



HEALTH

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 12/7/16

Permit No.: B16005164

Building Address: 12162 Hayland Farm way
City: Clarksville State: MD Zip Code: 21029
Suite/Apt. #: _____ SDP/WP/BA #: GP 16-065
Census Tract: _____ Subdivision: Walnut Creek
Section: _____ Area: _____ Lot: 69
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Vacant lot
Proposed Use: Single family house
Estimated Construction Cost: \$ 240,000
Description of Work: New 2 story "Regents Park II" with 2 car side load garage, 1 car front attached garage, Morning Rm, 4' ext to family rm, Conservatory, sitting area w/ covered porch, an finished basement
Occupant or Tenant: _____

Was tenant space previously occupied? Yes No

Contact Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input type="checkbox"/> Finished Basement
Use group:	<input checked="" type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>5</u>
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units:
<input type="checkbox"/> Wood Frame	No. of 1 BR units:
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: NVR INC
Address: 9720 Patuxent Woods Drive
City: Columbia State: MD Zip Code: 21046
Phone: 410-379-5956 Fax: _____
Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: Decatur Building Services
Address: PO Box 552
City: Woodbine State: MD Zip Code: 21797
Phone: 443-309-7792 Fax: _____
Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes
Contact Person: Taylor Faris
Address: 9720 Patuxent Woods Drive
City: Columbia State: MD Zip Code: 21046
License No.: 56
Phone: 410-379-5956 Fax: _____
Email: TFaris@NVRINC.com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	<u>G16000341</u>
Building Shell Permit Number:	

RECEIVED
DEC 07 2016
LICENSES & PERMITS DIVISION

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin
Applicant's Signature
Jim@DecaturbuildingServices.com
Email Address
AGENT
Title/Company

Jim Kerwin
Print Name
12/2/2016
Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY
FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>1/15/17</u>	<u>Print Name</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$	<u>100</u>
Permit Fee	\$	
Tech Fee	\$	
Excise Tax	\$	
PSFS	\$	
Guaranty Fund	\$	<u>50</u>
Add'l per Fee	\$	
Total Fees	\$	
Sub-Total Paid	\$	
Balance Due	\$	
Check	#	<u>902199</u>

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: [HowardCoHealthDep](https://twitter.com/HowardCoHealthDep)

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: Taylor Faris
9720 Patuxent Woods Dr.
Columbia, MD 21046

FROM: Robert Freemon *RF*
Well & Septic Program

RE: Walnut Creek Lot #69
12162 Hayland Farm Way
Clarksville MD 21029
"Potential Basement Bedroom"

DATE: 1/19/16

I have reviewed the floor plans in support of Building Permit **B16005164** for a new home at **12162 Hayland Farm Way** and noted the full bathroom in the unfinished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the basement to finished living space. As this lot is connected to the shared sewage system with a **five** bedroom per lot limitation, any future building permit for converting all or a portion of the basement into finished living space may be denied by the Health Department if the total number of proposed bedrooms in the dwelling is above five.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned are of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities

Freemon, Robert

From: Faris, Taylor <tfaris@nvrinc.com>
Sent: Thursday, December 15, 2016 9:16 AM
To: Freemon, Robert
Subject: FW: 12162 Hayland Farm Way
Attachments: 12162 Hayland Farm Way.pdf; Floor Plans.pdf

Sorry for the confusion Robert, I'll get the revision done at DILP and get you new floor plans.

Thanks for the heads up

Taylor Faris

Construction Cost Manager
Maryland East Division



P: 410-379-5956
C: 443-864-3479
F: 410-379-2430

9720 Patuxent Woods Drive
Columbia, MD 21046

tfaris@nvrinc.com
www.nvhomes.com
Follow us on [Facebook](#)

From: Freemon, Robert [mailto:rfreemon@howardcountymd.gov]
Sent: Tuesday, December 13, 2016 2:53 PM
To: Faris, Taylor
Subject: RE: 12162 Hayland Farm Way

Hey Taylor,

If that is the case then I need someone to fill out a Revision Form at the Dept. of Inspections, Licenses and Permits (DILP) for the building permit (B16005164). The building permit itself does not need to be redone rather just made clear with what is actually being proposed. On the building permit itself it has finished basement written in and unfinished basement checked off. I will also need new floor plans sent to DILP with a copy for the Health Dept. As it stands now with the current floor plans along with what you have told me there is a comment I would like to make. The floor plans show a total of 5 finished bedrooms (1-BR 1st Floor, 4-BR 2nd Floor). Having the full bath or rough in for a full bath in an unfinished basement makes it possible to consider one or more rooms as bedrooms upon finishing the basement. The Opt. Home Office could be considered a bedroom upon finishing the basement with a full bath. There is a limit of 5 bedrooms per lot with in the Walnut Creek Shared Septic System. I have attached a memo with the Howard County

Code definition of a bedroom for you to review. Let me know your thoughts on this. If you have any questions let me know.

Robert Freeman

Howard County Health Department

8930 Stanford Blvd. Columbia, MD 21045

Well and Septic Program

Bureau of Environmental Health

Phone: 410-313-6357

Email: rfreemon@howardcountymd.gov

<https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>

From: Faris, Taylor [<mailto:tfaris@nvrinc.com>]

Sent: Monday, December 12, 2016 4:27 PM

To: Freeman, Robert

Cc: jim@decaturbuildingservices.com

Subject: RE: 12162 Hayland Farm Way

Sorry Robert, I'm not sure why the basement bath was crossed out. The customer is getting the finished Rec Room and basement bath in this home

Taylor Faris

Construction Cost Manager

Maryland East Division



P: 410-379-5956

C: 443-864-3479

F: 410-379-2430

9720 Patuxent Woods Drive

Columbia, MD 21046

tfaris@nvrinc.com

www.nvhomes.com

Follow us on [Facebook](#)

From: Freeman, Robert [<mailto:rfreemon@howardcountymd.gov>]

Sent: Monday, December 12, 2016 4:25 PM

To: Faris, Taylor

Cc: jim@decaturbuildingservices.com

Subject: 12162 Hayland Farm Way

Hey Taylor,

I have looked at the floor plans and noticed the OPT. BSMT BATH crossed out in the unfinished basement. Can you confirm whether or not this full bath is being roughed in?

