



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 8/3/17

Permit No.: B17002894

Building Address: 6915 Brooks Rd
 City: Highland State: MD Zip Code: 20777
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: _____
 Tax Map: 0040 Parcel: 0437 Grid: 0003
 Zoning: _____ Map Coordinates: _____ Lot Size: 6,96000AC

Existing Use: RESIDENTIAL
 Proposed Use: RESIDENTIAL
 Estimated Construction Cost: \$ 150,000

Description of Work: FIRST FLOOR REMODEL, MUD ROOM, KITCHEN, DINING ROOM, LIVING ROOM, FAMILY ROOM, BEDROOM (1+2), BATHROOM, BREAKFAST 1834

Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: Rudy Alston
 Address: 6915 Brooks Rd
 City: Highland State: MD Zip Code: 20777
 Phone: 202-503-0152 Fax: _____
 Email: rudyalstoniii@gmail.com

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: Design Build Remodeling Group of Md
 Address: 1299 Judges Ct
 City: Eldersburg State: MD Zip Code: 21784
 Phone: 443-300-2268 Fax: _____
 Email: todd@dbrgmaryland.com

Contractor Company: Design Build Remodeling Group of Md
 Contact Person: Todd Swanson LEAH ARTHUR
 Address: 1299 Judges Ct
 City: Eldersburg State: MD Zip Code: 21784
 License No.: 639933
 Phone: 443-300-2268 Fax: _____
 Email: todd@dbrgmaryland.com

Engineer/Architect Company: Creative Outlooks, LLC
 Responsible Design Prof.: Phil Gugliuzza
 Address: 228 Stem Rd
 City: Union Bridge State: MD Zip Code: 21791
 Phone: 410-239-0261 Fax: _____
 Email: pgcreate@qis.net

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	<u>Multi-family Dwelling</u>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature] Print Name: LEAH ARTHUR
 Email Address: INFO@DBRG-MARYLAND.COM Date: 8.4.17
 Title/Company: DESIGN BUILD REMODELING GROUP OF MD LLC

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

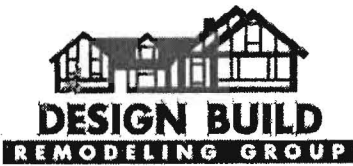
PLEASE WRITE NEATLY & LEGIBLY
FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials	<u>8/3/17</u>	<u>[Signature]</u>
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>8/3/17</u>	<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>25</u>
Permit Fee	\$ <u>100</u>
Tech Fee	\$ <u>10</u>
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ <u>135.00</u>
Sub-Total Paid	\$
Balance Due	\$
Check #	<u>1307</u>



Maryland

DESIGN BUILD REMODELING GROUP of MARYLAND
RECEIVED "Maryland's Premier Home Remodeling Company"

MHIC 129933

AUG 30 2017

August 29, 2017

LICENSES & PERMITS
DIVISION

Fees paid

Request to Amend Building Permit #B17002894

Invoice # 503538

Homeowners: Rudy and Melody Alston
Address: 6915 Brooks Road, Highland, MD 20777

Bk # 1314

Building Permit #B17002894 was issued to DBRG on August 8, 2017. The initial scope of work was to remodel 1,834 SF of interior space on the main level of the dwelling. This amendment seeks to expand the scope of work of that interior remodeling project as explained below. Please refer to the stamped, engineered drawings for all construction details.

NOTE: The Homeowners met with Dana Bernard of the Bureau of Environmental Health (Well and Septic Division) on Tuesday, August 29th. Ms. Bernard said she would approve the proposed amendments without requiring any well or septic upgrades or changes. She requested that the plans be sent to her for sign-off. She can be reached by phone at 410-313-2775 or by email at dbernard@howardcountymd.gov.

Basement Level:

- 1.) Replace/relocate stairs from main level to the basement. The existing set of stairs was unsafe (no railings, loose stair treads, less than 3' landing at bottom) and did not meet current building code.

Main Level:

- 1.) Replace and relocate existing stairs from main level to 2nd level. Reframe/reinforce floor joists of main level per drawings. The existing set of stairs was unsafe and did not meet current building code.
- 2.) Reconfigure existing kitchen layout.
- 3.) Reconfigure bathroom, laundry room, mudroom, and pantry areas as indicated on revised drawings.
- 4.) Install flush beam in place of existing drop beam between kitchen area and great room.

