



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: \_\_\_\_\_

Permit No.: \_\_\_\_\_

Building Address: 13615 NICHOLS DR  
City: CLARKSVILLE State: MD Zip Code: 21029  
Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
Census Tract: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 5  
Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: 3.13 AC

Existing Use: SINGLE FAMILY  
Proposed Use: SINGLE FAMILY  
Estimated Construction Cost: \$ 25,000  
Description of Work: CONSTRUCT NEW RETAINING WALL AND CARPORT

Occupant or Tenant: \_\_\_\_\_  
Was tenant space previously occupied?  Yes  No  
Contact Name: ALAN KINNEY  
Address: 106 WEST 14TH STREET  
City: FREDERICK State: MD Zip Code: 21701  
Phone: 301-351-5929 Fax: \_\_\_\_\_  
Email: DCQUALITY@GMAIL.COM

Property Owner's Name: ALESSANDRO MAGNO  
Address: 13615 NICHOLS DR  
City: CLARKSVILLE State: MD Zip Code: 21029  
Phone: 2408486002 Fax: \_\_\_\_\_  
Email: N/A

Applicant's Name & Mailing Address, (If other than stated herein)  
Applicant's Name: ALAN KINNEY  
Address: 106 WEST 14TH STREET  
City: FREDERICK State: MD Zip Code: 21701  
Phone: 301-351-5929 Fax: \_\_\_\_\_  
Email: DCQUALITY@GMAIL.COM

Contractor Company: \_\_\_\_\_  
Contact Person: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
License No. : \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Engineer/Architect Company: \_\_\_\_\_  
Responsible Design Prof.: \_\_\_\_\_  
Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:	
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>Heating System</b>	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<b>Grading Permit Number:</b>	
<b>Building Shell Permit Number:</b>	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature \_\_\_\_\_

ALAN KINNEY  
Print Name \_\_\_\_\_

DCQUALITY@GMAIL.COM  
Email Address \_\_\_\_\_

7/16/17  
Date \_\_\_\_\_

Title/Company \_\_\_\_\_

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*

-FOR OFFICE USE ONLY-

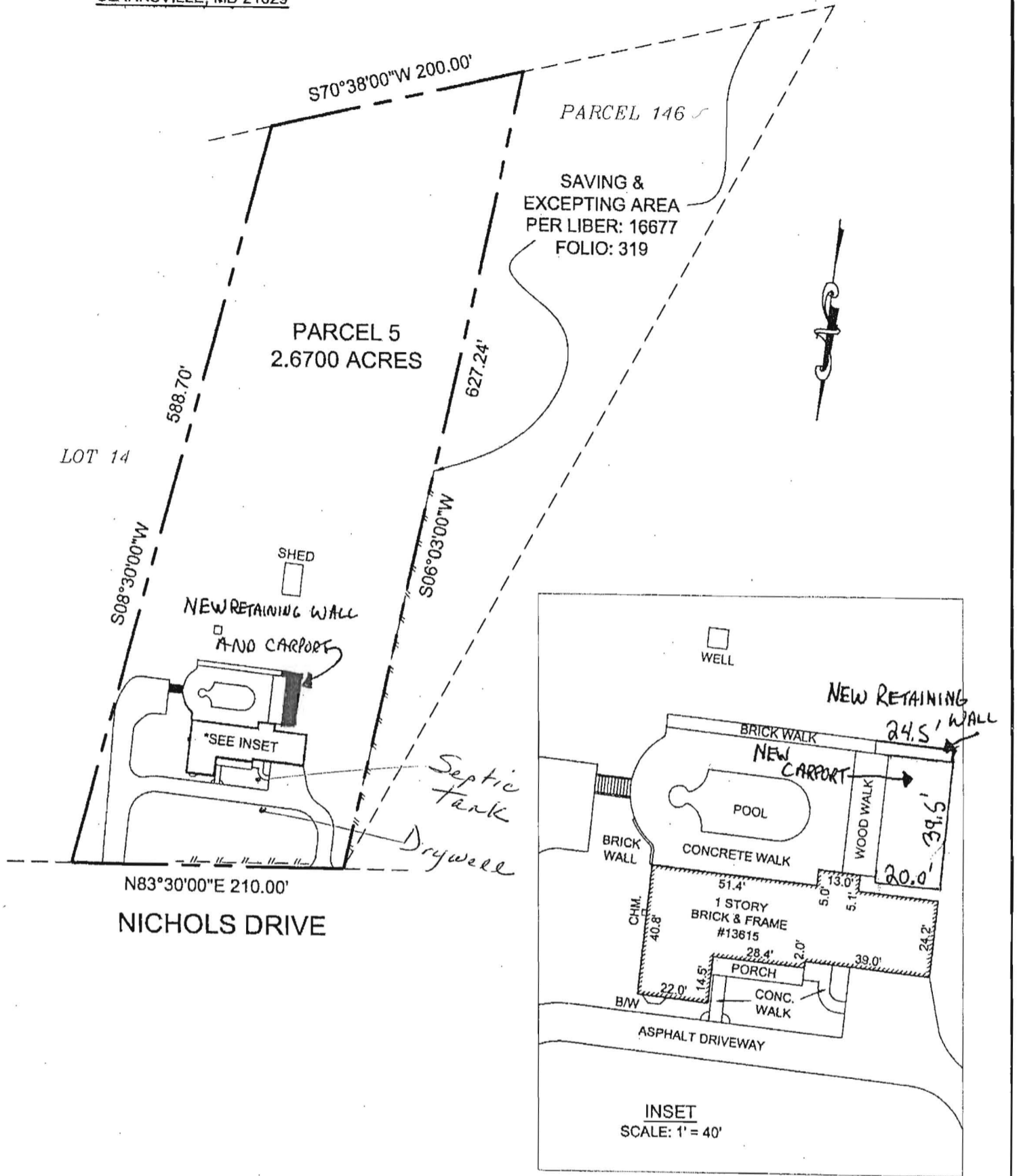
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health	9/28/17	<i>Print Name</i>