Robert Freemon

Howard County Health Department

8930 Stanford Blvd. Columbia, MD 21045

Well and Septic Program

Bureau of Environmental Health

Phone: 410-313-6357

Email: rfreemon@howardcountymd.gov

<https://www.howardcountymd.gov/Departments/Health/Environmental-Health/Well-and-Septic>

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Name: Jim Kerwin
Street Address: PO Box 552
City, State, Zip: Woodbine MD 21797
Date: 12/16/2016

Amendment, Permit # B16005164

Ms. Debbie Whalen
Division of Plan Review
Department of Inspections, Licenses and Permits
Howard County Government
3430 Court House Dr
Ellicott City, MD 21043

RECEIVED

DEC 20 2016

LICENSES & PERMITS
DIVISION

Dear Ms. Whalen:

I am requesting to amend Permit # B16005164 at
12162 Hayland Farm way clarksville MD to
remove 1st Floor Bedroom option and to
add 5th Bedroom over the conservatory and to
confirm that the Basement is finished

Enclosed:

 Fee: _____

 Plot Plans

 2 Sets of Construction Drawings

 Other: _____

If there is anything we can do to assist you, please let me know.

Sincerely,

Name: Jim Kerwin

Title: AGENT

Phone: 443-309-7792

Email: Jim@DecaturbuildingServices.com

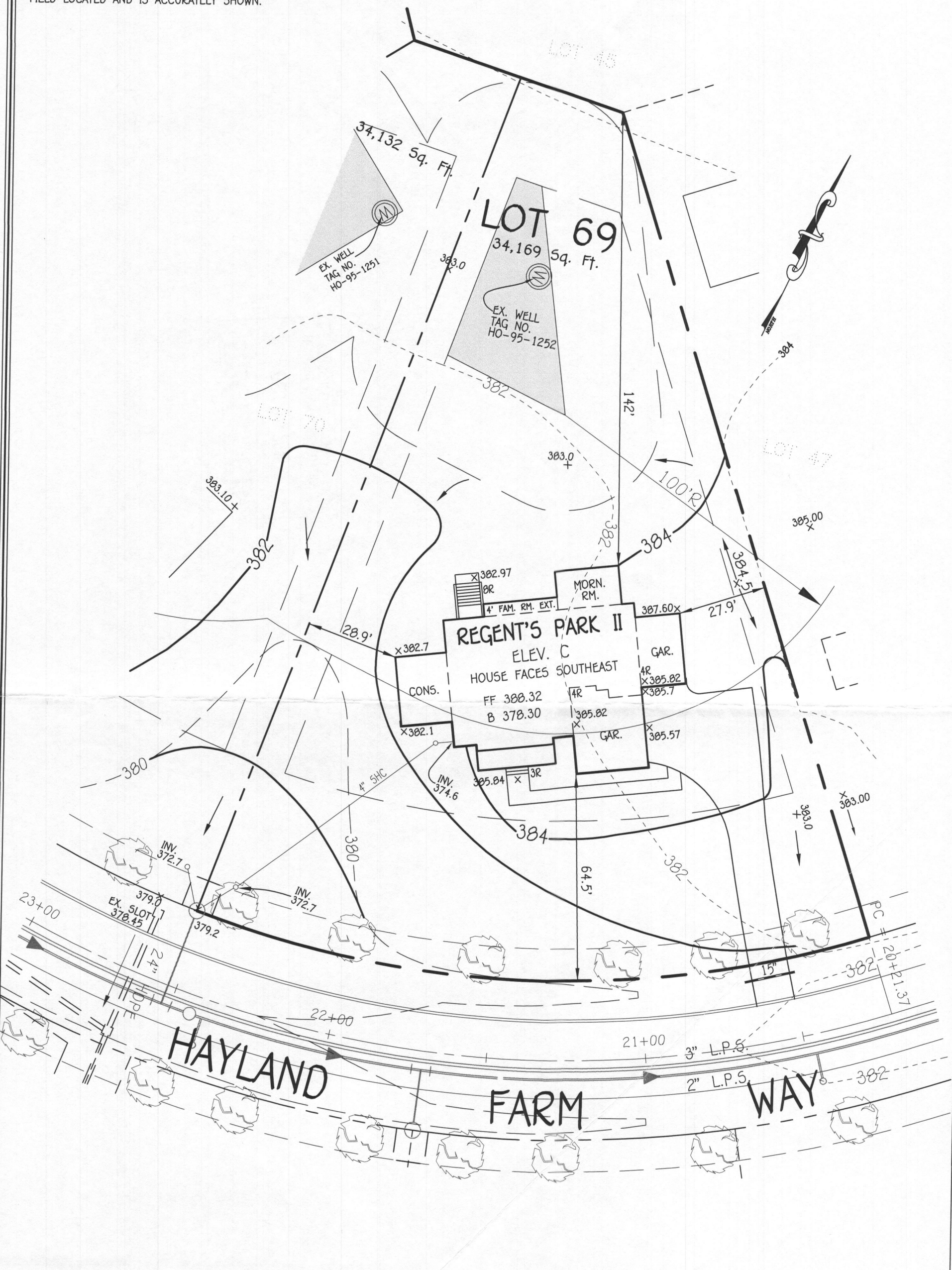
Invoice # 474223

paid
CK 2910

Amendment Letter

WELL CERTIFICATION:

THE EXISTING WELL, TAG NO. HO-95-1252, HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.



1:2004\04001\dwg\PHASE THREE FINALS\Permit-Site-Plans\04001-2006-NV-Per-Pl-Lot-69.dwg 11/20/2016 6:24:38 AM 1:30

BUILDER

NV HOMES INC.
 9720 PATUXENT WOODS
 COLUMBIA, MARYLAND 21046

OWNER

BV BUSINESS TRUST
 P.O. BOX 402
 LISBON, MARYLAND 21765-0402

PERMIT SITE PLAN
LOT 69
 12162 HAYLAND FARM WAY
WALNUT CREEK

ZONED: RC-DEO

TAX MAP NO.: 28 PARCEL NO. 49 GRID NO.: 17 & 18
 SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: NOV. 28, 2016

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2855

PLAN

SCALE: 1" = 30'

Approved R16005164
 1/19/17 RJC

B16005164

12162 Hayland Farm way

REGENT'S PARK II

AL-69
5 Bedrooms

Approved 1/19/17
RME



NVR, Inc.
Architectural Services
Architects
21 Byte Court, Suite A
Frederick, MD 21702

