



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 7/31/17

Permit No.: B17002907

HEALTH

Building Address: 5311 Catalpa Court
 City: Ellicott city State: MD Zip Code: 21042
 Suite/Apt. #: _____ SDP/WP/BA #: GP 17-28
 Census Tract: _____ Subdivision: Walnut Creek
 Section: _____ Area: _____ Lot: 97
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: vacant lot
 Proposed Use: single family house
 Estimated Construction Cost: \$ 240,000

Description of Work: new 2 story "Clifford Parkite" with 3 car garage, morning pm, 1st floor bathroom, and finished lower level (rec pm and closet)

Occupant or Tenant: _____

Was tenant space previously occupied? Yes No

Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: NVR Inc
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 Phone: 410-379-5956 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Decatur Building Services
 Address: PO Box 552
 City: Woodbine State: MD Zip Code: 21797
 Phone: 443-309-7792 Fax: _____
 Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes
 Contact Person: Taylor Faris
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 License No.: 56
 Phone: 410-379-5956 Fax: _____
 Email: Tfaris@NVRINC.com

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: _____
Area of construction (sq. ft.): _____	2 nd floor: _____
Use group: _____	Basement: _____
<u>Construction type:</u>	<input checked="" type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: <u>5</u>
<input type="checkbox"/> State Certified Modular	<u>Multi-family Dwelling</u>
<input checked="" type="checkbox"/> Roadside Tree Project Permit	No. of efficiency units: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	No. of 1 BR units: _____
Roadside Tree Project Permit # _____	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
	Footings: _____
	Roof: _____
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
<u>Water Supply</u>	<u>JUL 31 2017</u>
<input type="checkbox"/> Public	LICENSES & PERMITS DIVISION
<input checked="" type="checkbox"/> Private	
<u>Sewage Disposal</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<u>Heating System</u>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other: _____	
<u>Sprinkler System:</u>	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin
 Applicant's Signature
Jim@DecaturbuildingServices.com
 Email Address
AGENT NV Homes
 Title/Company

Jim Kerwin
 Print Name
7/31/2017
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

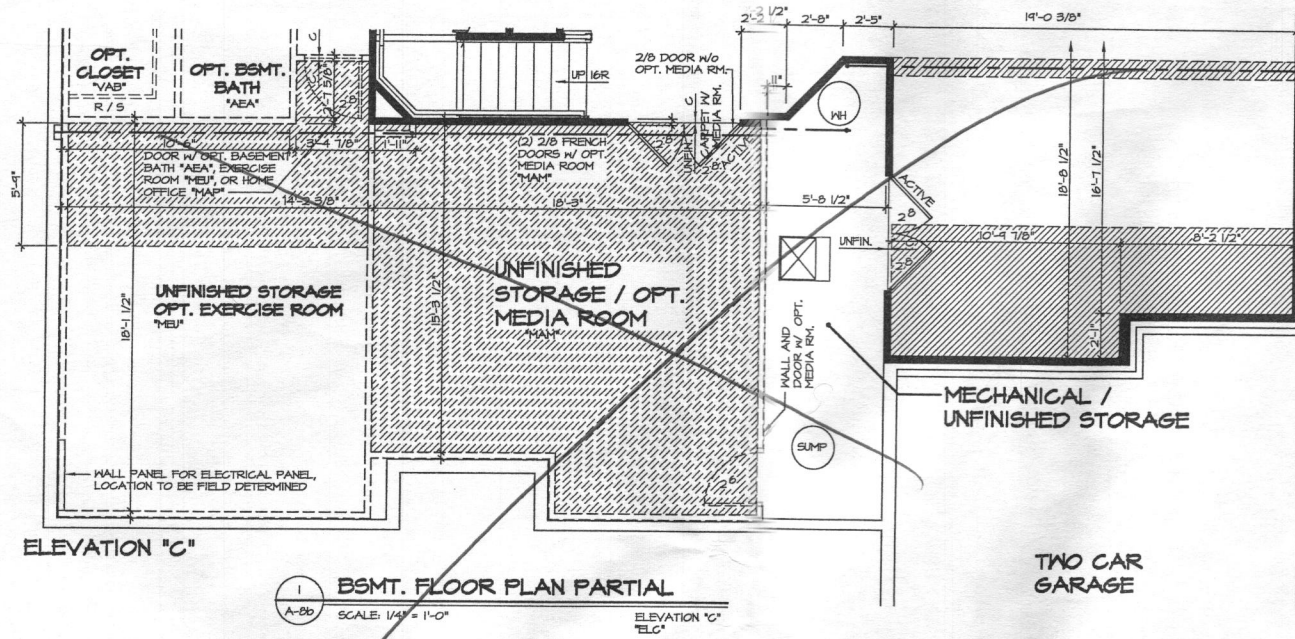
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>8/22/17</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

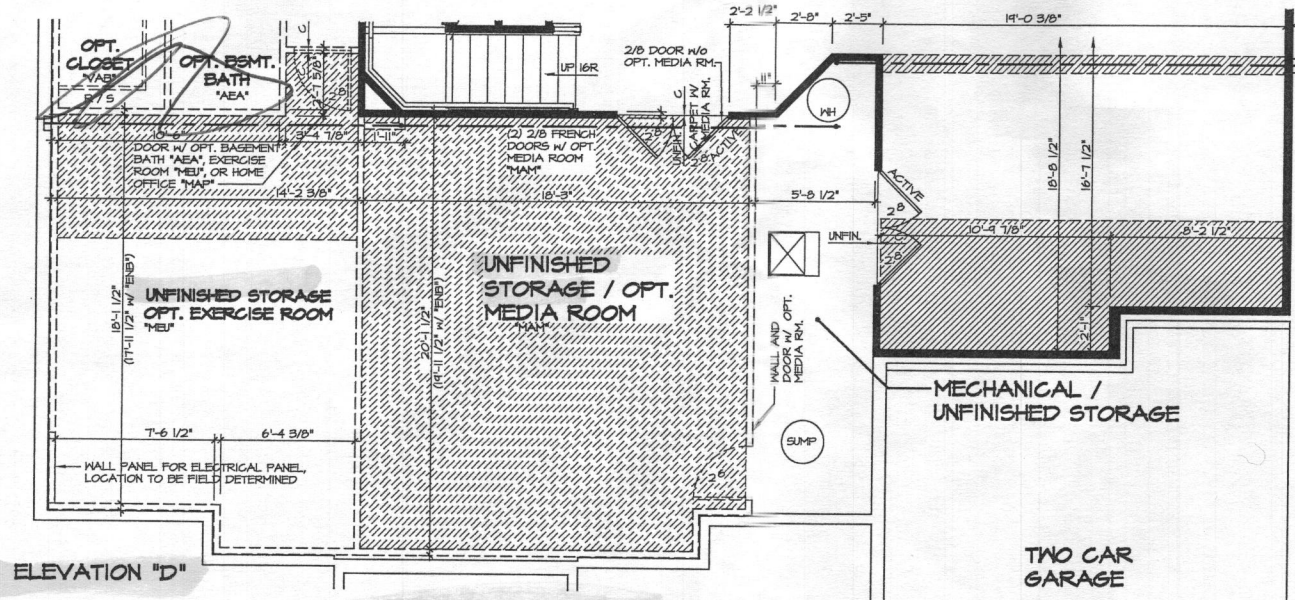
Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>118734</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



ELEVATION "C"

1 BSMT. FLOOR PLAN PARTIAL
A-Bb SCALE: 1/4" = 1'-0" ELEVATION "C" ELC



ELEVATION "D"

2 BSMT. FLOOR PLAN PARTIAL
A-Bb SCALE: 1/4" = 1'-0" ELEVATION "D" ELD

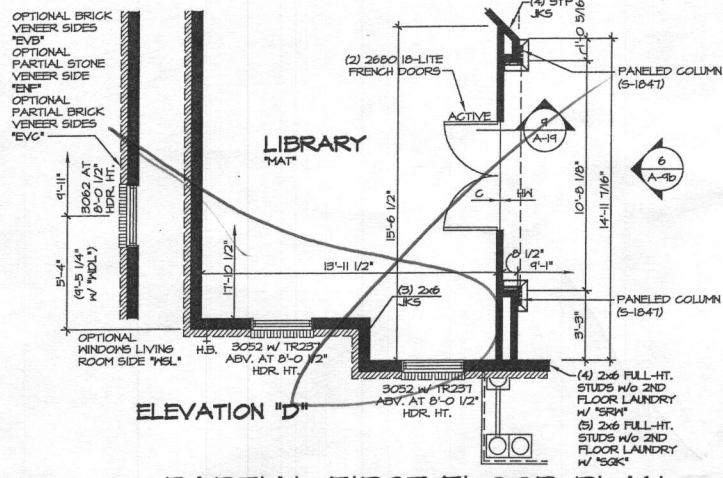
NOTE:
FOR ADDITIONAL BASEMENT INFORMATION AND AVAILABLE OPTIONS, SEE SHEET A-8

NOTES:
ALL HEADERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.
ALL EXTERIOR WALLS ARE 6"
UNLESS OTHERWISE NOTED.
ALL INTERIOR WALLS ARE 3 1/2"
UNLESS OTHERWISE NOTED.
HATCHED AREAS INDICATE DROPPED CEILING.
ALL CASED OPENINGS AT 4'-11", UNLESS OTHERWISE NOTED.
5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

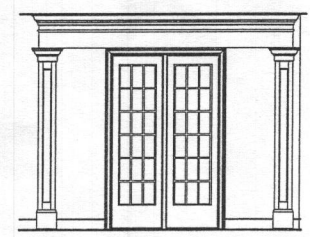
WITH OPTION "SCI" - DRYWALL UNFINISHED BASEMENT CEILING AREA
NOTES:
• 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
• A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
• PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

MODEL		CLIFTON PARK II	
DRAWING TITLE		BASEMENT PARTIAL PLANS	
OPTION DESCRIPTION		FULL BASEMENT ELEVATION "C" ELEVATION "D"	
SHEET NO.	A-8b	46.2	
SET NO.	10300	VERSION 01	DATE: 4/7/14
DRAWN BY	AJH	DATE:	4/7/14
OPTION	FBA	DATE:	4/7/14
OPTION	ELC	DATE:	4/7/14
OPTION	ELD	DATE:	4/7/14
REVISIONS		REMARKS	
REV. NO.	DATE	DESCRIPTION	REMARKS
1	4/28/14	PRG - ADDED "SCI" NOTE	
2	5/6/14	J69 - MOVED "ELC" TO NEXT PAGE	
3	11/29/14	56A - AUDIT REV/5/10/15	
<p><small>NVR, Inc. hereby warrants to common law copyright and other property rights in these drawings. This warranty shall not be construed to include any form of insurance, replacement, or copy in any form or manner whatsoever, without the express written consent of NVR, Inc.</small></p>			
		<p>NVR, Inc. Architects 21 Bye Court, Suite A Frederick, MD 21702</p>	
<p>13.Dwg.DTA\DETACHED\CLIFTON PARK II_10300_01\BSMT_CD.dwg 12/17/14 11:40 am</p>			

NOTE:
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MCL" INFORMATION, SEE SHEET A-4
FOR OPTIONAL BOOKCASE "YST" INFORMATION, SEE SHEET A-4C

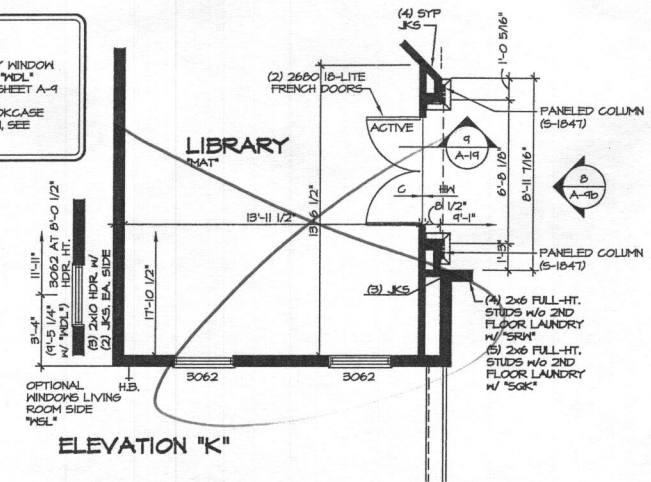


5 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
LIBRARY "MAT"

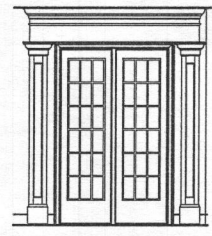


6 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"
LIBRARY "MAT" ELEVATION "D" "ELD"

NOTE:
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MCL" INFORMATION, SEE SHEET A-4
FOR OPTIONAL BOOKCASE "YST" INFORMATION, SEE SHEET A-4C

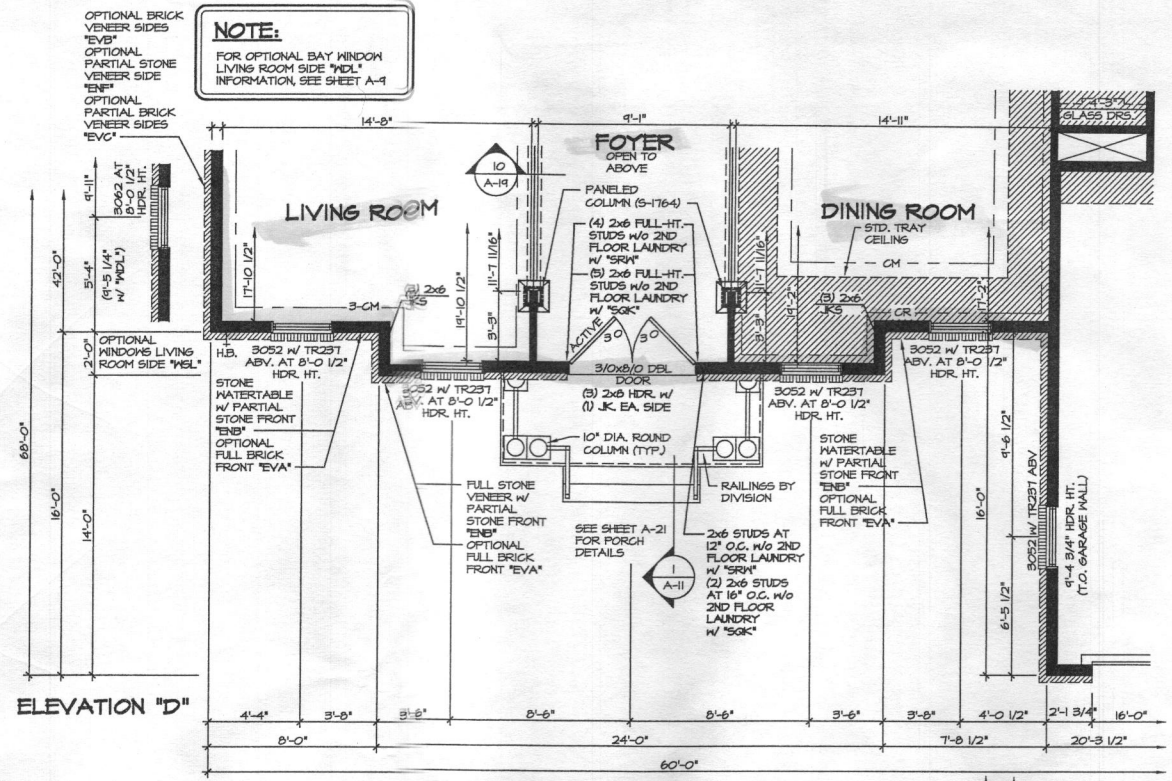


7 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
LIBRARY "MAT"