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

ADDRESS: 13615 NICHOLS DRIVE  
CLARKSVILLE, MD 21029



NOTES:

1. THIS IMPROVEMENT LOCATION DRAWING:
  - A. IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING;
  - B. IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS; AND
  - C. DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.
2. THE LEVEL OF ACCURACY OF APPARENT SETBACK DISTANCES IS ONE FOOT, MORE OR LESS.
3. THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.
4. SUBJECT TO ALL EASEMENTS ON RECORD.
5. A BOUNDARY SURVEY IS RECOMMENDED TO ACCURATELY LOCATE BOUNDARY LINES, HOUSE AND IMPROVEMENTS ON PROPERTY.

DRAWN BY: DS  
FILE: #13615HLOC\_2017

APPROVED

WALK-THRU BUILDING PERMIT

BP# \_\_\_\_\_ A# \_\_\_\_\_

APP. SAN Robert Freeman DATE: 9/28/17

DESC. OF WORK: Carport and retaining.

# MAGNO RESIDENCE

## 13615 Nichols Drive Clarksburg, MD. 21029

### HOWARD COUNTY, MD.

**CODE:**

- Plans conform with IRC 2015
- All work in contact with soil or masonry foundations will meet the ASTM standards A 153 and A 693, class 125.
- All framing lumber to be SPF#2 unless indicated otherwise.
- Design criteria used are as follows:
  - Roof load - 30 lbs/sf
  - Roof and floor dead load - 10 lbs/sf
  - Seismic design category D
  - Tensile damage and ductility - moderate to heavy
  - Winter design Temperature - 15 degrees F - 4 degrees C
  - Subsensitivity to damage from weather - heavy
  - Subsensitivity to decay - moderate
  - Floor live load in non-sleeping areas - 30 lbs/sf
  - Floor live load in sleeping areas - 30 lbs/sf
  - Wind speed - 113 mph (3 sec. gust method) 115 mph 40 m/s
  - Frost line depth - 30"
  - Flood hazard - Yes
  - Subfloors - 3/4" APA subfloor/underlayment panel, Tongue and groove, glued and nailed to joists
  - Roof sheathing - 1/2" OSB with spacers
  - Roofing - 215lb per square asphalt shingles over 15lb felt

