

LAYOUT 7/27/07 ^(BB) INSP 4 _____
 INSP 2 8/2/07 ^(KW) INSP 5 _____
 INSP 3 8/3/07 ^(KW) INSP 6 _____

ISSUE DATE: 5/25/2007

P 526736

APPROVAL DATE: 8/3/07 ^(KW)

A 525678

PERMIT

TAX ID # 04318625

**ON-SITE SEWAGE DISPOSAL SYSTEM
 HOWARD COUNTY HEALTH DEPARTMENT
 BUREAU OF ENVIRONMENTAL HEALTH**

21-21

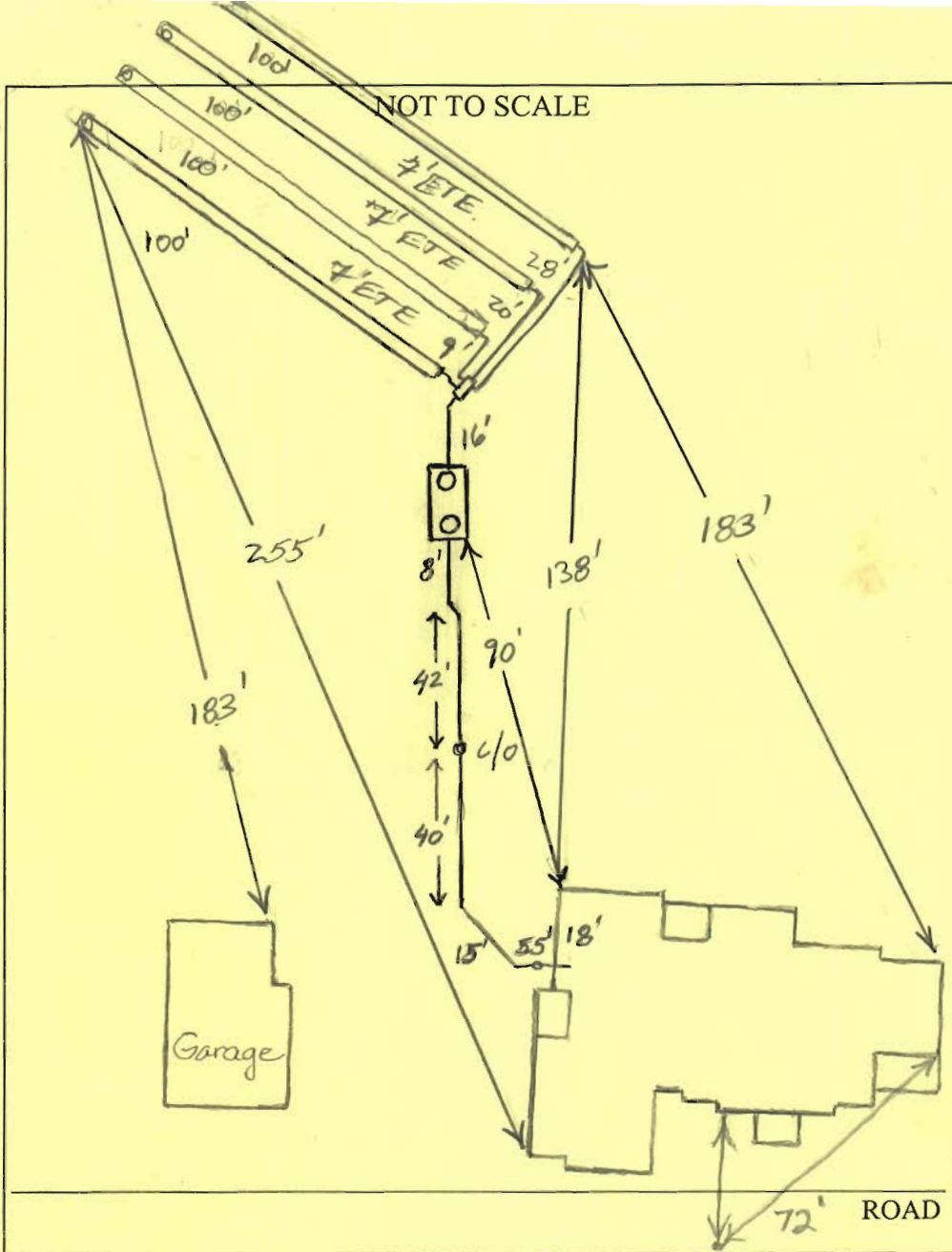
C&P Homes IS PERMITTED TO INSTALL ALTER
 ADDRESS: 16013 Lady Camarin Court PHONE NUMBER: 410-795-1800
 SUBDIVISION: Lisbon Farms LOT NUMBER: 4
 ADDRESS: 16448 Old Frederick Rd PROPERTY OWNER: Peter Ryan/C&P Homes
 SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED
 PUMP CHAMBER CAPACITY (GALLONS): _____ COMPARTMENTED TANK REQUIRED
 NUMBER OF BEDROOMS: 4
 SQUARE FEET PER BEDROOM: 250
 LINEAR FEET OF TRENCH REQUIRED: 400

TRENCHES:	Trench to be 2.0 feet wide. Inlet 4.5 feet below original grade. Bottom maximum depth 6.5 feet below original grade. Effective area begins at 5.5 feet below original grade. 2.0 feet of stone below distribution pipe.
LOCATION:	<u>7/6</u> ^{reb} <u>advised Janie that D-Box is at nearest easement corner To house.</u> <u>Install 4 x 100' trenches (2' wide) Trench bottom must be 6.5'</u> <u>Inlet at their discretion, maybe 4 (or 3).</u>
NOTES:	Install system per plan unless directed by Health Department. Layout inspection required prior to installation.

PLANS APPROVED: Robert Bricker DATE: 1/12/07

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
2'	3-4'	6.5'
NUMBER OF TRENCHES		4
TOTAL LENGTH		400
ABSORPTION AREA		800'±SW
DISTRIBUTION BOX LEVEL		Level
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	Yes
CAPACITY	2000 GAL
SEAM LOC	Top
TANK LID DEPTH	2'
BAFFLES	Yes
BAFFLE FILTER	—
MANHOLE LOC	Front/Rear
6" PORT LOC	none
WATERTIGHT TEST	—
SEPTIC TANK 2 LEVEL	
CAPACITY	— GAL
SEAM LOC	—
TANK LID DEPTH	—
BAFFLES	—
BAFFLE FILTER	—
MANHOLE LOC	—
6" PORT LOC	—
WATERTIGHT TEST	—

*Babylon
2 comp
5 slotted*

PRE-CONSTRUCTION 7/27/2007 Install 4-100' trenches on contour across the top of the easement. (RB)

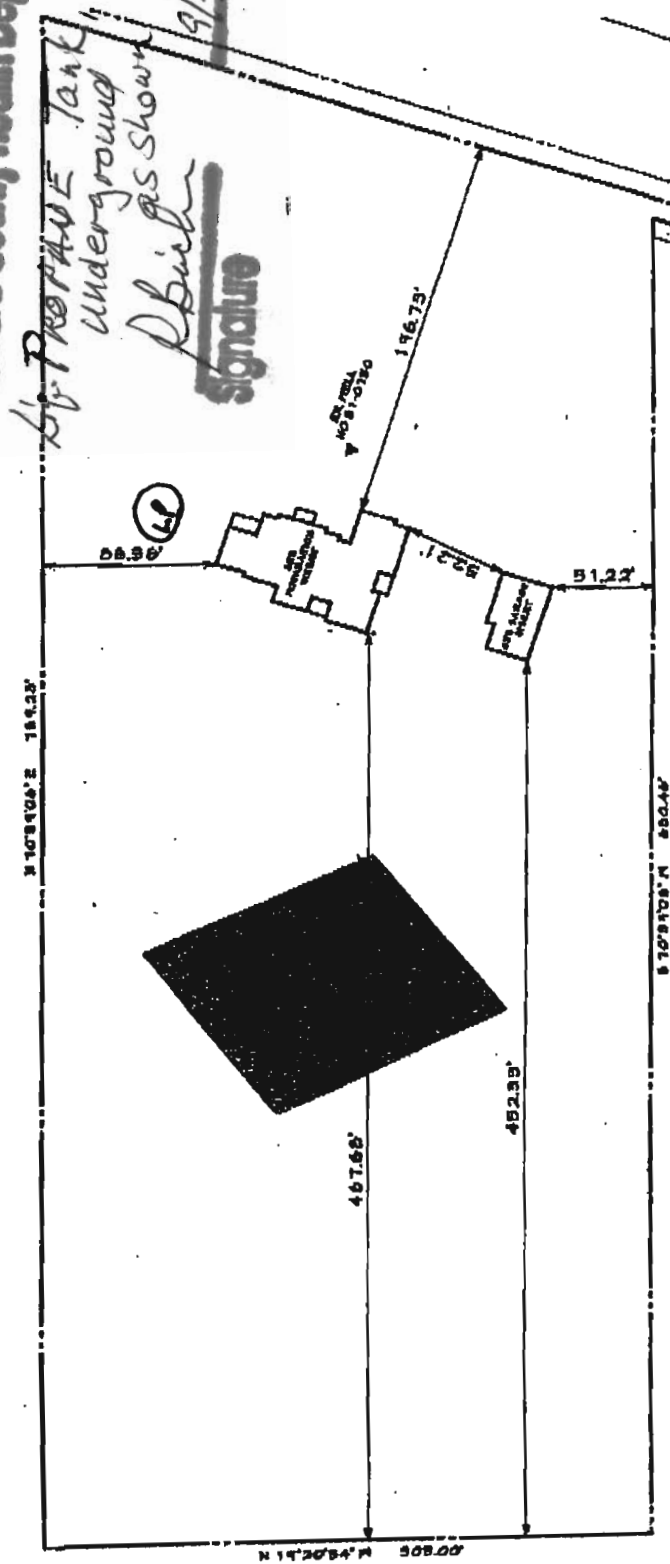
INSTALLATION 8/2/07 Top 2 trenches installed. All plumbing installed along with S.T. and D box. Told contractor passing obs. pipe @ end of both trenches. OK to continue (KW). 8/3/07 System complete. D box leveled out. OK to Back fill (KW)

