

10/31/97  
Co.  
10,000

# PERMIT

## SEWAGE DISPOSAL SYSTEM

### DEPARTMENT OF HEALTH AND MENTAL HYGIENE

P 59029

A 43244

DISTRICT 4th

DATE 10-21-97

DATE SYSTEM APPROVED 10/31/97

INSPECTOR CW

**INDEXED**

**HOWARD COUNTY HEALTH DEPARTMENT**  
BUREAU OF ENVIRONMENTAL HEALTH  
~~XX420583~~ 313-2640

WTC III Plumbing & Heating, Inc. IS PERMITTED TO INSTALL X ALTER

ADDRESS 1820 Gillis Falls Road, Woodbine, Maryland 21797 PHONE 410-489-4457

SUBDIVISION Cattail Creek Country Club LOT 4 ROAD 3620 Broadleaf Court

PROPERTY OWNER John and Janie Buork

ADDRESS \_\_\_\_\_ **BUILDING PERMIT SIGNED**

SEPTIC TANK CAPACITY 1250 GALLONS **AND RETURNED**  
*6-19-04 B00148854 - 2 STORY ADDITION*

NUMBER OF BEDROOMS 4  
*7-21-04 B00149501 - IG POOL*

180 SQUARE FEET PER BEDROOM *10-30-97 B00108585 - DECK*

LINEAR FEET OF TRENCH REQUIRED 240  
*11-4-04 B00150628 - IG LPTANK*

TRENCHES - Trench to be 3 feet wide. Inlet 3 feet below original grade. Bottom maximum depth 5 feet below original grade. Effective area begins at 3 feet below original grade. 2 feet of stone below distribution pipe.

LOCATION - Place the distribution box 60 feet from the front lot line and 70 feet off the left lot line as seen from Braodleaf Court. Run trenches along contour in both directions.

NOTES - No trench to exceed 100 feet in length. Provide 6" - 8" diameter cleanout and cap to grade or above on septic tank. *9/4/96 JKS*

PLANS APPROVED BY Glen Savage DATE 8/20/96

- COVER NO WORK UNTIL INSPECTED AND APPROVED
- NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM
- NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS, 90° ELBOWS NOT ACCEPTABLE.
- NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX TRENCHES) TO BE 100 FEET FROM WELL (UNLESS OTHERWISE SPECIFICALLY AUTHORIZED)
- NOTE: IF DEEP TRENCH(ES) ARE USED CALL FOR INSPECTION BEFORE AND AFTER PLACING GRAVEL IN TRENCH(ES)
- NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH
- NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 35/40 PVC OR ABS
- PERMIT VOID AFTER TWO YEARS
- NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL STAND PIPES MUST BE 6 INCHES IN DIAMETER CAST IRON. CONCRETE OR TERRA COTTA OR PVA OR ABS ACCEPTED. IF TOP OF SEPTIC TANK IS DEEPER THAN 3 FEET. MANHOLE TO GRADE REQUIRED.
- NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

**\*INSTALLER IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT**

A  
43244



# FILE INQUIRY FORM

Property Address: 3620 Broadleaf Ct

9/27/04 - Contractor has ends of 2 trenches closest to house dug up. Addition is marked on ground w/ paint. Upper trench is completely out of 20' setback & does not have to be abandoned. Lower trench has 12' in 20' setback. OK'd contractor to abandon last 15' of lower trench, use solid pipe downhill to a new trench, 45' long, 3' wide, invert @ 3, bottom 5' 12' CTE SO

10/19/04 t.c. to owner to call me back to discuss when the work is to be done.

10/20/04 t.c. to owner about status. He will return my call on Friday for follow up procedures.

11/4/04 - Spoke w/ homeowner & he said he is getting a contractor out to do what Stuart told him. This will be done prior to BP & side add. RJB

August 26, 2004

Mr. John Boris  
Howard County Health Department  
3525 H Ellicott Mills Drive  
Ellicott City, MD 21043

**RE: 3620 Broadleaf Court  
Glenwood, MD 21738**

Dear Mr. Boris:

I would like to construct a 3-story addition on the side of our home. I recognize that this will impact the drain field setback requirements and therefore, are requesting approval to alter the current drain field area as follows:

- 1) Delete SDA noted by the shaded area on the plat and add same square footage to the bottom.
- 2) Disconnect two trenches closest to the existing home and relocate to the other side.

I believe that making these changes will provide the required 20' separation from all sides of the proposed addition.

I appreciate your assistance in this matter. Please call me if you have any questions or require additional information. I can be reached at 202-285-1954 (cell) or 410-442-9736 (home).

Sincerely,

  
John L. Bjork

Enclosure

*Septic Permit Fee = \$39600  
(upgrades)*

**ENGINEER'S CERTIFICATE**

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITION AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: *[Signature]* DATE: 7-31-96

**DEVELOPER'S CERTIFICATE**

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT AND PLAN FOR EROSION AND SEDIMENT CONTROL THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

SIGNATURE OF DEVELOPER: *[Signature]* DATE: 7-31-96

REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.

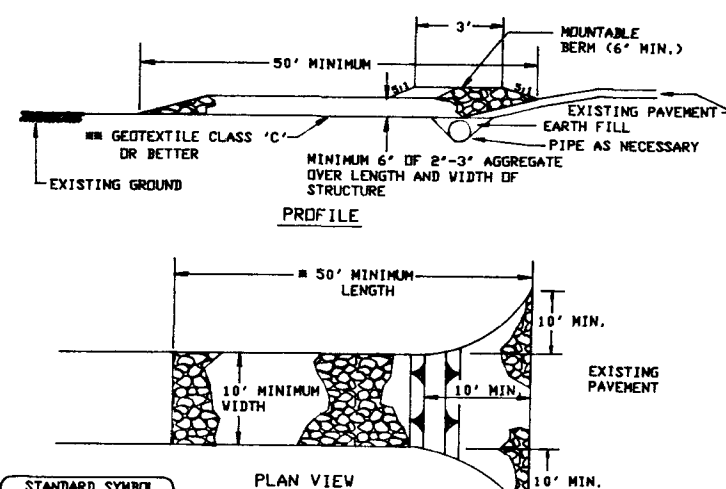
APPROVED: *[Signature]* DATE: 8/6/96

APPROVED: *[Signature]* DATE: 8/6/96

**SEDIMENT CONTROL NOTES**

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSING AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (03-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREOF.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
  - 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DICES, PERIMETER SLOPES AND ALL SLOPES STEEPER THAN 3:1, (b) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. I, CHAPTER 12 OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. 50), TEMPORARY SEEDING (SEC. 50), AND MULCHING (SEC. 50). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
 

TOTAL AREA OF SITE	3.667 ACRES
AREA TO BE ROOFED OR PAVED	0.445 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.147 ACRES
TOTAL CUT	0.298 CU.YDS.
TOTAL FILL	0.000 CU.YDS.
OFFSITE WASTE/BORROW AREA LOCATION	CU.YDS.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED, IF NEEDED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROL STRUCTURES, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.