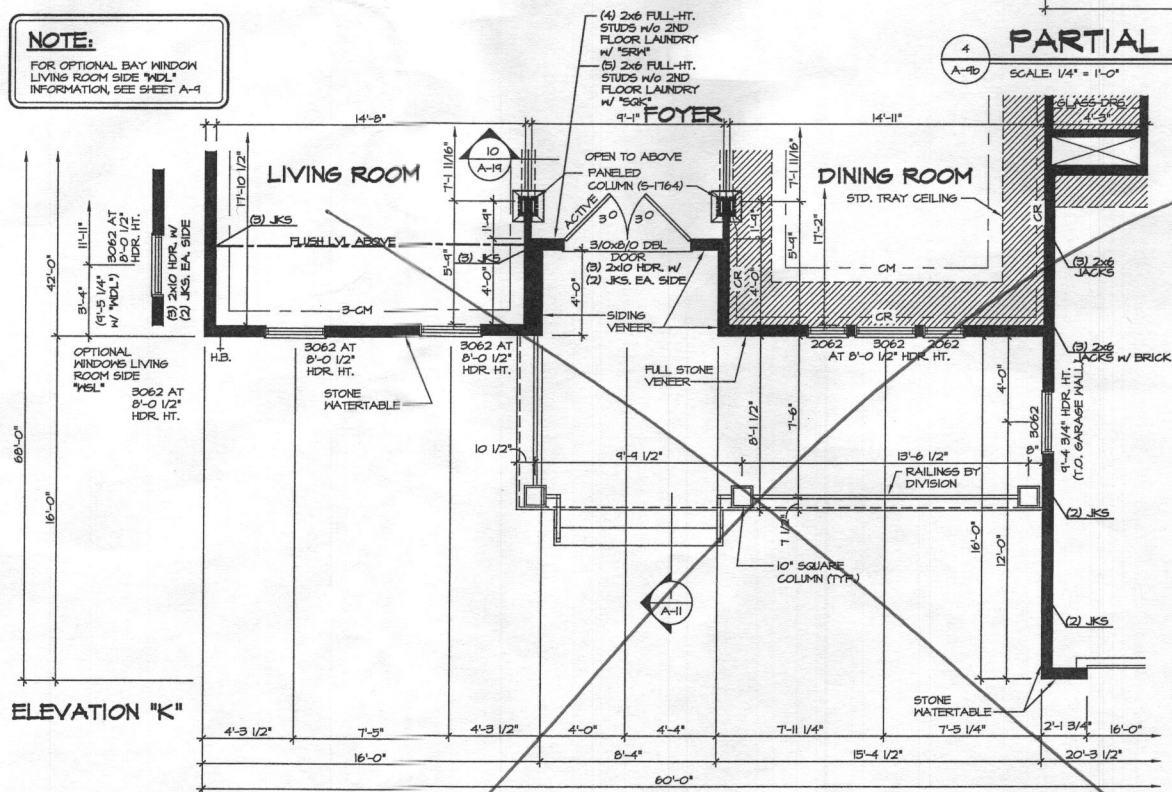
8 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"
LIBRARY "MAT" ELEVATION "K" "ELK"

NOTE:
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MCL" INFORMATION, SEE SHEET A-4



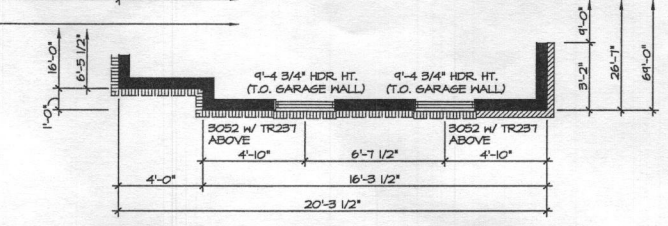
1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "D"

NOTE:
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MCL" INFORMATION, SEE SHEET A-4



2 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "K"

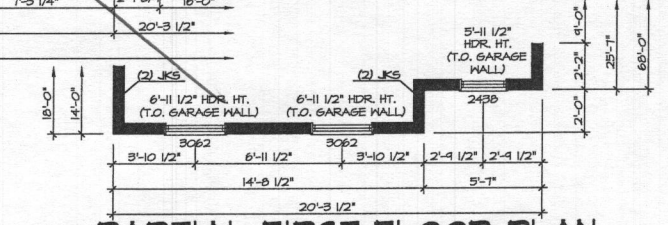
NOTE:
FOR ADDITIONAL GARAGE AND FIRST FLOOR INFORMATION, SEE SHEET A-4



4 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
TWO CAR SIDE ENTRY GARAGE "GCC"

- NOTES:**
- ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 - ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING.
 - ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
 - MASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS



3 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
TWO CAR SIDE ENTRY GARAGE "GCC"

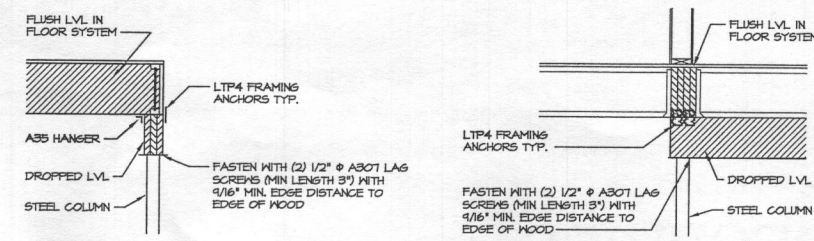
REV. NO.	DATE	REMARKS
1	12/7/05	ISS - PAR EXHIBIT - REVISED GARAGE ELEVATION HEIGHT
2	1/26/06	ISS - ADDED VENEER NOTES TO ELK (PAR 5/25/05)
3	4/26/06	ISS - ADDED JACKS FOR ELK GARAGE (PAR 4/16/05)
4	6/29/06	ISS - REVISED ELEVATION TO PORCH (PAR 4/16/05)
5	10/24/06	ISS - ADDED JACKS AT ELK PORCH (PAR 4/16/05)
6	1/16/07	ISS - REVISED WINDOW LOCATION FOR LEFT SIDE WINDOW (PAR 5/25/05)
7	5/7/07	ISS - ADDED ACTIVE TO LEFT FRONT DOOR ELEVATION (PAR 5/25/05)
8	6/16/07	ISS - REVISED CHASE BEHIND BUTLER PANTRY (TO BE PREFERRED)
9	9/16/07	ISS - FIELD ADJUST REVISIONS

NVR Inc. hereby certifies that it has prepared the drawings and specifications for the project and that it is not responsible for any errors, omissions, or changes in any form or manner whatsoever, without the written consent of NVR, Inc.

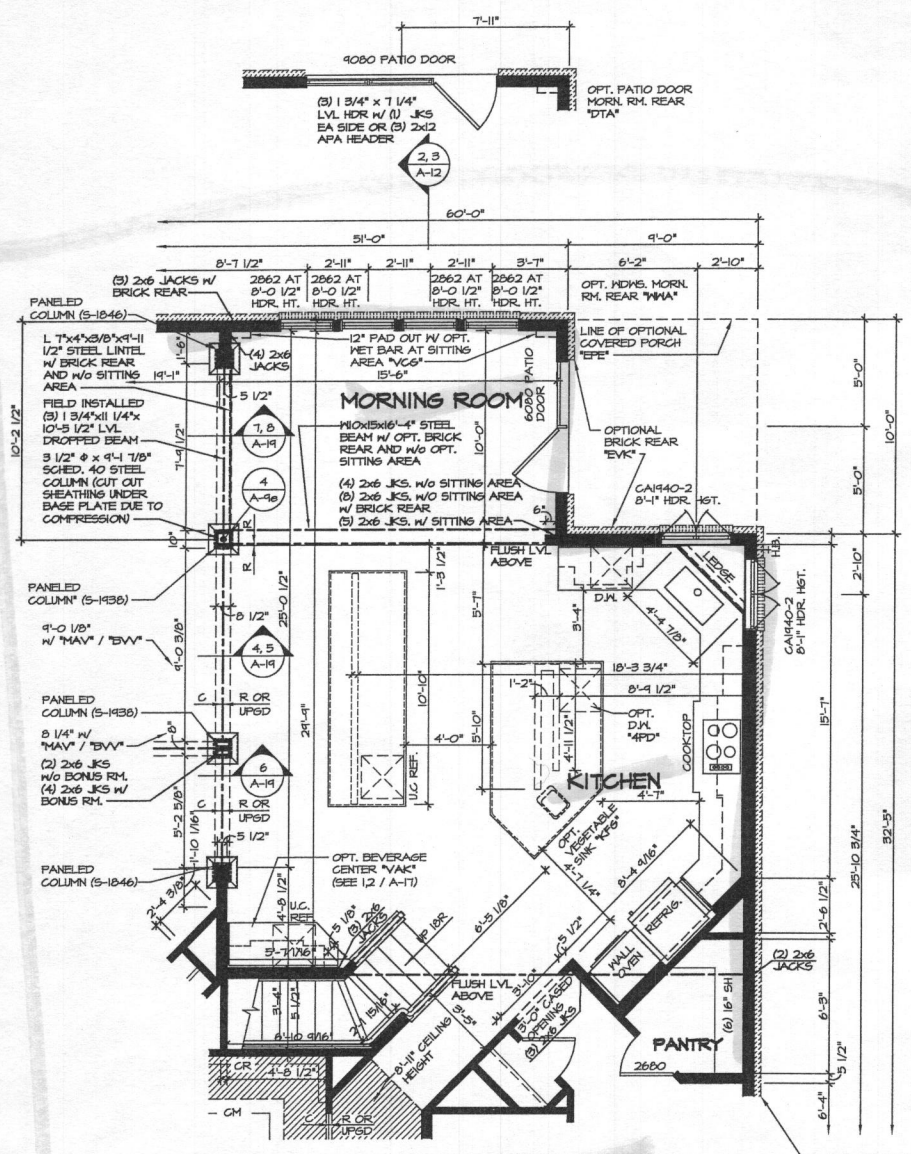
NVR
 NVR Inc.
 Architects
 21 Park Architects Building
 Frederick, MD 21702

SHEET NO.	MODEL	CLIFTON PARK II
VERSION 01	DRAWN BY	AJH
DATE	DATE	12/2/12
OPTION	ELEVATION 'D'	ELK
ELEVATION 'K'	ELEVATION 'K'	ELK

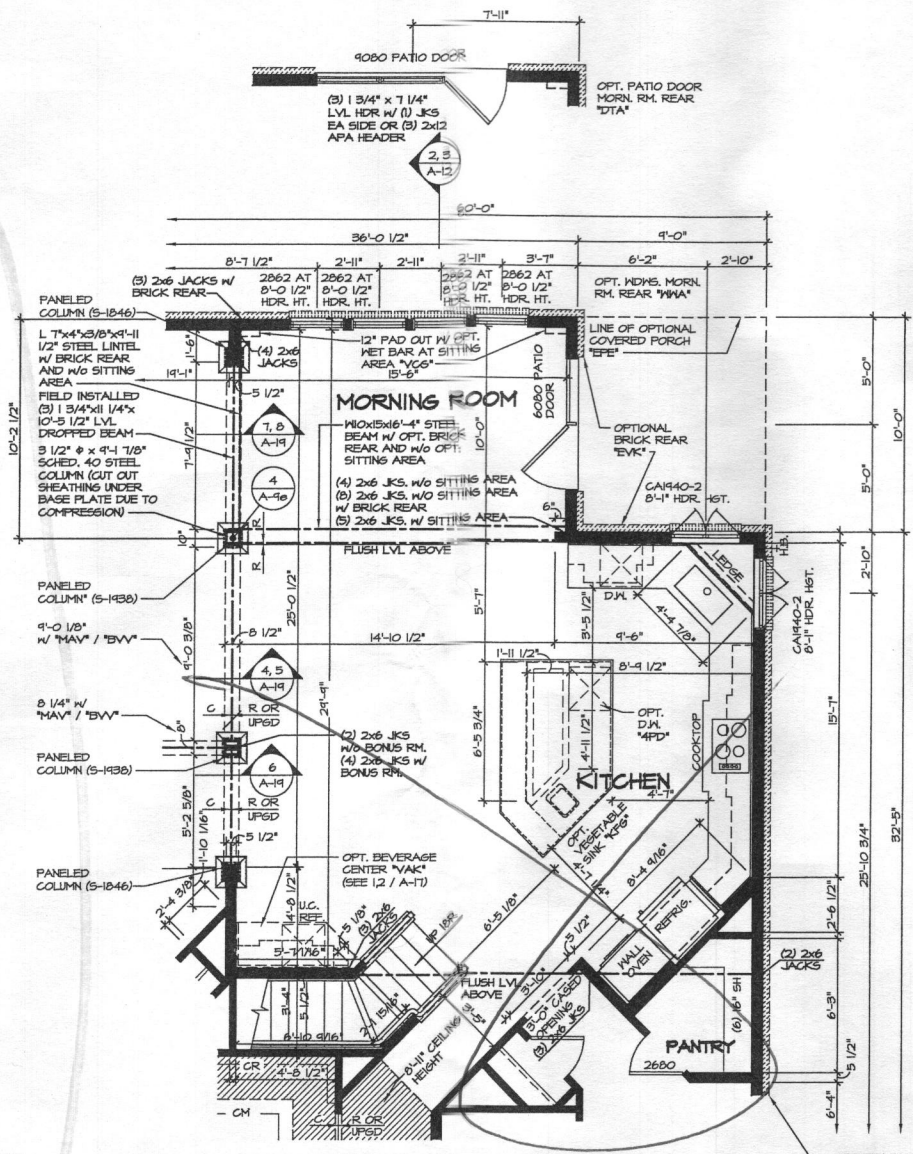
SET NO. 10300
 DRAWING TITLE
 FIRST FLOOR PARTIAL PLANS
 SHEET NO. **A-9b**
 DRAWING NO. 10300-01A-PLN1-DK.dwg 09/13/18 - 10/08-08



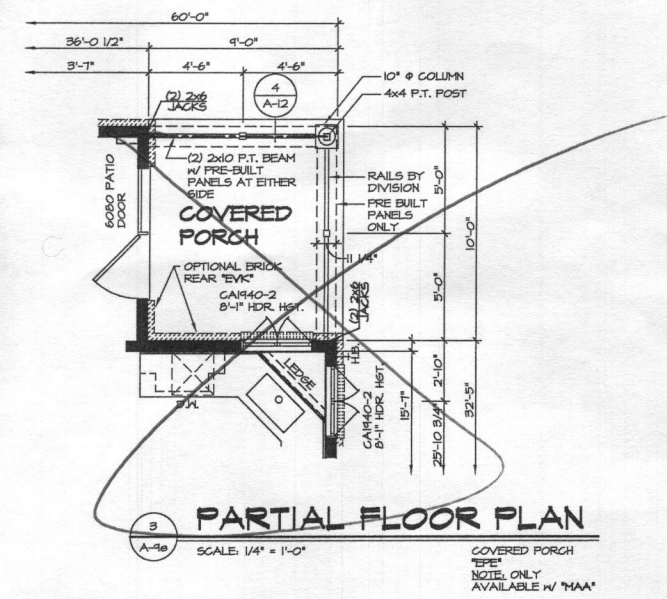
4 ATTACHMENT DETAIL
SCALE: 1/2" = 1'-0"