FINAL INSPECTOR K. Wolf DATE OF APPROVAL 8/3/07

16448 FREDERICK ROAD
MT. AIRY, MD

Send Back or Call

Approved Septic System Plan Howard County Health Department



Signature
Date 9/26/2007

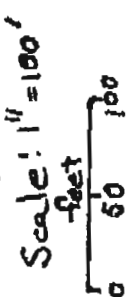
underground

AS shown

*was check
etc 6/17/07*

THOMAS J
DEBOLAH MAZERSKI
8/18/125

PLAN VIEW
SCALE: 1"=100'



FOUNE
BC

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Matthew S. Pickett 3/16/07
 SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THE PLAN AND ALL APPLICABLE ORDINANCES. I HAVE REVIEWED THE PLAN AND I HAVE BEEN ADVISED BY A PROFESSIONAL ENGINEER THAT THE PLAN IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT AND I HAVE BEEN ADVISED BY A PROFESSIONAL ENGINEER THAT THE PLAN IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT AND I HAVE BEEN ADVISED BY A PROFESSIONAL ENGINEER THAT THE PLAN IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Thomas J. Mazerski 3/16/07
 SIGNATURE OF DEVELOPER DATE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

Jim Myers 3/17/07
 USA - NATURAL RESOURCE CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John K. Williams 3/17/07
 HOWARD SOIL CONSERVATION DISTRICT DATE

STANDARDS AND SPECIFICATIONS FOR TOPSOIL CONSTRUCTION AND MATERIAL SPECIFICATIONS

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given area can be found in the soil survey map. Topsoil shall be salvaged from the soil survey map published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.

II. Topsoil specifications - soil to be used as topsoil must meet the following:

I. Topsoil shall be a loam, sandy loam, clay loam, silty loam, sandy clay loam, silty clay loam, or silty clay. Other soils may be used if recommended by a professional agronomist or soil scientist and approved by the appropriate authority. Regardless, topsoil shall not be a mixture of contrasting textures and colors. Topsoil shall contain less than 5% volume of clumps, stems, twigs, coarse fragments, gravel, sticks, rocks, trash, or other material larger than 1 1/2" diameter.

II. Topsoil must be free of plants or plant parts such as bermuda grass, quack grass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.

III. Where the soil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 tons per acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Limestone shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

IV. For sites having disturbed areas under 5 acres:

1. Place topsoil (if required) and apply soil amendments as specified in 2.0.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

V. For sites having disturbed areas over 5 acres:

1. On soil meeting Topsoil specifications, obtain test results detailing fertilizer and lime amendments required to bring the soil into compliance with the following:

a) pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.

b) Organic content of topsoil shall be not less than 1.5 percent by weight.

c) Topsoil having soluble salt content greater than 150 parts per million shall not be used.

d) No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days minimum) to permit dispersion of phytotoxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist, and approved by the appropriate approval authority, may be used in lieu of topsoil.

II. Place topsoil (if required) and apply soil amendments as specified in 2.0.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

I. When topsoiling, maintain needed erosion and sediment control practices such as diversions, grade stabilization structures, earth ditches, slope silt fence and sediment traps and basins.

II. Topsoil shall be uniformly distributed in a 4"-8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that seeding or sodding can proceed with a minimum of additional topsoil.

III. Preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pools.

IV. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may obstruct the spreading operation or cause soil compaction.

V. Alternative for Permanent Seeding - Instead of applying the full amount of topsoil, commercial fertilizer, composted sludge and amendments in the amount specified below.

1. Composted sludge material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to provide recommendations for sites having disturbed areas under 5 acres shall conform to the following requirements:

a) Composted sludge shall be supplied, or originate, from a person or persons that are permitted for the time of application of the compost by the Maryland Department of the Environment under COMAR 26.04.02.

b) Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.

c) Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.

2. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

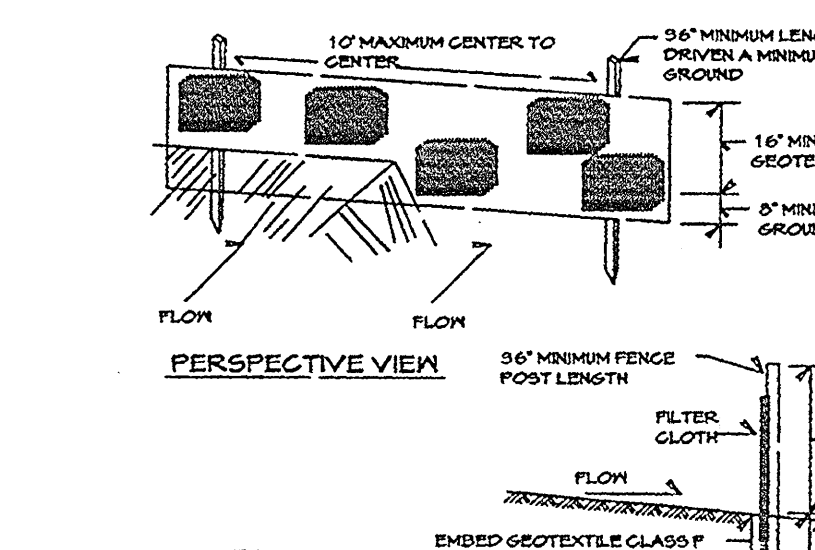
GENERAL NOTES

1. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
2. THERE ARE NO OTHER EXISTING WELLS AND/OR SEPTIC AREAS WITHIN 100 FEET OF THIS PROPERTY, FROM FIELD INSPECTION BY G.L.S. INC.
3. ALL HOUSE SITES SHOWN COMPLY WITH MINIMUM BUILDING RESTRICTION REGULATIONS.
4. THE EXISTING WELLS(S) SHOWN ON THIS PLAN IDENTIFIED WITH THE ATTACHED WELL TAG NUMBER EX HO 81-0750 HAS BEEN FIELD LOCATED BY GARROLL LAND SERVICES INC. PROFESSIONAL LAND SURVEYOR(S) AND ITS ACCURATELY SHOWN.
5. ALL EXISTING TOPO ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON FIELD RUN SURVEY PREPARED BY G.L.S. INC. AND ALSO HOWARD COUNTY "2004" TOPOGRAPHY MAP # 255. THE HORIZONTAL DATUM IS THE MARYLAND COORDINATE SYSTEM N.A.D. 1983 AND VERTICAL DATUM IS BASED ON N.A.V.D. 1988.
6. ANY CHANGES TO A PRIVATE SEWAGE EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.

