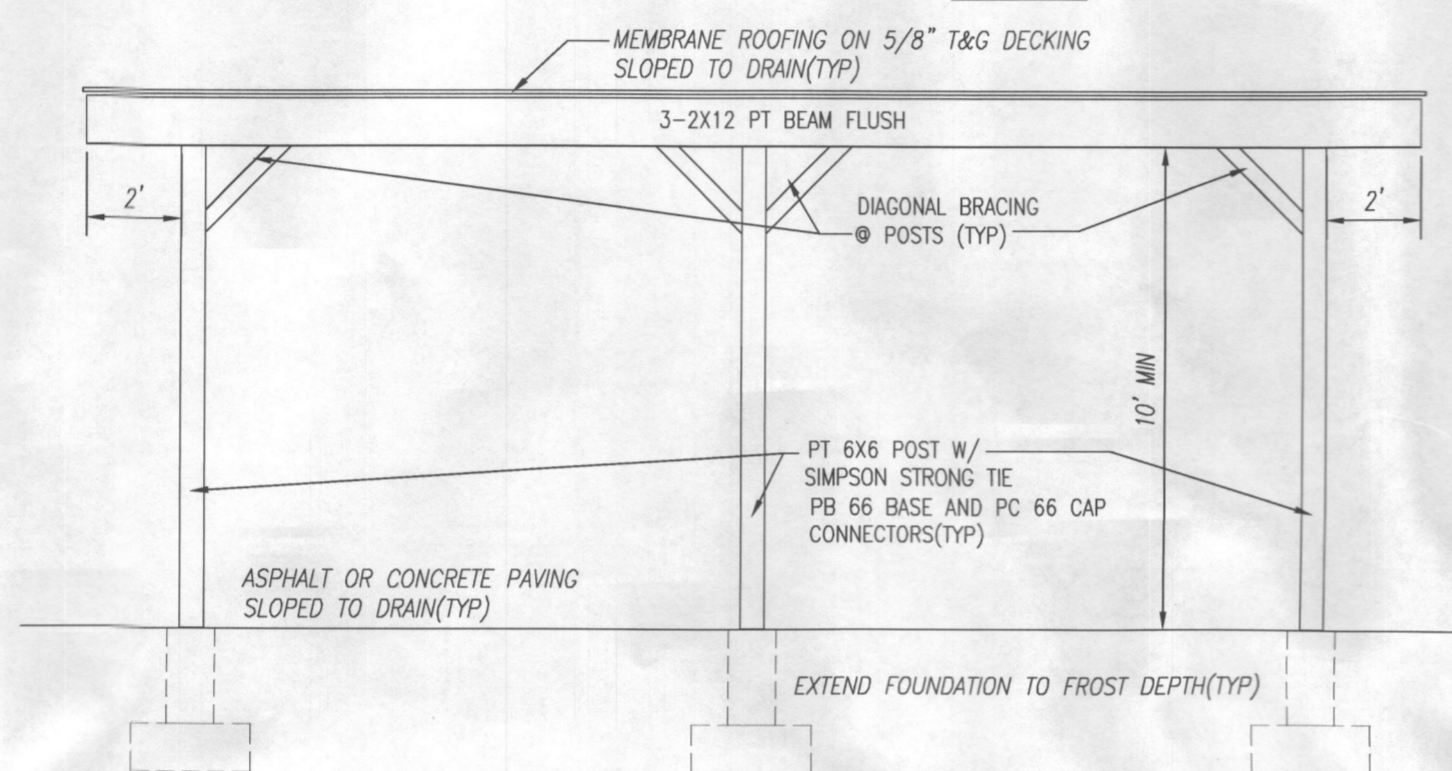
CAR PORT PLAN



CAR PORT FRAMING PLAN

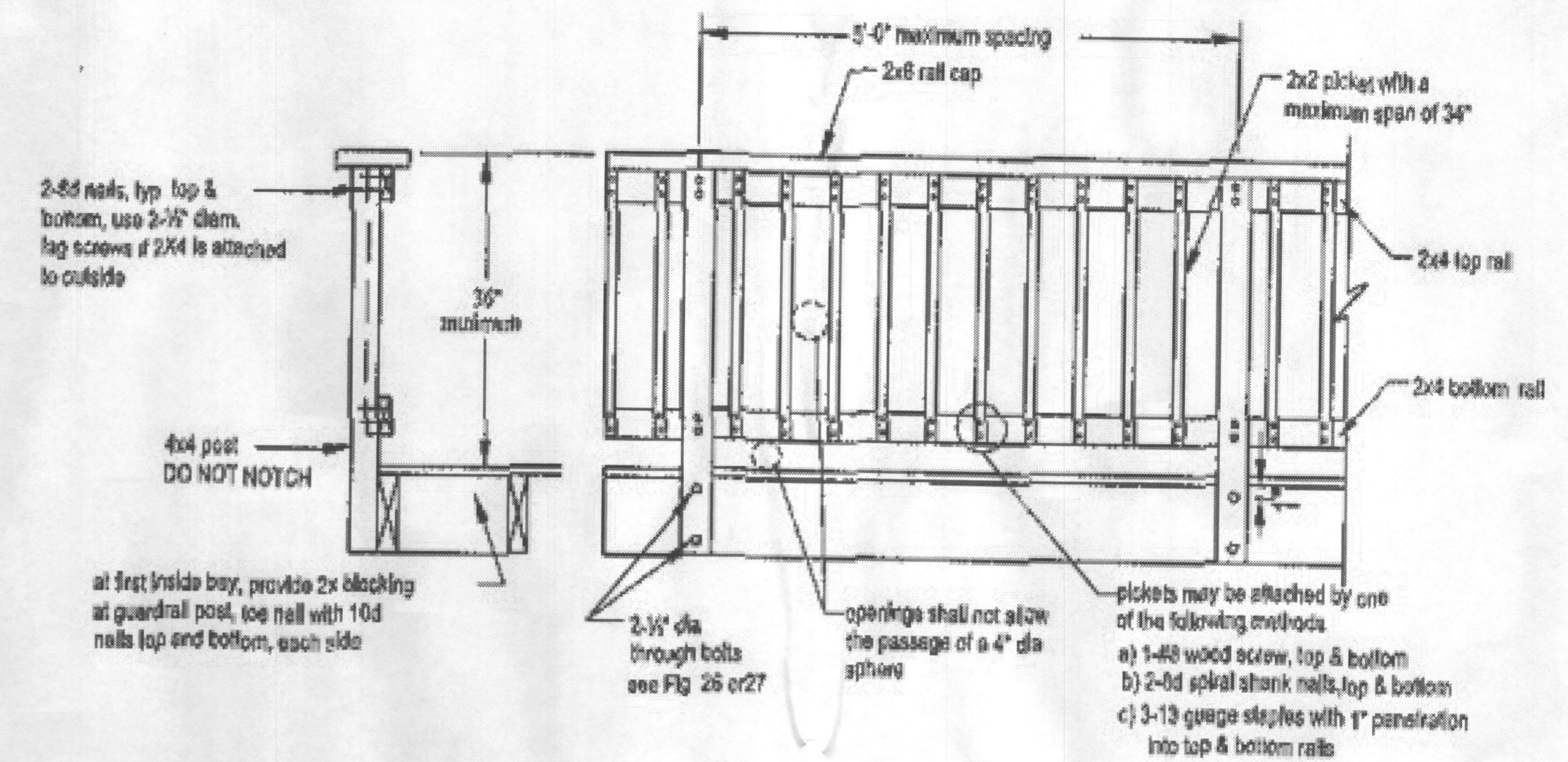


CAR PORT FRONT/REAR ELEVATION

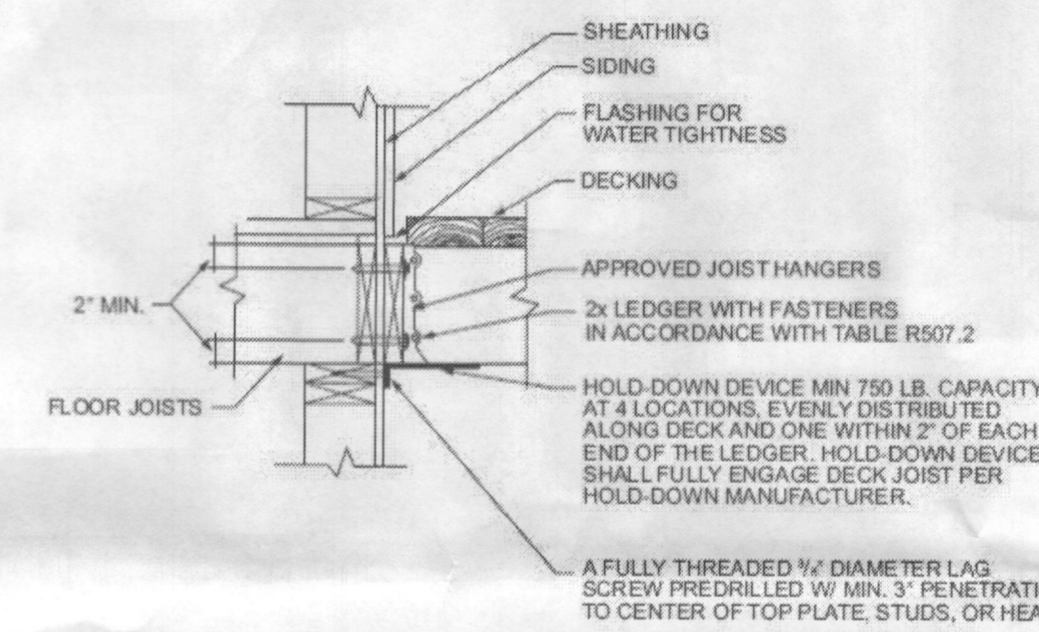


CAR PORT SIDE ELEVATION

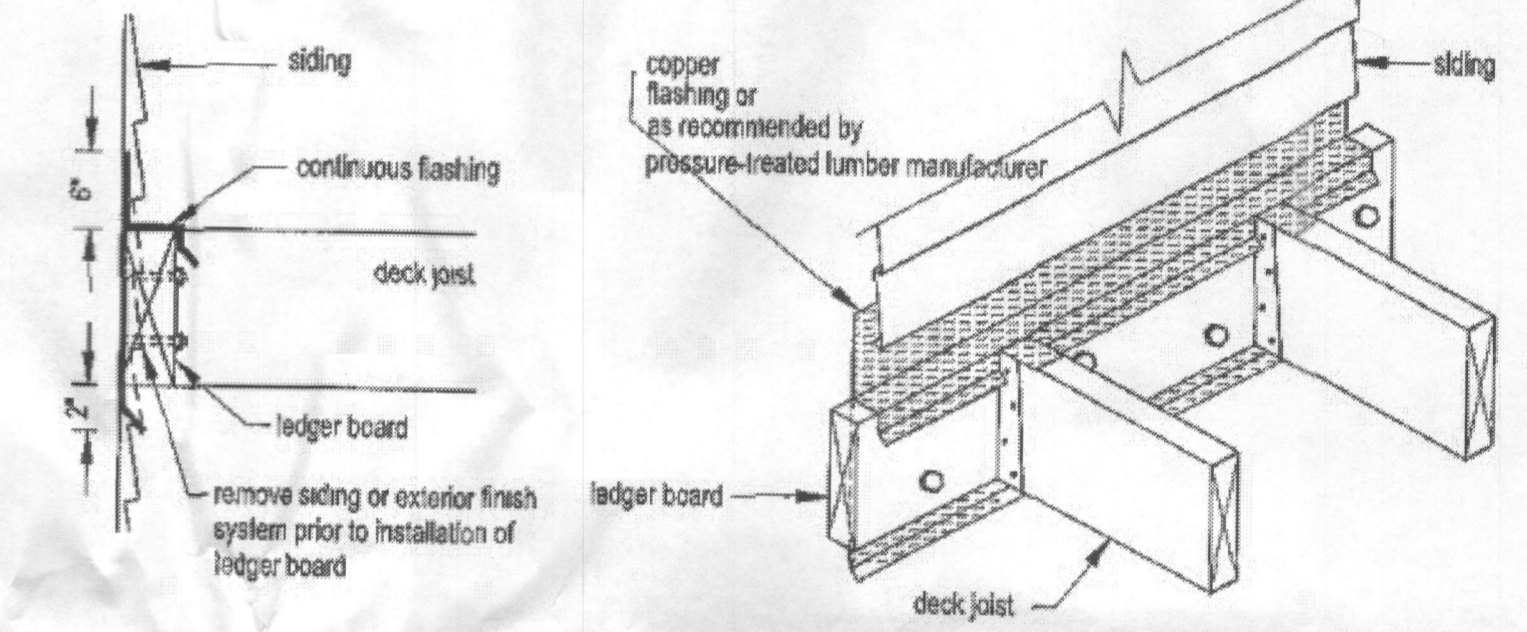
1
A-7 CAR PORT DETAILS



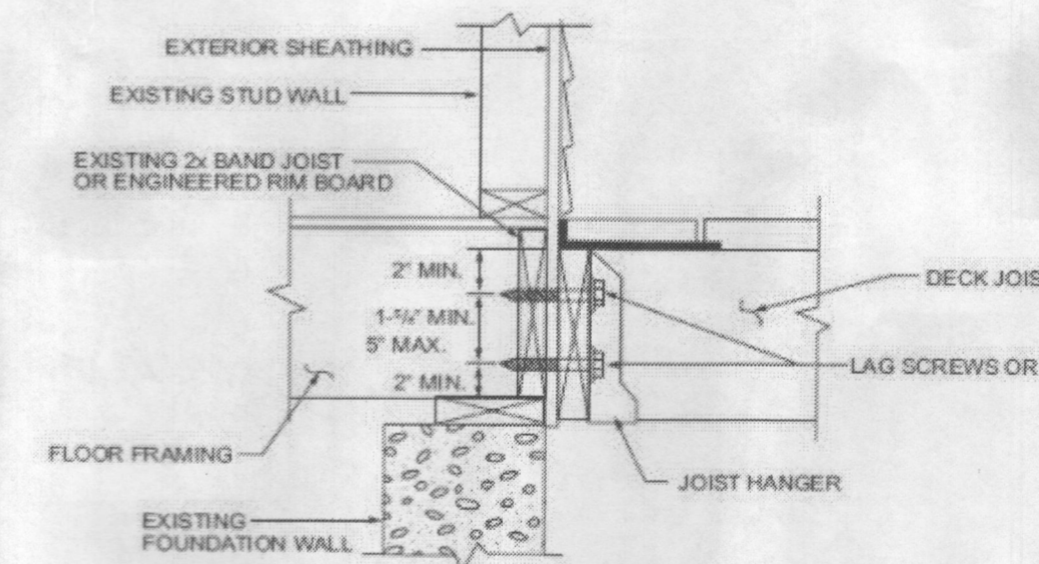
GUARD RAIL DETAILS



DECK HOLD DOWN DEVICE ATTACHMENT (4 LOCATIONS MIN)



LEDGER FLASHING @ WALL



LEDGER ATTACHMENT

When attaching the ledger to single band joists or single engineered rim board (Figure 10), 1/2 inch diameter lag screws shall be installed with the spacing, S, shown in Figure 13, given in Table 5.