2 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
MORNING ROOM W/ GOURMET ISLAND
MAA / KCF



1 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
MORNING ROOM
MAA



3 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
COVERED PORCH
NOTE: ONLY AVAILABLE W/ MAA

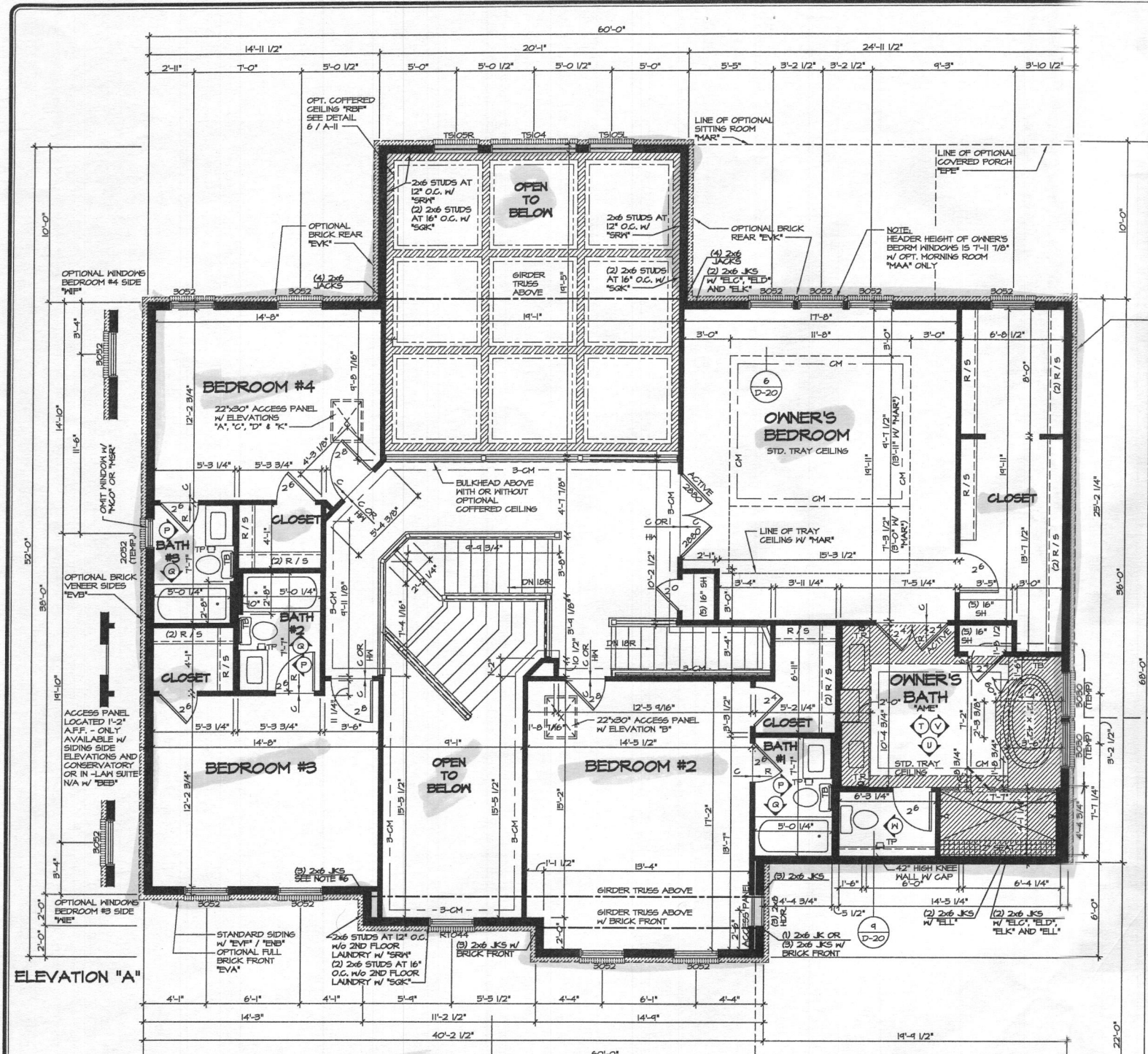
NOTE:
1. PARTIAL PLANS SHOWN W/ ELEVATION 'A'. SEE SHEET A-4 AND A-4b FOR ADDITIONAL INFORMATION.
2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.

NOTES:
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
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3. HATCHED AREAS INDICATE DROPPED CEILING.
4. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

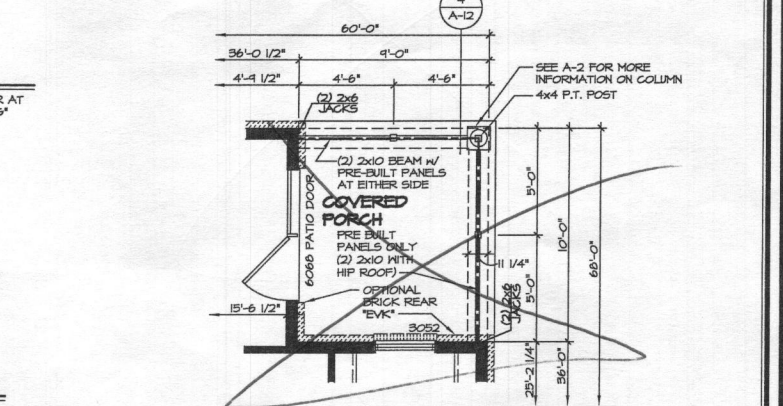
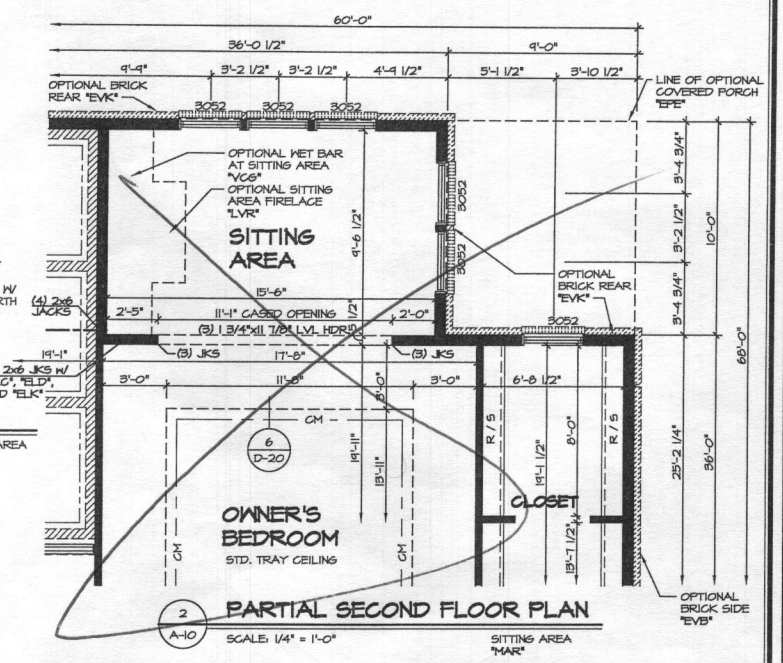
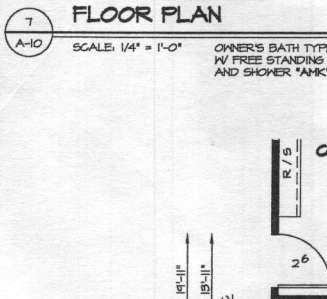
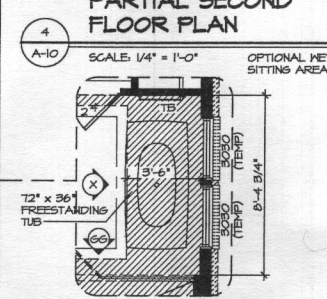
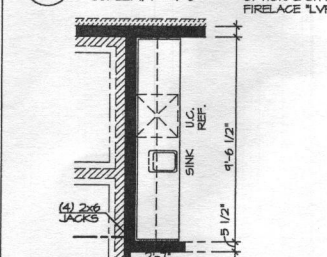
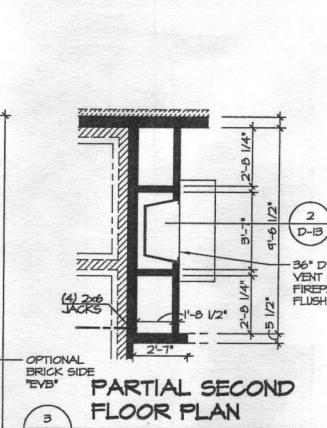
REV. NO.	DATE	REMARKS
10	10/21/14	CEL - ADDED DIMENSION FOR 9080 PATIO DOOR
11	10/24/14	GLS - ADDED ATTACHMENT DETAIL 4/A-4b (PAR ID 20356)
12	11/26/14	SEA - ADIT REVISIONS
13	10/15/15	LEA - REVISED HANDRAIL IN REAR STAIR (PAR 24093)
14	5/19/15	DRK - REVISED MALL CABINET LAYOUT AND ADDED 6" TO MALL FOR CABINETS
15	7/16/15	ANS - MOVED RIGHT REAR LOBE BR TO SIDE (B4C44)
16	9/16/15	CSB - FIELD ADIT REVISIONS
17	2/10/17	KAD - ADJUST MALL LOCATION AT KITCHEN SINK LEDGE
18	10/26/14	GLS - REVISED HEADRIL HEIGHT OF CARRIAGE-2 KITCHEN KIDONS (PAR ID 20312)

SET NO. 10300	MODEL CLIFTON PARK II
VERSION 01	DRAWING TITLE FIRST FLOOR PARTIAL PLANS
DRAWN BY AJH	DATE: 1/4/15
OPTION MAA	OPTION DESCRIPTION MORNING ROOM
SHEET NO. A-9e	52



ELEVATION "A"

SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



- NOTES:**
1. ALL HEADERS ARE (B) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILING.
 5. ALL GASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.
 6. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 7. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET S-1 FOR BRACED WALL PANEL LOCATIONS

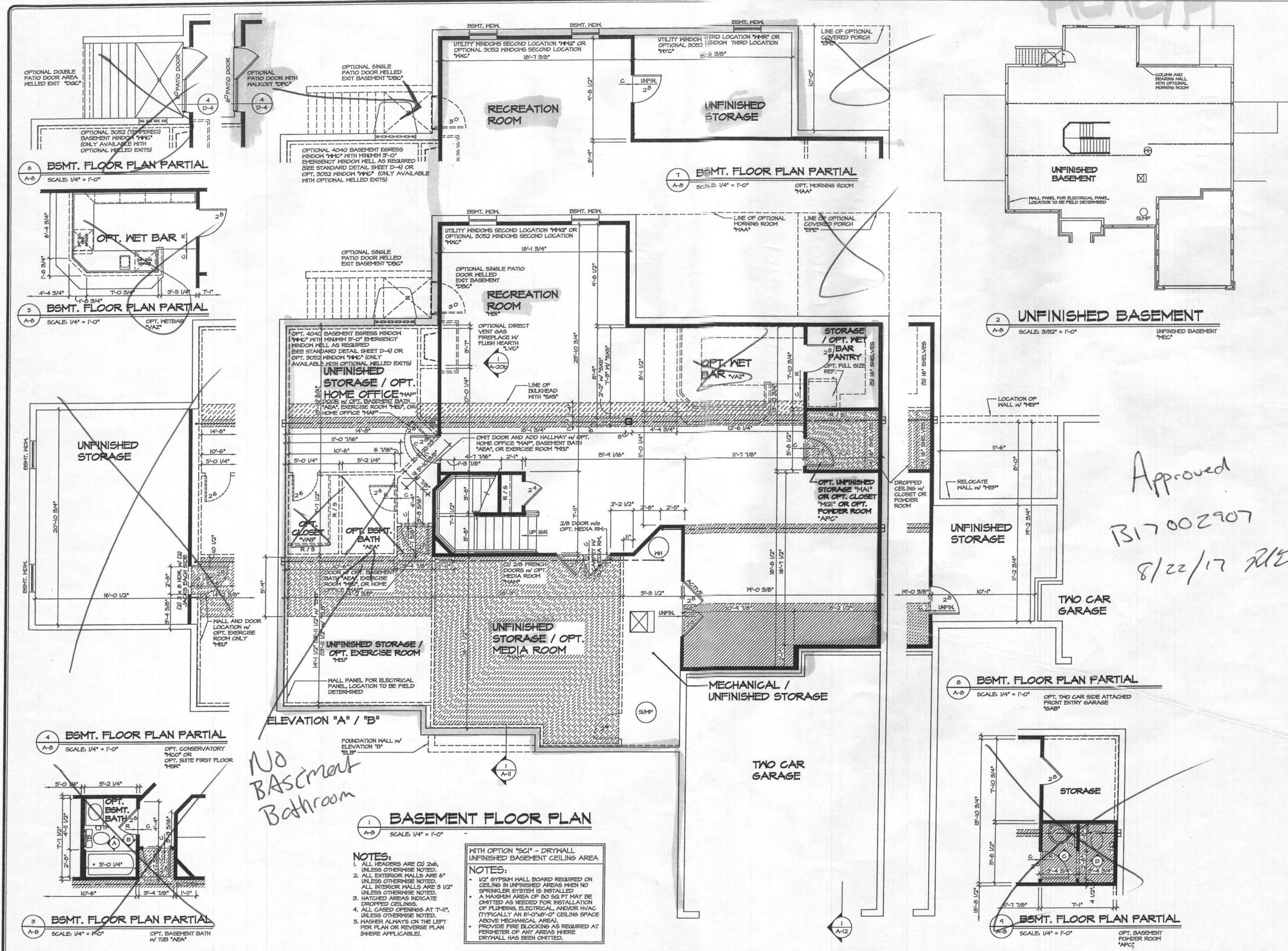
SHEET NO.	MODEL	CLIFTON PARK II	DRAWING TITLE	SECOND FLOOR PLAN
				OPTION DESCRIPTION
A-10				54

REVISIONS	DATE	NO.	BY	DESCRIPTION
1	12/21/12	1	A-JH	ISSUE FOR PERMITS
2	12/21/12	2	A-JH	REVISIONS TO MATCH ROOF DRAWINGS (PAR 10 2021)
3	12/21/12	3	A-JH	ADMIT REVISIONS
4	12/21/12	4	A-JH	REVISIONS TO MATCH ROOF DRAWINGS (PAR 10 2021)
5	12/21/12	5	A-JH	ADDED BALUNHEAD IN REAR STAIR (PAR 24189)
6	12/21/12	6	A-JH	ADDED BALUNHEAD IN REAR STAIR (PAR 24189)
7	12/21/12	7	A-JH	REVISIONS TO MATCH ROOF DRAWINGS (PAR 10 2021)
8	12/21/12	8	A-JH	ADDED TOWER KING'S BATH VANITY (PAR 31714)
9	12/21/12	9	A-JH	ADDED TOWER KING'S BATH VANITY (PAR 31714)
10	12/21/12	10	A-JH	ADDED TOWER KING'S BATH VANITY (PAR 31714)