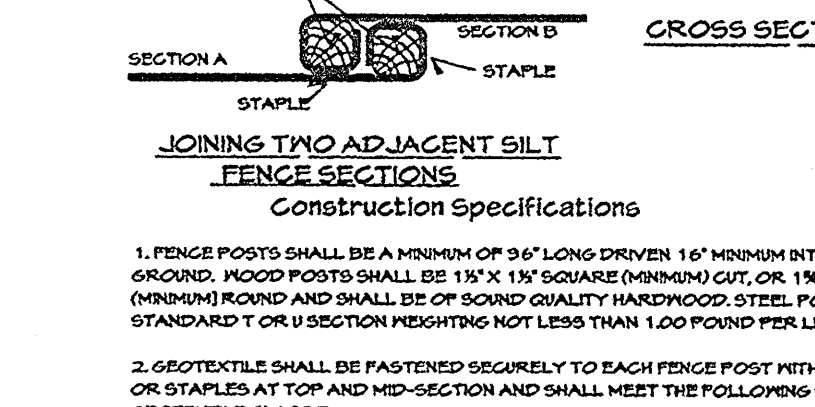
Standard Sediment Control Notes

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (31-1055).
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be installed in accordance with the MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and related documents.
3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 1 calendar day for all perimeter sediment control structures, diversions, silt fences and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shall be fenced and warning signs posted around the perimeter in accordance with Vol. 1, Chapter 12 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. For permanent erosion control (Sec. 5.1.1, 5.1.2, 5.1.3, 5.1.4, 5.1.5, 5.1.6, 5.1.7, 5.1.8, 5.1.9, 5.1.10, 5.1.11, 5.1.12, 5.1.13, 5.1.14, 5.1.15, 5.1.16, 5.1.17, 5.1.18, 5.1.19, 5.1.20, 5.1.21, 5.1.22, 5.1.23, 5.1.24, 5.1.25, 5.1.26, 5.1.27, 5.1.28, 5.1.29, 5.1.30, 5.1.31, 5.1.32, 5.1.33, 5.1.34, 5.1.35, 5.1.36, 5.1.37, 5.1.38, 5.1.39, 5.1.40, 5.1.41, 5.1.42, 5.1.43, 5.1.44, 5.1.45, 5.1.46, 5.1.47, 5.1.48, 5.1.49, 5.1.50, 5.1.51, 5.1.52, 5.1.53, 5.1.54, 5.1.55, 5.1.56, 5.1.57, 5.1.58, 5.1.59, 5.1.60, 5.1.61, 5.1.62, 5.1.63, 5.1.64, 5.1.65, 5.1.66, 5.1.67, 5.1.68, 5.1.69, 5.1.70, 5.1.71, 5.1.72, 5.1.73, 5.1.74, 5.1.75, 5.1.76, 5.1.77, 5.1.78, 5.1.79, 5.1.80, 5.1.81, 5.1.82, 5.1.83, 5.1.84, 5.1.85, 5.1.86, 5.1.87, 5.1.88, 5.1.89, 5.1.90, 5.1.91, 5.1.92, 5.1.93, 5.1.94, 5.1.95, 5.1.96, 5.1.97, 5.1.98, 5.1.99, 5.1.100, 5.1.101, 5.1.102, 5.1.103, 5.1.104, 5.1.105, 5.1.106, 5.1.107, 5.1.108, 5.1.109, 5.1.110, 5.1.111, 5.1.112, 5.1.113, 5.1.114, 5.1.115, 5.1.116, 5.1.117, 5.1.118, 5.1.119, 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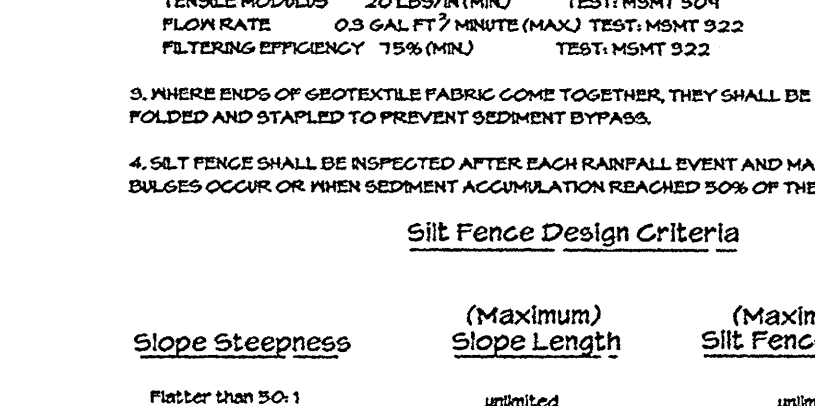
DETAIL 22 - SILT FENCE