**GENERAL NOTES**

1. EMERGENCY EGRESS WINDOW SIZES TO CONFORM WITH SECTION R310 OF THE 2015 IRC. MAX. SILL HEIGHT OF EMERGENCY EGRESS WINDOWS TO BE 44" IN CONFORMANCE WITH 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
2. MAXIMUM RISER HEIGHT SHALL BE 7 3/4" AND MAX TREAD 10" FOR ALL STAIRWAYS. HANDRAIL PROJECTION 3 1/2" MAXIMUM PER 2015 IRC
3. ROOF SHINGLES TO BE INSTALLED PER 2015 IRC
4. FIRESTOPPING SHALL BE PROVIDED PER 2015 IRC
5. ROOF VENTING SHALL BE INSTALLED PER 2015 IRC
6. GUARDRAIL HEIGHTS TO BE 36" MIN ACCORDING WITH 2015 IRC
7. PROVIDE GALVANIZED WALL TIES IN ACCORDANCE WITH 2015 IRC
8. ALL GLAZED AREAS SUBJECT TO HUMAN IMPACT SHALL BE SAFETY GLASS IN CONFORMANCE WITH SECTION R308 OF THE 2015 IRC
9. ALL FRAMERACES TO BE UL RATED AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND 2015 IRC
10. ALL FOOTINGS TO EXTEND AT LEAST 30 INCHES BELOW FINISH GRADE PER 2015 IRC
11. ALL FRAME BEARING WALLS TO CONFORM WITH 2015 IRC
12. PROVIDE WALL BRACING IN ACCORDANCE WITH 2015 IRC USING EITHER CONTINUOUS DIAGONAL BRACING OR APPROVED 4X8 SHEATHING PANELS APPLIED VERTICALLY.
13. PROVIDE FOUNDATION ANCHORAGE IN ACCORDANCE WITH 2015 IRC
14. ALL TRUSSES, BRIDGES, AND MICRO-LAM BEAMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURERS SPECIFICATIONS AND 2015 IRC
15. PL STYRD USED FOR FLOOR AND ROOF SHEATHING SHALL CONFORM TO 2015 IRC
16. PROVIDE FLASHING AS REQUIRED PER 2015 IRC
17. PROVIDE SMOKE DETECTORS ON EVERY STORY INCLUDING THE BASEMENT OF EACH DWELLING UNIT, AND IN ALL BEDROOMS. THE DETECTORS SHALL BE WIRRED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNITS. PER 2015 IRC
18. SIGHTSIGHTS BE LIGHTS MAY BE INSTALLED WITH ANY OF THE FOLLOWING MATERIALS SUBJECT TO THE NOTED LIMITATIONS AS SPECIFIED IN 2015 IRC. LAMINATED GLASS W/RED GLASS, ANNEALED GLASS, HEAT STRENGTHENED GLASS, TINTED GLASS, GLASS BLOCK AND LIGHT TRANSMITTING PLASTIC
19. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND ALL FIELD CONDITIONS PRIOR TO CONSTRUCTION AND COMMUNICATE TO THE ARCHITECT ANY DISCREPANCIES WITH THESE DRAWINGS.

**STRUCTURAL NOTES**

SOIL BEARING AND WATER CONDITION. ASSUMED SOIL BEARING CAPACITY OF 2000 PSF MINU WITH A LATERAL PRESSURE OF 60 PSF.

LIVE LOADS - ROOF	30 PSF	15 PSF DEAD LOAD
FLOOR	40 PSF	15 PSF
STAIRWAY	100 PSF	15 PSF
BALCONIES	60 PSF	15 PSF
FLOOR AT BEDROOM LEV.	30 PSF	15 PSF
WIND LOAD	17 PSF	

BACKFILL SHALL NOT BE PLACED AGAINST WALLS UNTIL SLABS ON GRADE. PRAMED FLOORS ARE IN PLACE AND REQUIRED INSPECTIONS ARE MADE. WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF WALLS, BACKFILL BOTH SIDES SIMULTANEOUSLY WITH THE GRADE DIFFERENCE NOT TO EXCEED 2'-0" AT ANY TIME.

