



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILP 2017 AUG 4 PM 2:38

Date Received: _____

Permit No.: B17002986

Building Address: 1820 BOKA VALLEY CT
City: Woodbine State: MD Zip Code: 21797
Suite/Apt. # _____ SDP/WP/BA #: _____
Census Tract: 6040 Subdivision: Boka Valley
Section: 1 Area: 1 Lot: 5
Tax Map: 8 Parcel: 0043 Grid: 0019
Zoning: R Map Coordinates: _____ Lot Size: 3.76

Property Owner's Name: ANTHONY PAVLIK
Address: 1820 BOKA VALLEY CT
City: Woodbine State: MD Zip Code: 21797
Phone: 302-307-4872 Fax: _____
Email: tonypavlik@yahoo.com

Existing Use: Residential SFD
Proposed Use: SFD with Detached Garage
Estimated Construction Cost: \$ 22,000
Description of Work: ADD Detached Garage
24 X 28 New construction

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Occupant/Tenant Name: _____
Was tenant space previously occupied? Yes No
Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Contractor Company: Homeowner
Contact Person: TONY PAVLIK
Address: same
City: _____ State: _____ Zip Code: _____
License No.: _____
Phone: 302-307-4872 Fax: _____
Email: tonypavlik@yahoo.com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor: <u>24 x 28</u>	
	2 nd floor: <u>Garage</u>	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature]
Email Address: tonypavlik@yahoo.com
Title/Company: homeowner

Print Name: ANTHONY PAVLIK
Date: 8-4-17

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>8/4/2017</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>25.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>146</u>

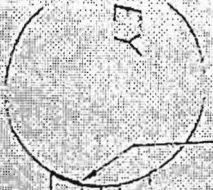
DAISY LANE

BOKA VALLEY COURT



SUBDIVISION: BOKA VALLEY
 SECTION: 1 AREA: 1
 LOT: 5
 TAX MAP: 8 PARCEL: 0043
 GRID: 0019

APPROVED
 WALKTHRU BUILDING PERMIT
 BP# B170029860A#
 APP SAN *Philly* DATE: *8/1/2017*
 DESC OF WORK: 24' X 28'
 Detached Garage
 as illus trated
 LOT 6



N 85°42'27" W 289.00'
 N 85°42'27" W 221.10'

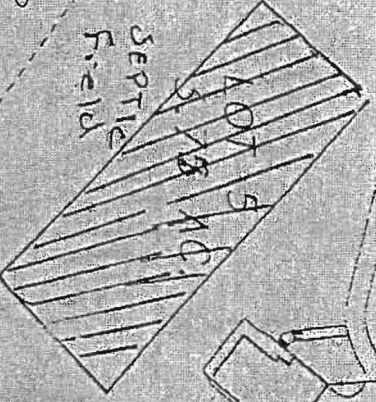
02°17'33" W 472.96'

20' USE IN COMMON EASEMENT

LOT 4

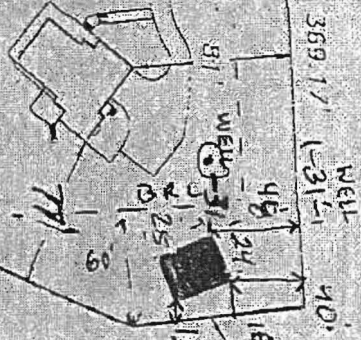
LOT 5
 3.76 AC

100 YEAR FLOOD PLAIN



SEPTIC Field

LOT 4
3.18 AC



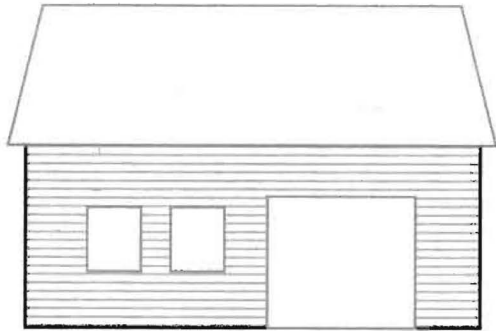
Garage Setbacks
 Left Rear to Side - 40'
 Left Rear to Back - 15'
 Right Rear to Back - 15'
 Left Front to Side - 40'
 Well to Left Front - 31'

25°21'25" E 479.36'

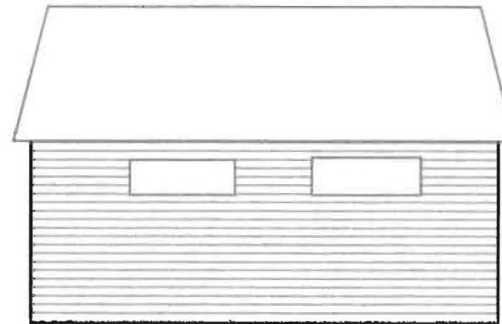
DETACHED GARAGE
 24' X 28' W
 SCALE: 1" = 100'