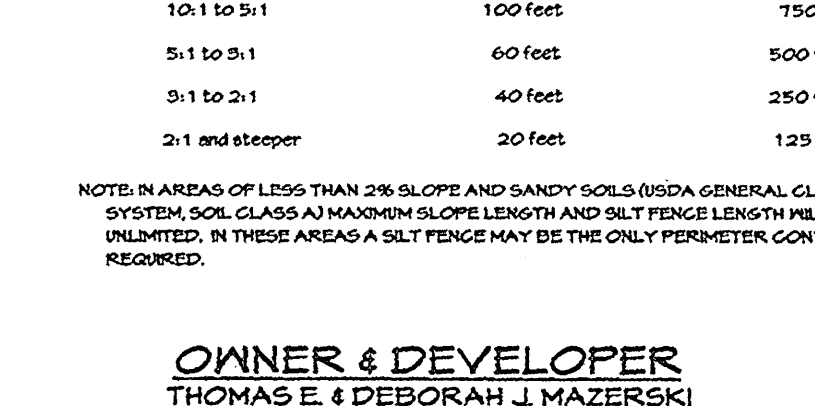
DETAIL 23 - SUPER SILT FENCE



DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



DETAIL 25 - SUPER SILT FENCE

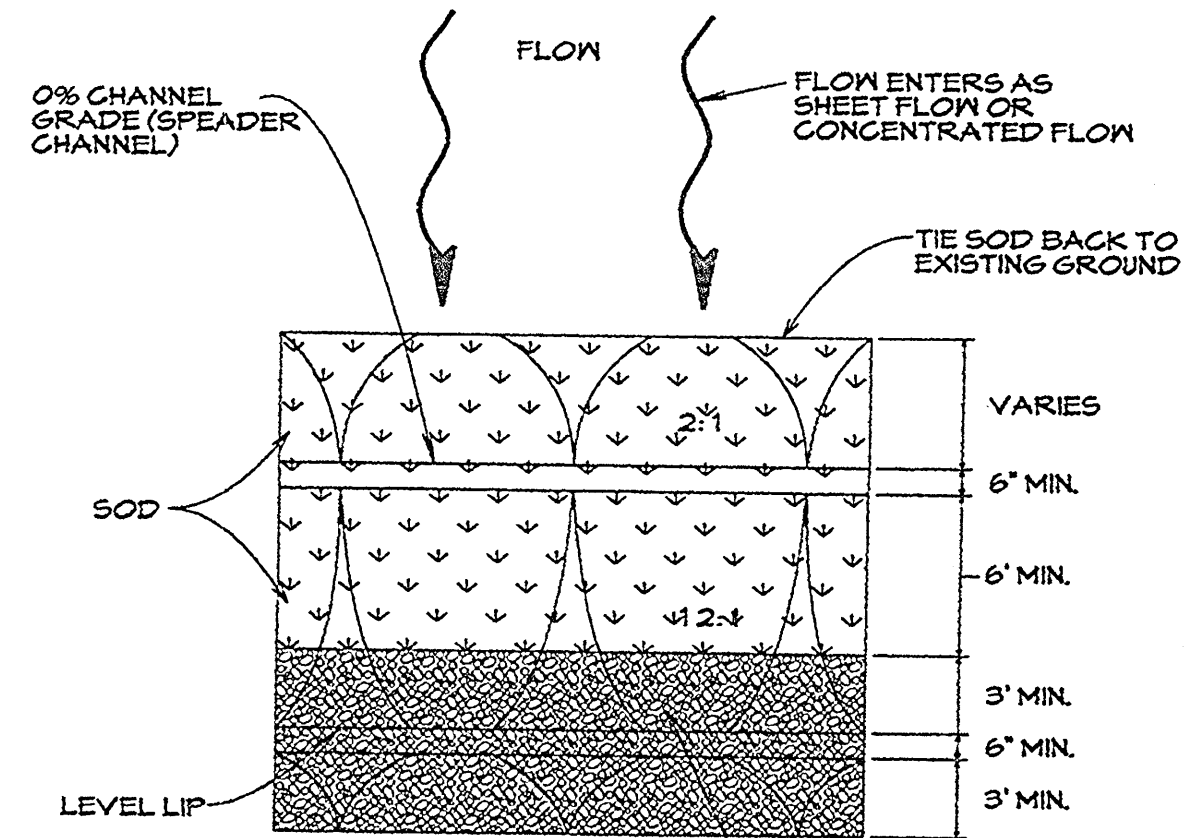


SOILS DATA

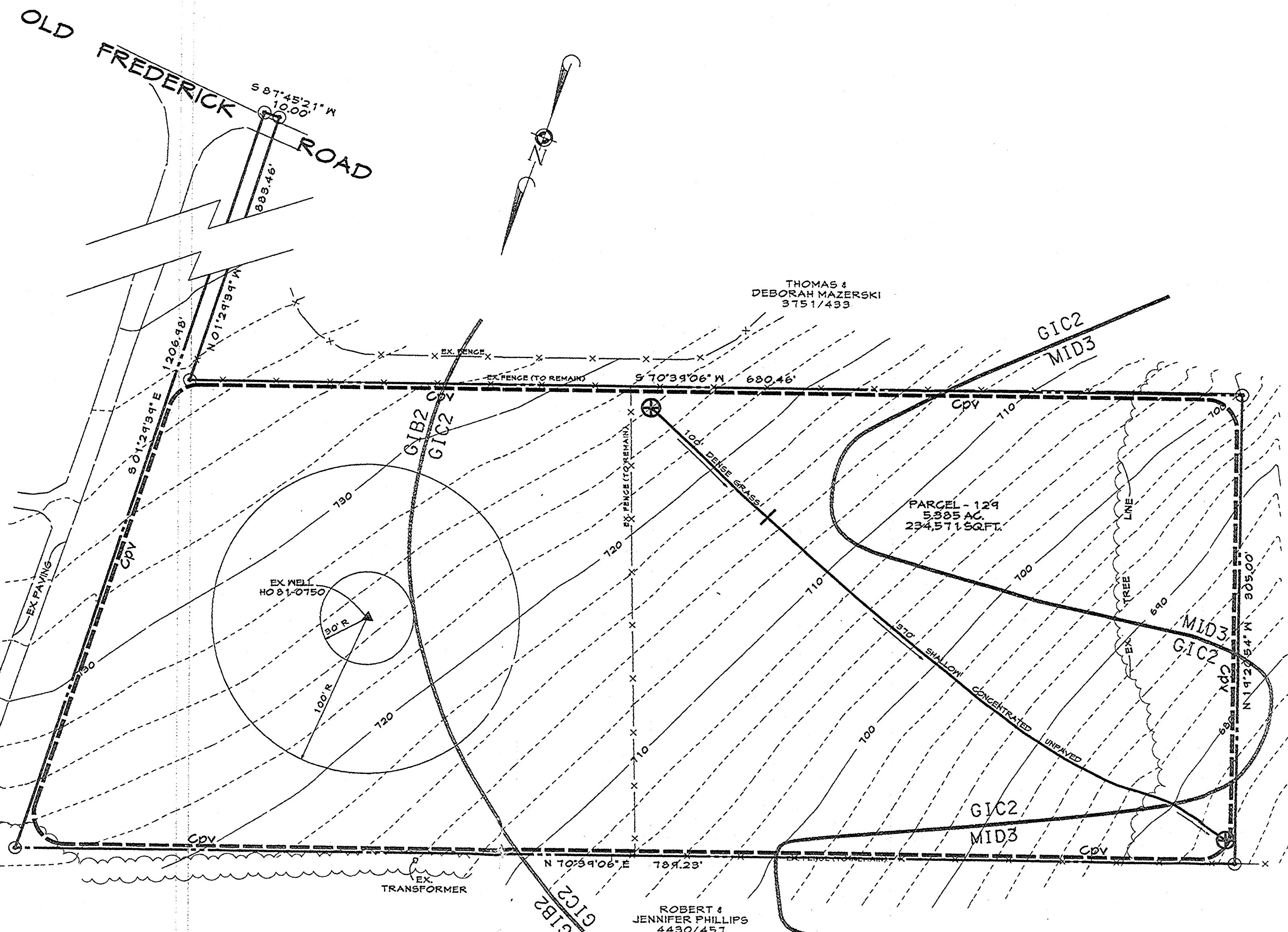
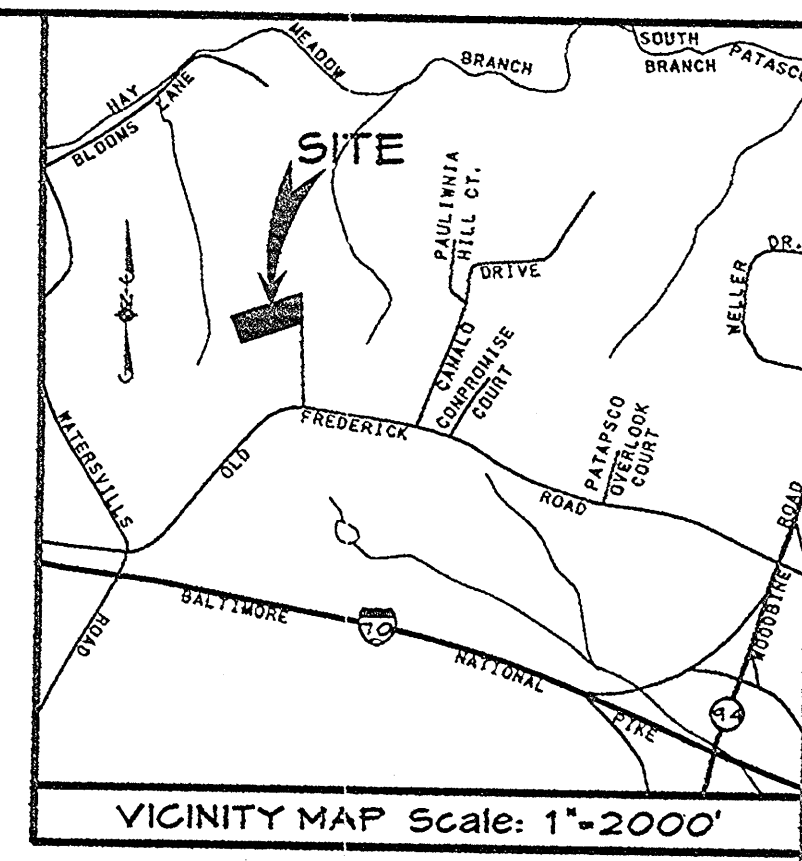
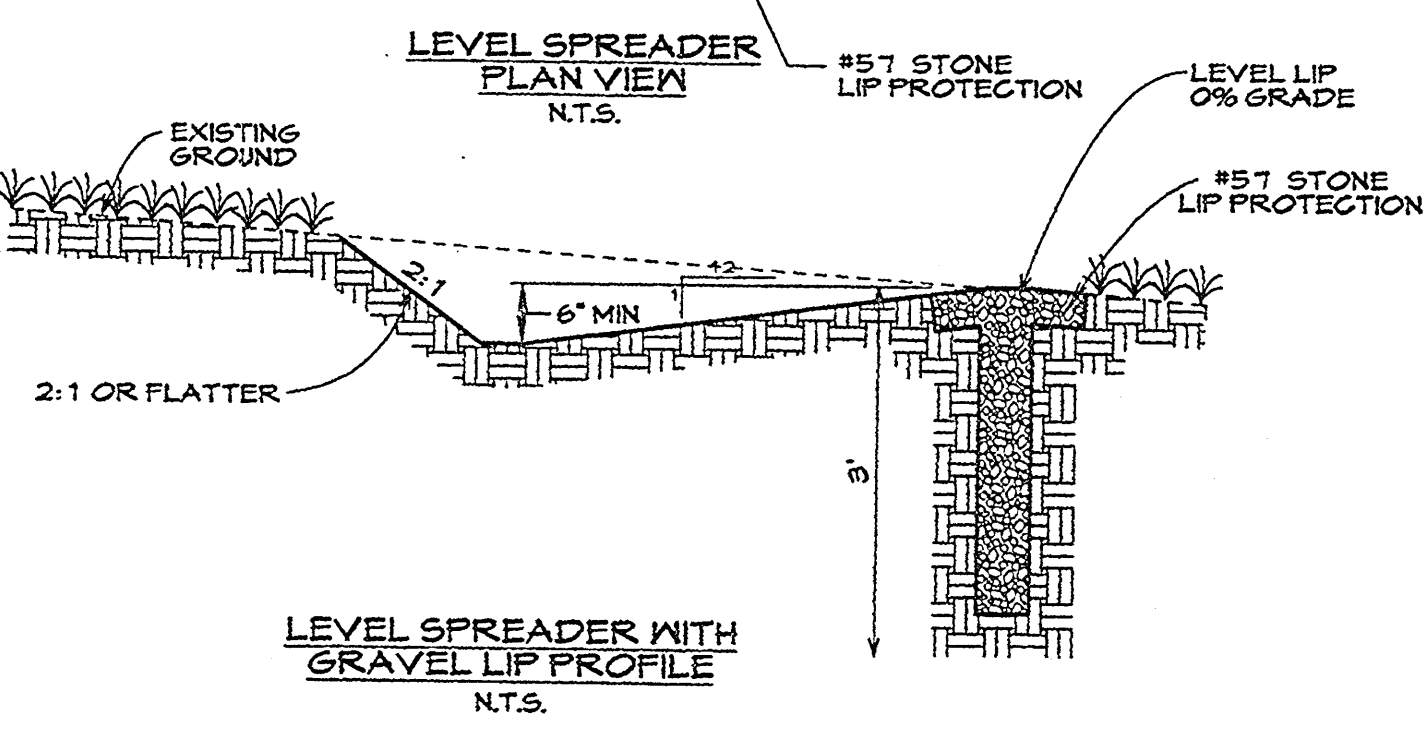
SOIL SYMBOL	SOIL SERIES	SOIL HSG.
G1C2	GLENDLE	D
G1B2	GLENDLE LOAM	B
M1D3	MANOR LOAM	B

SEPTIC SYSTEM NOTES

1. SEPTIC EASEMENT SUBJECT TO HOWARD COUNTY HEALTH DEPARTMENT APPROVAL. MAXIMUM AREA OF 122.75 SQM FEET AND AVERAGE PERCOLATION TIME OF 1.5 MINUTES.
2. PROPOSED 1500 G