- STABILIZED CONSTRUCTION ENTRANCE - 2**  
NOT TO SCALE
- Length - minimum of 50' (#30' for single residence lot).
  - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
  - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.
  - Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
  - Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
  - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

**SEQUENCE OF CONSTRUCTION**

- OBTAIN GRADING PERMIT.
- INSTALL SEDIMENT CONTROLS AS SHOWN ON PLAN.
- PERFORM NECESSARY GRADING AND STABILIZE THE SITE.
- AFTER THE SITE IS STABILIZED AND PERMISSION IS GRANTED FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROLS AND STABILIZE ANY REMAINING DISTURBED AREAS.

**TEMPORARY SEEDING NOTES**

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

**SEEDBED PREPARATION**

LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING. IF NOT PREVIOUSLY LOOSENED.

**SOIL AMENDMENTS**

APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (4 LBS./1000 SQ. FT.)

**SEEDING**

FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 15 THROUGH NOVEMBER 15, SEED WITH 1 1/2 BUSHEL PER ANNUAL RYE (32 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS./ACRE OF WEeping LOVEGRASS (37 LBS./1000SQ.FT.). FOR THE PERIOD NOVEMBER 15 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

**MULCHING**

APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 210 GALLONS PER ACRE (5 GAL./1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT ACRES, ON SLOPES 8 FEET OR HIGHER, USE 340 GALLONS PER ACRE (8 GAL./1000 SQ.FT.) FOR ANCHORING. REFER TO THE 1986 MARYLAND STANDARDS AND SPECIFICATION FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT COVERED.

**PERMANENT SEEDING NOTES**

ALL DISTURBED AREAS SHALL BE STABILIZED AS FOLLOWS:

**SEEDBED PREPARATION**

LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING.

**SOIL AMENDMENTS**

APPLY TWO TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 600 LBS. PER ACRE 0-20-20 FERTILIZER (4 LBS./1000 SQ.FT.) BEFORE SEEDING HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 38-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ.FT.) AND 500 LBS. PER ACRE (11.5 LBS./1000 SQ.FT.) OF 10-20-20 FERTILIZER.

**SEEDING**

FOR THE PERIODS MARCH 1 THROUGH APRIL 30, AND AUGUST 1 THROUGH OCTOBER 15, SEED WITH 100 LBS. PER ACRE (2.3 LBS./1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THROUGH JULY 31, SEED WITH 60 LBS./ACRE (4 LBS./1000 SQ.FT.) KENTUCKY 31 TALL FESCUE AND 2 LBS. PER ACRE (0.05 LBS./1000 SQ.FT.) OF WEeping LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THROUGH FEBRUARY 28, PROJECT SITE BY: OPTION (1) - TWO TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING; OPTION (2) - USE SOD; OPTION (3) SEED WITH 100 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH TWO TONS/ACRE WELL ANCHORED STRAW. ALL SLOPES SHOULD BE HYDROSEEDED.

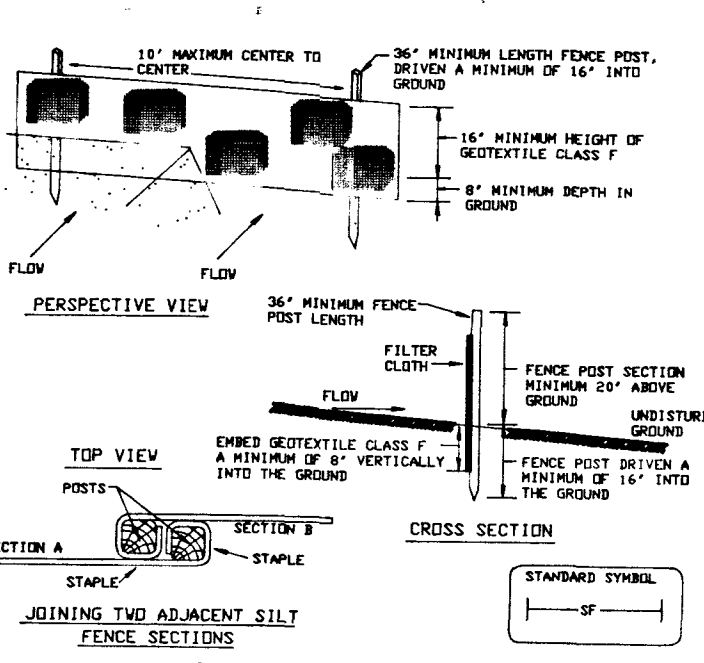
**MULCHING**

APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING 200 GALLONS PER ACRE (5 GAL./1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT ACRES, ON SLOPES 8 FEET OR HIGHER USE 340 GALLONS PER ACRE (8 GAL./1000 SQ.FT.) FOR ANCHORING.