LATERAL LOADS ON FOUNDATION WALLS: WALLS BUILT TO RETAIN OR SUPPORT THE LATERAL PRESSURE OF EARTH OR WATER OR OTHER SUPERIMPOSED LOADS HAVE BEEN DESIGNED ASSUMING PRESSURE EQUIVALENT TO THAT EXERTED BY FLUID WEIGHING 90 POUNDS PER CUBIC FOOT AND HAVING A DEPTH EQUAL TO THAT OF THE RETAINED EARTH.

FOUNDATIONS: BOTTOMS OF THE ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH GRADE. ALL FOOTINGS SHALL BE AS SHOWN ON FOOTING PLANS AND PROJECT 12" INTO UNDISTURBED EXIST. NATURAL GROUND HAVING ALLOWABLE BEARING CAPACITY AS PER SOIL CONSULTANTS RECOMMENDATIONS. DEPTHS AND SIZES OF ALL FOOTINGS SHALL BE VERIFIED IN THE FIELD. DEPTHS SHALL BE SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED.

CONCRETE: ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST A.G.I. CODE 918. 28-DAY CONCRETE STRENGTH SHALL BE AS FOLLOWS:

FC - 2500 PSI FOR FOOTINGS, INTERIOR SLABS ON GRADE AND 1 1/2" IN CONCRETE BLOCKS
FC - 3000 PSI FOR EXTERIOR SLABS ON GRADE
FC - 4000 PSI FOR PRECAST CONCRETE UNITS

SLABS ON GRADE: EXCEPT WHERE OTHERWISE NOTED, SHALL BE 6" THICK, REINFORCED WITH 6X6 # 10/10 WELDED WIRE MESH LAP MESH 6" IN EACH DIRECTION. SLABS SHALL BE LAD ON A LAYER OF 4 MIL POLYETHYLENE OVER A 4" LAYER OF WASHED GRAVEL. REFER TO DRAWINGS FOR LOCATION OF THERMAL INSULATION.

EXTERIOR SLABS ON GRADE: FOR ALL EXTERIOR SLABS ON GRADE AIR-ENTAINED CEMENT MORTAR OF 4% OF SOLID LEVEL AIR-ENTRAPPING AGENT SHALL BE USED. PROVIDE CONTROL JOINTS AT 10'-0" ON CENTER EACH WAY IN ALL EXTERIOR SLABS ON GRADE (EXCEPT WITHIN TERRACE SLABS).

REINFORCING STEEL: REINFORCING STEEL OR TIES, UNLESS OTHERWISE NOTED, SHALL BE INTERMEDIATE GRADE DEFORMED BILLET STEEL CONFORMING TO ASTM SPECIFICATIONS A 614-60.

CONFORM TO ASTM SPECIFICATIONS A 614-60. WELDED WIRE FABRIC TO CONFORM TO ASTM A - 185. ALL REINFORCING SHALL BE DETAILED, FABRICATED AND INSULATED ACCORDING WITH THE LATEST DETAILING MANUAL A.C.I. 315.

STRUCTURAL STEEL: SHALL BE IN CONCORDANCE WITH THE LATEST AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. SHOP AND FIELD CONNECTIONS SHALL BE REINFORCED OR MADE WITH 3/4" HIGH STRENGTH BOLTS. SEE DETAILS ON DRAWINGS FOR STEEL BEAMS BEARING ON MASONRY OR CONNECTIONS HELD TO CONFORM TO ASTM SPECIFICATIONS A - 96. NO HOLES ARE PERMITTED IN STEEL BEAMS OTHER THAN SHOWN ON THE DRAWINGS, UNLESS APPROVED BY THE STRUCTURAL CONSULTANT.