* To be picked up *

P.O. Box 1285

Eldersburg, MD 21784
www.dbrgmaryland.com

443.300.2268

1



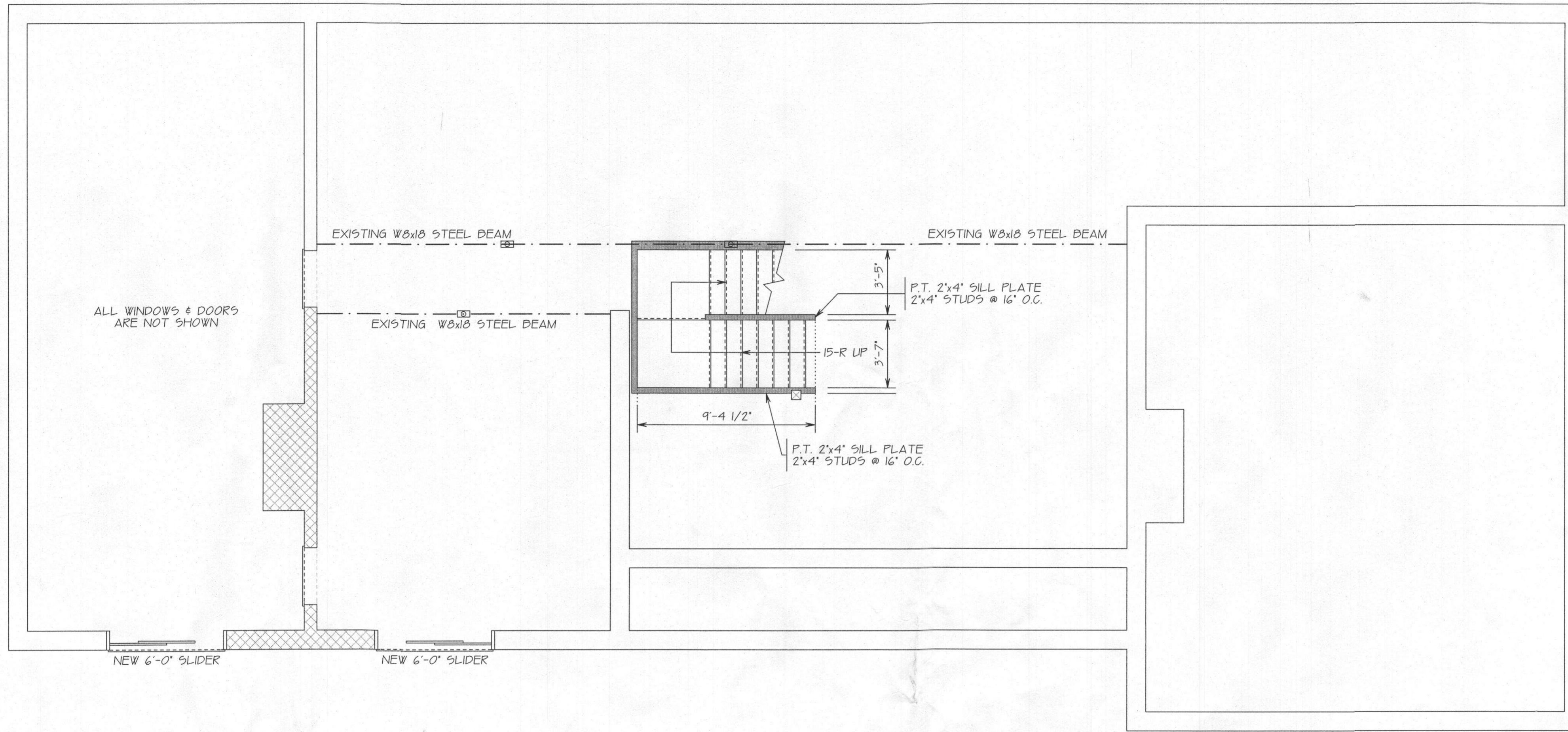


Maryland

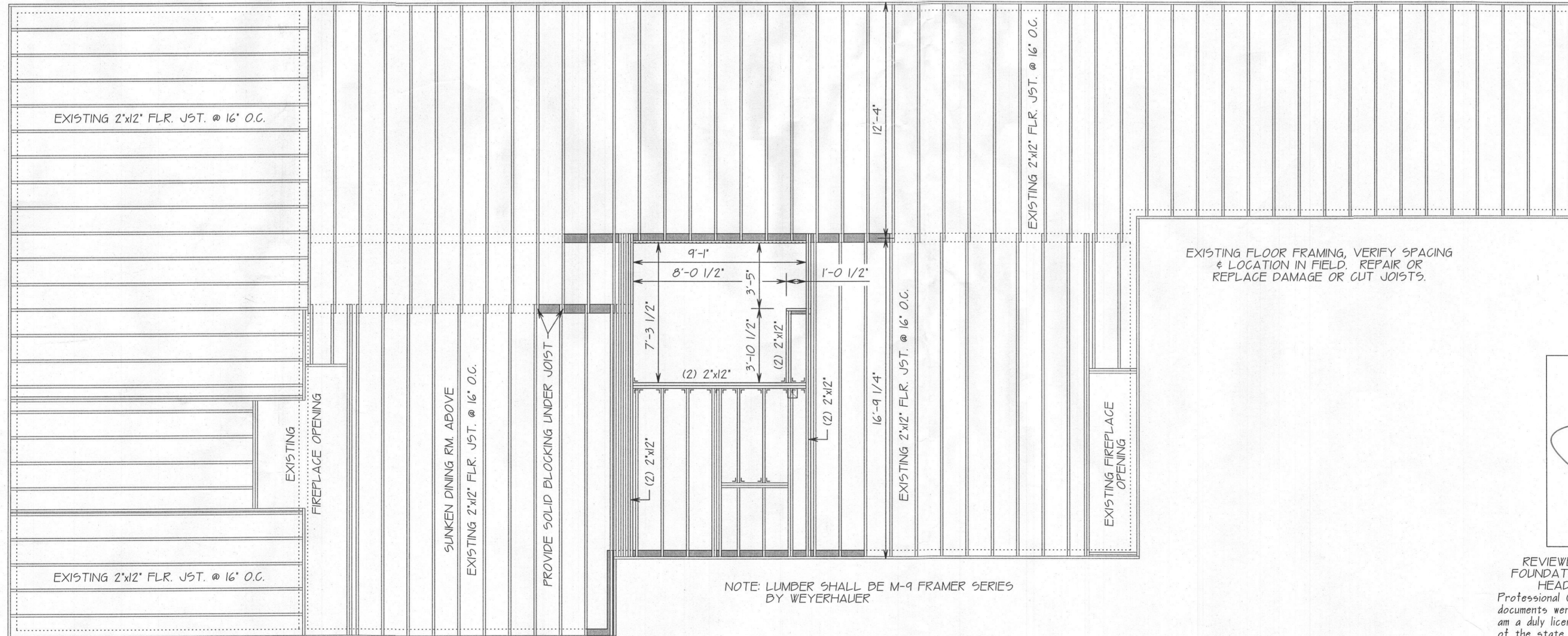
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- 5.) Create a 6' opening in bearing wall between hallway and dining room (required due to relocation of stairs).
 - 6.) Install pressure-treated posts and railings at stairs and landing from garage into mudroom area. There is no existing set of railings, so this corrects a safety issue.