**MAINTENANCE**

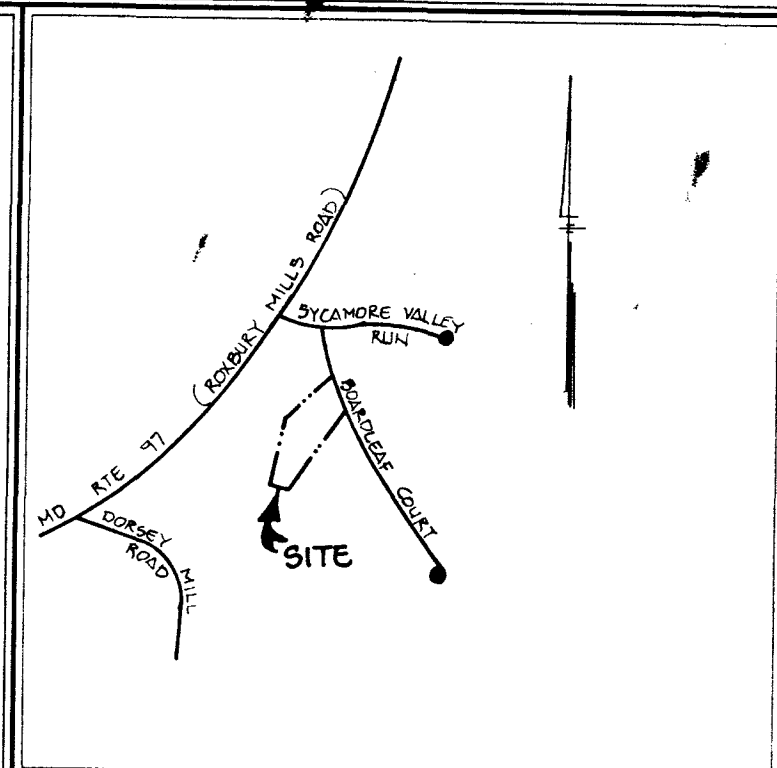
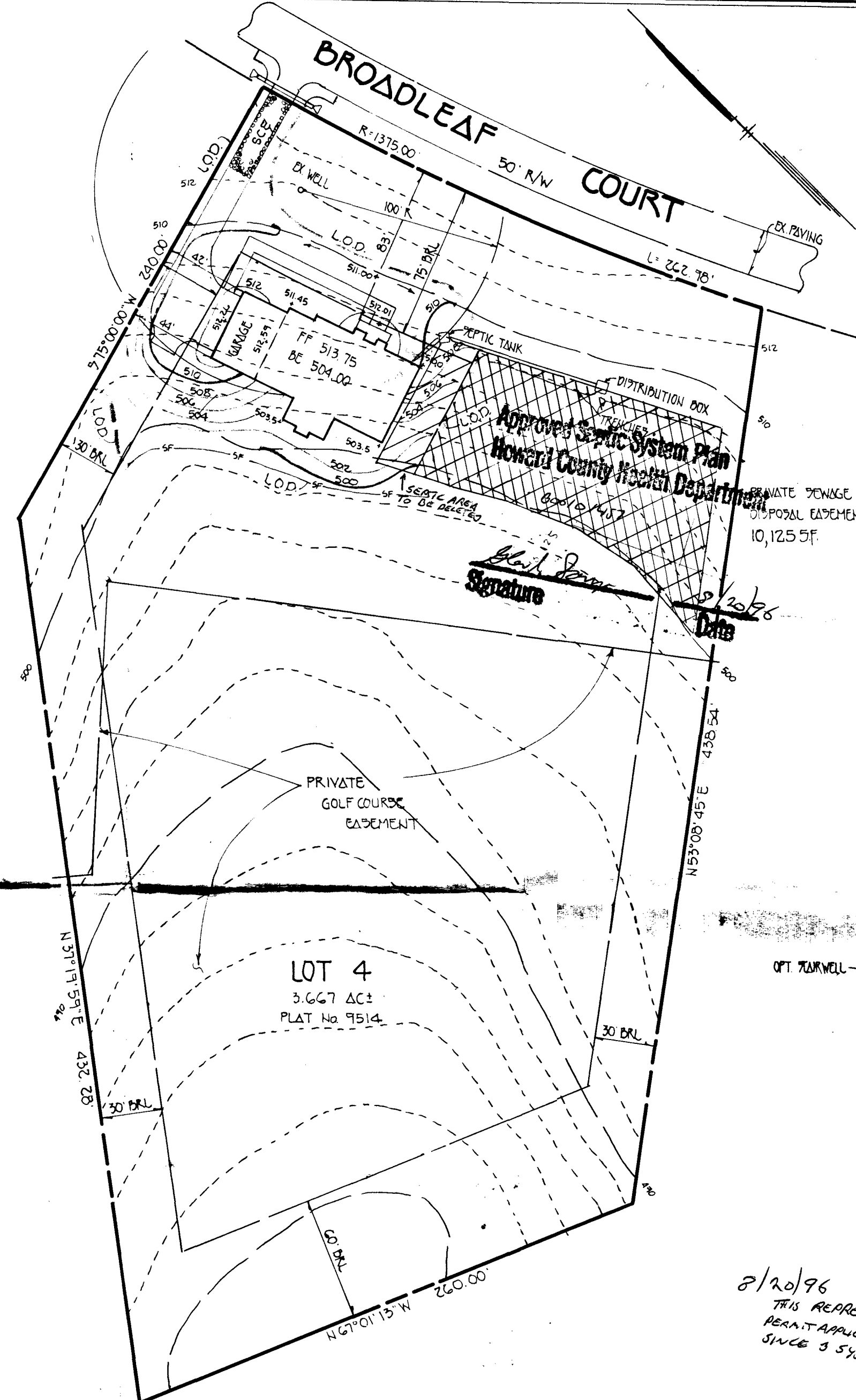
INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

\* FOR PUBLIC PONDS SUBSTITUTE CHEMUNG CROWN VETCH AT 15 LBS./ACRE AND KENTUCKY 31 TALL FESCUE AT 40 LBS./ACRE AS THE SEEDING REQUIREMENT. OPTIMUM SEEDING DATE FOR THIS MIXTURE IS MARCH 1 TO APRIL 30.