	FULL BASEMENT							CRAWL SPACE							ATTACHED GARAGE / ROOMS							STANDARD DETAILS					
	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'C'	ELEV. 'D'	ELEV. 'E'	ELEV. 'L'	STD. DWGS.	ELEV. 'A'	ELEV. 'B'	ELEV. 'C'	ELEV. 'D'	ELEV. 'E'	ELEV. 'K'	ELEV. 'L'	BEDROOM FIRST FLOOR	LIBRARY	MORNING ROOM	CONSERVATORY SUITE FIRST FLR	SITTING AREA / ALT. OWNERS	BEDROOM #5		BONUS ROOM	BONUS BEDROOM	4'x4' EXTENSION TO FAMILY ROOM		
SPEC SHEET	2							2																	D-1		
FRONT ELEVATIONS - SIDING		3	5	8					3	5	8														D-2		
FRONT ELEVATIONS - PARTIAL STONE			6	4	11		13			6	4	11		13											D-4		
FRONT ELEVATIONS - BRICK		4	7	10					4	7	10														D-5		
FRONT ELEVATIONS - STONE AND BRICK					12	14.1	14.2					12	14.1	14.2											D-5a		
SIDE ELEVATIONS		15	16	17	18	21	22	23	24	25.2		15	16	17	18	21	22	23	24	25.2							D-6
REAR ELEVATIONS		26	27	28	29	31	32	33	34	36.2		26	27	28	29	31	32	33	34	36.2							D-7
FOUNDATION		37	37	37	37	37	37	37	37	37		38	38	40	40	40	40	40	40	40							D-8c
FOUNDATION HOLD DOWN LAYOUT		42										42													D-8c		
PLUMBING GROUND WORKS		43	43	44	44	44	44	44	44	44		45	45	46	46	46	46	46	46	46						41	D-11
BASEMENT PLAN		47										47													D-12b		
FIRST FLOOR PLAN		48	48	50	50	50	50	50	50	50		48	48	50	50	50	50	50	50	50	50	51	52		48	D-12c	
SECOND FLOOR PLAN		54	54	55	55	55	55	55	55	55		54	54	55	55	55	55	55	55							D-13	
BUILDING SECTION AT FOYER		54										60													D-14		
BUILDING SECTION AT GARAGE		63										64													D-15		
STAIR PLAN - STANDARD		65.1, 65.2, 66										65.1, 65.2, 66													D-16		
STAIR PLAN - UPGRADE		66.1, 66.2, 67.1, 67.2, 67.3										66.1, 66.2, 67.1, 67.2, 67.3													D-16a		
STAIR PLAN - UPGRADE		69, 70.1, 70.2										69, 70.1, 70.2													D-17		
KITCHEN PLANS - CABINET HOOD B		71										71													D-17a		
KITCHEN PLANS - CABINET HOOD C		72										72													D-19		
KITCHEN PLANS - GOURMET		73										73													D-20		
INTERIOR DETAILS		78	79									78	79												D-21		
INTERIOR DETAILS - FIREPLACE		80	81									80	81												D-22		
INTERIOR DETAILS - TRIMMED OPENINGS		82.1, 82.2										82.1, 82.2													D-27		
INTERIOR DETAILS - BATH ELEVATIONS		83										83													D-29		
EXTERIOR DETAILS		84	85	86	87	88	89	90				84	85	86	87	88	89	90							D-30		
BASEMENT ELECTRICAL		92										92													D-31		
FIRST FLOOR ELECTRICAL		93	94	94	94	94	94	94	94	94		93	94	94	94	94	94	94	94	94	94	95	96		97	D-34	
SECOND FLOOR ELECTRICAL		98	99	99	99	99	99	99	99	99		98	99	99	99	99	99	99	99							D-35	
FIRST FLOOR JOIST LAYOUT		103		105	105	105	105					104		106	106	106	106									D-36	
SECOND FLOOR JOIST LAYOUT		107		109	109	109	109					107		109	109	109	109									D-37	
ROOF FRAMING		111	113	115	117	119	121	122.2				126		127	127	127	127	127	127							D-38b	
ROOF FRAMING - ALTERNATE OWNER'S SUITE		112	114	116	118	120	122.1	122.3				126		127	127	127	127	127	127							D-40	
TRUSS BRACING		128, 129, 130, 131, 132, 133, 134										128, 129, 130, 131, 132, 133, 134													D-40a		
BRACED HALL PANEL DETAIL		135	136									135	136												D-44		
BASEMENT HVAC LAYOUT		137.1, 137.2, 138										139													D-45		
CRAWL FLOOR HVAC LAYOUT												141													D-44b		
FIRST FLOOR HVAC LAYOUT		140.1, 140.2										141													SP-1		
FIRST FLOOR HVAC LAYOUT		142.1, 142.2										142.1, 142.2													SP-2		
SECOND FLOOR HVAC LAYOUT																									SEP-1		
																									SEP-2		
																									SEP-3		
																									SEP-4		
																									F-1		

BASE SQUARE FOOTAGE

FIRST FLOOR	GROSS SQ. FT.	2111
SECOND FLOOR	GROSS SQ. FT.	1844
HOUSE TOTAL	GROSS SQ. FT.	3955

ELEVATIONS SQ. FT.

ELEVATION 'B'	GROSS SQ. FT.	+0
ELEVATION 'C'	GROSS SQ. FT.	+96
ELEVATION 'D'	GROSS SQ. FT.	+84
ELEVATION 'E'	GROSS SQ. FT.	+118
ELEVATION 'K'	GROSS SQ. FT.	+0
ELEVATION 'L'	GROSS SQ. FT.	+96

ADDITIONAL SQ. FT.

MORNING ROOM		
W/ NO SECOND FLOOR	GROSS SQ. FT.	+240
W/ SITTING AREA	GROSS SQ. FT.	+384
W/ ALT. OWNER'S SUITE	GROSS SQ. FT.	+452
4' EXTENSION		
W/ NO BONUS RM. /BDRM.	GROSS SQ. FT.	+194
BONUS RM. / BEDROOM		
W/ NO EXTENSION	GROSS SQ. FT.	+326
W/ 4' EXTENSION	GROSS SQ. FT.	+514
CONSERVATORY / IN-LAW'S SUITE		
W/ 4-BEDROOM	GROSS SQ. FT.	+352
W/ 5-BEDROOM	GROSS SQ. FT.	+104

MAXIMUM FINISHED SQ. FT.

HOUSE TOTAL	GROSS SQ. FT.	5143
**MAXIMUM SQ. FT. DOES NOT INCLUDE BASEMENT		

FINISHED BASEMENT SQ. FT.

RECREATION ROOM	GROSS SQ. FT.	1110
W/ MORNING ROOM	GROSS SQ. FT.	+240
W/ 4' EXTENSION	GROSS SQ. FT.	+94
W/ MOR RM & 4' EXTEN	GROSS SQ. FT.	+334
HOME OFFICE	GROSS SQ. FT.	248
EXERCISE RM. ('A', 'B', 'K')	GROSS SQ. FT.	218
EXERCISE RM. ('C', 'L')	GROSS SQ. FT.	238
EXERCISE RM. ('D')	GROSS SQ. FT.	248
EXERCISE RM. ('E')	GROSS SQ. FT.	249
MEDIA RM. ('A', 'B', 'D', 'K')	GROSS SQ. FT.	402
MEDIA RM. ('C', 'L')	GROSS SQ. FT.	430
MEDIA RM. ('E')	GROSS SQ. FT.	433
BASEMENT BATH	GROSS SQ. FT.	57

UNFINISHED SQ. FT.