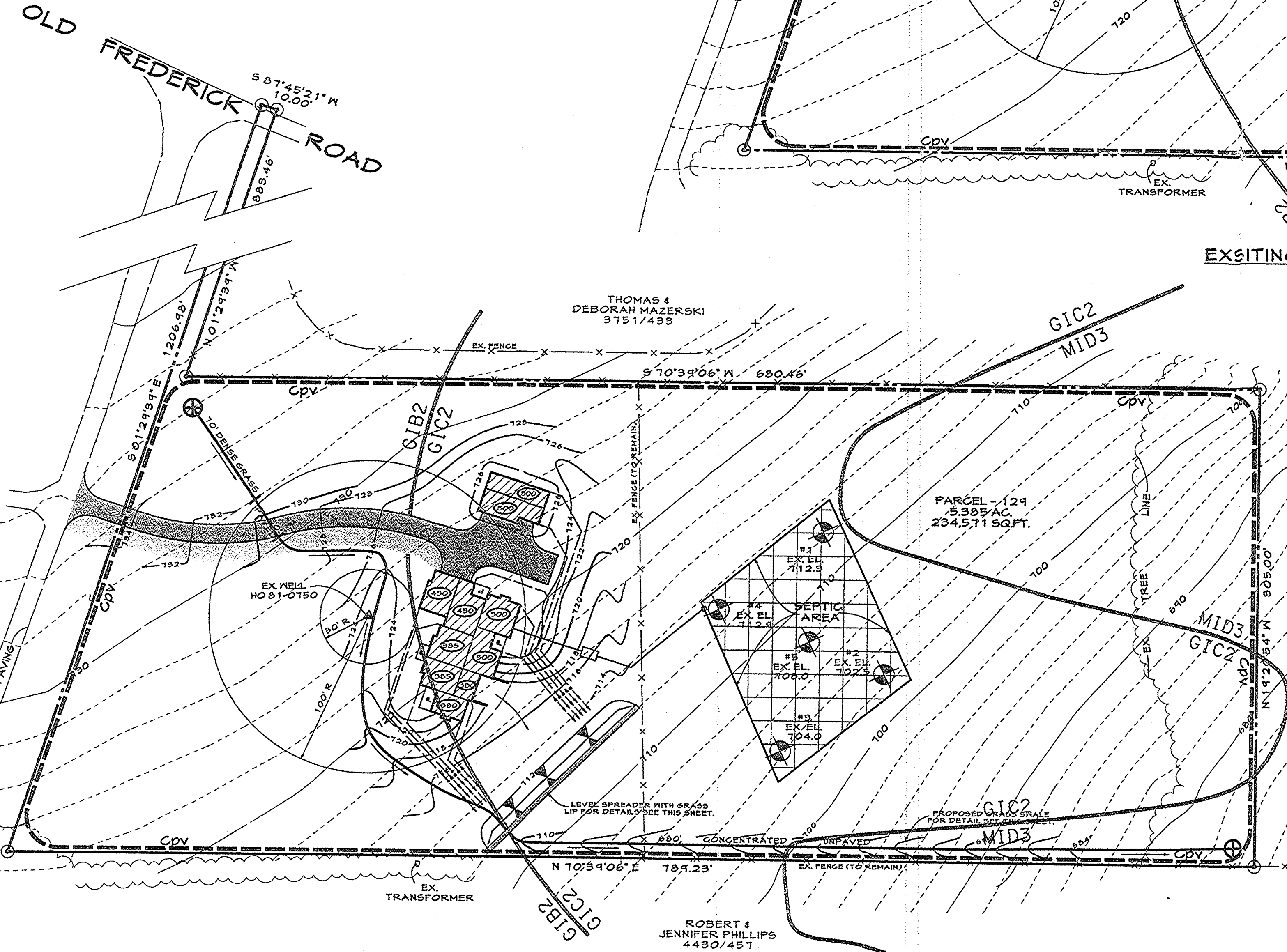
NOTE:
*CONTRACTOR TO ADJUST SPREADER
SO THAT IT REMAINS LEVEL AND PARALLEL
WITH THE CONTOURS



EXISTING CONDITION DRAINAGE AREA MAP
SCALE: 1"=50'

LEGEND

- NON-ROOFTOP IMPERVIOUS
- EQUAL AREA NON-ROOFTOP IMPERVIOUS DISCONNECT (5% OR LESS)
- ROOFTOP IMPERVIOUS
- SEPTIC AREA
- ROOFTOP IMPERVIOUS DISCONNECT PATHS
- ROOF LEADERS
- AREA TO ROOF LEADERS
- DRAINAGE AREA LIMIT
- OVERHANGING TREE LINE
- T.G. PATH



DEVELOPED CONDITION DRAINAGE AREA MAP
SCALE: 1"=50'

SHEET 2 OF 2
SUPPLEMENTAL STORM WATER MANAGEMENT
DRAINAGE AREA MAPS TO ACCOMPANY
APPLICATION FOR BUILDING PERMIT
16452 OLD FREDERICK ROAD
MAZERSKI PROPERTY
4TH ELECTION DISTRICT • HOWARD COUNTY, MARYLAND
DEED REF. 1849/144
MAP - 2 GRID - 22 PARCEL - 129

DATE	REVISIONS	
2/8/07	REMOVED C/O FROM PLAN PER HOWARD CO. HEALTH DEPARTMENT	JEP
3/5/07	REMOVED GRASS SWALE DETAIL FROM THIS SHEET	JEP



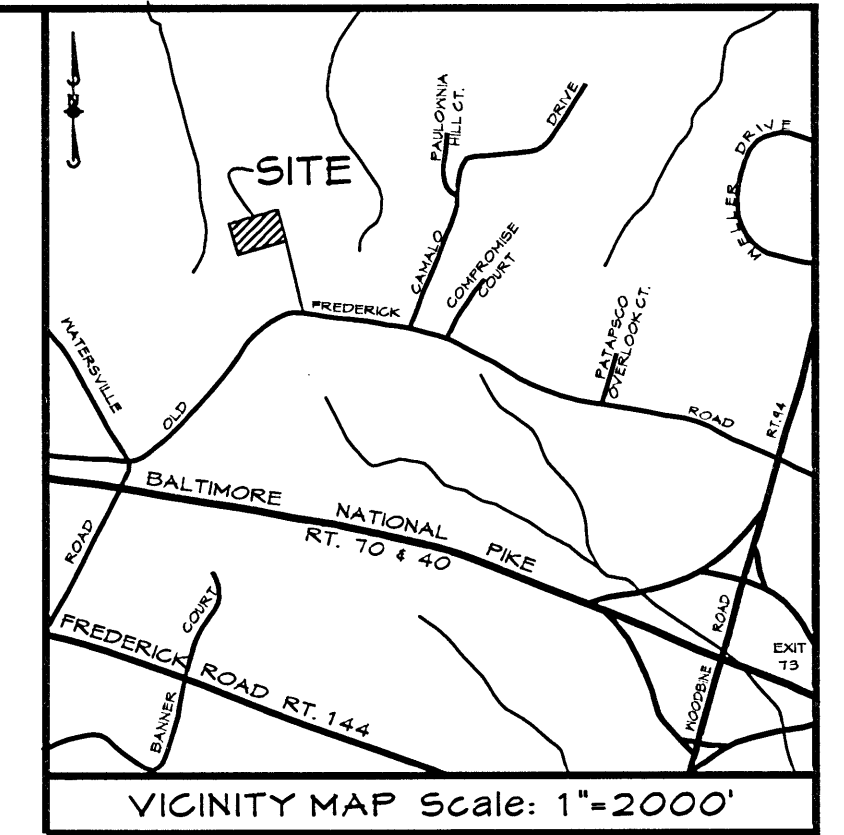
FREDERICK OFFICE: 8445 Progress Drive, Suite 88 Frederick, MD 21701-4879 (301) 662-1799 FAX (301) 662-2004		WESTMINSTER OFFICE: 439 East Main Street Westminster, MD 21157-5539 (410) 648-1790 FAX (410) 648-1791	
Surveyed By: CLSI	Drawn By: CJD	Professional Engineer Registration No. 25446	Date: 1-11-07
Computed By:	Checked By: JEP	Drawing No.: 2006231	County File No.:

CAD Drawing File Name:

2006/03/05 10:47:32

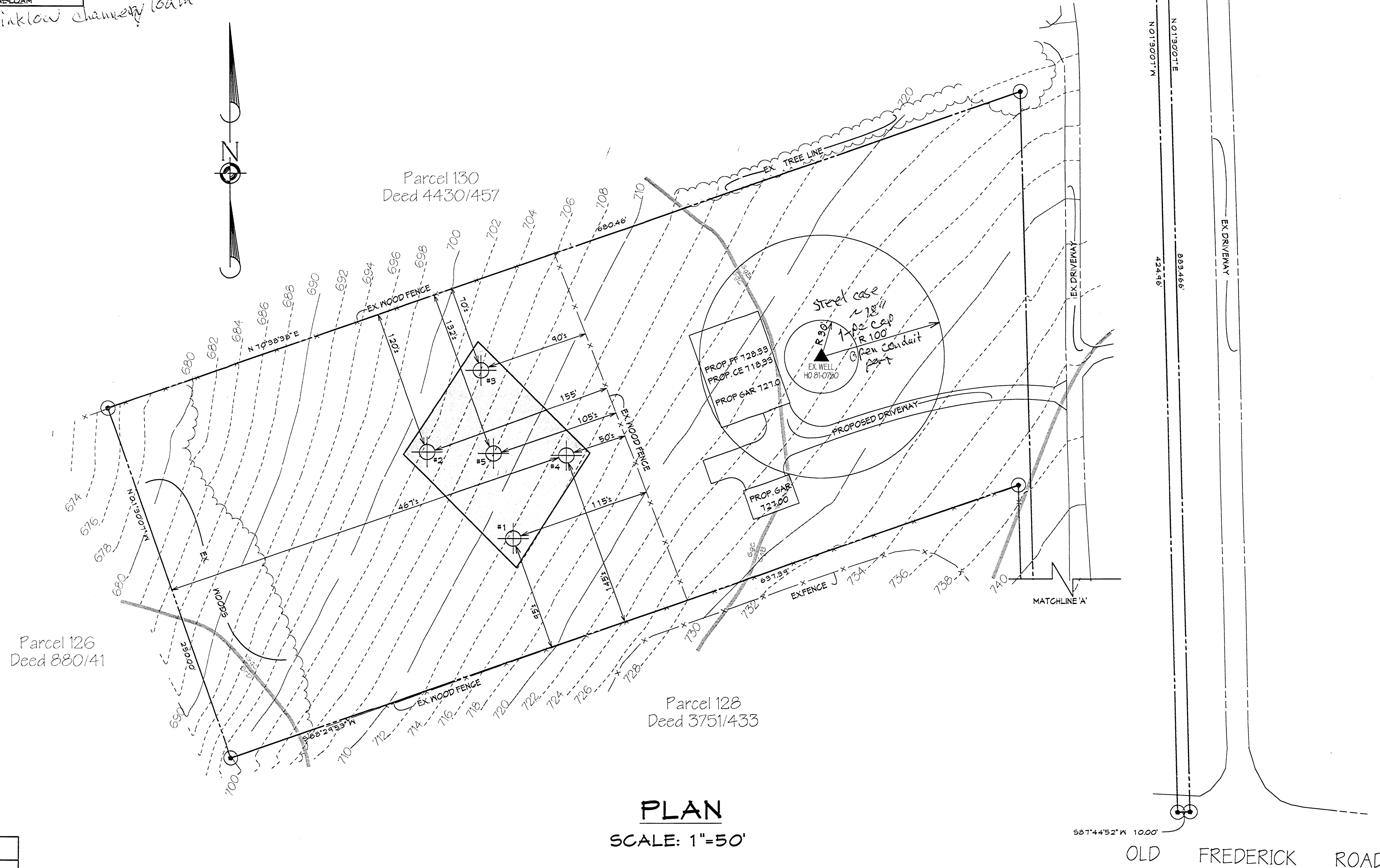
SOILS LEGEND	
SOIL	TYPE
GgB	GLENELG LOAM
GgC	GLENELG LOAM
BpD	BRANDYWINE LOAM

Brinklow channel loam



NOTES:

1. THE PROPERTY SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
2. ALL WELLS AND SEPTIC SYSTEMS WITHIN 100 FEET OF THE PROPERTY BOUNDARY HAVE BEEN SHOWN.
3. TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD RUN SURVEY.
4. THIS SURVEY HORIZONTALLY AND VERTICALLY IS TIED TO HOWARD COUNTY CONTROL MONUMENTS, (NAD 83 HORIZONTAL AND NGVD 29 VERTICAL DATUM).
5. A MAXIMUM OF FOUR (4) BEDROOM HOUSE IS TO BE BUILT ON THIS PROPERTY.
6. PROPOSED SEPTIC SYSTEM AND WELL FOR PARCEL #129 TO BE INSTALLED BEFORE BUILDING PERMIT APPROVAL.



PERCOLATION CERTIFICATION PLAN
 PARCEL #129
 #16452 OLD FREDERICK ROAD
MARZERSKI PROPERTY
 (FORMALLY LOT #4 LIBSON FARMS)

TAX MAP: 2 PARCEL: 129 GRID: 22
 4TH ELECTION DISTRICT • HOWARD COUNTY, MARYLAND
 DEED REF - 1849/744

DATE		REVISIONS	
FREDERICK OFFICE: 8435 Progress Drive, Suite 88 Frederick, MD 21701-4879 (301) 662-1799 FAX (301) 662-8004		WESTMINSTER OFFICE: 439 East Main Street Westminster, MD 21157-5539 (410) 848-1700 FAX (410) 848-1791	
Surveyed By: CLS	Drawn By: A.P.L.	Drawing No: 2006014	Date: 12/08/06
Computed By: CLS	Checked By: JEP	County File No.:	Professional Engineer Registration No. 23446

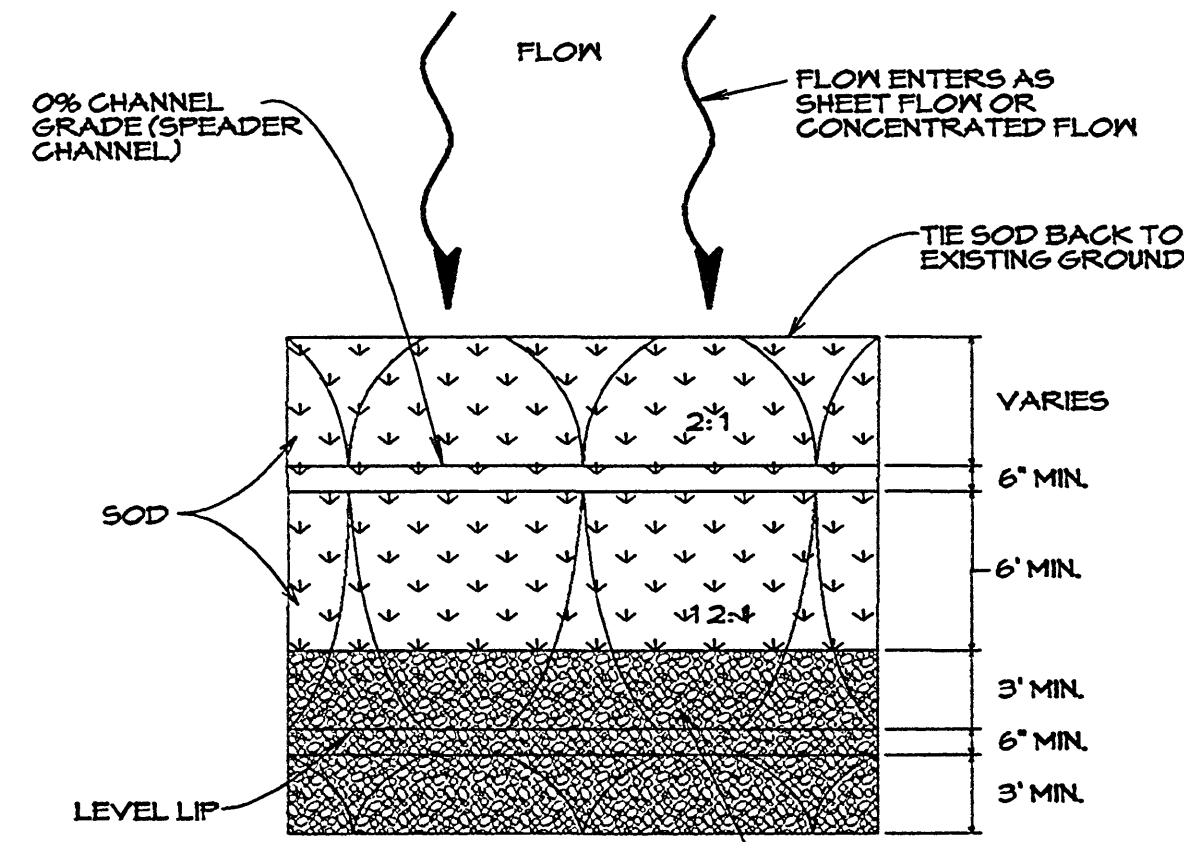
OWNER
 THOMAS E. & DEBORA J. MAZERSKI
 16013 LADY GAMARIN CT.
 MT. AIRY, MD 21771

APPROVED FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER _____ DATE _____

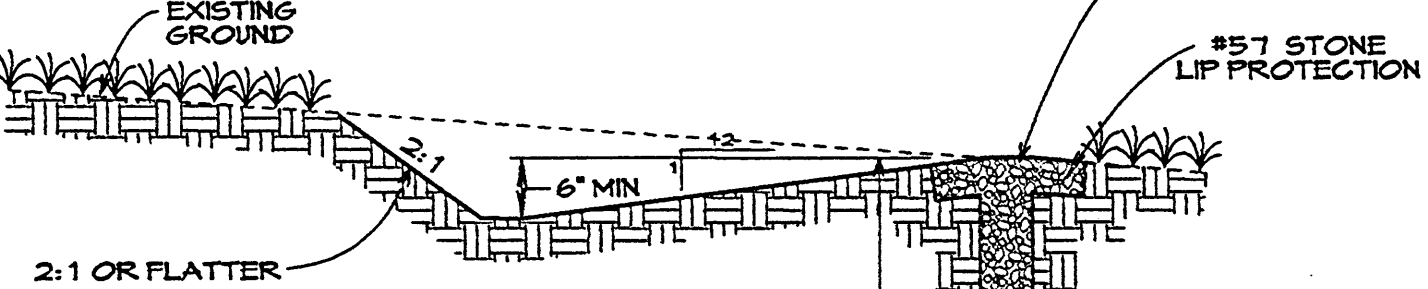
THIS AREA DESIGNATES A PRIVATE SEPTIC RESERVE AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THIS RESERVE AREA SHALL BECOME NULL AND VOID UPON CONNECTION OF PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE RESERVE AREA. RECORDATION OF THE MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY.