SET NO.	10300
VERSION	C1
DRAWN BY	A-JH
DATE	12/21/12
OPTION	

CLIFTON PARK II
ARCHITECTURAL SERVICES
21 Bye Court, Suite A
Frederick, MD 21702

HEALTH



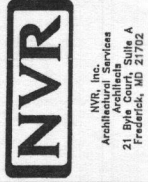
NO Basement Bathroom

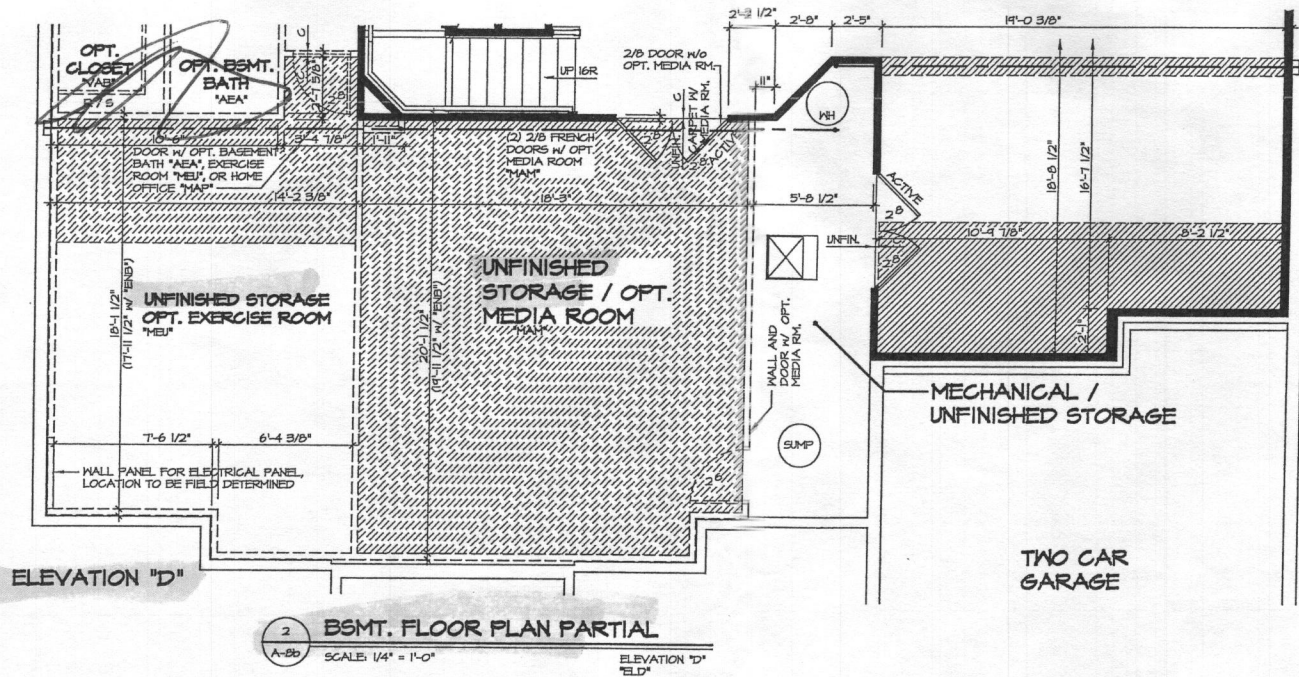
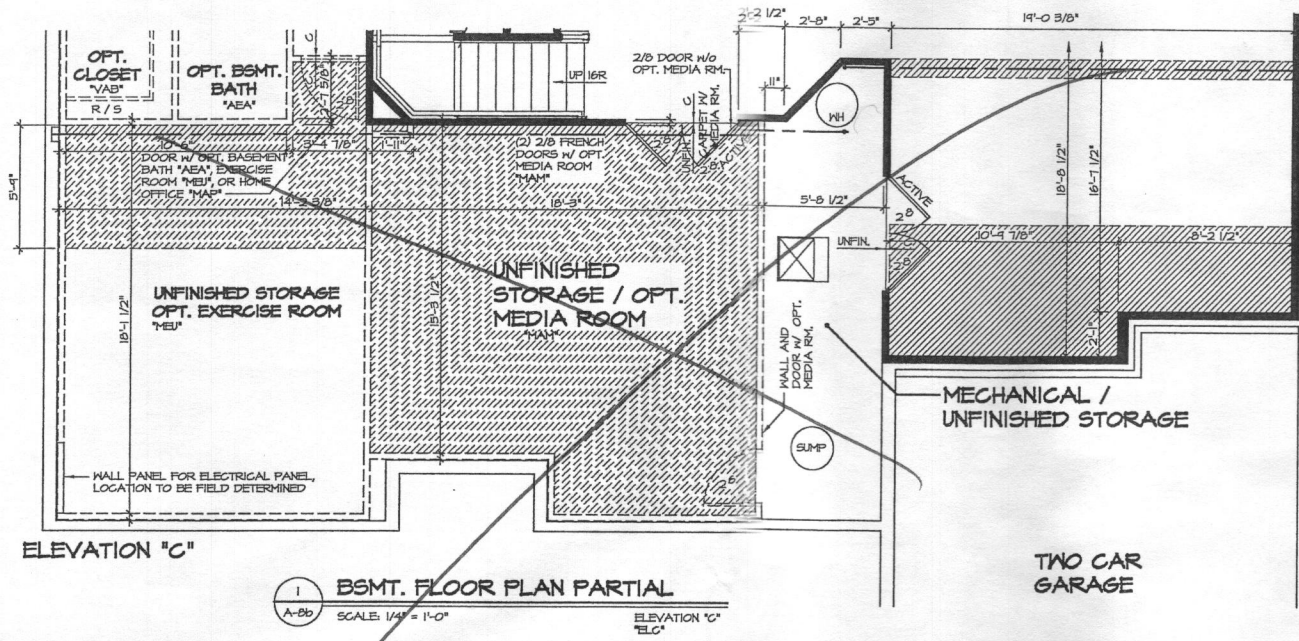
Approved
B17002907
8/22/17 RLE

- NOTES:**
1. ALL HEADERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

- NOTES:**
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
 - A MAXIMUM AREA OF 80 SQ. FT. MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" x 8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

SHEET NO. A-8	MODEL CLIFTON PARK II	SET NO. 10300	DATE 1/10/18	REV. NO. 1	DATE 10/21/16	REVISIONS 1. CIL - REVISED APARTMENT LAYOUT 2. SGA - ADJUST REVISIONS 3. SGA - ADJUST THE HOURS OR TO (B) OPTIONS AT POWER ROOM PAR 2486A 4. SGA - ADJUST BULKHEAD-COIL 5. SGA - 118 CONVERSION 6. SGA - ADJUST WASHER NOTE 7. SGA - ADJUST WASHER NOTE 8. SGA - RE-PLACED T1, S2 AT MORNING ROOM W/ COLUMN (PAR 2486A) 9. SGA - TURNED ON LANTERS THAT HAD DOOR SIZE AND DIMENSIONS
	DRAWING TITLE BASEMENT PLAN	DRAWN BY AJH	DATE 1/10/18	REV. NO. 2	DATE 12/29/16	
	OPTION DESCRIPTION FULL BASEMENT			REV. NO. 3	DATE 12/29/16	
				REV. NO. 4	DATE 12/29/16	





NOTE:
 FOR ADDITIONAL BASEMENT INFORMATION AND AVAILABLE OPTIONS, SEE SHEET A-8

NOTES:
 ALL HEADERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.
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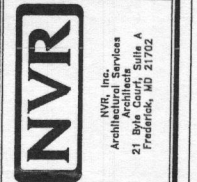
WITH OPTION "SC1" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
- A MAXIMUM AREA OF 60 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x8'-0" OF CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

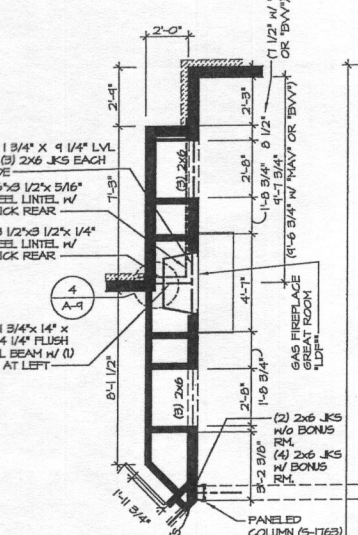
REV. NO.	DATE	REMARKS
1	4/28/14	DRSA - ADDED "SC1" NOTE
2	5/20/14	LSB - MOVED REL. TO NEW PHASE
3	11/25/14	BSA - ANNOT REVISIONS

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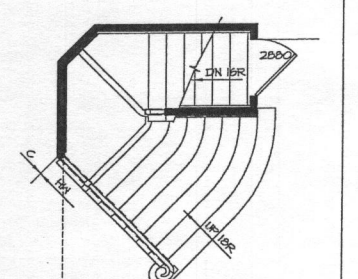


MODEL	CLIFTON PARK II
DRAWING TITLE	BASEMENT PARTIAL PLANS
SET NO.	10500
VERSION	01
DRAWN BY	A-JH
DATE	4/7/14
OPTION	FBA
ELEVATION	ELC
ELEVATION	ELD
OPTION DESCRIPTION	FULL BASEMENT ELEVATION "C" ELEVATION "D"
ET NO.	1-8b
46.2	

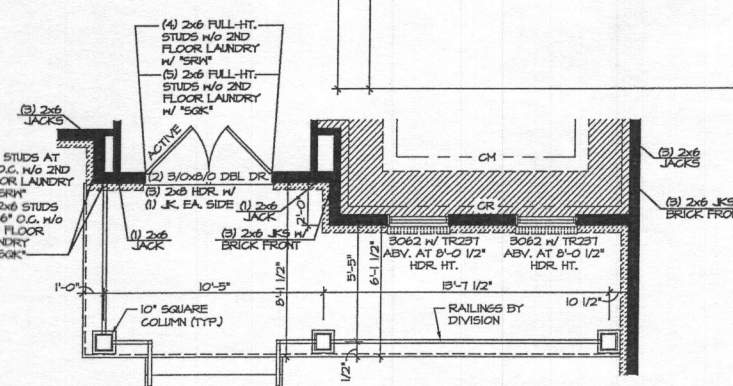
See Page 50



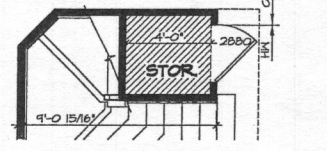
FIRST FLOOR PARTIAL PLAN
SCALE: 1/4" = 1'-0"
OPTIONAL ENTERTAINMENT CENTER 'VEL'



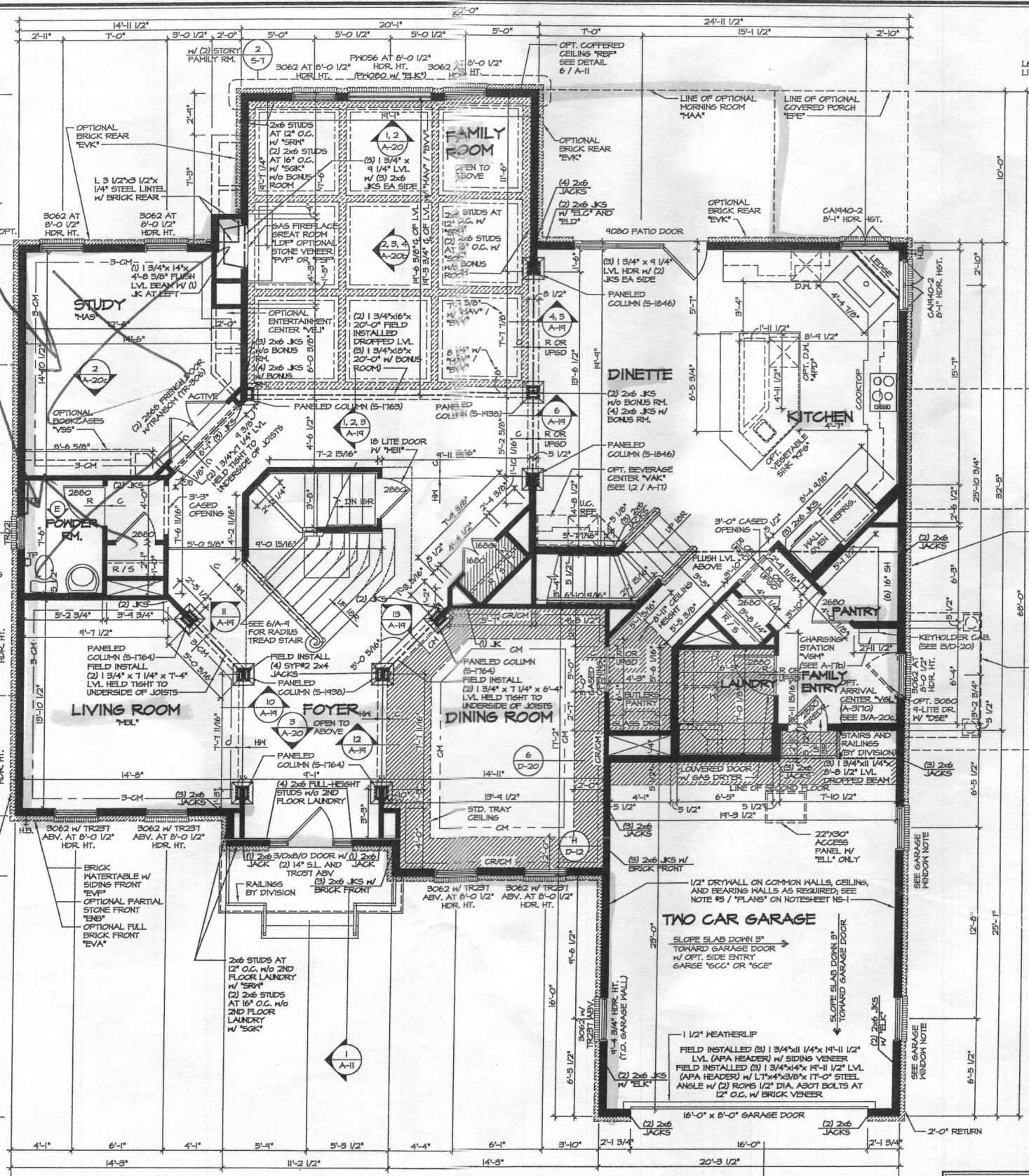
FIRST FLOOR PARTIAL PLAN
SCALE: 1/4" = 1'-0"
SPLYED STAIR WITH RADIUS TREAD W/ SOUTHEAST SPECIFICATIONS '5X5'



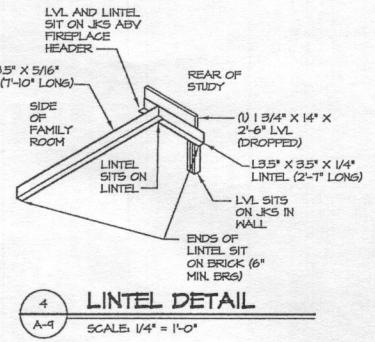
FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPT. PARTIAL PORCH W/ ELEVATION 'A'