TRUSSED RAFTERS: WOOD TRUSSES SHALL BE DESIGNED BY THE TRUSS MANUFACTURER. COMPLETE SHOP DETAILS AND STRESS DIAGRAMS INCLUDING BEARING DETAILS SHALL BE SUBMITTED FOR APPROVAL. WOOD TRUSSED RAFTERS SHALL BE FABRICATED WITH HYDRAULICALLY PRESSED 16 GA TOOTHED METAL PLATED OR 20 GA. GALVANIZED STEEL GUSSET PLATES. CONNECTIONS SHALL BE CAPABLE OF TRANSMITTING THE STRESSES PLUS ALL ECCENTRICITIES. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL SHOWING THE DESIGN OF THE TRUSSED RAFTERS CAPABLE OF SUSTAINING TOTAL SUPERIMPOSED LOAD OF 50 PSF WITH F.N.A. 6-45-4.1.1 DESIGN CRITERIA FOR TRUSSED RAFTERS.

WOOD PLATES RECEIVING TRUSSED RAFTERS ON MASONRY WALLS TO BE BOLTED TO WALL WITH 5/8" O BOLTS 12" MINIMUM LENGTH 4'-0" O.C.

ALL ROOFING MATERIALS TO HAVE ICE DAMMING PROTECTION.

WOOD SPECIES AND GRADE: HEM-FIR (SURFACED DRY OR SURFACED GREEN USED AT 14% MAX. NO. 2 OR BETTER) WITH THE FOLLOWING DESIGN VALUES:

F <sub>b</sub>	1,150 PSI (SINGLE MEMBER)
F <sub>v</sub>	75 PSI
E	1,400,000 PSI

LAMINATED VENEER LUMBER: MICRO-LAM LUMBER OR BETTER WITH THE FOLLOWING DESIGN PROPERTIES:

F <sub>b</sub>	2,800 PSI
F <sub>v</sub>	295 PSI
E	2,100,000 PSI

VERTICAL LOAD TRANSFER: ALL STRUCTURAL POSTS MUST BE VERTICALLY ALIGNED AND BLOCKED TO PROVIDE CONTINUOUS BEARING TO FOUNDATION.

IF A DOUBLE TOP PLATE OF LESS THAN 2x6'S OR 3x4'S IS USED, FLOOR JOISTS (AND TRUSSES) MUST BE CENTERED DIRECTLY OVER AND BELOW BEARING STUDS UNLESS CERTIFIED BY STRUCTURAL ENGINEER.

UNFINISHED INTERIOR BEARING WALLS: AT LEAST ONE SIDE OF THE WALL SHEATHED WITH A MINIMUM OF 1/2" GYPSUM BOARD FASTENED ACCORDING TO DRYWALL MANUFACTURERS RECOMMENDATIONS.

APPROVED  
 WALKTHRU BUILDING DEPARTMENT  
 HPP  
 APE SAN Review Date: 9/28/17  
 DES. OF WORK, Complete and  
 retaining



9/25/2017

Drawing Log Date

Designed By:  
 Drawn By: ALK LOHL  
 Proj. Manager:

Scale: Date: 1/24/17

Sheet: Of: 1 5

Cover Sheet

Magno Residence

Magno Residence  
 13615 Nichols Drive  
 Clarksburg, MD 21029

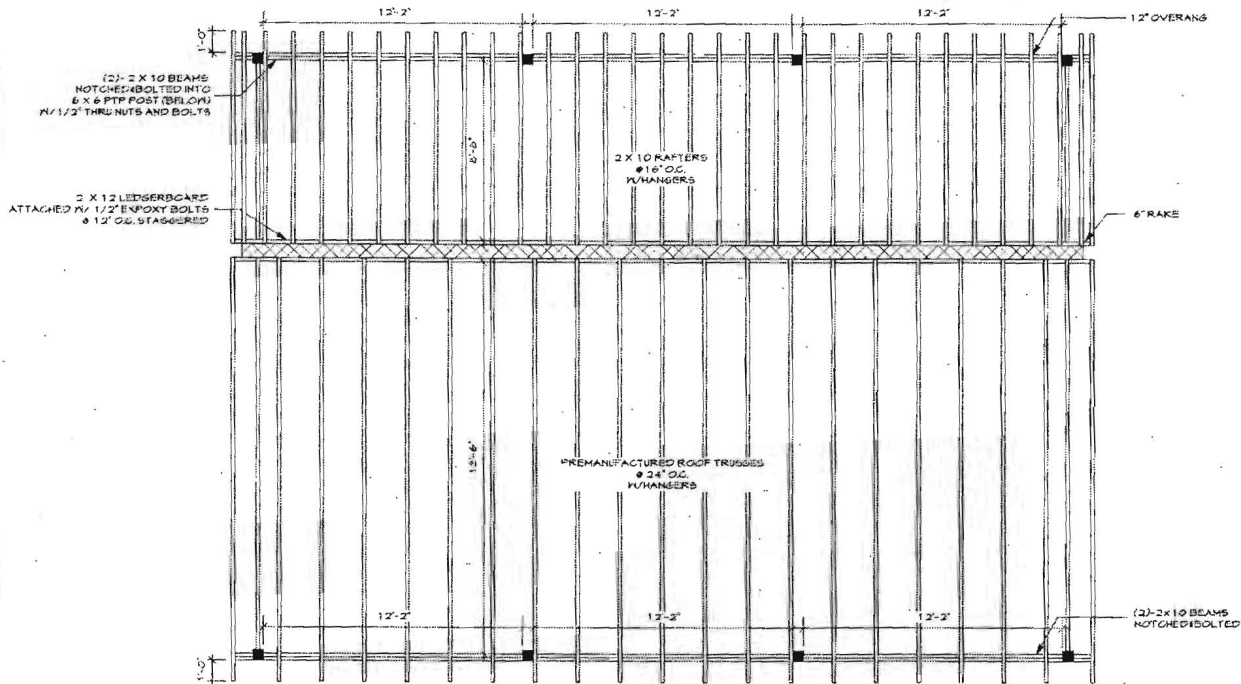
PLEASE PRINT AND SIGN THESE ARE AND SHOULD NOT BE REPRODUCED BY ANY OTHER PARTY





**Quality Homes and Design**  
 Consulting-Design Services  
 Drafting-Permit Services  
 301-931-9279  
 qualityhomesanddesign.com

**Magno Residence**  
 13615 Nichols Drive  
 Clarksburg, MD 21029



**3 Proposed Roof Framing Plan**  
 Scale: 1/4" = 1'-0"

"Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 21311, Expiration Date: 03/22/2018."



*A. J. Clark*  
 9/25/2017

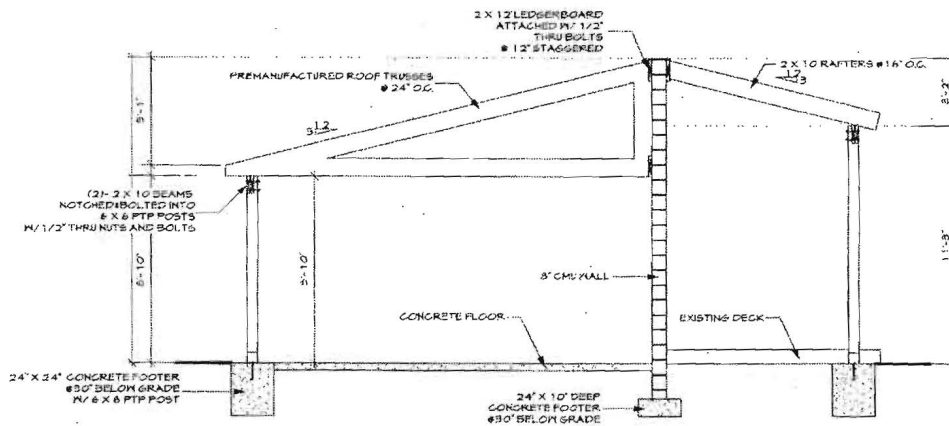
Drawing Log Date

Designed By:  
 Drawn By: AML/LOHL  
 Proj. Manager:

Scale: 1/4" = 1'-0"  
 Date: 7/29/17

Sheet: **4** of **5**  
 Proposed Foundation Plan  
 Magno Residence

THESE PLANS HAVE BEEN PREPARED FOR THE HOMEOWNER, ALL PLANS AND SPECIFICATIONS SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES.



**3 Section**  
 Scale: 1/4" = 1'-0"