TWO CAR GARAGE (W/ 'A')	GROSS SQ. FT.	554
THREE CAR GARAGE (W/ 'A')	GROSS SQ. FT.	824

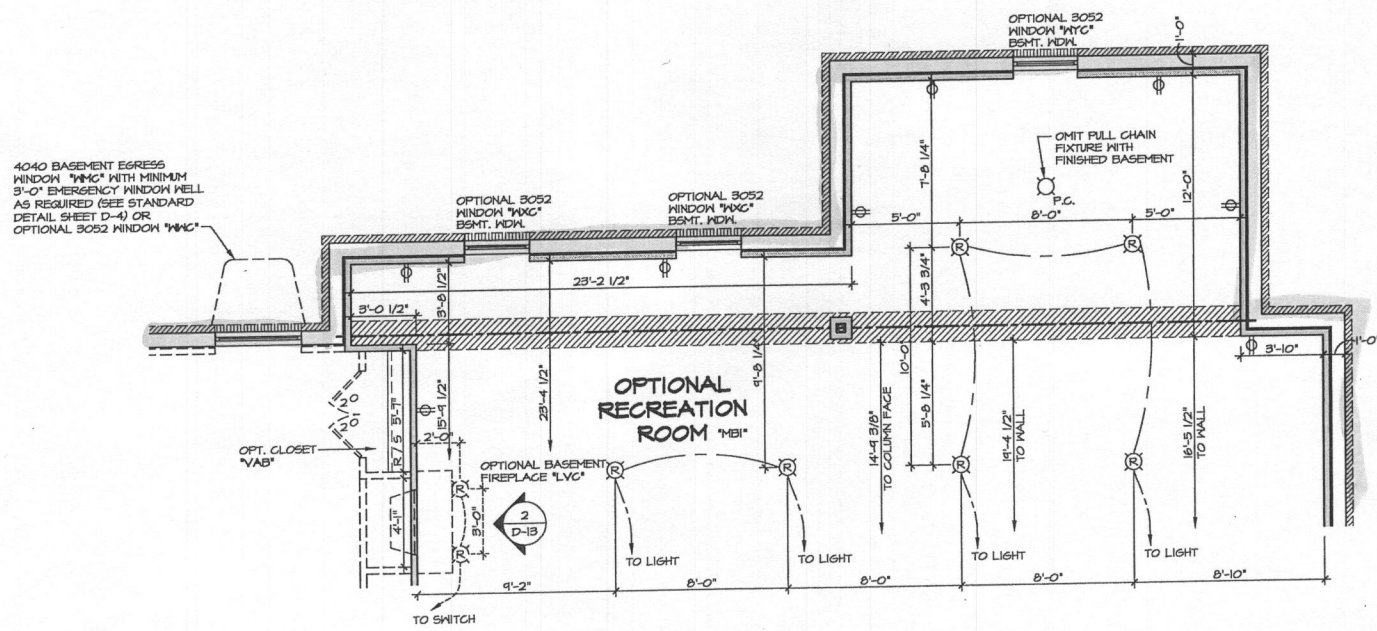
FOOTPRINT

BASE HOUSE:	
WIDTH:	60'-0"
DEPTH:	52'-0"
MAXIMUM:	
WIDTH:	76'-8"
DEPTH:	76'-8"

SET - VERSION
10200-01

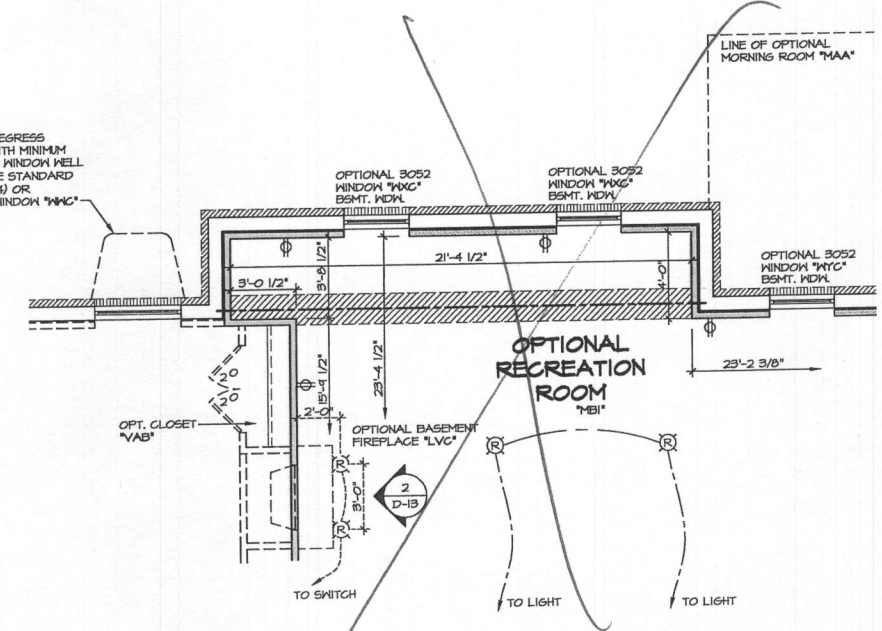
CS-1

J:\309\309\DETACHED\REGENTS PARK II\10200_01.CS1.dwg 11/21/14 - 4:05 pm



2 BASEMENT PLAN PARTIAL
 SCALE: 1/4" = 1'-0"
 OPTIONAL RECREATION ROOM "MBI"
 W/ MORNING ROOM ABOVE "MAA"
 AND 4'-0" FAMILY ROOM EXTENSION
 "EEN"

NOTE:
 1. ELECTRICAL PLAN FOR ELECTRICAL DATA ONLY
 2. LOCATION OF ELECTRICAL FEATURES
 ARE APPROXIMATE
 3. INCLUDE ADDITIONAL OUTLET AT PANEL BOX
 LOCATION AS REQUIRED
 4. OPTIONAL PENDANT LIGHTING TO BE 30"-36"
 ABOVE COUNTERTOP
 5. OPTIONAL UNDER CABINET LIGHTS:
 SEE KITCHEN LAYOUT DRAWING FOR
 WALL CABINET SIZES AND LOCATION