FIRST FLOOR PARTIAL PLAN
SCALE: 1/4" = 1'-0"
W/ CRAWL SPACE 'TCA'



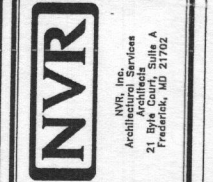
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



LINTEL DETAIL
SCALE: 1/4" = 1'-0"

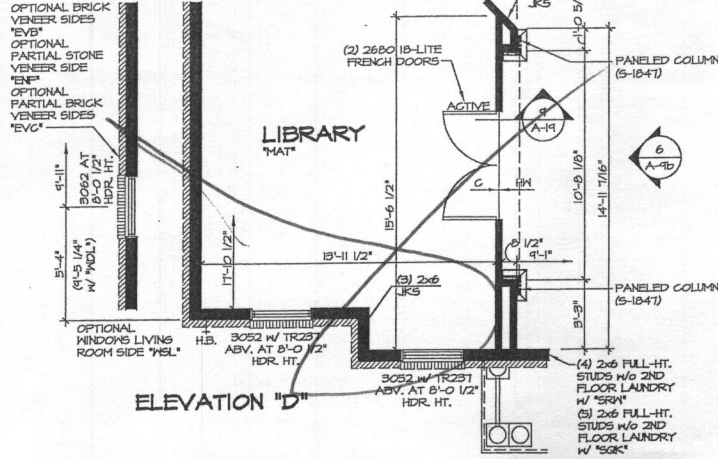
- NOTES:**
- ALL HEADERS ARE (B) 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 - ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING.
 - ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
- NOTE:**
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REMARKS
28	7/16/15	ANS - MOVED RIGHT REAR HOSE BIB TO SIDE (BACH-4)
29	7/16/15	CLS - REVISED FIREDOOR INTO GARAGE TO A 2000 (PARK ID 34920)
30	8/6/15	ANS - REVISED CHASE BEHIND BATHS PANTRY TO BE BY CREEPER (M4930)
31	8/6/15	ANS - REVISED E.L.E. 'A' 'V' TEMP PORCH COLUMNS TO SQUARE PER DWG #1102
32	12/17/15	ANS - PAR 1626M - REVISED GARAGE SLAB HEIGHT
33	4/29/16	ANS - ADDED JACKS FOR E.L.K. GARAGE BROWS (PARK #1602)
34	12/16/16	ANS - REVISED FIREPLACES TO BE CENTERED ON COFFERED CEILING
35	2/20/17	HEAD - ADJUST HALL LOCATION AT FITZGERALD SINK LEASE
36	6/16/15	SEE - PLANT BUILT ARRIVAL CENTER PROJECT

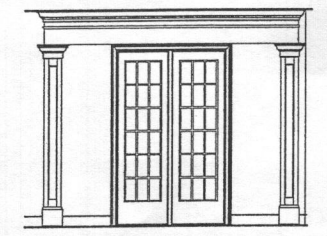


MODEL	CLIFTON PARK II
SET NO.	10500
VERSION	01
DRAWN BY	A-H
DATE	12/11/12
OPTION	OPTION
ET NO.	A-9
DESCRIPTION	FIRST FLOOR PLAN
ET NO.	47

NOTE:
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MEL" INFORMATION, SEE SHEET A-4
FOR OPTIONAL BOOKCASE "VST" INFORMATION, SEE SHEET A-9C

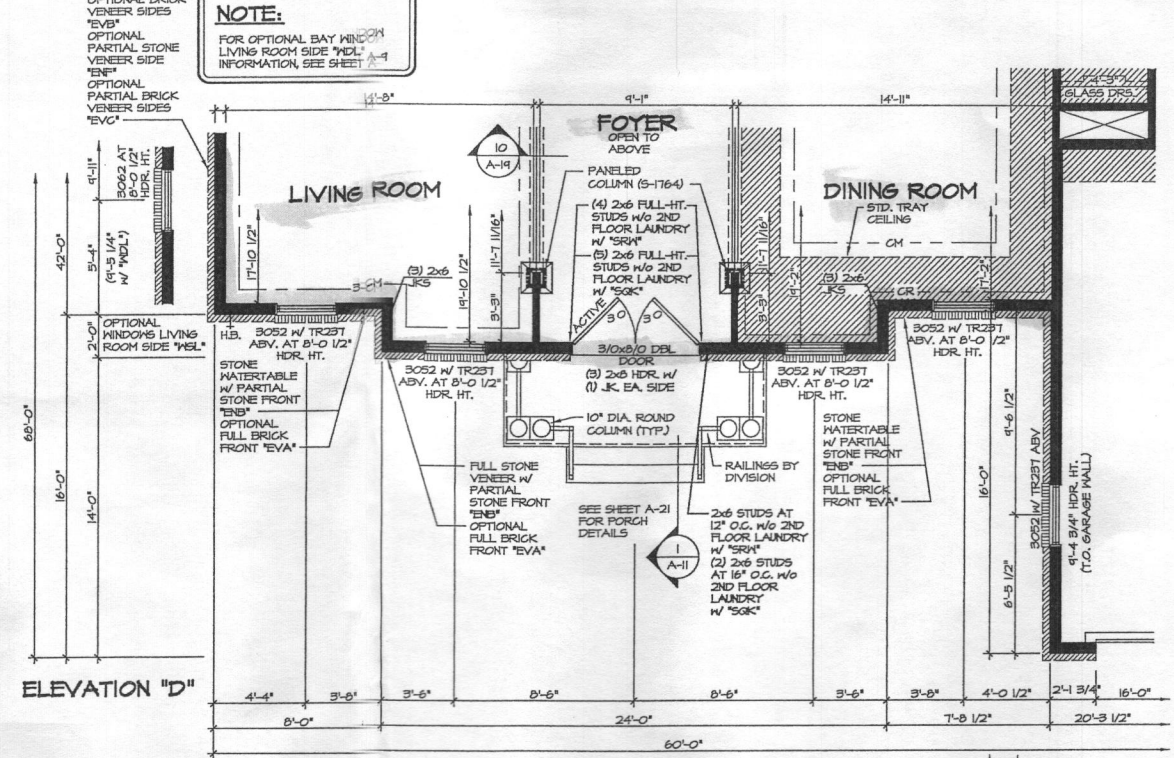


5 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
LIBRARY "MAT"

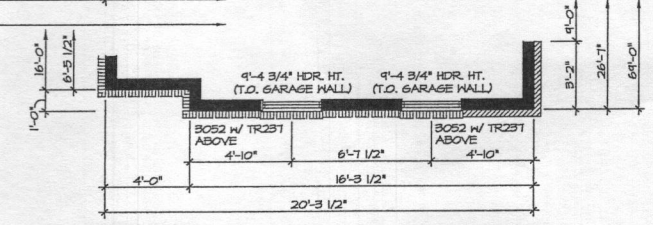


6 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"
LIBRARY "MAT" ELEVATION "D" "MEL"

NOTE:
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MEL" INFORMATION, SEE SHEET A-4

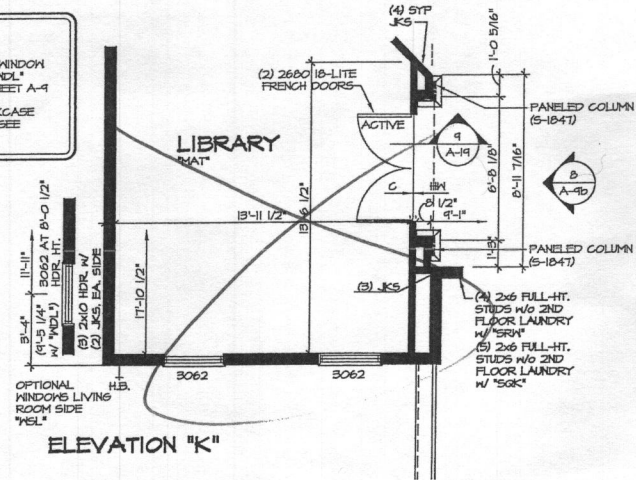


1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "D"

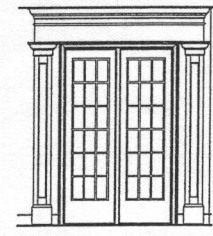


4 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
TWO CAR SIDE ENTRY GARAGE "600"

NOTE:
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MEL" INFORMATION, SEE SHEET A-4
FOR OPTIONAL BOOKCASE "VST" INFORMATION, SEE SHEET A-9C

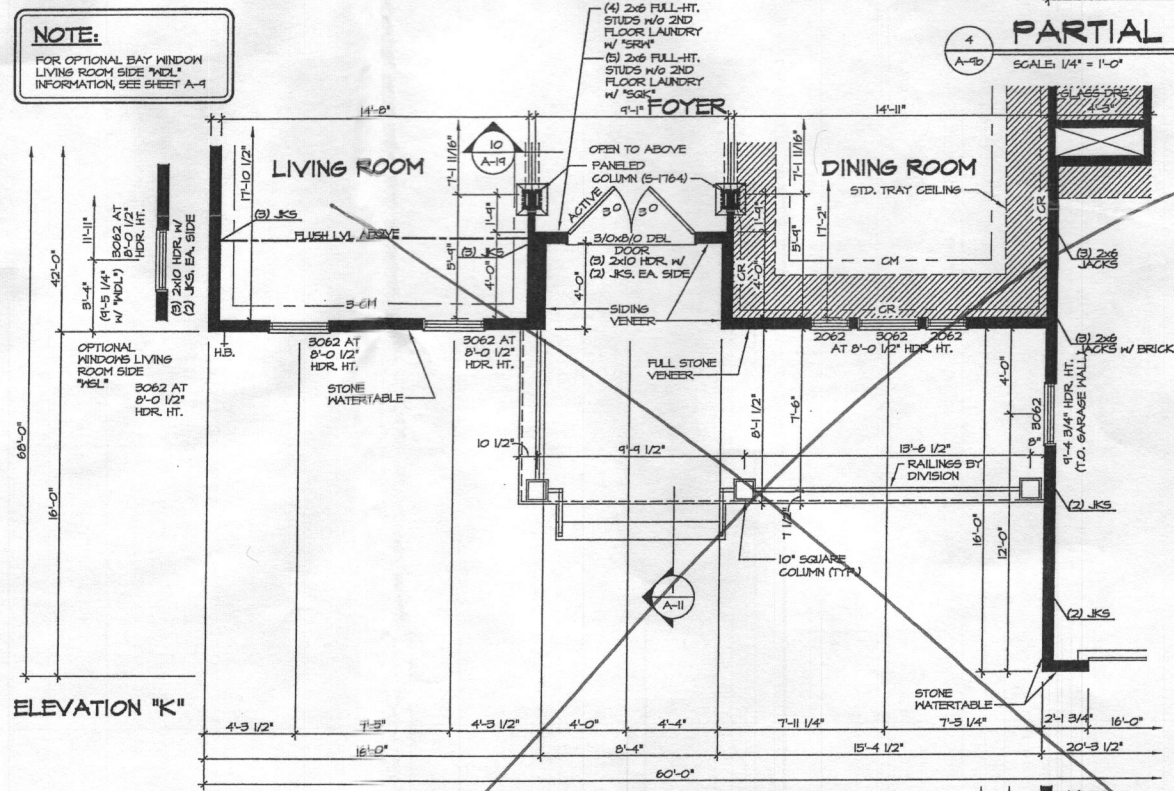


7 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
LIBRARY "MAT"

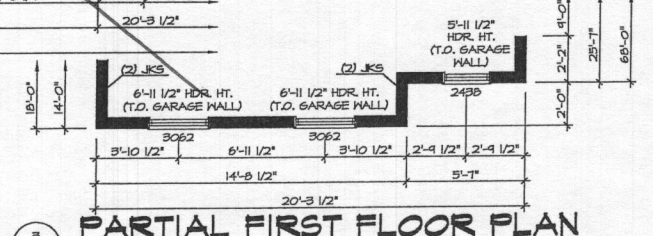


8 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"
LIBRARY "MAT" ELEVATION "K" "ELK"

NOTE:
FOR OPTIONAL BAY WINDOW LIVING ROOM SIDE "MEL" INFORMATION, SEE SHEET A-4



2 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "K"



3 PARTIAL FIRST FLOOR PLAN

NOTE:
FOR ADDITIONAL GARAGE AND FIRST FLOOR INFORMATION, SEE SHEET A-4

- NOTES:**
- (1) 2x6 JK OR (3) 2x6 JKs w/ BRICK FRONT
 1. ALL HEADERS ARE 6" UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 - ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET 5-6 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REMARKS
1	12/7/05	1999 - PAR 856904 - REVISED GARAGE SLAB HEIGHT
2	1/26/06	1999 - ADDED VENEER NOTES TO ELK (PAR 857393)
3	4/19/06	1999 - ADDED JACKS FOR ELK GARAGE SIDINGS (PAR 816028)
4	6/26/04	1999 - REVISED ELEVATION "D" PORCH
5	10/20/04	1999 - ADDED JACKS AT ELK PORCH BEAM
6	1/19/05	1999 - REVISED WINDOW LOCATION FOR "ELK" LEFT SIDE WINDOW "MEL" (PAR. 90229)
7	5/7/05	1999 - ADDED ACTIVE TO LEFT FRONT DOOR ELEVATION B PAR 828924
8	8/6/05	1999 - REVISED CHASE BEHIND BUTLERS PANTRY TO BE BY DEEPER (844935)
9	9/16/05	1999 - FIELD AUDIT REVISIONS

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SET NO. 10300	VERSION 01	DATE: 12/21/12
MODEL: CLIFTON PARK II	DRAWN BY: A-JH	OPTION: ELK
DRAWING TITLE: FIRST FLOOR PARTIAL PLANS		ELK
1-9b	49.1	

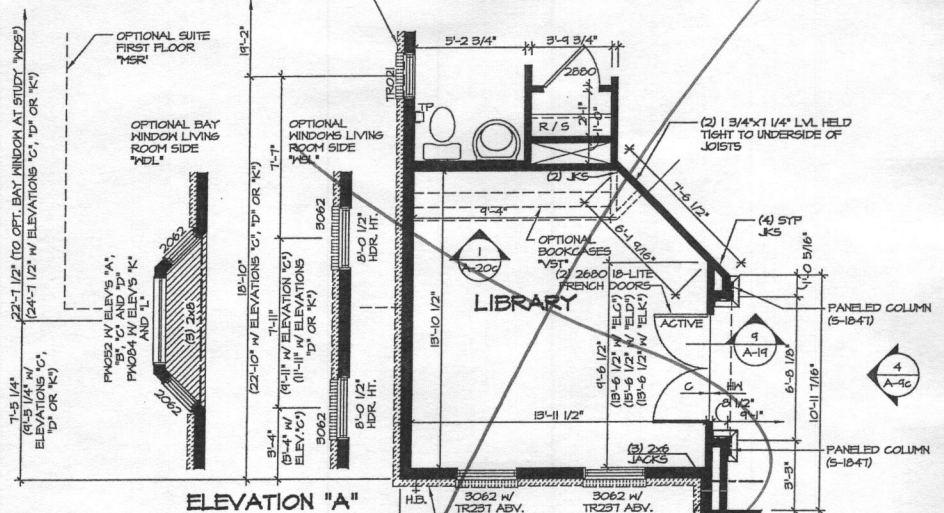
98/13/15 - 1008.dwg



PARTIAL ELEVATION

SCALE 1/4" = 1'-0" LIBRARY "MAT"