Second Level: Additional 1,314 SF of Interior Remodeling & 121 SF of deck repair

- 1.) Reconfigure and finish interior of loft area at top of new set of stairs. Approximately 438 square feet of space is impacted.
- 2.) Finish master bedroom and master bathroom; re-work existing plumbing rough-ins to meet current code. Approximately 876 square feet of space is impacted.
- 3.) Install pressure-treated joists to shore up existing front balcony and install new decking and railings. Note: the existing deck joists are standard lumber, not pressure-treated wood, so reinforcement is required to meet current building code. Surface area of the deck is 121 square feet.



FOUNDATION PLAN



FIRST FLOOR FRAMING LAYOUT

FOUNDATION PLAN &
FIRST FLOOR FRAMING LAYOUT

RENOVATION FOR:
RUDY & MELODY AL-STON
6915 BROOKS RD.
HIGHLAND, MD 20777

DATE AUGUST 13, 2017 DRAWN BY: P.F.G. SCALE: 1/4" = 1'-0"

CREATIVE OUTLOOKS, LLC
PHILIP F. GUGLIUZZA

CUSTOM HOME PLANNING & DESIGN
HOME ADDITION-REMODELING DESIGN
COMPLETE CONSTRUCTION PLANS

PHONE: 410-596-1062 POC: GREAT@GOS.NET

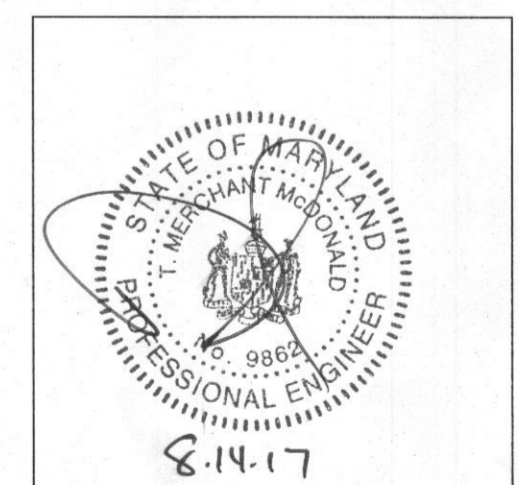


ADDITIONS: GARAGE, FAMILY ROOM,
OWNER'S SUITE & BATHROOMS,
IN-LAW SUITE & MORE
WHICH I CAN REMODEL & ADDITIONS
BASEMENTS,
AGING/DISABILITY NEEDS

P.O. BOX 1285
ELDERSBURG, MARYLAND 21784
PHONE: 443-300-2266

Authorization/Limitations for Use of Plans
This set of drawings, the design itself, and any accompanying specifications are solely owned by, and have been prepared for the exclusive use by Design Build Remodeling Group. For the improvements to be made, a copy of these drawings and specifications will be provided to the Client. It is understood and agreed that these drawings are not to be used for construction by any other parties.

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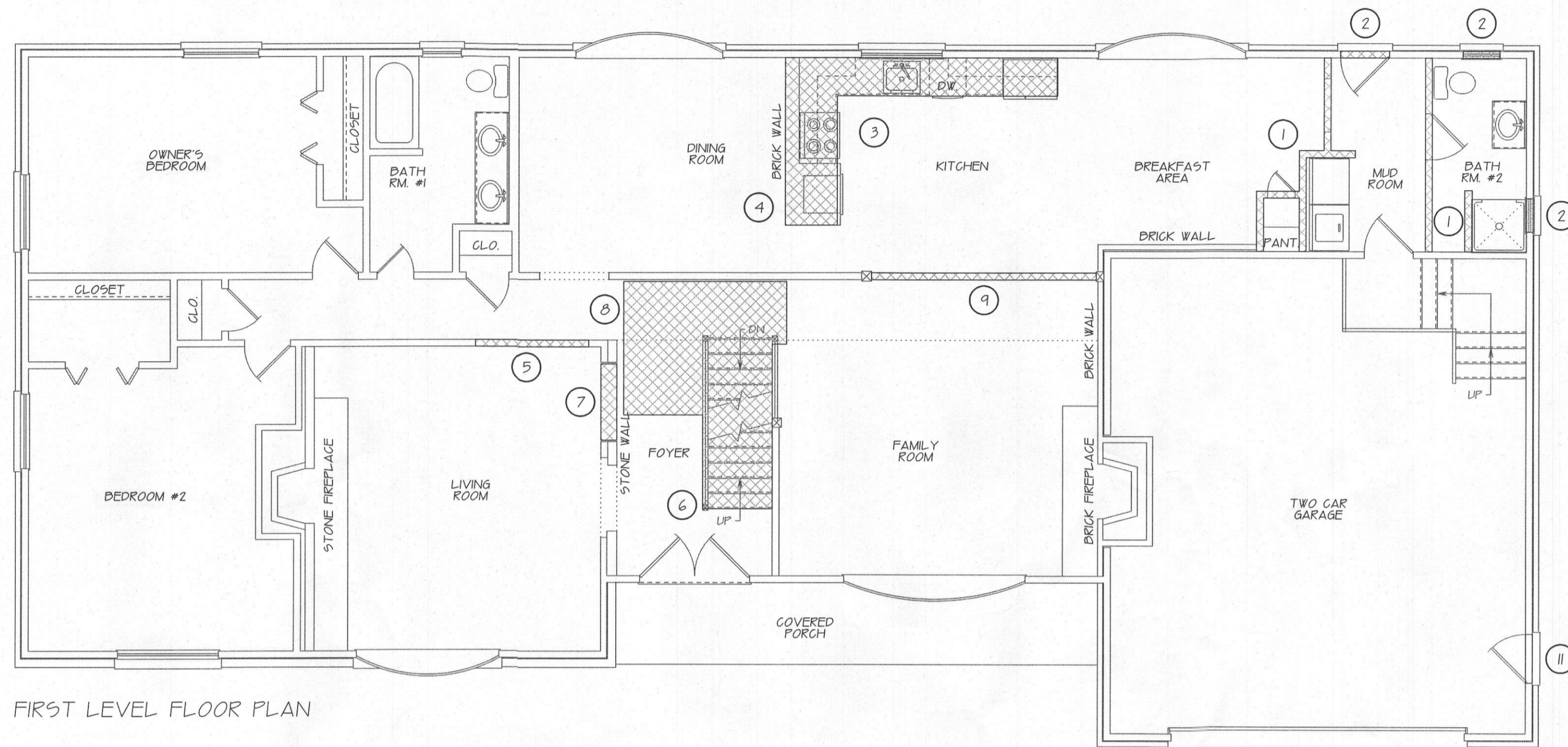
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FOUNDATION, STEEL BEAMS, MICRO-LAMS,
HEADERS & WALL BRACING ONLY.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.