1 BASEMENT PLAN PARTIAL
 SCALE: 1/4" = 1'-0"
 OPTIONAL RECREATION ROOM "MBI"
 W/ 4'-0" FAMILY ROOM EXTENSION
 "EEN"

ELECTRICAL LEGEND			
⊕	SINGLE POLE SWITCH	⊕	EXHAUST FAN MOTOR WITH LIGHT
⊕	THREE WAY SWITCH	⊕	DOOR CHIME
⊕	FOUR WAY SWITCH	⊕	LIGHT FIXTURE - WALL MOUNTED
⊕	DUPLEX RECEPTACLE	⊕	LIGHT FIXTURE - CEILING MOUNTED
⊕	DUPLEX RECEPTACLE - BOTTOM HALF SWITCHED	⊕	LIGHT FIXTURE - RECESSED
⊕	DUPLEX RECEPTACLE - FLOOR MOUNTED	⊕	LIGHT FIXTURE - RECESSED WEATHER PROOF
⊕	RECEPTACLE - 220V	⊕	LIGHT FIXTURE - HANGING
⊕	DUPLEX RECEPTACLE - GROUND FAULT INTERRUPT	⊕	LIGHT FIXTURE - PENDANT
⊕	DUPLEX RECEPTACLE - WEATHER PROOF AND GROUND FAULT INTERRUPT	⊕	LIGHT FIXTURE - FLUORESCENT
⊕	SMOKE DETECTOR - WIRED IN SERIES	⊕	LIGHT FIXTURE - UNDER CABINET LIGHT
⊕	CARBON MONOXIDE DETECTOR	⊕	PULLCHAIN LAMPHOLDER
⊕	EXHAUST FAN MOTOR	⊕	KEYLESS LAMPHOLDER

NOTE:
 ALL ELECTRICAL PLANS ARE SCHEMATIC ONLY AND NOT INTENDED AS ENGINEERED DRAWINGS. THESE PLANS REPRESENT THE DESIGN INTENT FOR SWITCH AND RECEPTACLE LOCATIONS. ADDITIONAL INFORMATION, IF REQUIRED, SHALL BE PROVIDED BY A LICENSED ELECTRICAL SUBCONTRACTOR OR ENGINEER.

WITH OPTION "SCI" - DRYWALL UNFINISHED BASEMENT CEILING AREA
NOTES:
 • 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
 • A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"X8'-0" CEILING SPACE ABOVE MECHANICAL AREA)
 • PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

NOTES:
 1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILINGS.
 4. ALL GATED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
 SEE SHEET 5-5 FOR BRACED WALL PANEL LOCATIONS

SHEET NO. A-6b	MODEL REGENT'S PARK II	DRAWING TITLE BASEMENT FLOOR PLAN PARTIALS	OPTION DESCRIPTION 4'-0" EXTENSION TO FAMILY ROOM MORNING ROOM	DATE 11/05/13	DRAWN BY CHB	SET NO. 10200	VERSION 01	REV. NO.	DATE	REVISIONS
								1	8/29/14	CEL - INTERNAL ADIT
				2	2/24/15	CLS - ADDED NOTE FOR SCI OPTION (PAR ID 3197)				

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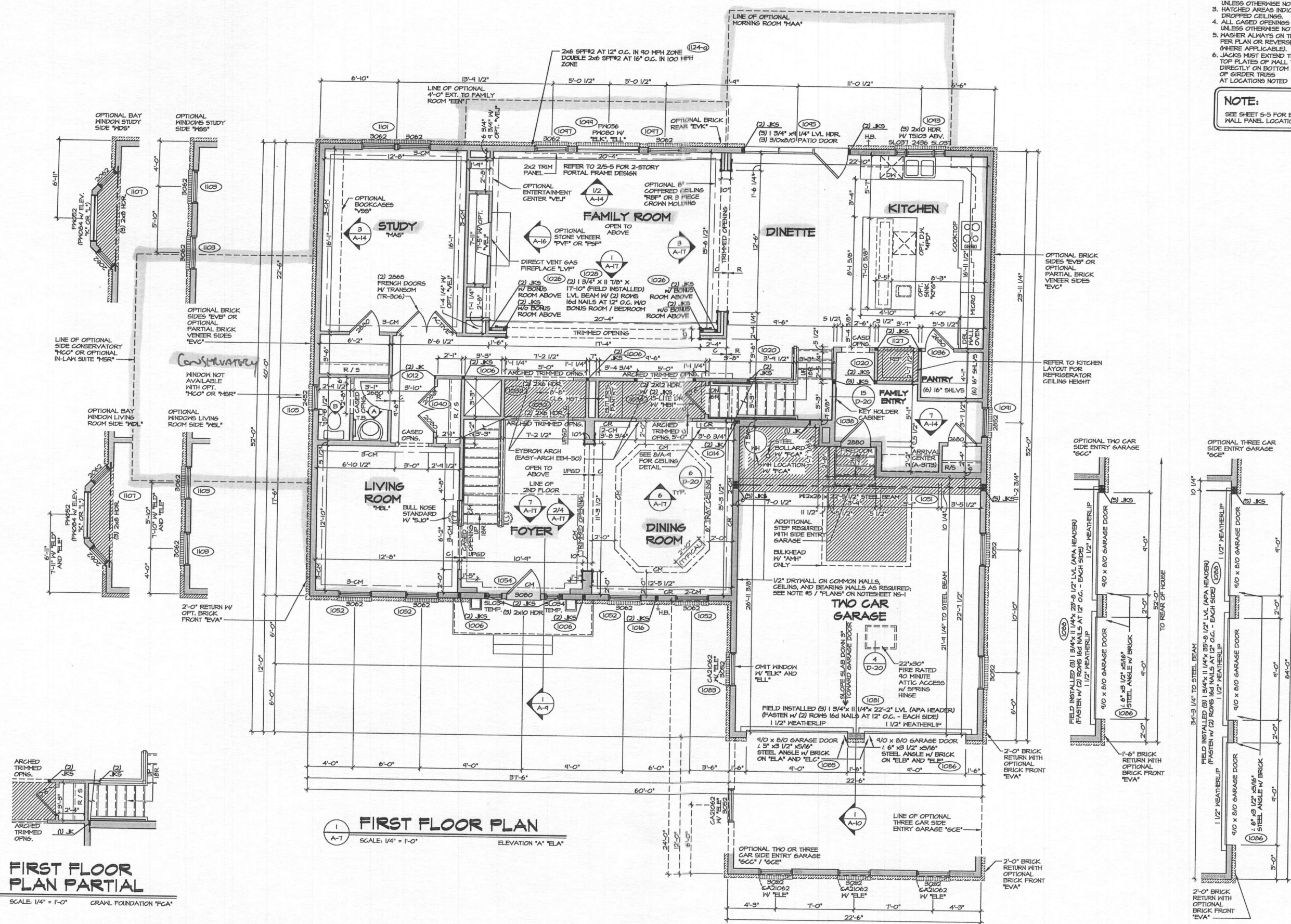
NVR
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 21 Bay Court, Suite A
 Frederick, MD 21702

DATE PLOTTED: 09/01/15 2:34 PM
 FILE: J:\DWG\DETACHED\REGENT'S PARK II\10200-01A\BSMTF5.dwg

0 Bedrooms

- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILING.
 5. ALL CASING OPENINGS AT 8'-3", UNLESS OTHERWISE NOTED.
 6. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 7. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET 5-5 FOR BRACED WALL PANEL LOCATIONS