OPT. BRICK VENEER SIDES "EV" OPT. PARTIAL STONE VENEER SIDES "EV" OPT. PARTIAL BRICK VENEER SIDES "EV"



ELEVATION "A"

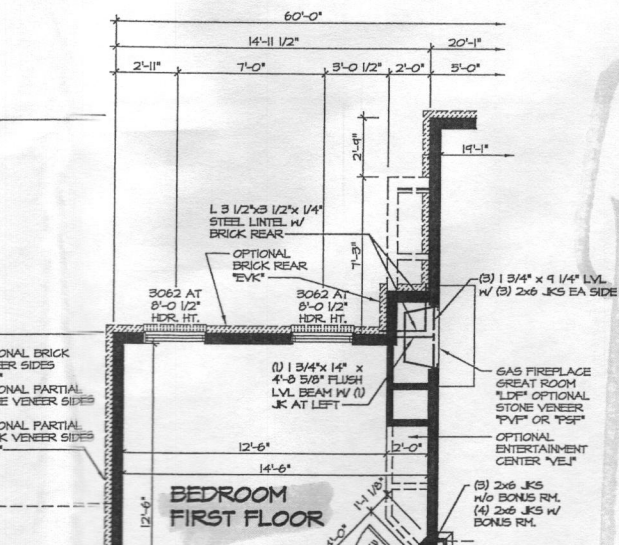
- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL GATED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE: SEE SHEET 5-6 FOR BRACED WALL PANEL LOCATIONS

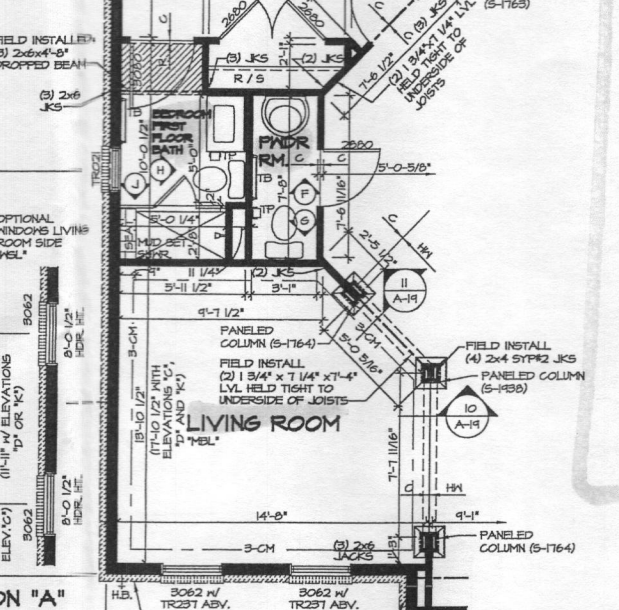
1 PARTIAL FLOOR PLAN

SCALE 1/4" = 1'-0" LIBRARY "MAT" NOTE: N/A W/ OPT. CONSERVATORY "MCO"

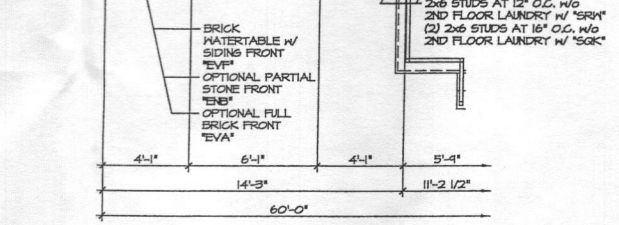
- NOTE:**
1. PARTIAL PLANS SHOWN W/ ELEVATION "A". SEE SHEET A-1 AND A-2 FOR ADDITIONAL INFORMATION.
 2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.



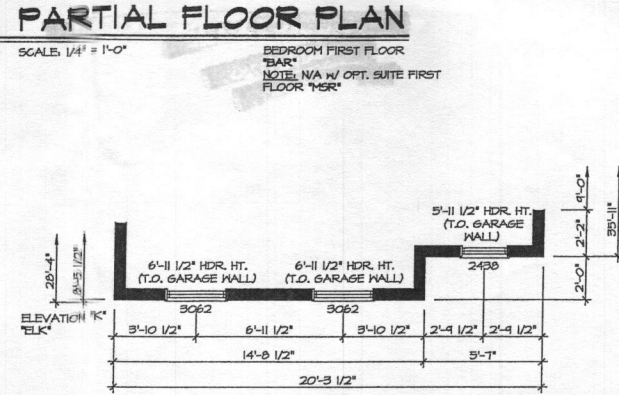
BEDROOM FIRST FLOOR



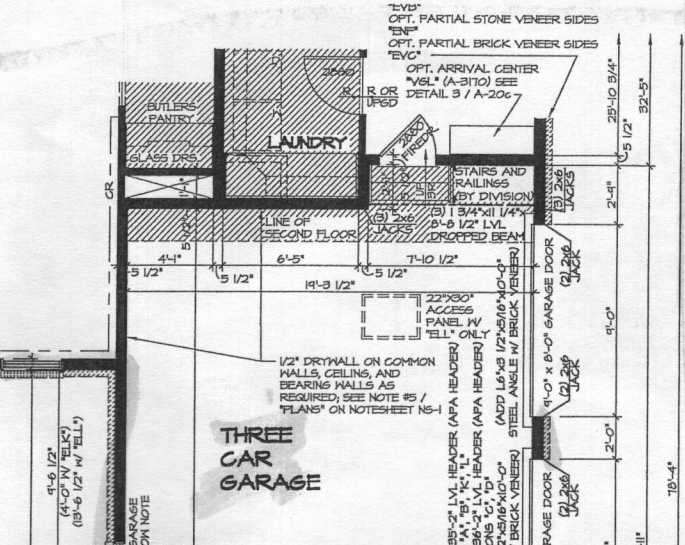
LIVING ROOM



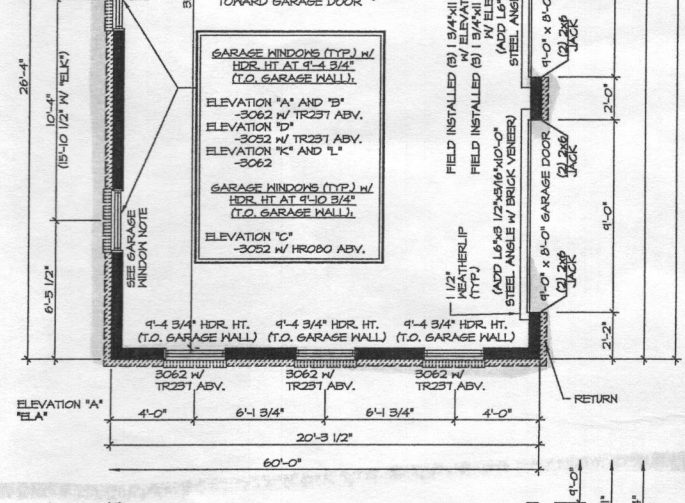
THREE CAR GARAGE



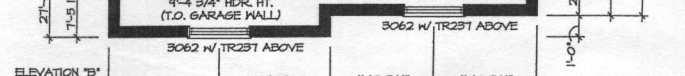
THREE CAR GARAGE SIDE ENTRY



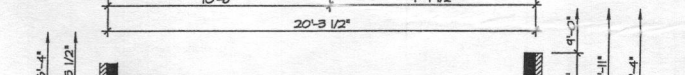
THREE CAR GARAGE



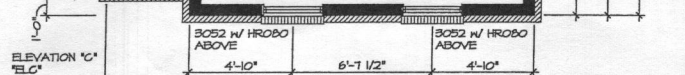
ELEVATION "A"



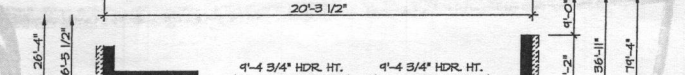
ELEVATION "B"



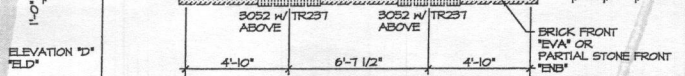
ELEVATION "C"



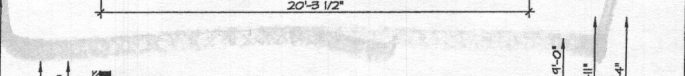
ELEVATION "D"



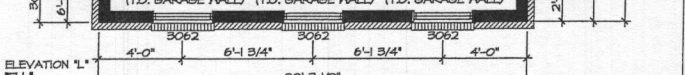
ELEVATION "E"



ELEVATION "F"



ELEVATION "G"



ELEVATION "H"

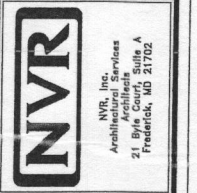


3 PARTIAL FLOOR PLAN

SCALE 1/4" = 1'-0" THREE CAR GARAGE SIDE ENTRY "MCO"

REVISIONS

REV. NO.	DATE	DESCRIPTION
10	11/21/14	EL-6 - REVISED SHOWER WIDTH IN BEDROOM FIRST FLOOR BATH (PAR ID 830003)
11	12/24/14	95A - ADIT REVISIONS
12	4/28/15	95A - PAR #2476 - ROTATED JACKS IN FOTER COLUMNS & REVISED TO FIELD INSTALLED
13	6/18/15	95A - SHIFTED DOOR INTO FIRST FLOOR BEDROOM FOR CASING (PAR ID 83054)
14	6/18/15	95A - FILL BUILT ARRIVAL CENTER PROJECT
15	6/18/15	95A - REVISED FIREDOOR INTO GARAGE TO A 2600 (PAR ID 84920)
16	10/21/15	95A - 2012 VA CODE UPDATE
17	12/15/15	95A - PAR #6884 - REVISED GARAGE SLAB HEIGHT
18	2/27/17	KAD - PROJECT #959 - ADDED CENTERSTOP LAYOUTS FOR OWNERS BATH



MODEL: CLIFTON PARK II

DRAWING TITLE: FIRST FLOOR PARTIAL PLANS

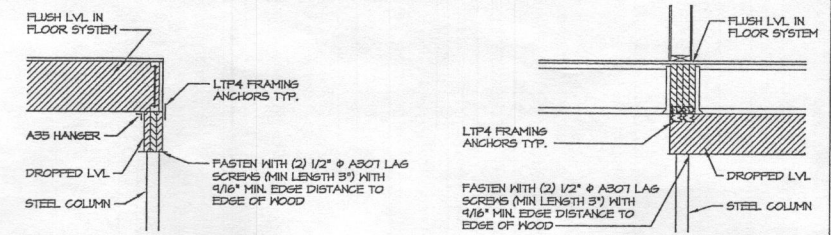
OPTION DESCRIPTION: LIBRARY, BEDROOM FIRST FLOOR, THREE CAR SIDE ENTRY GARAGE

REV. NO. 1-9C

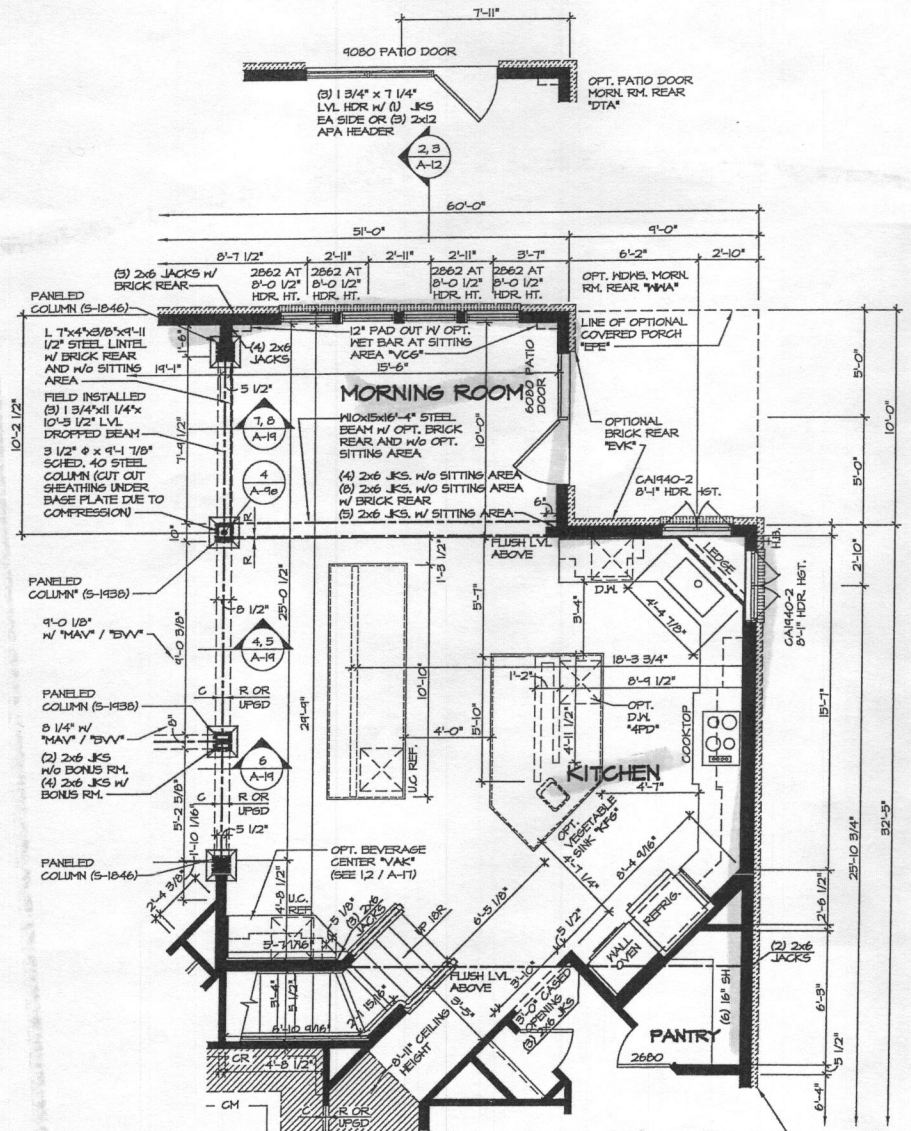
DATE: 1/2/19

SCALE: 1/4" = 1'-0"