License No. 9862, Expiration Date: 5-17-18

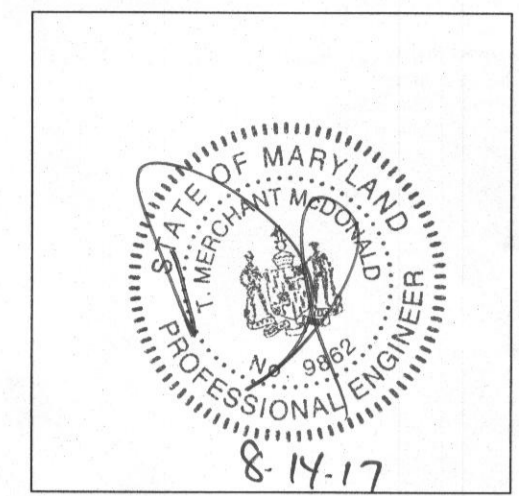
TMM CONSULTING SERVICES, LLC
7941 HOLLOW RD.
MIDDLETOWN, MD 21769
240-439-9518

B17002894



FIRST LEVEL FLOOR PLAN

- ① REMOVE WALL, DOOR AND/OR WINDOW. NEW LAYOUT
- ② REPLACE WINDOW AND/OR DOOR, NEW WINDOW AND/OR DOOR
- ③ REMOVE KITCHEN CABINETS AND APPLIANCES
- ④ REMOVE BRICK WALL
- ⑤ REMOVE WALL, INSTALL NEW HEADER & CASING OPENING
- ⑥ REMOVE STAIRCASE, FRAME-IN
- ⑦ REMOVE BUILT-IN FISH TANK, FRAME-IN
- ⑧ REMOVE FLOOR FRAMING, NEW STAIRCASE OPENING
- ⑨ CUT LOFT CANTILEVER EVEN WITH WALL, INSTALL FLUSH BEAM