REVISIONS

REV. NO.	DATE	REMARKS
1	5/20/05	ISSUE - PAR 9595 - ADDED 2x2 TRIM PANEL IN FAMILY ROOM TO FLOOR PLAN
2	6/6/05	6/E - PLANT BUILT ARRIVAL CENTER PROJECT
3	9/1/05	6/E - AUDIT REVISIONS
4	9/22/06	6/E - ADDED ADDITIONAL RISER AT GARAGE PAR 95662
5	10/17/04	6/E - ADDED MEDITERRANEAN TRIM
6	10/17/04	6/E - ADDED NOTE TO SEE 6/A-4 AT BASEMENT STAIRS (PAR 92858)
7	1/14/05	6/E - ADDED OPT. DIMENSIONS FOR 'ELA' PAR 2481
8	4/20/05	6/E - PAR 92910 - ADDED ATTIC ACCESS TO GARAGE
9	4/20/05	6/E - ADDED TEMP. TO FRONT POOR SIDELIGHTS (PAR 92963)

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MODEL: **REGENT'S PARK II**

SHEET NO. **A-7**

SET NO. **10200**

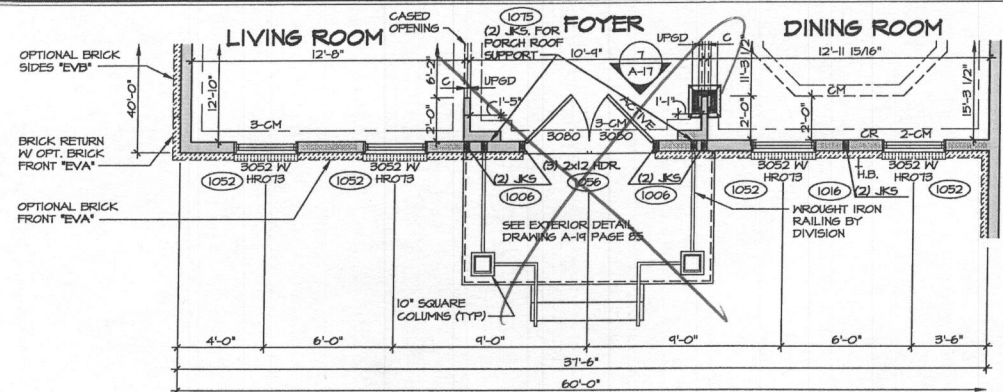
VERSION **01**

DRAWN BY **JEA**

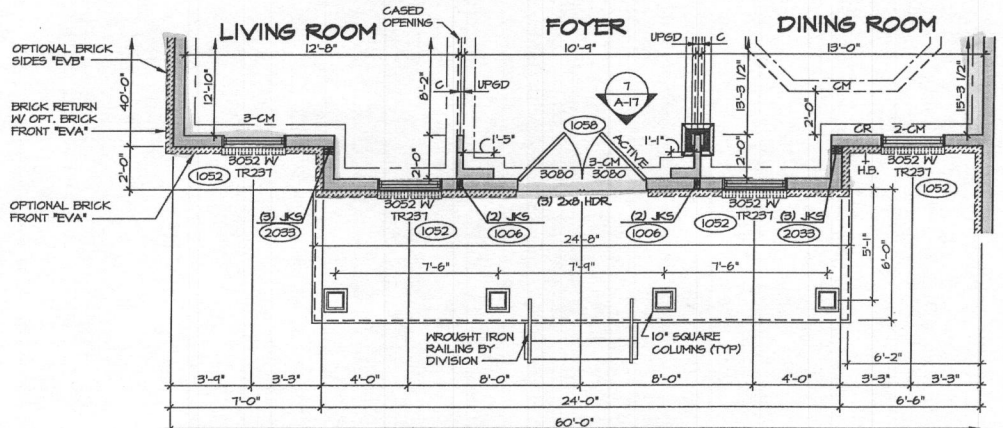
DATE: **9/14/05**

OPTION DESCRIPTION: **MEDITERRANEAN TRIM**

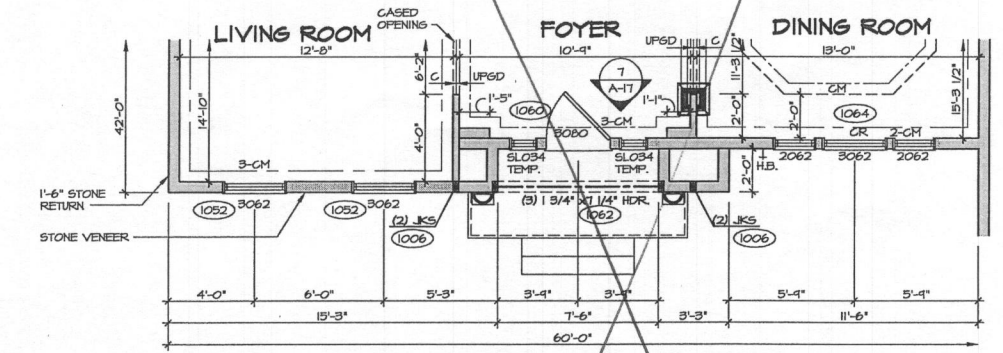
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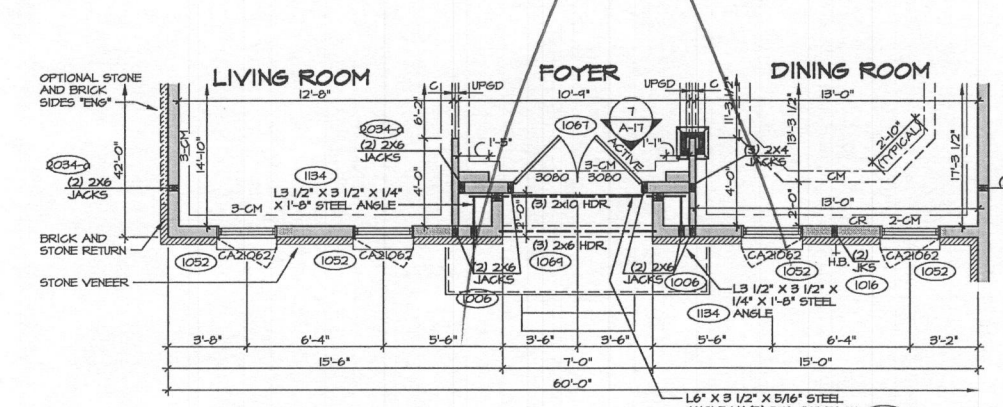
1 FIRST FLOOR PLAN PARTIAL
 SCALE: 1/4" = 1'-0"
 ELEVATION "B" "ELB"