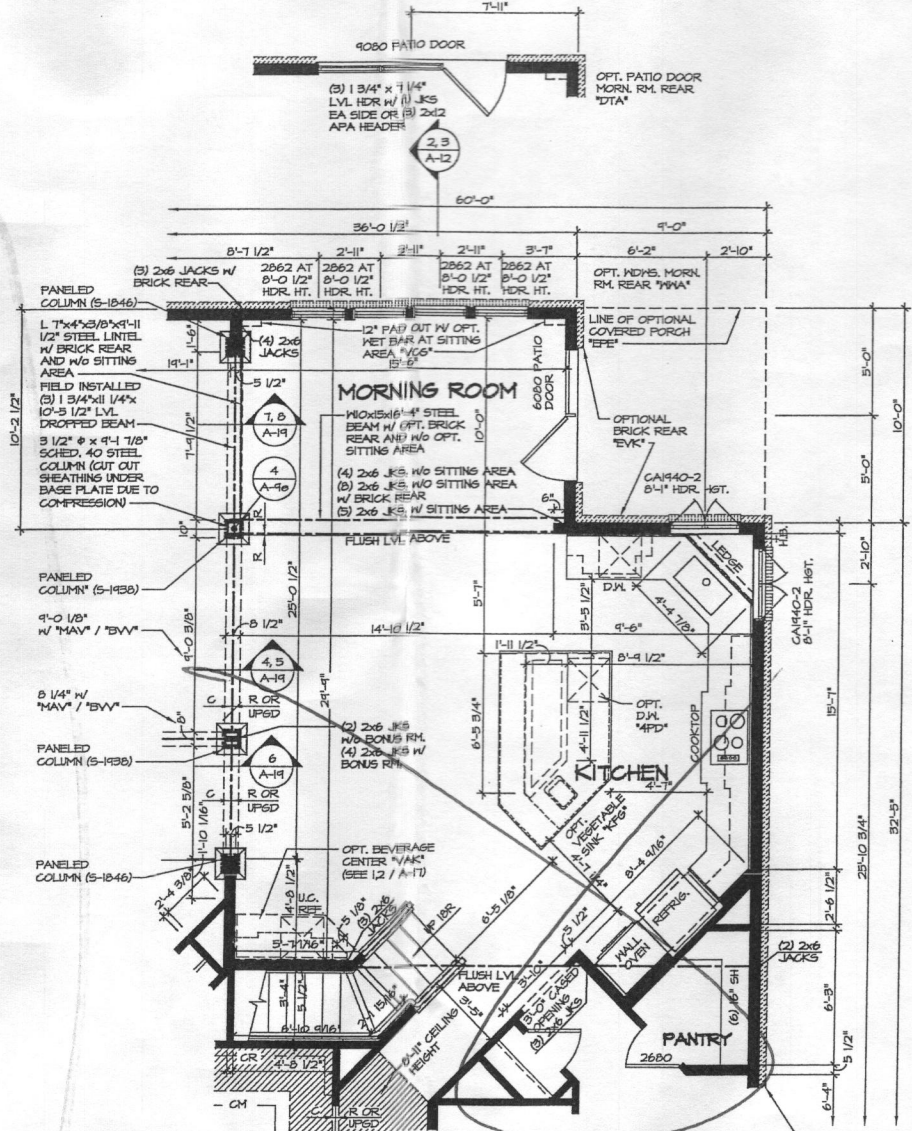
PROJECT NO: 150300-01/PH1-MAT-BAR.dwg 02/14/17 - 438.rvt



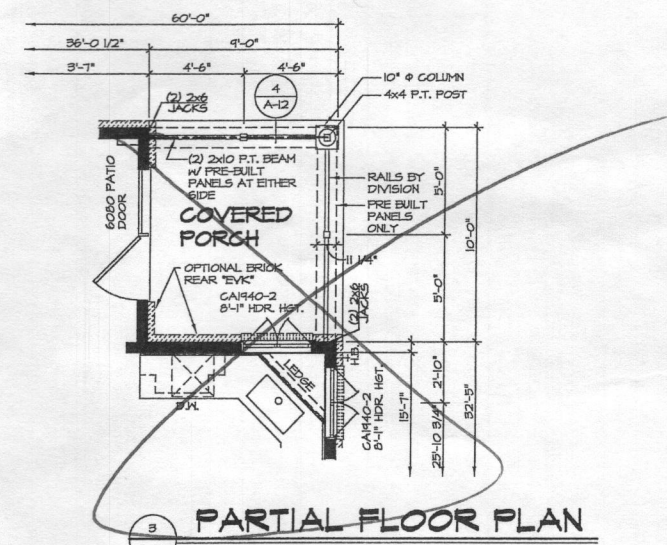
4 ATTACHMENT DETAIL
SCALE: 1/2" = 1'-0"



2 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
MORNING ROOM W/ GOURMET ISLAND
"MAA" / "KFP"



1 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
MORNING ROOM
"MAA"



3 PARTIAL FLOOR PLAN
SCALE: 1/4" = 1'-0"
COVERED PORCH
"KFP"
NOTE: ONLY AVAILABLE W/ "MAA"

NOTE:
1. PARTIAL PLANS SHOWN W/ ELEVATION "A". SEE SHEET A-1 AND A-5 FOR ADDITIONAL INFORMATION.
2. MATCH VENEER ACCORDING TO SELECTED ELEVATION.

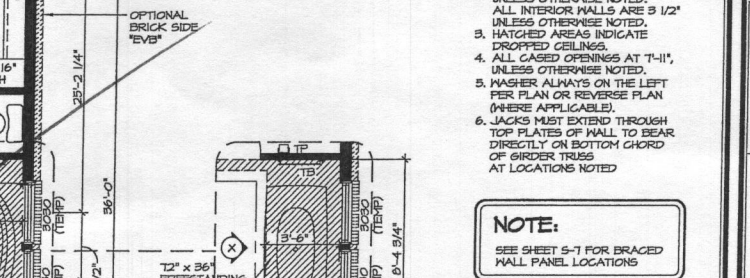
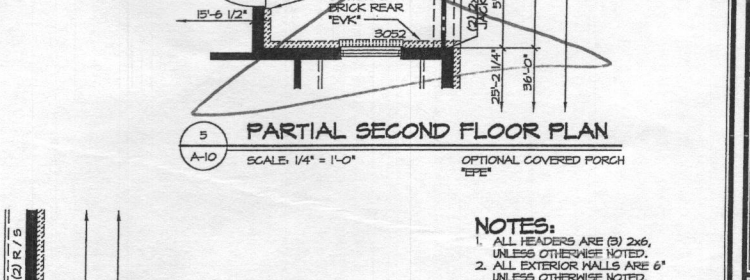
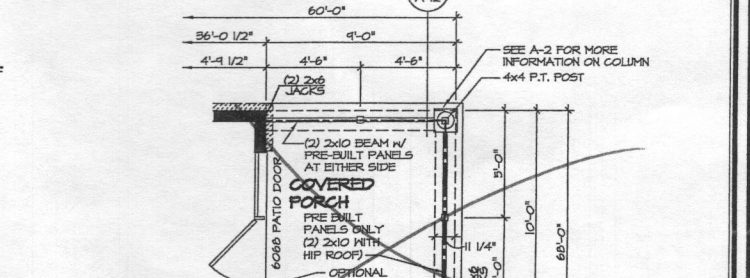
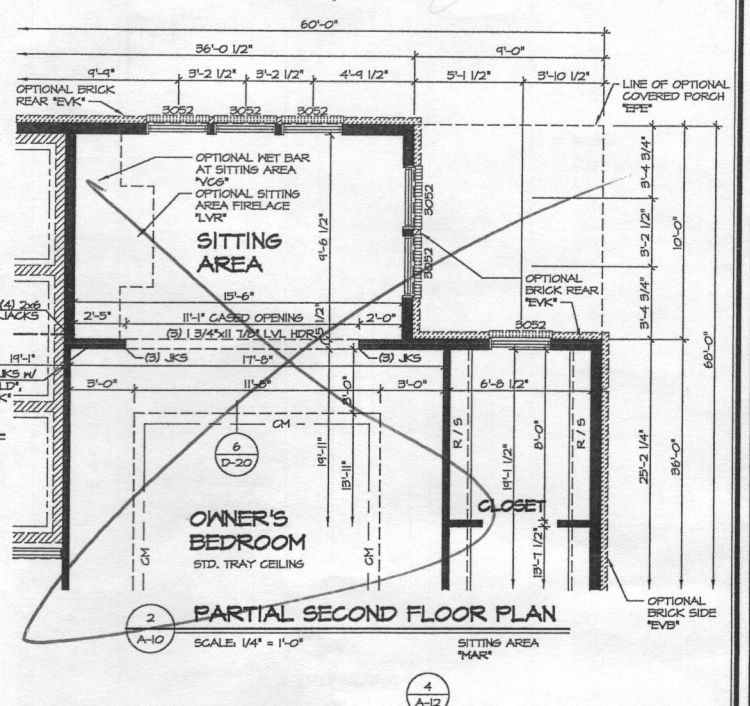
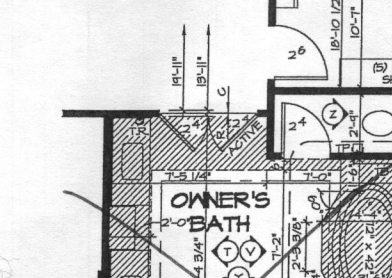
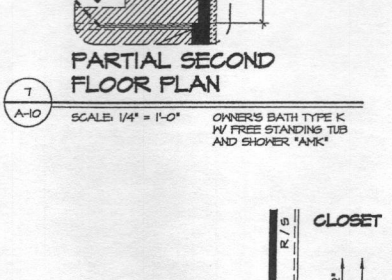
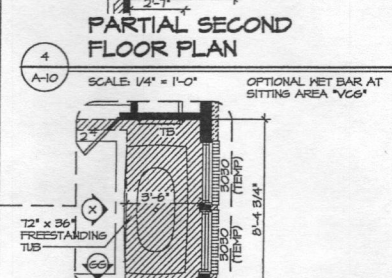
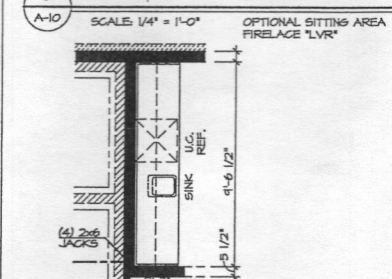
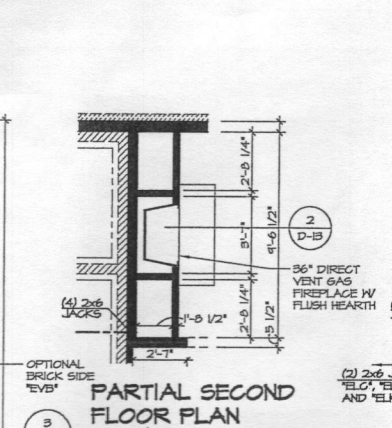
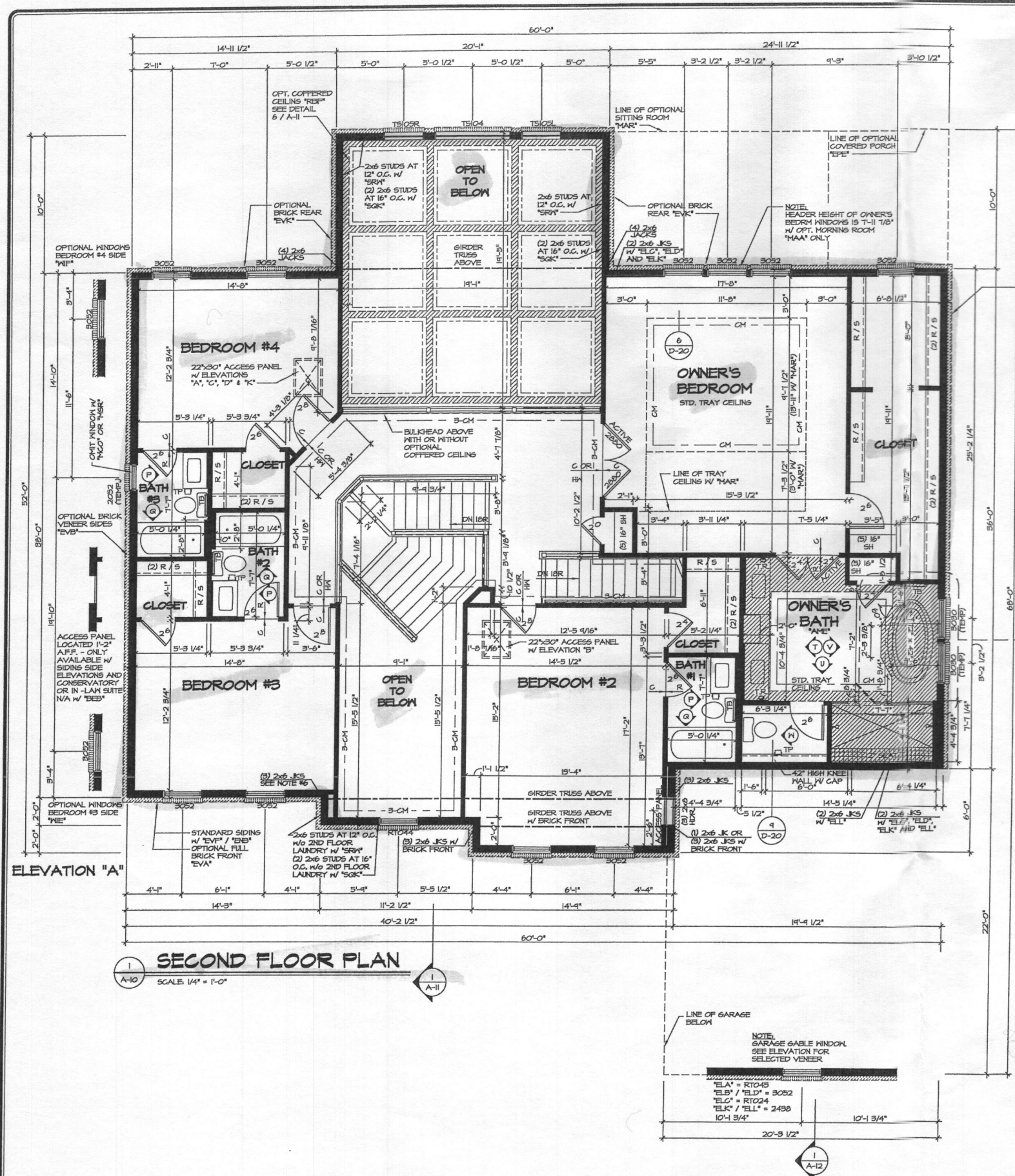
NOTES:
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILING.
5. ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
6. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET S-6 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REMARKS
1	10/21/14	ADD DIMENSION FOR 9090 PATIO DOOR
2	11/24/14	ADD ATTACHMENT DETAIL 4/A-16 (PAR ID 20536)
3	1/25/14	65A - AUDIT REVISIONS
4	1/26/14	65A - REVISED HANDRAIL IN REAR STAIR (PAR 24903)
5	1/26/14	65A - REVISED MALL CABINET LAYOUT AND ADDED 6" TO MALL FOR CABINETS
6	1/26/14	65A - REVISED RIGHT REAR HOSE BIB TO SIDE (B4044)
7	1/26/14	65B - FIELD AUDIT REVISIONS
8	2/20/14	65B - ADJUST MALL LOCATION AT KITCHEN SINK LEDGE
9	10/29/14	65C - REVISED HEADER HEIGHT OF CANH40-2 KITCHEN WINDOWS (PAR ID 20232)