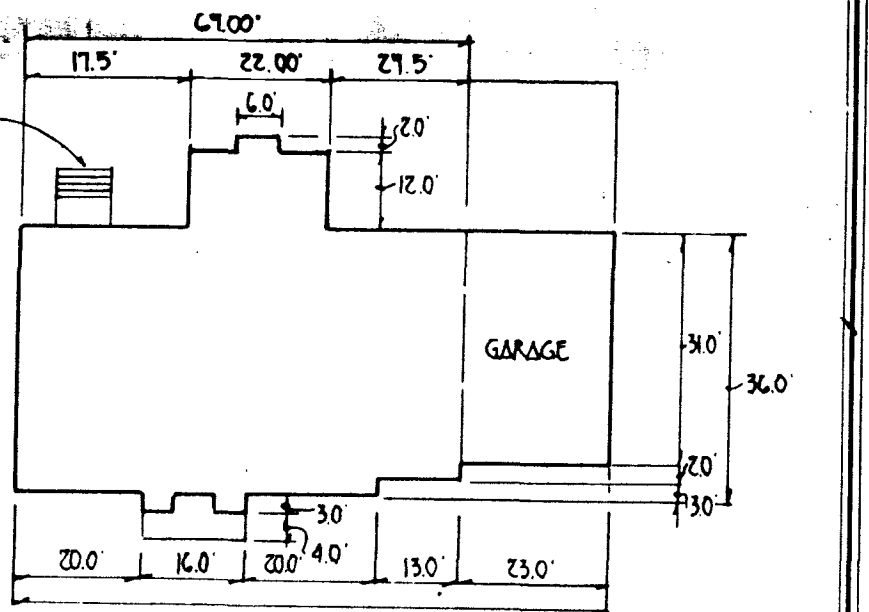
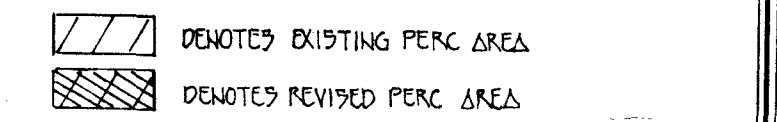


- SILT FENCE**  
NOT TO SCALE
- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighing not less than 1.00 pound per linear foot.
  - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
 

Tensile Strength	30 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft <sup>2</sup> /minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
  - Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
  - Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.



- GENERAL NOTES**
- SEPTIC EASEMENT SUBJECT TO HOWARD COUNTY HEALTH DEPARTMENT No. \_\_\_\_\_
  - PROPOSED 1500 GALLON SEPTIC TANK:
    - A. FIRST FLOOR ELEVATION: 515.15
    - B. BASEMENT ELEVATION: 504.00
    - C. INVERT OF SEPTIC SYSTEM AT HOUSE: 506.45
    - D. INVERT IN AT SEPTIC TANK: 505.05
    - E. INVERT OUT AT SEPTIC TANK: 505.15
    - F. PROPOSED GRADE OVER SEPTIC TANK: 508.00
    - G. INVERT AT DISTRIBUTION BOX: 505.00
    - H. EXISTING GROUND OVER DISTRIBUTION BOX: 505.00
  - LENGTH OF TRENCH TO BE DETERMINED AT TIME OF SEPTIC PERMIT ISSUANCE.
  - CONTRACTOR / BUILDER TO VERIFY ELEVATIONS IN FIELD BEFORE BEGINNING ANY CONSTRUCTION.
  - THERE IS NO BASEMENT SERVICE TO SEPTIC SYSTEM.
- BY COPY OF THIS APPROVED PLAN THE NEAREST OWNER ACCEPTS THE PROPOSED MODIFICATION TO THE APPROVED SEPTIC EASEMENT.  
*[Signature]*
- NOTE:  
TOPOGRAPHY IS BASED ON AERIAL MAPPING PROVIDED DEVELOPER. CONTRACTOR TO VERIFY ELEVATION BEFORE CONSTRUCTION.



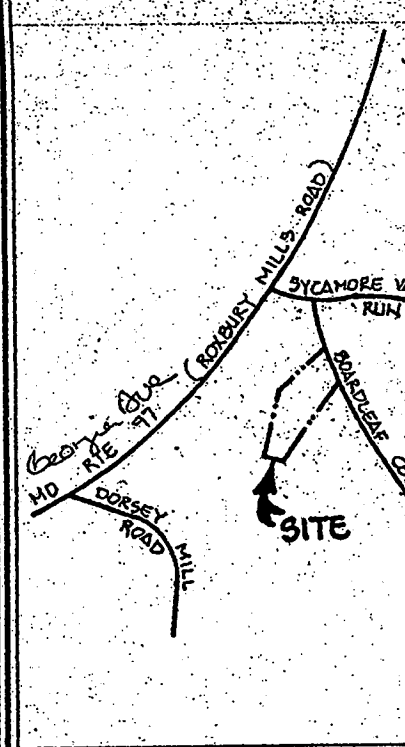
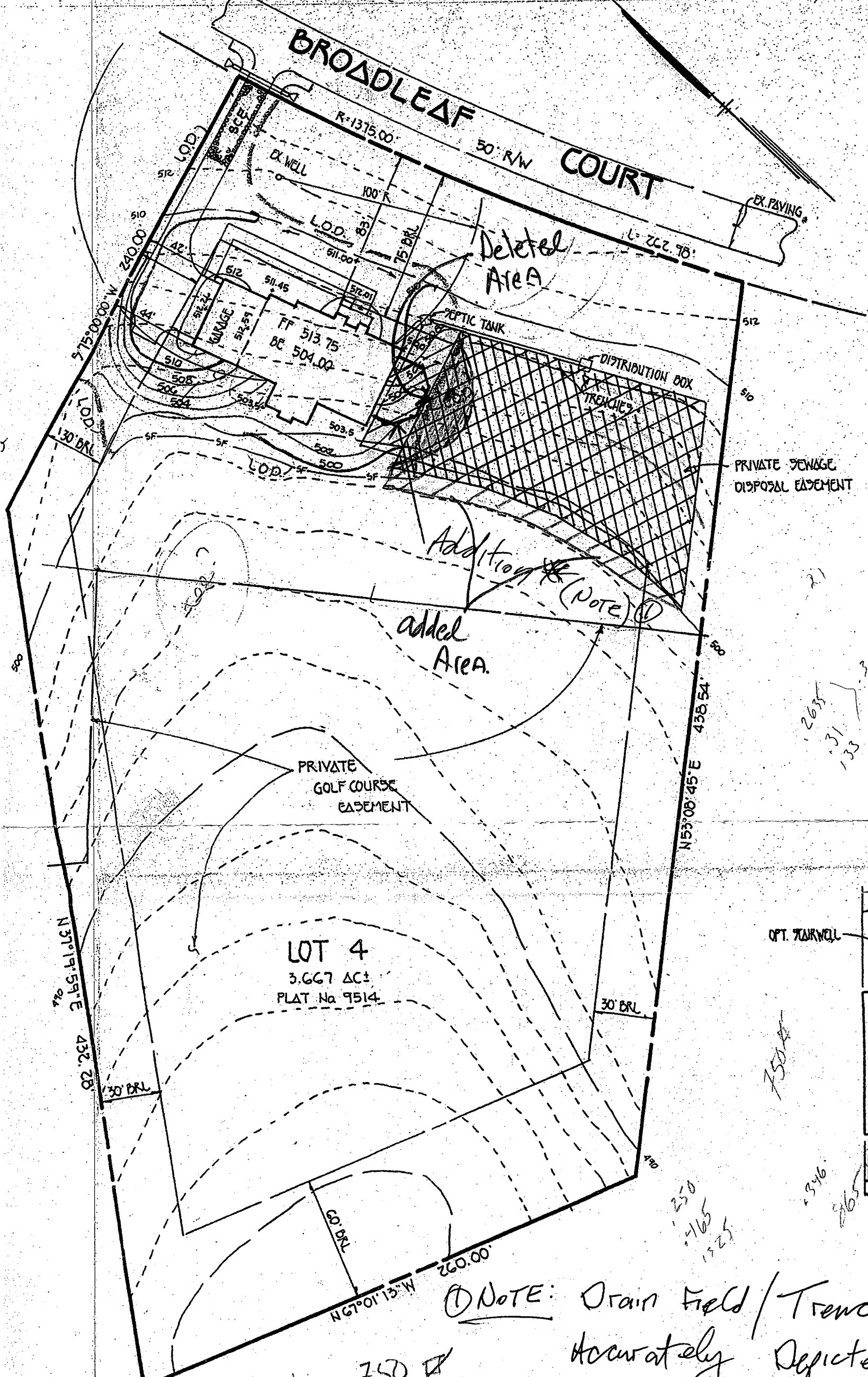
8/20/96  
THIS REPRESENTS THE SECOND PLAN REVISION FOR THIS BUILDING PERMIT APPLICATION, #B00101457, NOT IDEAL BUT ACCEPTABLE SINCE 3 SYSTEMS WILL FIT IN MODIFIED SEPTIC EASEMENT.  
*[Signature]*