LEGEND	
	-DENOTES EXISTING SEPTIC RESERVE AREA
	-DENOTES PROPOSED SEPTIC RESERVE AREA
	-DENOTES FALD PERC
	-DENOTES APPROVED PERC
	-DENOTES PROPOSED PERC-TEST
	-DENOTES EXISTING WELL
	-DENOTES EXISTING GRADES
	-DENOTES BRL (BUILDING RESTRICTION LINE)
	-DENOTES SOIL TYPES
	-DENOTES PROPOSED HOUSE BOX

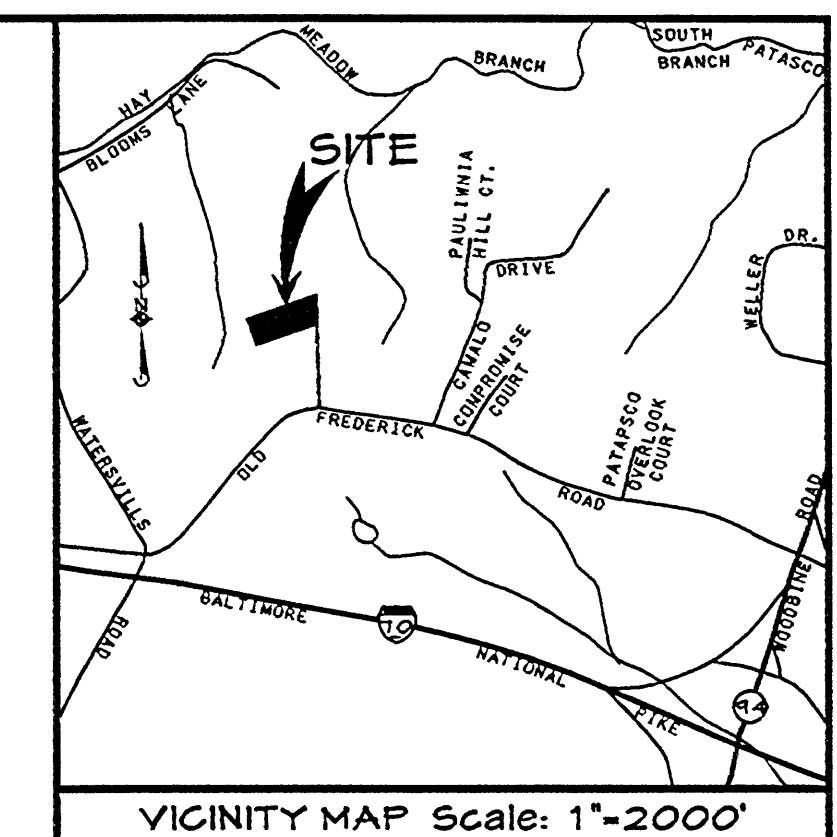


NOTE: CONTRACTOR TO ADJUST SPREADER SO THAT IT REMAINS LEVEL AND PARALLEL WITH THE CONTOURS

LEVEL SPREADER PLAN VIEW N.T.S.



LEVEL SPREADER WITH GRAVEL LIP PROFILE N.T.S.



LEGEND

- NON-ROOFTOP IMPERVIOUS
- EQUAL AREA NON-ROOFTOP IMPERVIOUS DISCONNECT (5% OR LESS)
- ROOFTOP IMPERVIOUS
- SEPTIC AREA
- ROOFTOP IMPERVIOUS DISCONNECT PATHS
- ROOF LEADERS
- AREA TO ROOF LEADERS
- DRAINAGE AREA LIMIT
- OVERHANGING TREE LINE
- T.G. PATH

OLD FREDERICK ROAD

S 87°45'21" W 12.00'

S 89°45'

S 01°29'39" E 1206.78'

THOMAS & DEBORAH MAZERSKI 3751/433

PARCEL - 129
5.385 AC
234,571 SQ.FT.

EXISTING CONDITION DRAINAGE AREA MAP
SCALE: 1"=50'

OLD FREDERICK ROAD

S 87°45'21" W 12.00'

S 89°45'

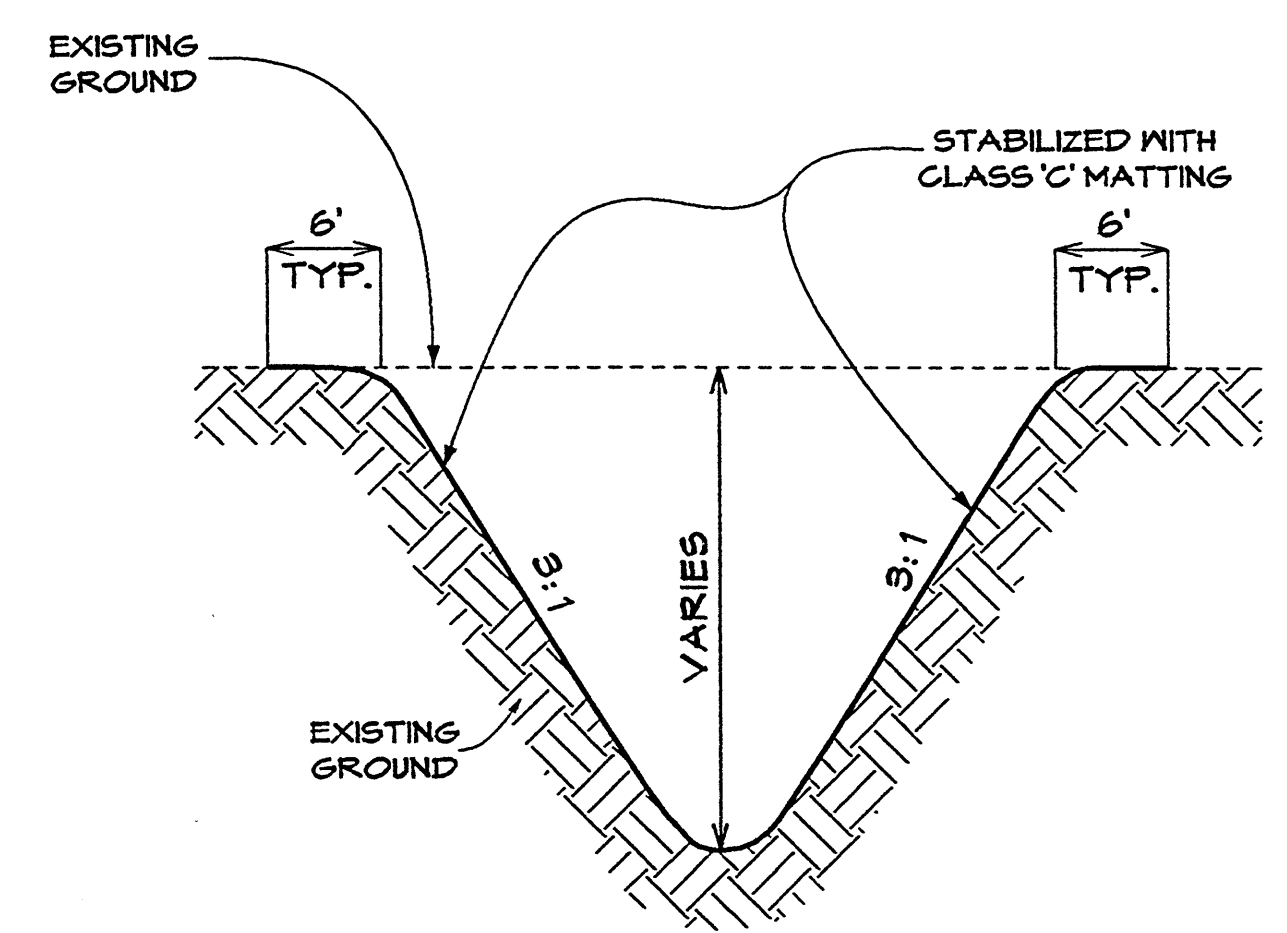
S 01°29'39" E 1206.78'

THOMAS & DEBORAH MAZERSKI 3751/433

PARCEL - 129
5.385 AC
234,571 SQ.FT.

ROBERT & JENNIFER PHILLIPS 4430/457

DEVELOPED CONDITION DRAINAGE AREA MAP
SCALE: 1"=50'



TYPICAL GRASS SWALE SECTION
SCALE: N.T.S.