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Frederick, MD 21702

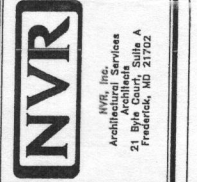
SET NO. 10500	CLIFTON PARK II
VERSION 01	FIRST FLOOR PARTIAL PLANS
DRAWN BY A-JH	
DATE: 1/4/15	
OPTION MAA	
DESCRIPTION	MORNING ROOM
52	



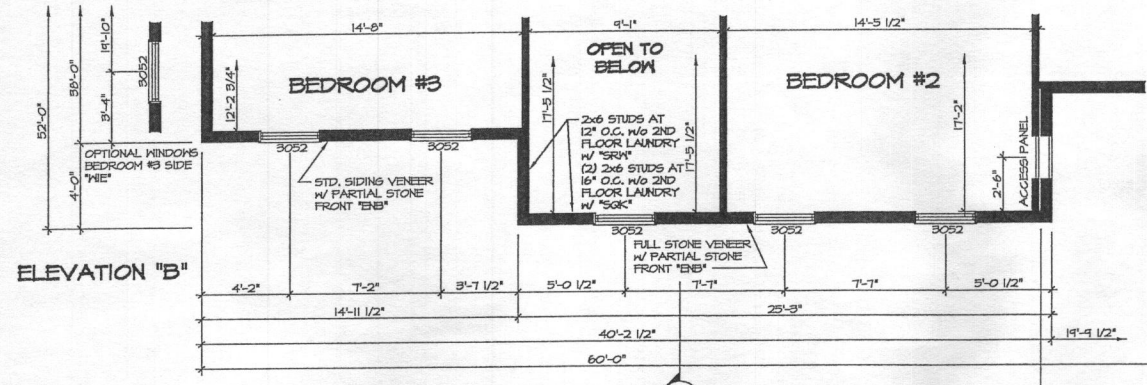
- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL CASED OPENINGS AT "I-11", UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 6. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET 5-7 FOR BRACED WALL PANEL LOCATIONS

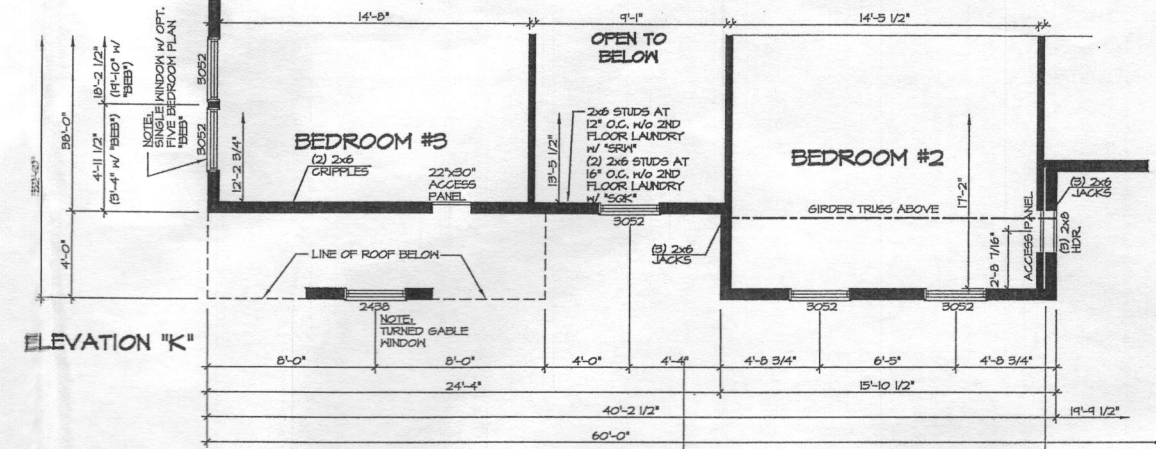
REV. NO.	DATE	REMARKS
1	12/21/12	KAD - PROJECT REVISION - ADDED COUNTERTOP LAYOUTS FOR OWNERS BATH
2	10/14/14	CL5 - REVISED TRAY CEILING W/ MAR TO MATCH ROOF DRAWING (PAR ID 2021)
3	10/29/14	56A - ADULT REVISIONS
4	10/29/14	56A - ADULT REVISIONS
5	12/21/12	56A - ADDED BALCONY IN REAR STAIR (PAR 24969)
6	02/22/15	56B - REVISED REAR PORCH COLUMN NOTES
7	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES
8	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES
9	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES
10	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES
11	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES
12	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES
13	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES
14	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES
15	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES
16	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES
17	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES
18	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES
19	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES
20	01/22/16	56B - REVISED REAR PORCH COLUMN NOTES



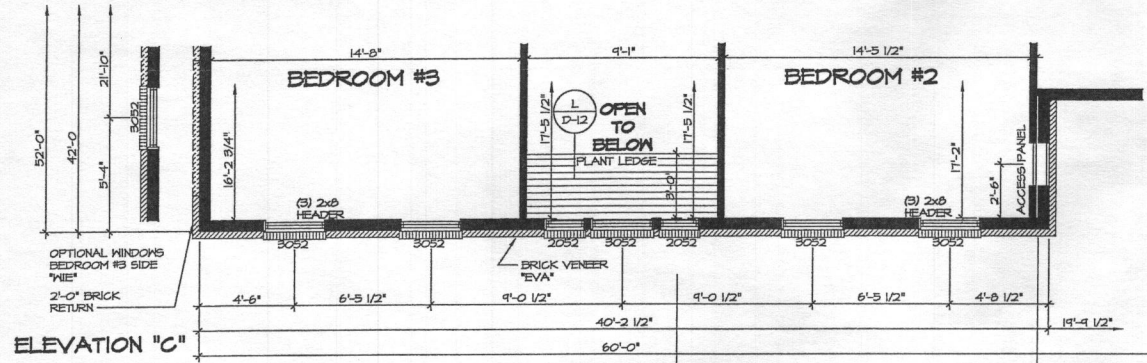
MODEL	CLIFTON PARK II
DRAWING TITLE	SECOND FLOOR PLAN
VERSION	A-10
DATE	12/21/12
OPTION	OPTION
SET NO.	10500
DATE	12/21/12
OPTION	OPTION
SET NO.	10500
DATE	12/21/12
OPTION	OPTION
SET NO.	10500
DATE	12/21/12
OPTION	OPTION



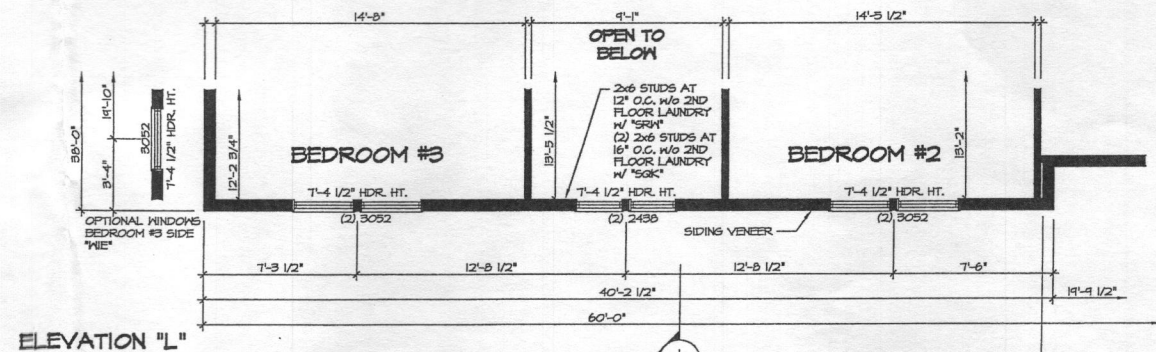
1 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION 'B' 'ELB'



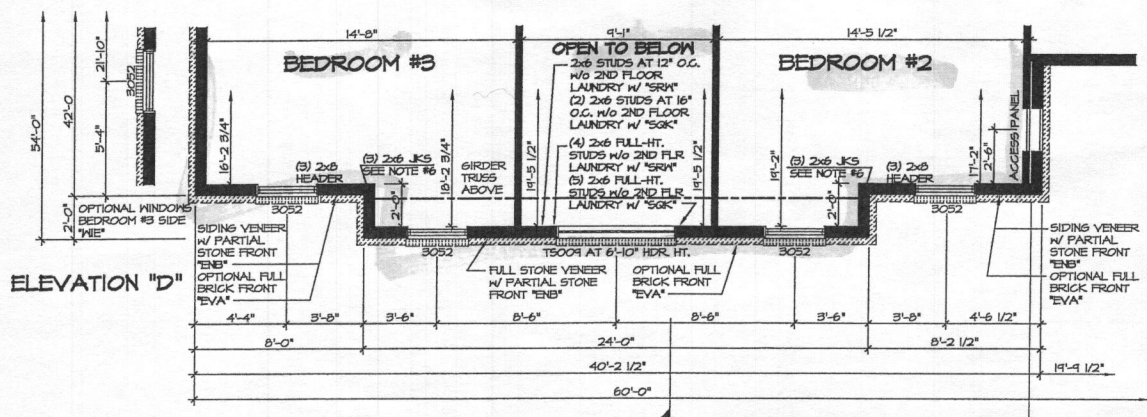
4 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION 'K' 'ELK'



2 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION 'C' 'ELC'



5 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION 'L' 'ELL'



3 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION 'D' 'ELD'

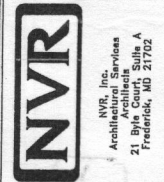
- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL CASSED OPENINGS AT "T-II", UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 6. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
FOR GARAGE GABLE WINDOW AND ADDITIONAL INFORMATION, SEE SHEET A-10

NOTE:
SEE SHEET S-7 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REMARKS
1	7/17/18	SRM - ADDED PLANT LEDGE DETAIL
2	8/2/18	A.H. - ADDED ELEVATION 'L', ADDED ATTIC ACCESS PANEL
3	10/2/18	GEL - REVISED GRAPHICAL ERROR WITH SIDE WINDOWS
4	10/2/18	ASB - ADDED ATTIC ACCESS TO FRONT HALL OF BEDROOMS WITH 'ELK', (2) 2x6 JKS
5	10/2/18	SLK - REVISED WINDOW LOCATION FOR 'ELP', LEFT SIDE WINDOW 'NIE' (PANS, 2012)

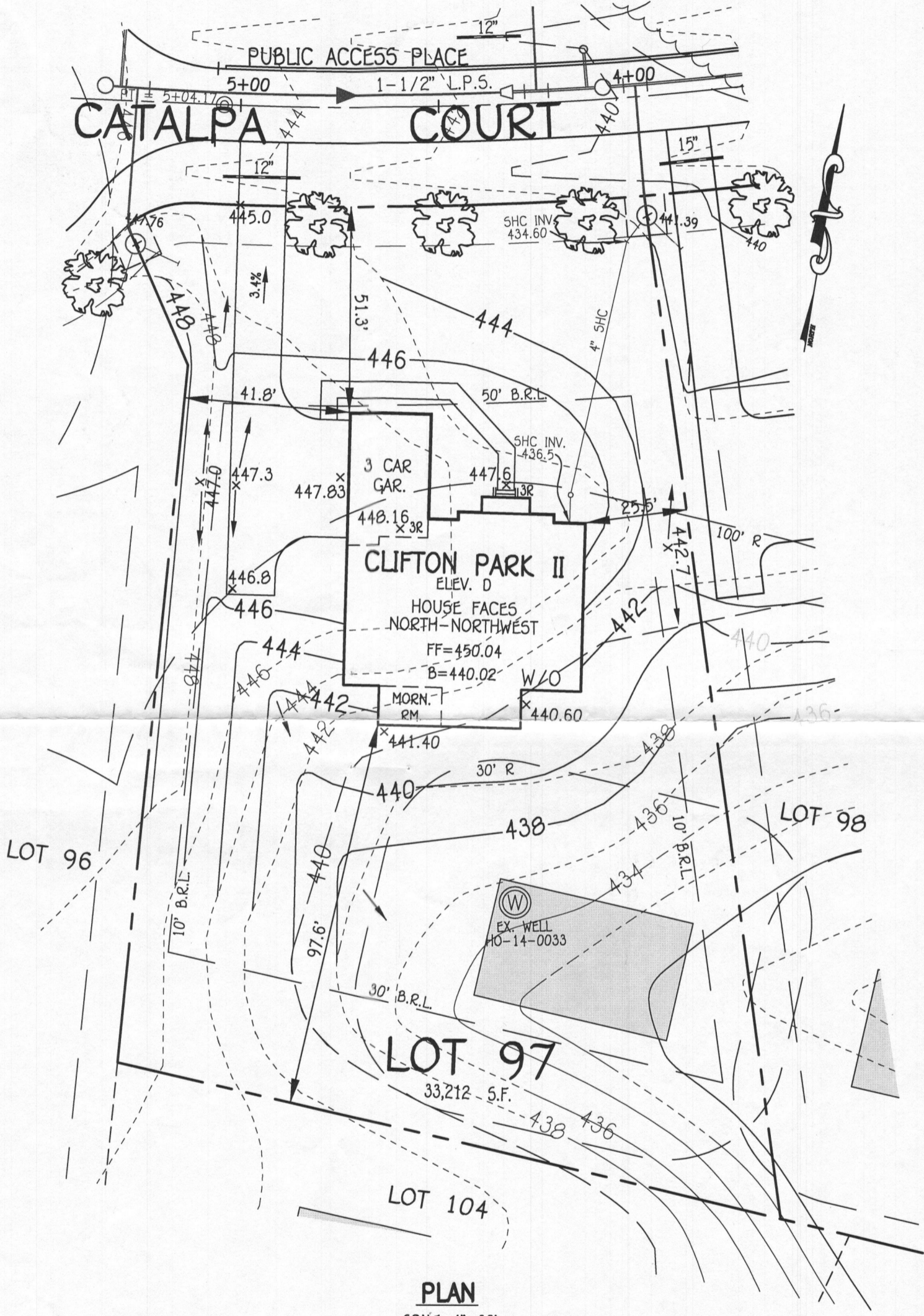
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SHEET NO.	MODEL	SIT. NO.	DATE
1-106	CLIFTON PARK II	10800	12/27/12
DRAWING TITLE	DRAWN BY	DATE	DATE
SECOND FLOOR PARTIAL PLANS	A.H.	12/27/12	12/27/12
OPTION DESCRIPTION	DATE	DATE	DATE
ELEVATION 'B', ELEVATION 'C', ELEVATION 'D', ELEVATION 'K', ELEVATION 'L'	ELB, ELC, ELD, ELK, ELL		
56			

WELL CERTIFICATION:

THE EXISTING WELL, TAG NO. HO-14-0033, HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.



PLAN
SCALE: 1"=30'

Approved
B17002907
8/22/17 *TR/4*

BUILDER
NV HOMES INC.
9720 PATUXENT WOODS
COLUMBIA, MARYLAND 21046

OWNER
BV BUSINESS TRUST
P.O. BOX 482
LISBON, MARYLAND 21765-0482

PERMIT SITE PLAN
LOT 97
5311 CATALPA COURT
WALNUT CREEK

ZONED: RC-DEO
TAX MAP NO.: 28 PARCEL NO. 49 GRID NO.: 17 & 18
SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: JULY 26, 2017

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461 - 2855

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