8-26-96 SITE INSPECTION, GOLF COURSE EASEMENT/GRADING DOES NOT IMPACT THE SEPTIC EASEMENT.  
*[Signature]*

PLAN TO ACCOMPANY APPLICATION FOR BUILDING PERMIT  
**CATTAIL CREEK COUNTRY CLUB**  
LOT 4

TAX MAP Z1 BLOCKS 9, 10, 15 & 16 PARCEL G  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 50' DATE: JULY 31, 1996

GP-97-15A

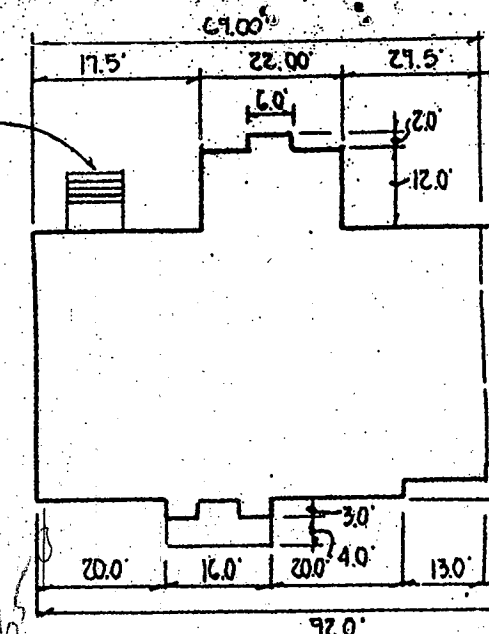
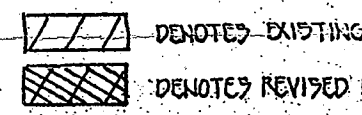


VICINITY  
SCALE 1" = 50'

**GENERAL NOTES**

1. SEPTIC EASEMENT SUBJECT TO HOWARD No.
2. PROPOSED 1500 GALLON SEPTIC TANK
3. A. FIRST FLOOR ELEVATION: 513.75  
B. BASEMENT ELEVATION: 504.00  
C. INVERT OF SEPTIC SYSTEM AT HOUSE  
D. INVERT IN AT SEPTIC TANK: 506.0  
E. INVERT OUT AT SEPTIC TANK: 505.7  
F. PROPOSED GRADE OVER SEPTIC TANK  
G. INVERT AT DISTRIBUTION BOX: 505.5  
H. EXISTING GROUND OVER DISTRIBUTION LENGTH OF TRENCH TO BE DETERMINED ISSUANCE.
4. CONTRACTOR / BUILDER TO VERIFY ELEVATION BEFORE ANY CONSTRUCTION.
5. THERE IS NO BASEMENT SERVICE TO SE

NOTE:  
TOPOGRAPHY IS BASED ON PROVIDED DEVELOPER. VERIFY ELEVATION BEFORE



BJORK RESIDENCE

NOTE: Drain Field / Trenches Are Not Accurately Depicted. Addition w. Approximately 19' From Closest Trench TO ACCOMPANY APPLICATION FOR BUILDING PERMIT