Pilot holes for the threaded portion of the lag screws shall be 40% to 70% of the shank diameter. All lag screws shall be installed with standard cut washers. The threaded portion of the lag screw shall be inserted into the lead hole by turning. Use soap or a wood-compatible lubricant to facilitate tightening. A test on the lag screw installation is recommended before the ledger attachment.

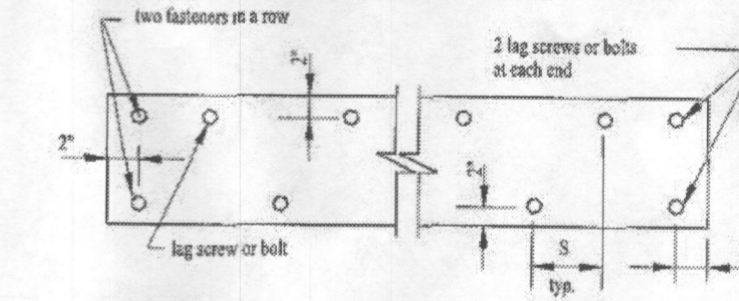


Figure 19: Placement of fasteners on ledger board

Table 5: Lag screws installed in single band joist

Number in a row	Size	Length in.	Max. spacing S - in.	Max. joist span - feet
1	1/2"	4	12	8
			9	10
			7	12
			6	14
			5	16
4	18	20		

LEDGER ATTACHMENT BOLT DETAILS

2
A-7 DECK CONSTRUCTION DETAILS

All designs, specifications and other data shown hereon are the intellectual property of Tom Nyein, AIA, and/or consultant(s) as noted. The designer reserves all copyright and common law rights applicable. THIS PLAN IS PREPARED FOR REVIEW AND APPROVAL BY ALL APPLICABLE AUTHORITIES AND NOT FOR CONSTRUCTION UNTIL ALL APPROVALS HAVE BEEN OBTAINED. NO WORK SHALL BE DONE BASED ON THIS PLAN UNLESS ALL REQUIRED APPROVAL STAMPS AND SIGNATURES ARE PRESENT.

Owner
GAF ONE, LLC
P.O. Box 2003
Ellicott City, MD 21041
410-294-2241
tfisgin@gafdb.com

Architect
Tom Nyein, AIA, NCARB, LEED AP
9801 Traville Commons Drive #203
Rockville, MD 20850
(703)981-2853
tnyein@msn.com

Tom Nyein
8/1/17
DATE
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT IN THE STATE OF MARYLAND, LICENSE NUMBER 14269, EXPIRATION DATE 06/16/2019.



Scale:	AS NOTED	Designed:	TPN	Drawn:	TPN	Issue Date:	Date	By
No.								

REAR AND RIGHT SIDE ELEVATIONS
PROPOSED RESIDENTIAL ADDITION & ALTERATION
PARCEL 0094, GRID 0012, MAP 0006
1140 SHAFFERSVILLE RD
MT. AIRY 21771-3114
HOWARD COUNTY, MARYLAND

Proj. No. 16-2
Dwg. No. A-7