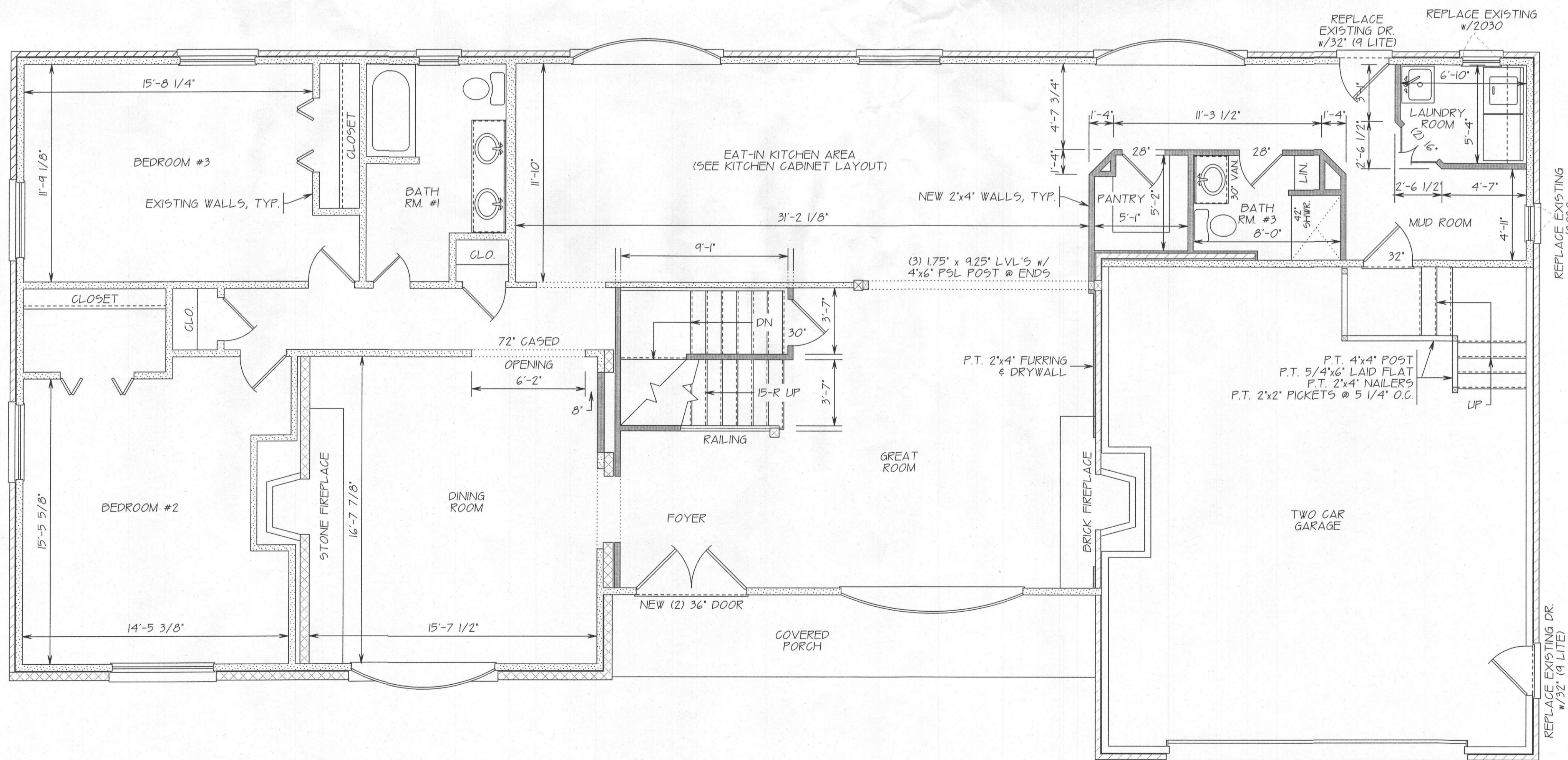


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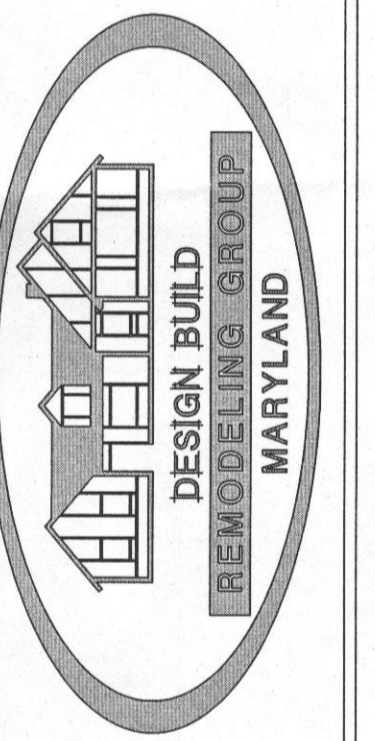
EXISTING & PROPOSED FIRST LEVEL FLOOR PLANS
 RENOVATION FOR
 RUDY & MELODY ALSTON
 6915 BROOKS RD.
 HIGHLAND, MD 20777
 DATE AUG/15/13, 2017 DRAWN BY: P.F.G. SCALE: 1/4" = 1'-0"

CREATIVE OUTLOOKS, LLC
 PHILIP F. GUGLIUZZA
 CUSTOM HOME PLANNING & DESIGN
 HOME ADDITION-REMODELING DESIGN
 COMPLETE CONSTRUCTION PLANS
 PHONE: 410-596-1062 P66GREAT@GMAIL.COM