Clear-cut not shown Page 1

SHEET 2 OF 2
SUPPLEMENTAL STORM WATER MANAGEMENT
DRAINAGE AREA MAP TO ACCOMPANY
APPLICATION FOR BUILDING PERMIT
16452 OLD FREDERICK ROAD
MAZERSKI PROPERTY
4TH ELECTION DISTRICT • HOWARD COUNTY, MARYLAND
DEED REF. 1844/744
MAP - 2 GRID - 22 PARCEL - 129

DATE	REVISIONS

FREDERICK OFFICE:
8445 Progress Drive, Suite B8
Frederick, MD 21702-4879
(301) 662-1799
FAX (301) 662-8004

WESTMINSTER OFFICE:
435 East Main Street
Westminster, MD 21157-5339
(410) 848-1790
FAX (410) 848-1791

Approved: _____
Professional Engineer Registration No. 25444
Date: 1-19-07

Surveyed By: CLSI	Drawn By: GDP	Drawing No: 2006231
Computed By: JEP	Checked By: JEP	County File No:



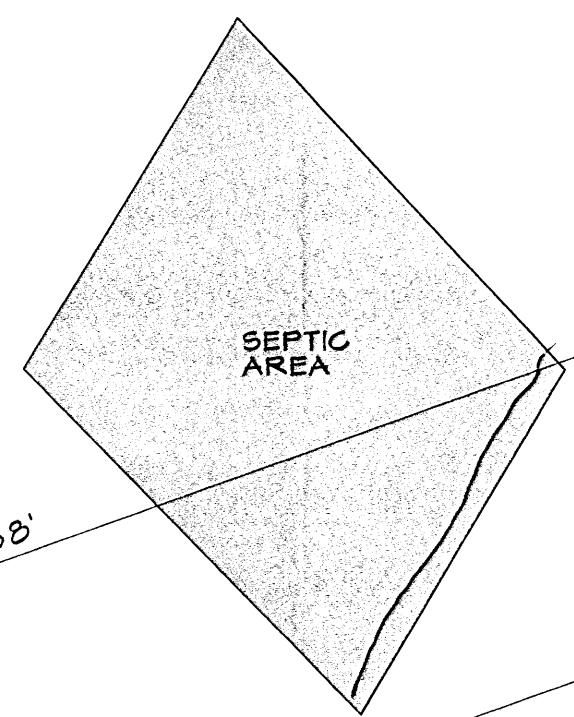
ROBERT &
JENNIFER PHILLIPS
4430/457

N 10°39'06" E 189.23'

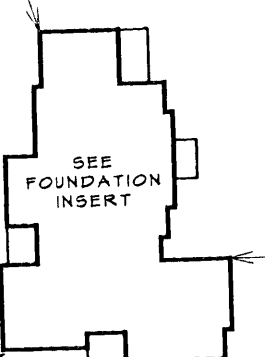
88.39'

EX WELL
HO 81-0750

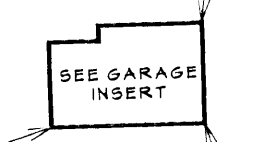
196.73'



SEPTIC
AREA



SEE
FOUNDATION
INSERT



SEE
GARAGE
INSERT

52.21'

51.22'

N 19°20'54" W
512.520'
MATTHEW S. FICKETT

467.68'

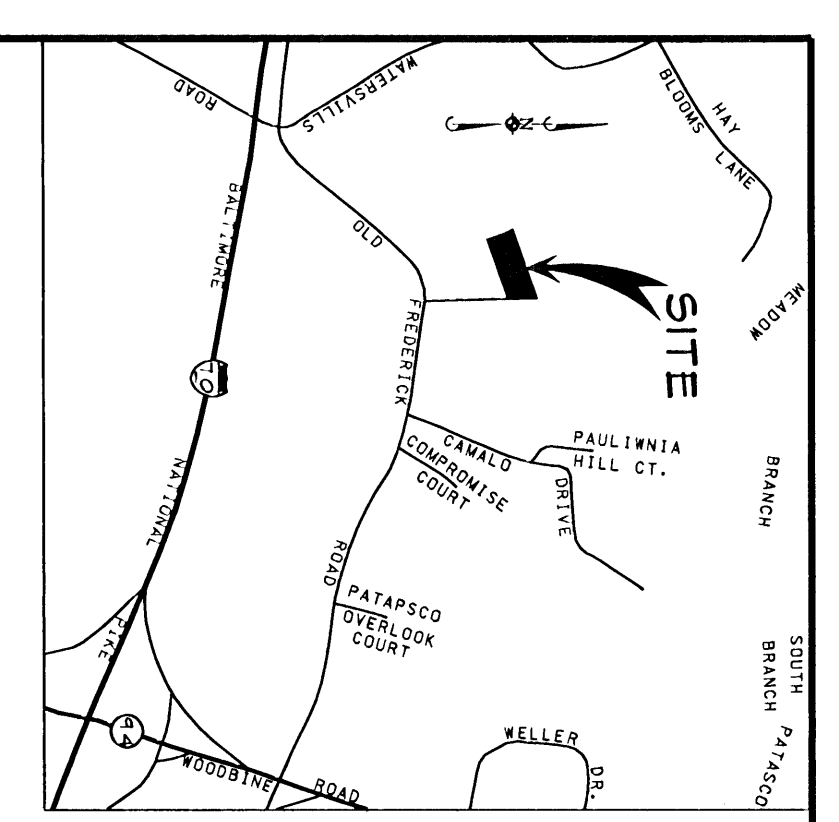
452.33'

THOMAS &
DEBORAH MAZERSKI
3751/433

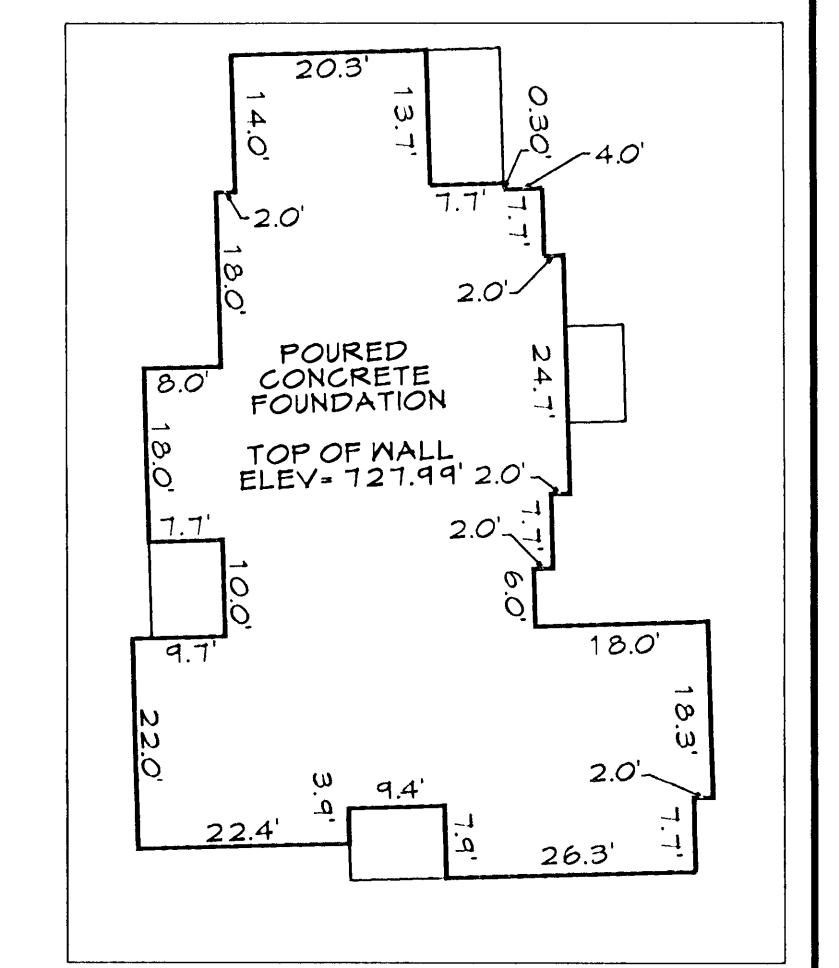
S 70°39'06" W 680.46'

*Wall check
ok 6/7/07
SP*

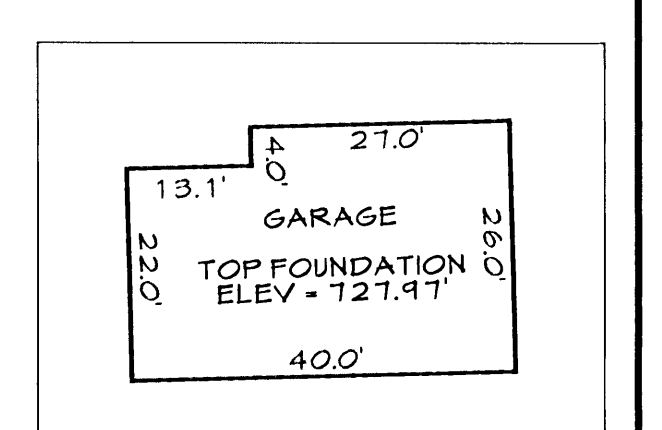
PLAN VIEW
SCALE: 1"=50'



VICINITY MAP
1"=2000'



FOUNDATION DETAIL
SCALE: 1"=20'



GARAGE DETAIL
SCALE: 1"=20'

S 87°45'21" W
10.00'

FREDERICK ROAD

CAD Drawing File Name:

FOUNDATION CERTIFICATION

16448 OLD FREDERICK ROAD
PETE RYAN PROPERTY
4TH ELECTION DISTRICT * HOWARD COUNTY, MARYLAND
DEED REF. 1849/744
MAP - 2 GRID - 22 PARCEL - 129

A LICENSED MARYLAND SURVEYOR EITHER PERSONALLY PREPARED THIS PLAT OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT, IN COMPLIANCE WITH THE MARYLAND MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING.

Date * Revision * By				
<p>FREDERICK OFFICE: 8445 Progress Drive, Suite BB Frederick, MD 21701-4879 (301) 662-1799 FAX (301) 662-8004</p>				
Scale:	50'	Surveyed By:	Drawn By: SCH	Date: 05/17/07
		Computed By:	Checked By: DEM	Drawing No.: 2006231
				County File No.:

5:\2006\2006231.dgn May 21 2007 11:26:52