- Deleting 750 sq ft  
- Adding 865 sq ft

Addition Size: 21' Width From House  
27' Length

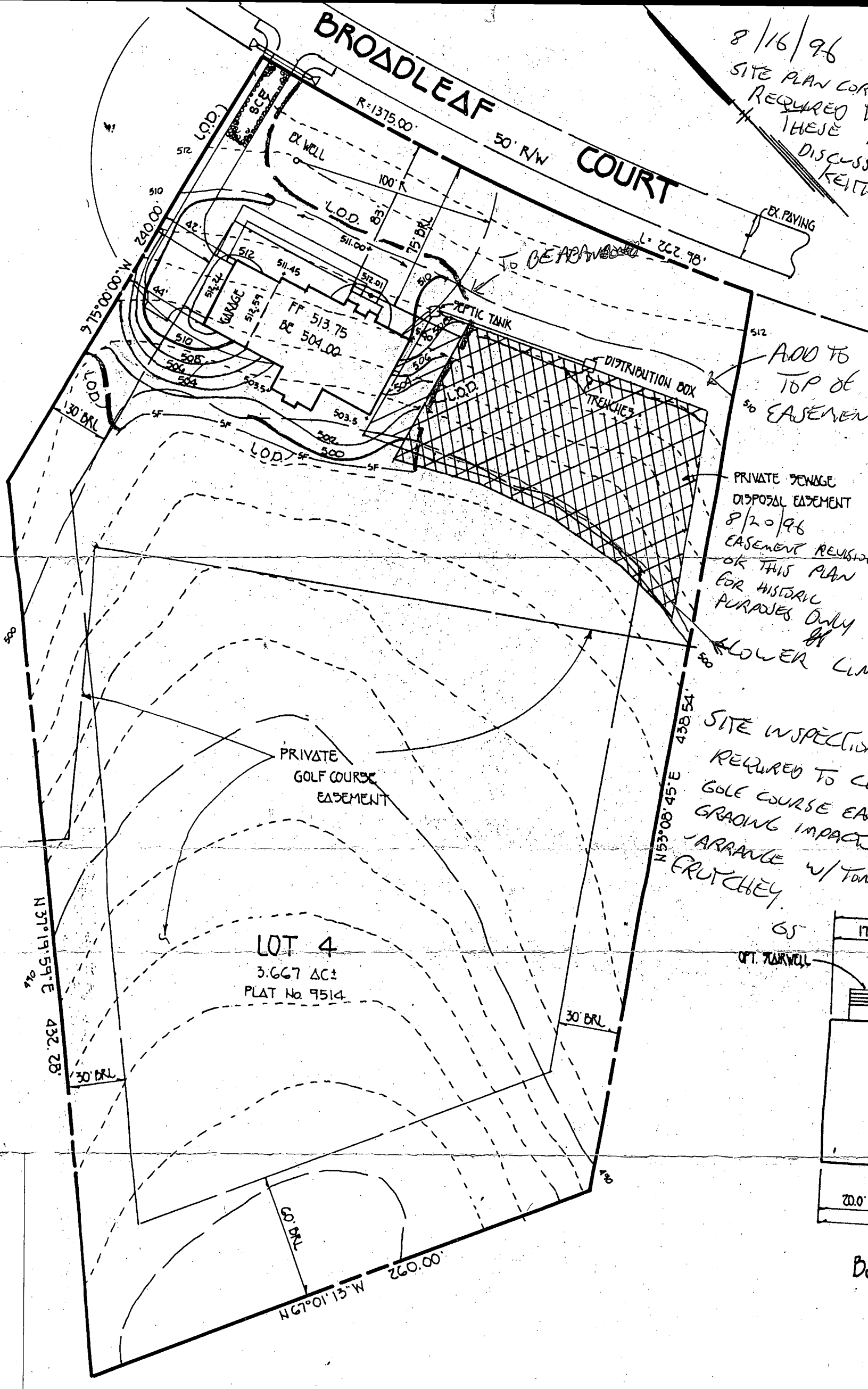
8/30/04

- Plan looks ok.

CATTAIL CREEK COUNTRY CLUB  
LOT 4

TAX MAP 21      BLOCKS 9, 10, 15 & 16      PARCELS  
FOURTH ELECTION DISTRICT      HOWARD COUNTY, MARYLAND  
SCALE: 1" = 50'      DATE: JULY 31, 2004

FROM  
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050 SQ. FT.)  
SITE BY  
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2 FT.)  
OR HIGHER,  
RING.  
N FOR SOIL  
T COVERED).



8/16/96  
SITE PLAN CORRECTIONS  
REQUIRED TO ACCEPT  
THESE MODIFICATIONS  
DISCUSSED W/  
KEITH ERALIC

ADD TO  
TOP OF  
EASEMENT

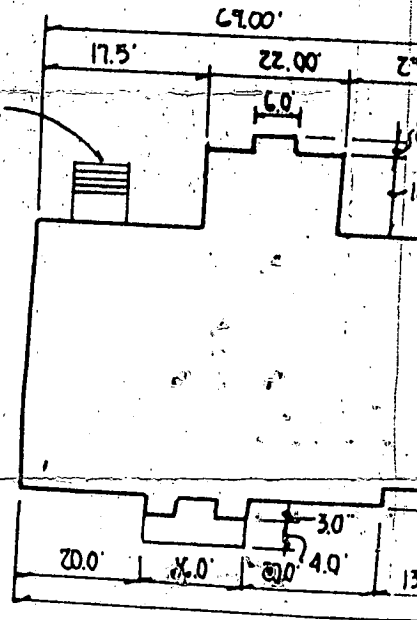
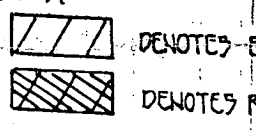
PRIVATE SEWAGE  
DISPOSAL EASEMENT  
8/20/96  
EASEMENT REVISION  
OK THIS PLAN  
FOR HISTORIC  
PURPOSES ONLY

LOWER LIMIT SOA

SITE INSPECTION NOTE:  
REQUIRED TO CHECK  
GOLF COURSE EASEMENT  
GRAVING IMPACTS  
ARRANGE W/TOM  
CRUTCHER

**GENERAL NOTES**

1. SEPTIC EASEMENT SUBJECT No.
2. PROPOSED 1500 GALLON SEPTIC TANK
3. A. FIRST FLOOR ELEVATION  
B. BASEMENT ELEVATION  
C. INVERT OF SEPTIC SYSTEM  
D. INVERT IN AT SEPTIC TANK  
E. INVERT OUT AT SEPTIC TANK  
F. PROPOSED GRADE OVER SEPTIC TANK  
G. INVERT AT DISTRIBUTION BOX  
H. EXISTING GROUND OVER SEPTIC TANK
4. LENGTH OF TRENCH TO BE DETERMINED BY CONTRACTOR
5. CONTRACTOR / BUILDER TO VERIFY ELEVATION
6. THERE IS NO BASEMENT SEPTIC TANK