EXISTING FIRST LEVEL FLOOR PLAN - DEMO



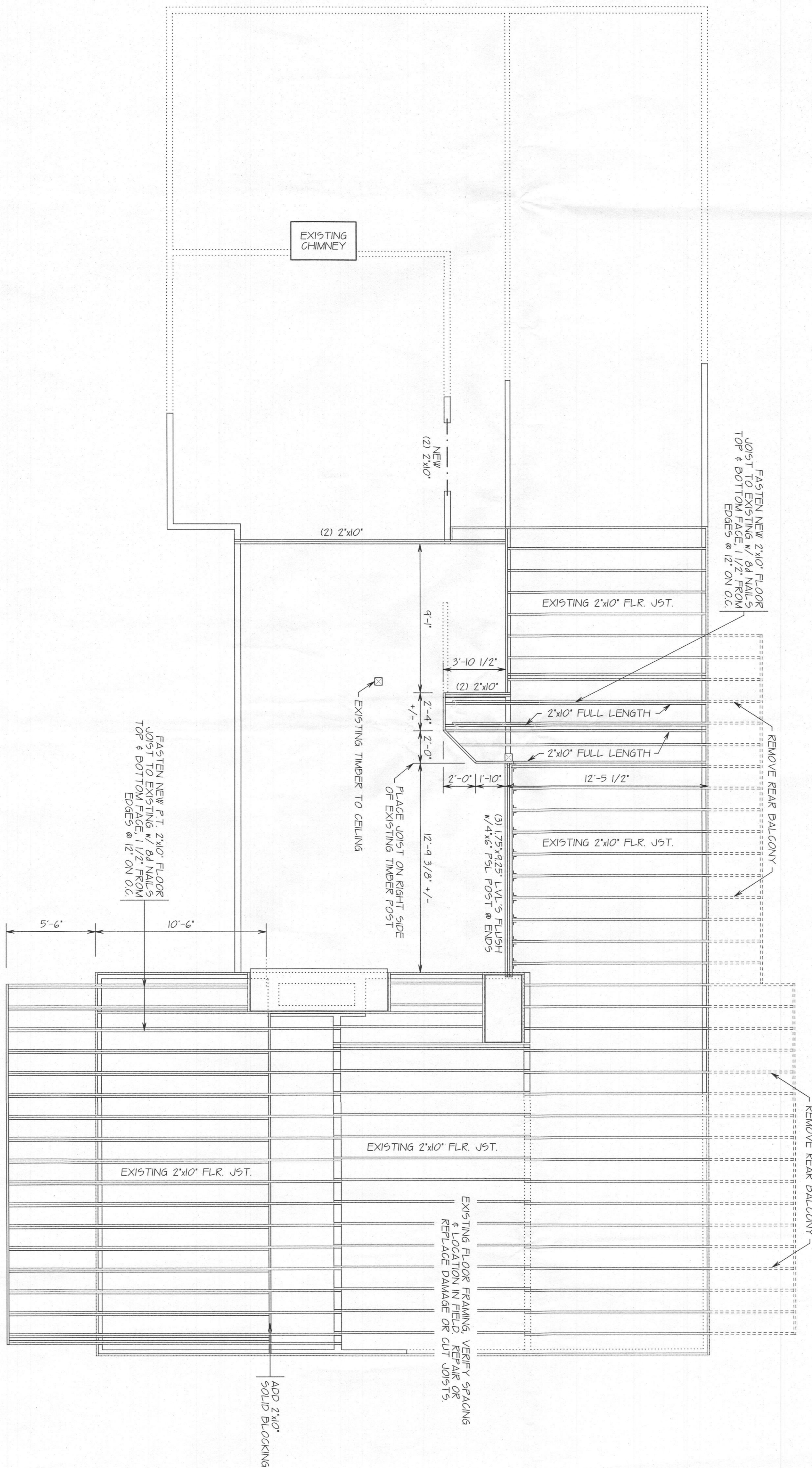
FIRST LEVEL FLOOR PLAN



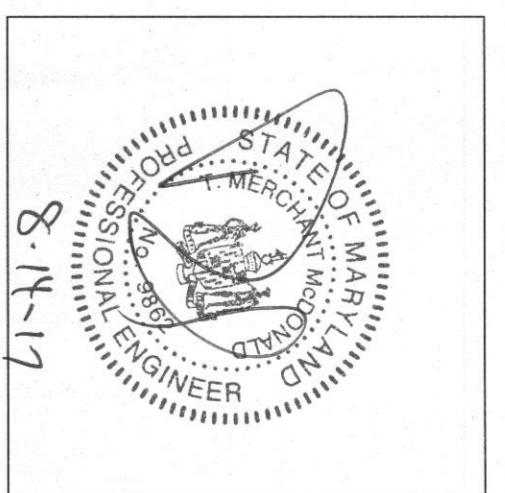
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- NOTE
1. CONTRACTOR SHALL VERIFY/COORDINATE ALL BEARING LOADS ARE DIRECT BEARING ON STEEL BEAMS OR FOUNDATION WALLS. PROVIDE SOLID BLOCKING AS NEEDED IN FLOOR SYSTEM.
 2. OPENINGS GREATER THAN 4'-0" WIDE REQUIRED DOUBLE 2"x6" JACK STUDS EACH SIDE.
 3. MINIMUM JOIST BEARING ON WOOD-1/2" MASONRY-3"
 4. JOIST HANGERS OR LAPPED MINIMUM 3" OVER BEAM.

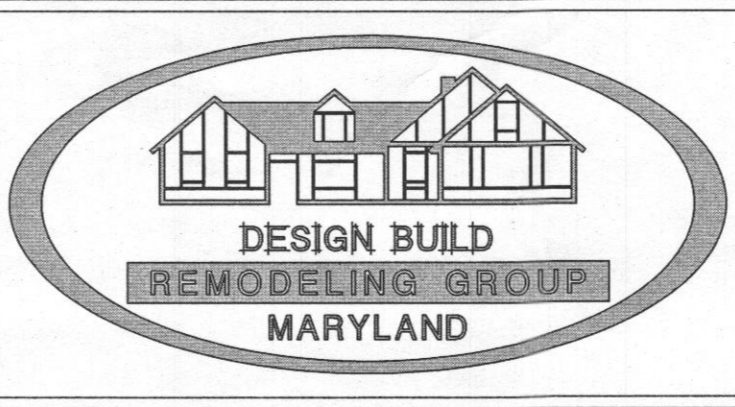


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 7441 HOLLOW RD.
 MIDDLETOWN, MD 21169
 240-434-4326