1820 Boka Valley Ct
 WOODBINE MD

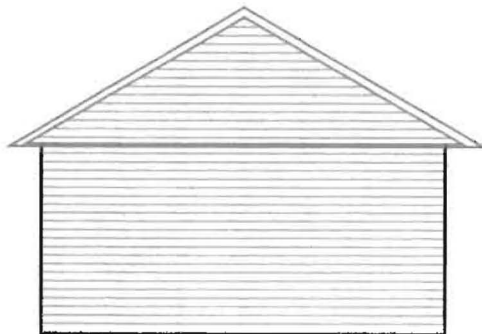
Property owner:
 ANTHONY PAVLIK



Front



Back

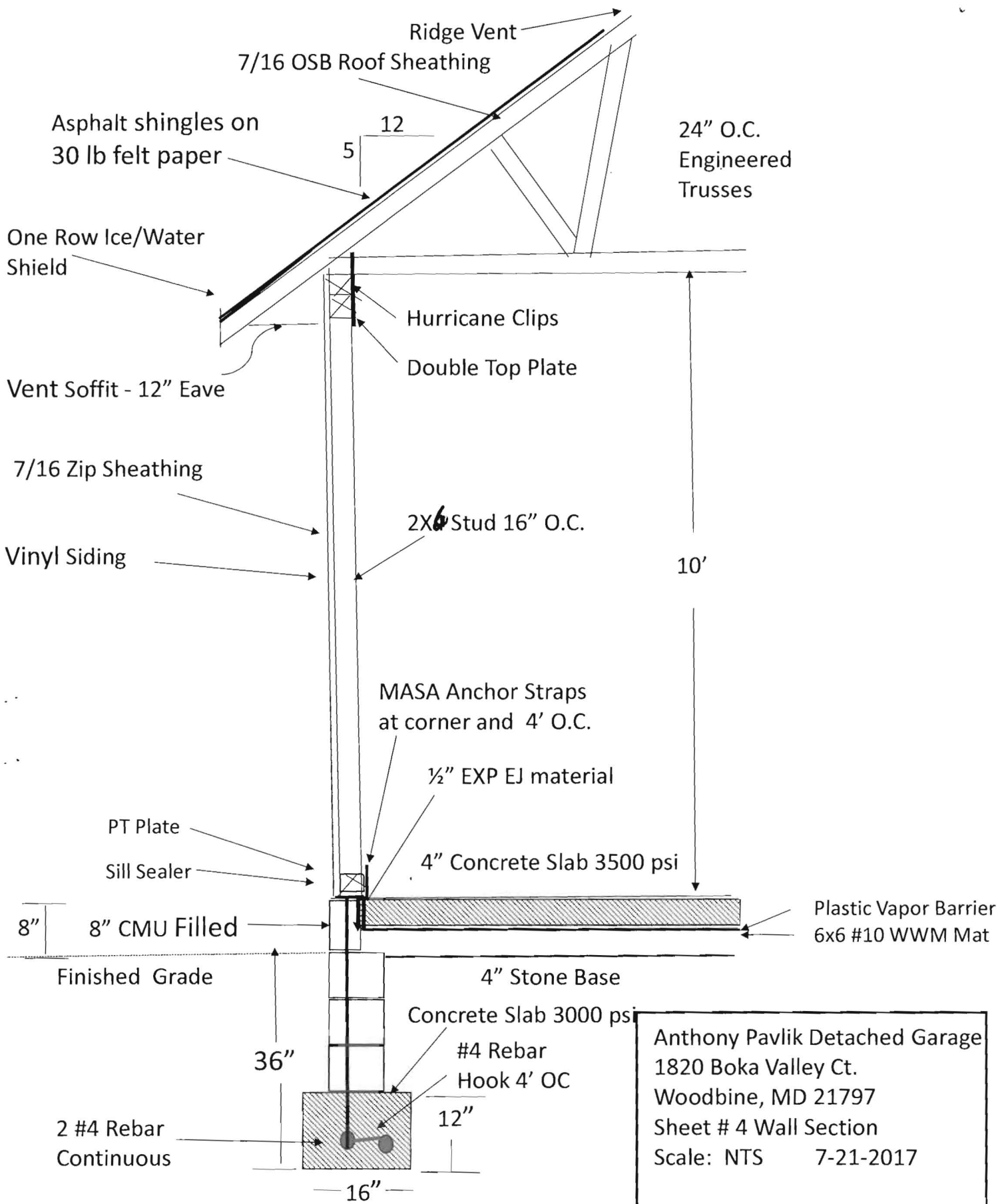


Right Side

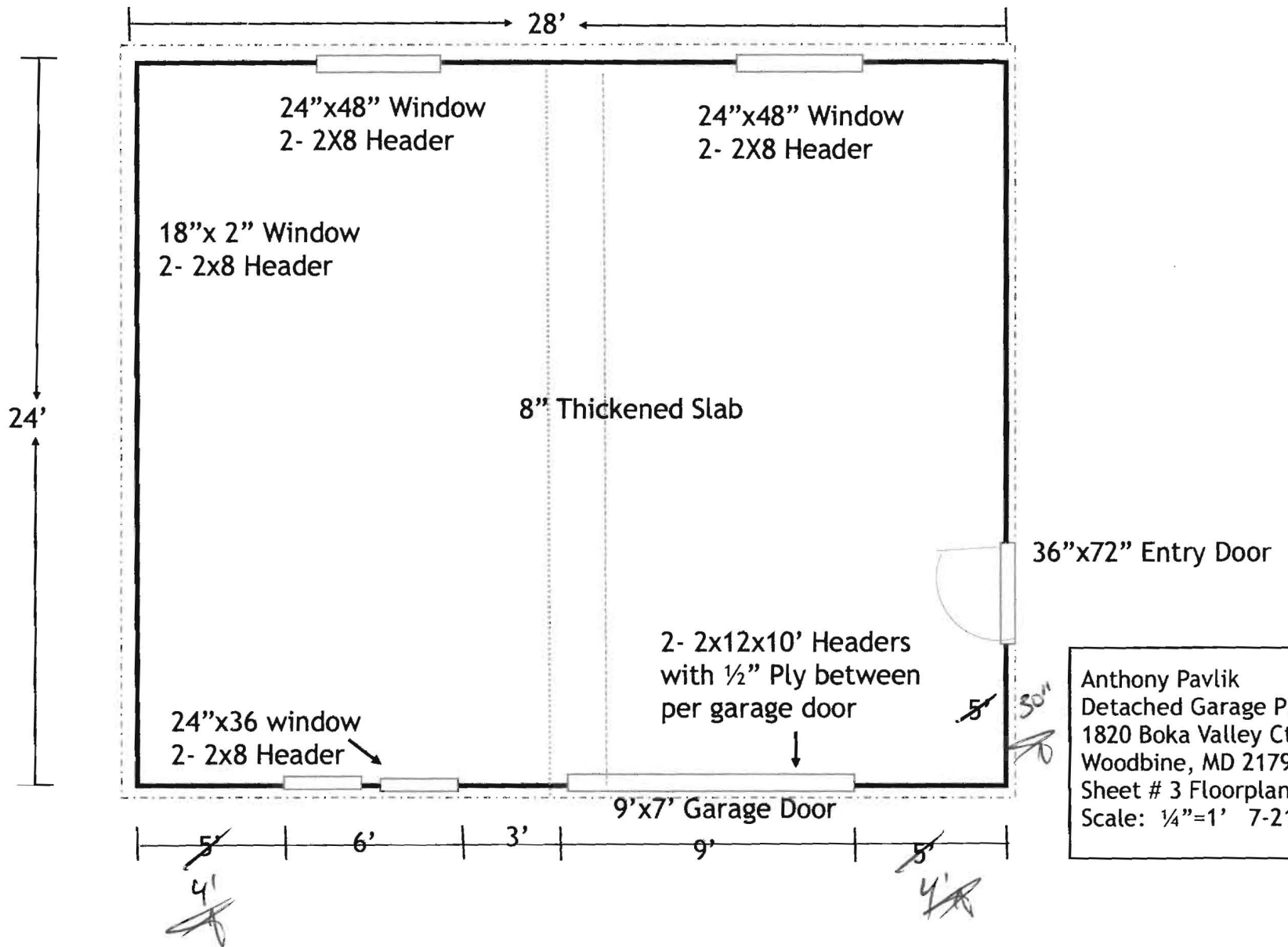


Left Side

Anthony Pavlik
Detached Garage Project
1820 Boka Valley Ct.
Woodbine, MD 21797
Sheet # 2 Elevations
Scale: NTS 7-21-2017



Anthony Pavlik Detached Garage
 1820 Boka Valley Ct.
 Woodbine, MD 21797
 Sheet # 4 Wall Section
 Scale: NTS 7-21-2017



Anthony Pavlik
 Detached Garage Project
 1820 Boka Valley Ct.
 Woodbine, MD 21797
 Sheet # 3 Floorplan
 Scale: 1/4"=1' 7-21-2017