BJORK RESIDENCE

PLAN TO ACCOMPANY APPLICATION  
FOR BUILDING PERMIT  
CATTAIL CREEK COUNTRY CLUB  
LOT 4

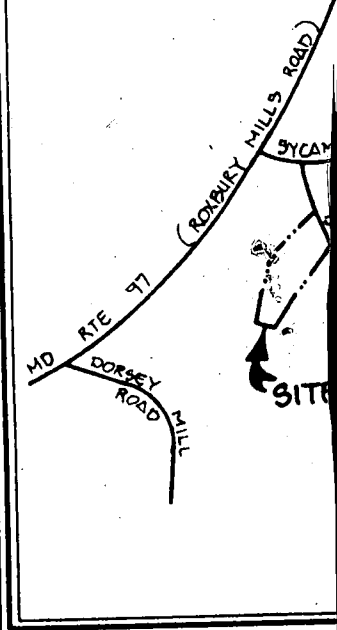
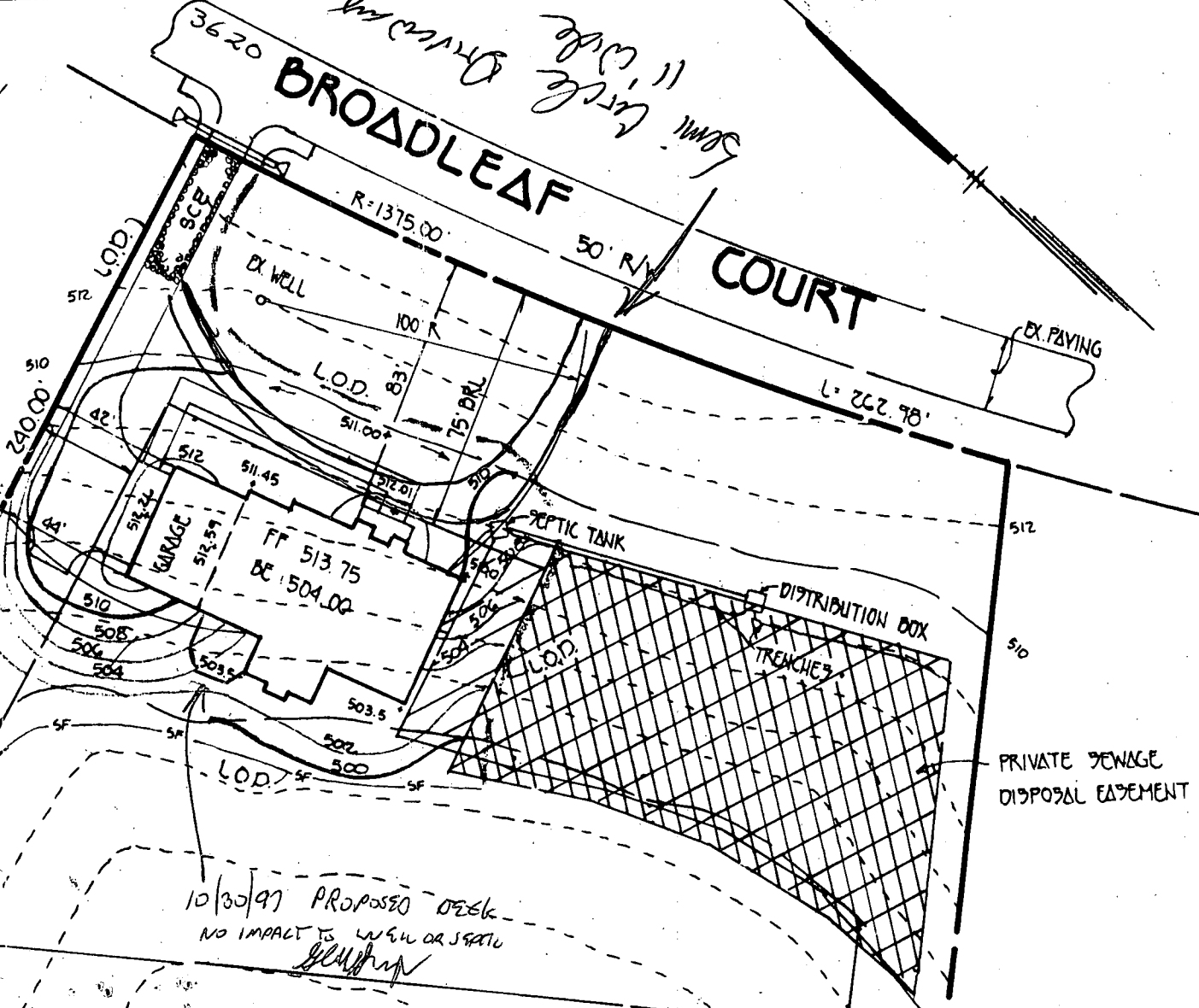
TAX MAP 21      BLOCKS 9, 10, 15 & 16      PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