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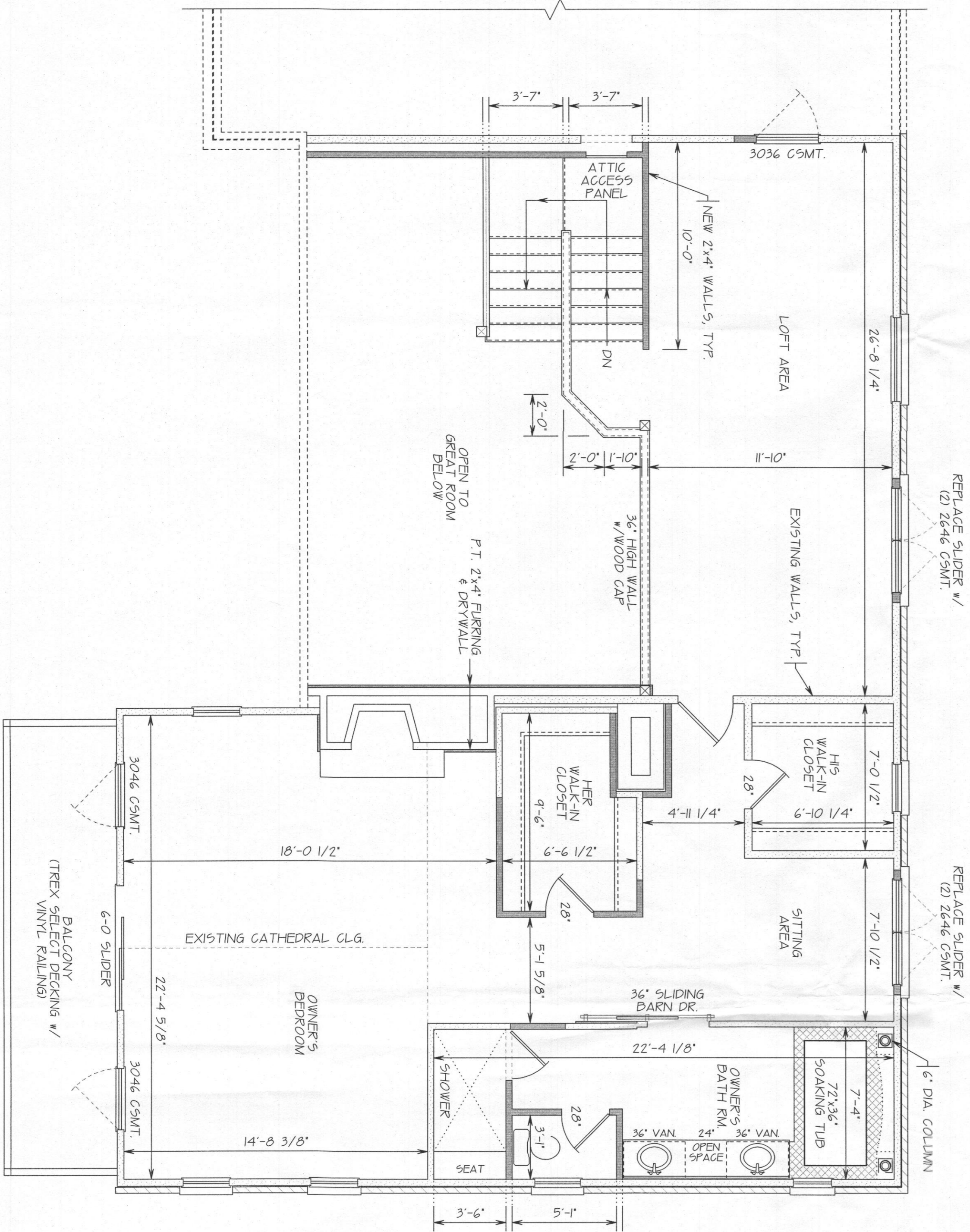
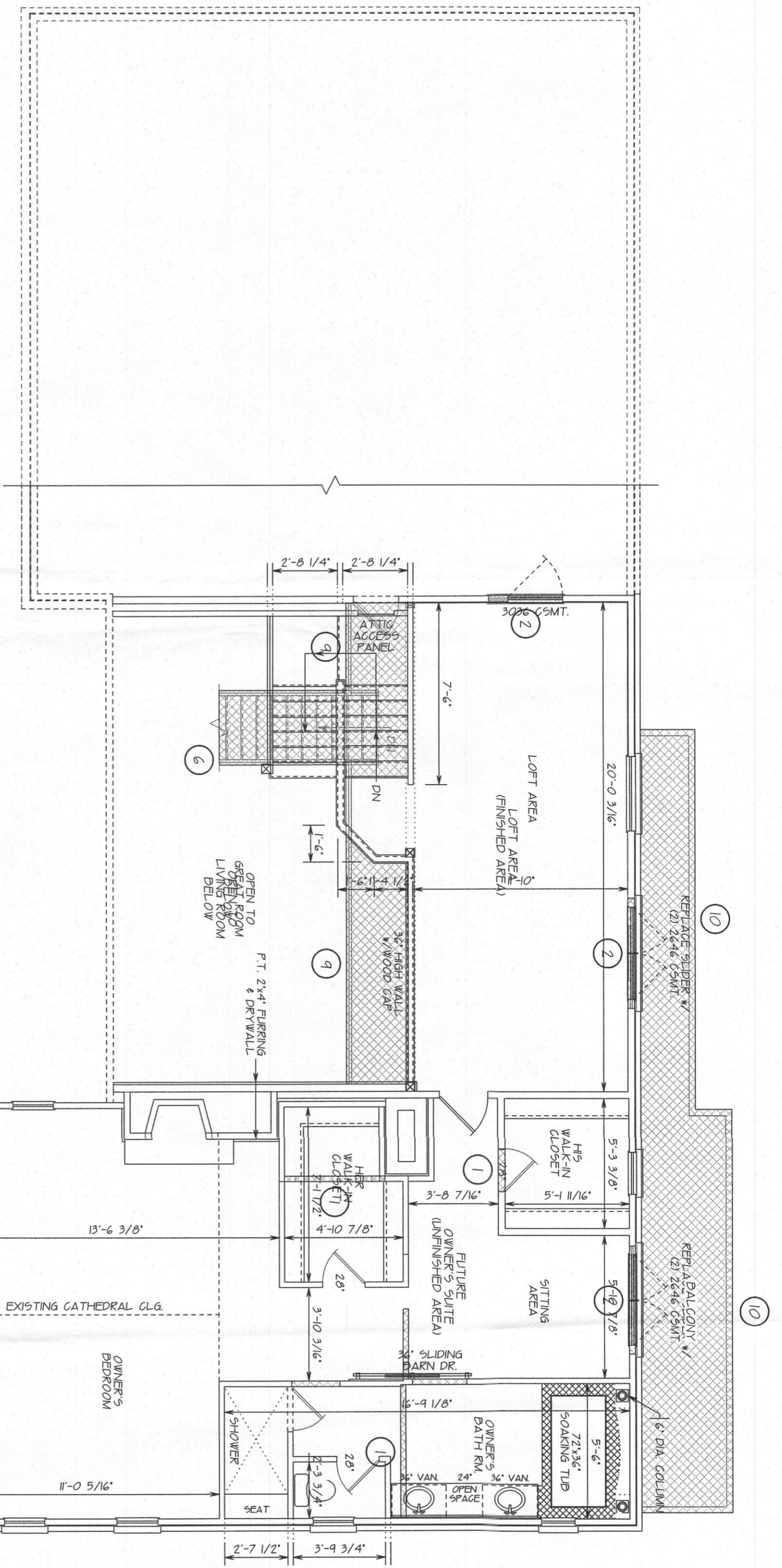