FOURTH ELECTION DISTRICT      HOWARD COUNTY, MARYLAND

SCALE: 1" = 50'      DATE: JULY 31, 1996

# BROADLEAF COURT

*Semi Circle Driveway  
11' wide*



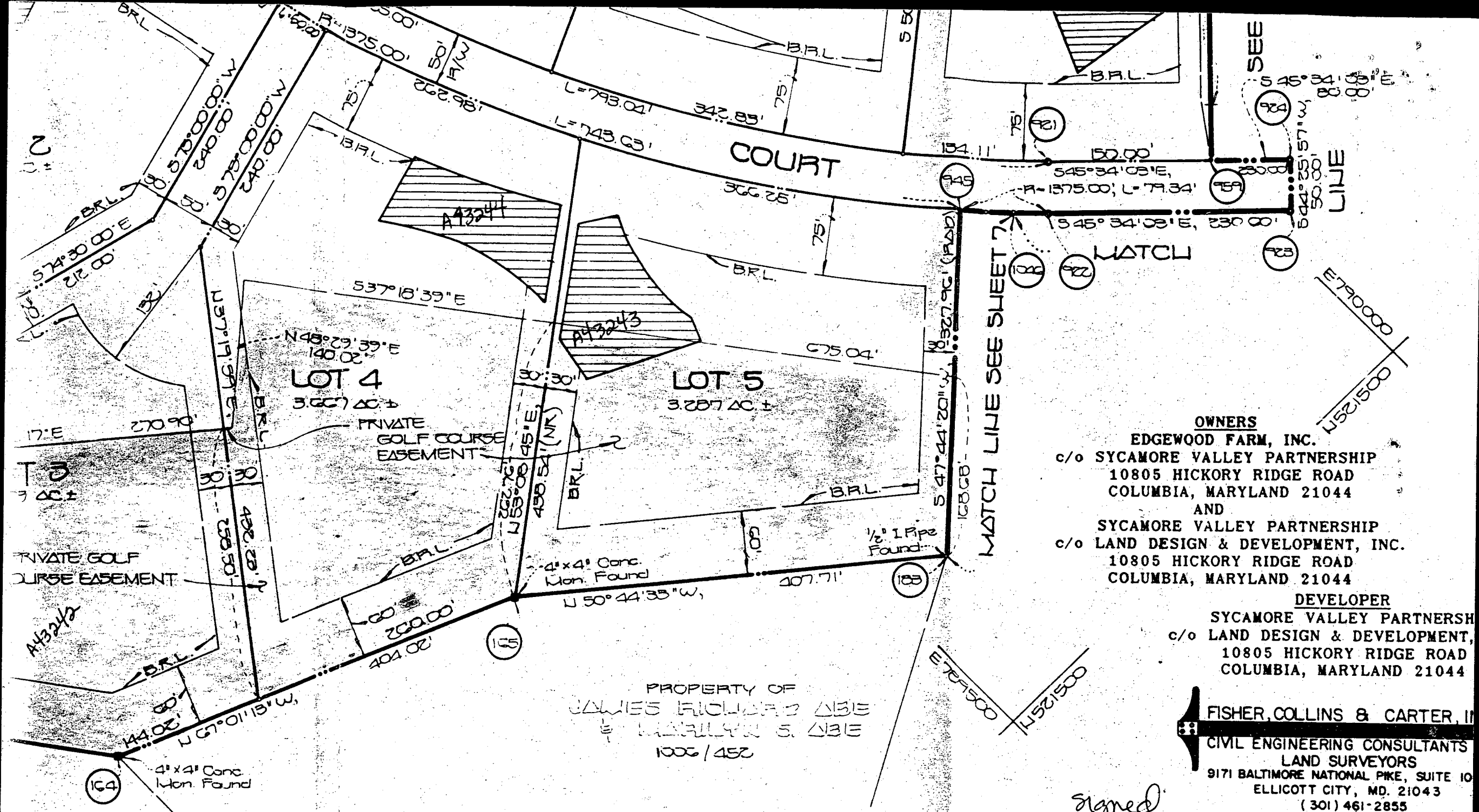
VICINITY MAP

## GENERAL NOTES

1. SEPTIC EASEMENT SUBJECT TO PLAN No.
2. PROPOSED 1500 GALLON SEPTIC TANK
3. A. FIRST FLOOR ELEVATION: 513.75  
B. BASEMENT ELEVATION: 504.00  
C. INVERT OF SEPTIC SYSTEM AT SEPTIC TANK  
D. INVERT IN AT SEPTIC TANK  
E. INVERT OUT AT SEPTIC TANK  
F. PROPOSED GRADE OVER SEPTIC TANK  
G. INVERT AT DISTRIBUTION BOX  
H. EXISTING GROUND OVER DISTRIBUTION BOX
4. LENGTH OF TRENCH TO BE DETERMINED BY CONTRACTOR AT TIME OF ISSUANCE.
5. CONTRACTOR / BUILDER TO VERIFY ALL CONSTRUCTION.

10/30/97 PROPOSED DECK  
NO IMPACT TO WELLS OR SEPTIC  
*[Signature]*

PRIVATE SEWAGE  
DISPOSAL EASEMENT



**OWNERS**  
**EDGEWOOD FARM, INC.**  
 c/o SYCAMORE VALLEY PARTNERSHIP  
 10805 HICKORY RIDGE ROAD  
 COLUMBIA, MARYLAND 21044  
 AND  
 SYCAMORE VALLEY PARTNERSHIP  
 c/o LAND DESIGN & DEVELOPMENT, INC.  
 10805 HICKORY RIDGE ROAD  
 COLUMBIA, MARYLAND 21044

**DEVELOPER**  
 SYCAMORE VALLEY PARTNERSHIP  
 c/o LAND DESIGN & DEVELOPMENT,  
 10805 HICKORY RIDGE ROAD  
 COLUMBIA, MARYLAND 21044

**FISHER, COLLINS & CARTER, II**  
 CIVIL ENGINEERING CONSULTANTS  
 LAND SURVEYORS  
 9171 BALTIMORE NATIONAL PIKE, SUITE 10  
 ELLICOTT CITY, MD. 21043  
 (301) 461-2855

PROPERTY OF  
 JAMES RICHARD OBLE  
 & MARILYN S. OBLE  
 1006/452

*Signed*

**OWNER'S CERTIFICATE**

PRESIDENT, AND SYCAMORE VALLEY PARTNERSHIP BY DONALD R. REUWER, SHOWN AND DESCRIBED HEREON, HEREBY ADOPT THIS PLAN OF SUBDIVISION, AS SHOWN ON THE PRELIMINARY PLAT BY THE DEPARTMENT OF PLANNING AND ZONING, ESTABLISH THE

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT;

RECORDED AS PLAT NO. 9514 ON  
Sept 6, 1990 AMONG THE  
 LAND RECORDS OF HOWARD COUNTY, MD.

CARL KLITZKE & WIFE  
427 TT  
ZONED 1R1

338

lot 3  
457-001

A42457

lot 4  
457-001

165