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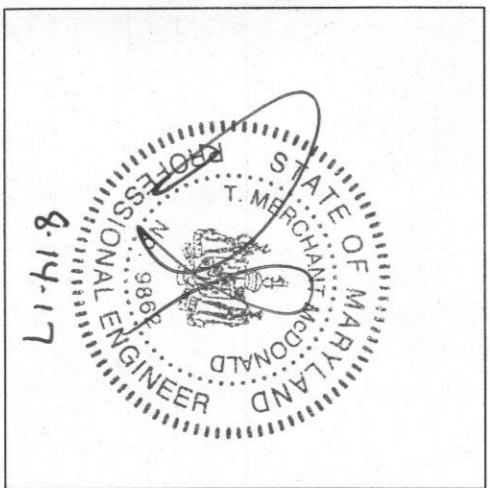
SECOND FLOOR FRAMING LAYOUT
 NEW ADDITION FOR:
 RUDY & MELODY ALSTON
 6915 BROOKS RD.
 HIGHLAND, MD 20777
 DATE: AUGUST 13, 2017 DRAWN BY: PFG SCALE: 1/4" = 1' 0"

- 1 REMOVE WALL, DOOR AND/OR WINDOW, NEW LAYOUT
- 2 REPLACE WINDOW AND/OR DOOR, NEW WINDOW AND/OR DOOR
- 3 REMOVE KITCHEN CABINETS AND APPLIANCES
- 4 REMOVE BRICK WALL
- 5 REMOVE WALL, INSTALL NEW HEADER & CASSED OPENING
- 6 REMOVE STAIRCASE, FRAME-IN
- 7 REMOVE BUILT-IN FISH TANK, FRAME-IN
- 8 REMOVE FLOOR FRAMING, NEW STAIRCASE OPENING
- 9 CUT LOFT CANTILEVER EVEN WITH WALL, INSTALL FLUSH BEAM
- 10 REMOVE WOOD BALCONY, FLASH & SEAL ALL FLOOR JOIST PENETRATIONS
- 11 REMOVE RAILING & DECKING, NEW JOISTS, DECKING & RAILING
- 12 REMOVE WALL, NEW WINDOW

EXISTING SECOND LEVEL FLOOR PLAN - DEMO



- NOTE
1. CARBON MONOXIDE ALARMS REQUIRED FOR DWELLINGS
 2. EXTERIOR DIMENSIONS ARE FROM OUTSIDE OF WALL
 3. INTERIOR DIMENSIONS ARE FROM FACE OF STUDS (3/1/2" OR 5/1/2" THICKNESS)
 4. INTERIOR DOORS ARE SHOWN 4 1/2" FROM ADJACENT WALL TO ALLOW FOR 3 1/4" TRIM.
 5. PROVIDE ATTIC ACCESS MIN. ROUGH OPENING 22"x30"
 6. SMOKE ALARMS SHALL BE PROVIDED IN EACH FLOOR LEVEL. SMOKE ALARMS SHALL BE HARDWIRED WITH BATTERY BACK-UP.



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 Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.
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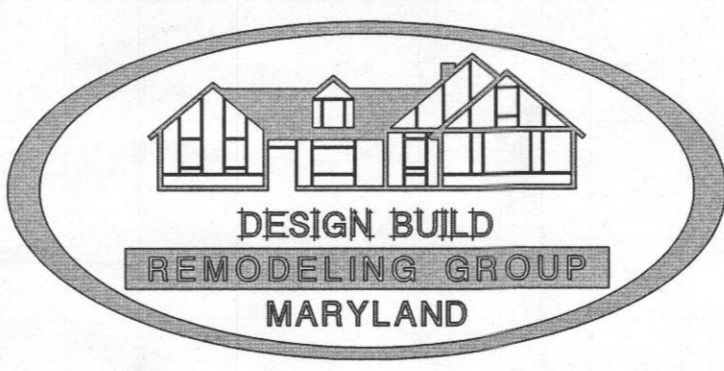
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CUSTOM HOME PLANNING & DESIGN
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 COMPLETE CONSTRUCTION PLANS

PHONE: 410-596-1062

PGCREATOR@QIS.NET

EXISTING & PROPOSED SECOND LEVEL FLOOR PLANS

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DATE: AUGUST 13, 2017 DRAWN BY: PFG SCALE: 1/4" = 1' 0"