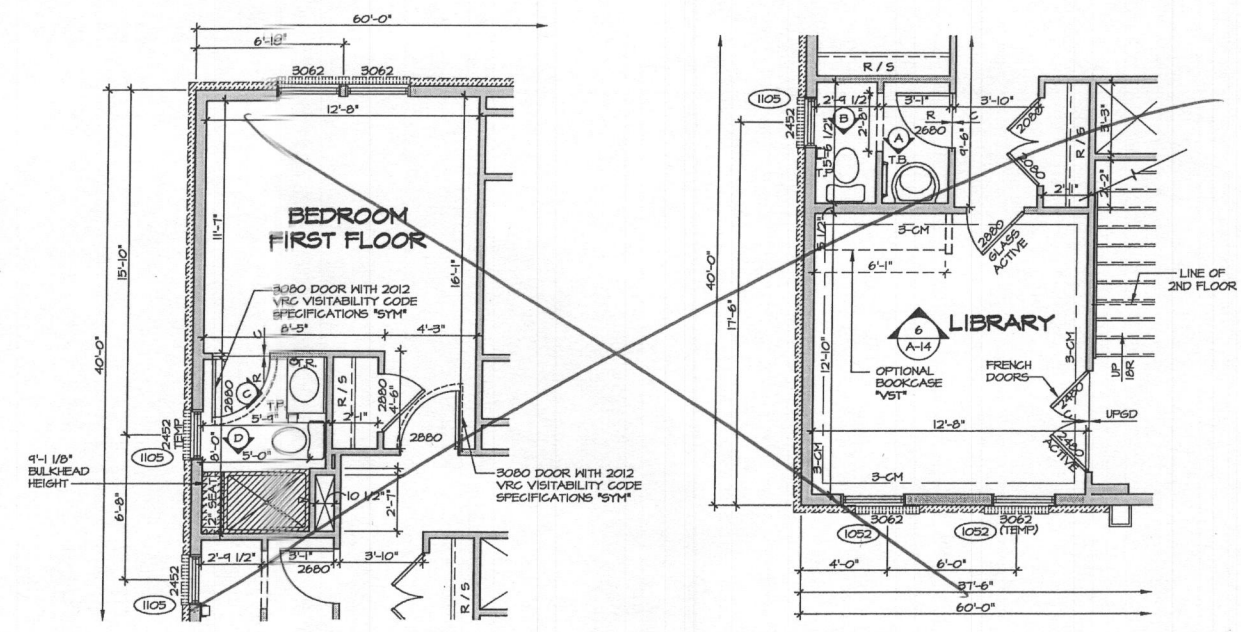
2 FIRST FLOOR PLAN PARTIAL
 SCALE: 1/4" = 1'-0"
 ELEVATION "C" "ELC"



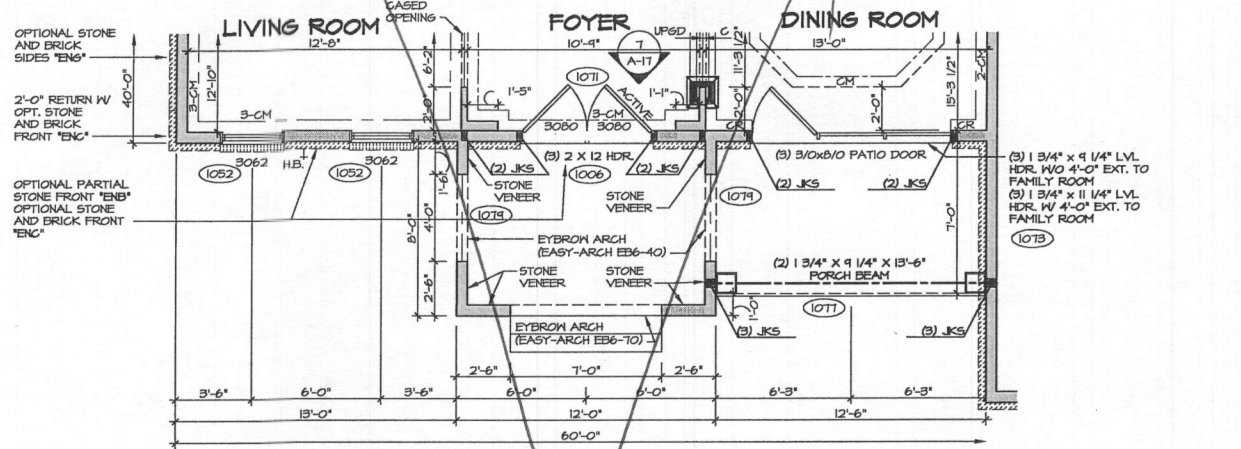
3 FIRST FLOOR PLAN PARTIAL
 SCALE: 1/4" = 1'-0"
 ELEVATION "D" "ELD"



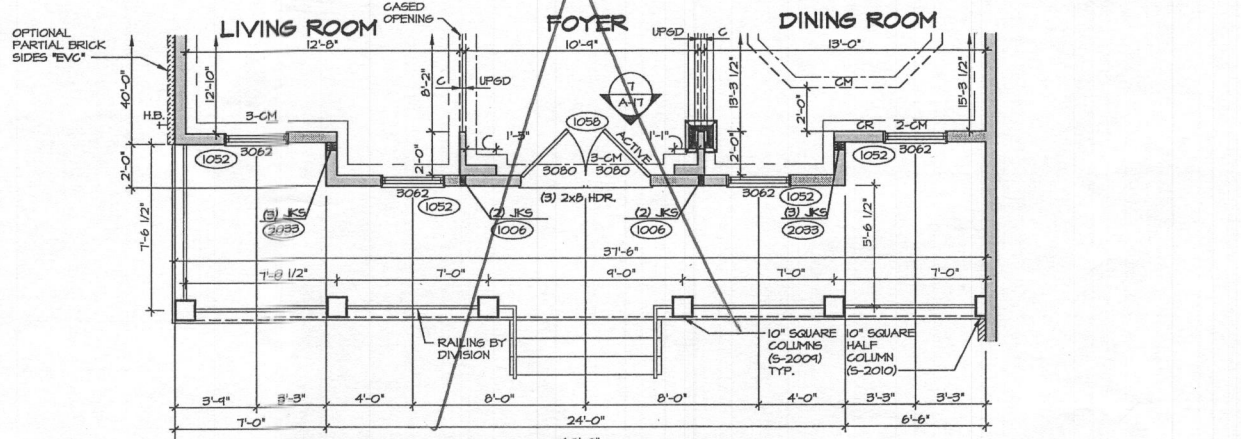
4 FIRST FLOOR PLAN PARTIAL
 SCALE: 1/4" = 1'-0"
 ELEVATION "E" "ELE"



7 FIRST FLOOR PLAN PARTIAL SCALE: 1/4" = 1'-0"
8 FIRST FLOOR PLAN PARTIAL SCALE: 1/4" = 1'-0"
 ELEVATION "A" "ELA"



5 FIRST FLOOR PLAN PARTIAL
 SCALE: 1/4" = 1'-0"
 ELEVATION "K" "ELK"



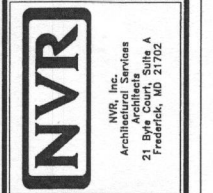
6 FIRST FLOOR PLAN PARTIAL
 SCALE: 1/4" = 1'-0"
 ELEVATION "L" "ELL"

- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILINGS.
 4. ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.
 5. ALL HEADERS ARE AT T-0 1/2", UNLESS OTHERWISE NOTED.
 6. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 7. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
 SEE SHEET 5-5 FOR BRACED WALL PANEL LOCATIONS

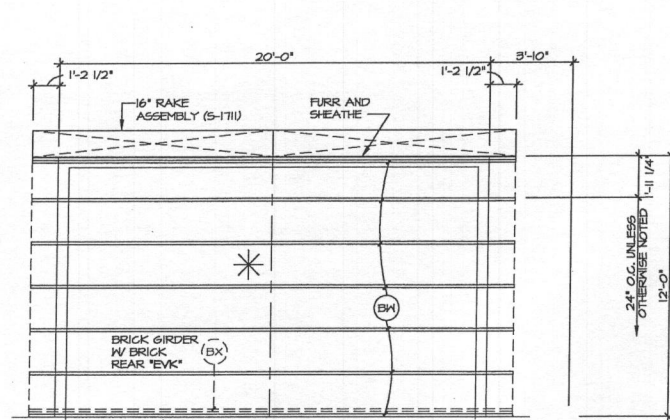
REV. NO.	DATE	REMARKS
1	2/10/16	194H - BOY FAMILY RM WALLS ON BEDRM PARTIAL PAR 8T10T
2	4/25/14	194A - REVISED TRIMMED OPENINGS
3	10/10/10	194B - INTERIOR PER PAR 8T10T / 8T10B
4	10/21/14	194C - INTERNAL ASST
5	4/20/15	194D - 2011 - REVISED BRICK AND STONE SETTING
6	4/20/15	194E - 174K 02462 - ADDED TRIP TO 2492 IN BATH
7	4/20/15	194F - ADDED TRIP TO FRONT DOOR SILLLIGHTS (PAR 829665)
8	8/27/15	194G - REVISED E.L.E. "B" & "C" PORCH COLUMNS TO 56WAVE PER DMR #102
9	8/27/15	194H - 2015 VA CODE CHANGE UPDATE

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SET NO. 10200
 VERSION 01
 DRAWN BY JEA
 DATE: 3/14/15

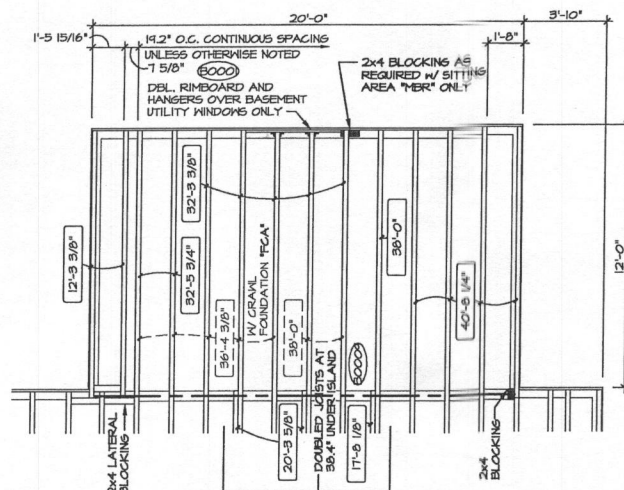
MODEL: **REGENT'S PARK II**
 DRAWING TITLE: **FIRST FLOOR PLAN PARTIAL**
 OPTION DESCRIPTION:
 ELEVATION "B", ELEVATION "C", ELEVATION "D", ELEVATION "E", ELEVATION "K", ELEVATION "L", LIBRARY, BEDROOM FIRST FLOOR
 SHEET NO. **A-7D**
 50
 NVR, INC. DETACHED REGENT'S PARK II 10200-01.VP1 - EL.dwg 02/18/15 - 8:18 am



6 ROOF FRAMING PARTIAL
SCALE: 1/4" = 1'-0" MORNING ROOM "MAA"

ROOF VENTILATION (A300)

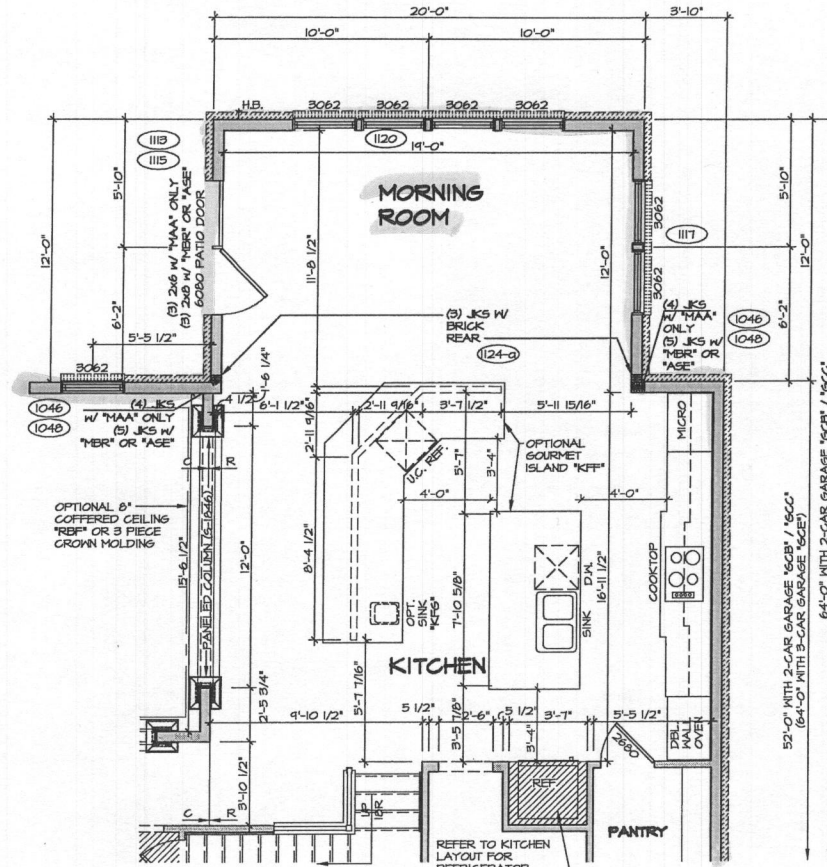
TOTAL PLAN AREA	426.87 SQ./N.
TOTAL VENTILATION REQ'D.	142 SQ./N.
ACTUAL VENTILATION:	
RIDGE VENT.	262 SQ./N.
ROOF VENT - HIGH	50./N.
SOFFIT VENT.	72 SQ./N.
ROOF VENT - LOW	50./N.
ACTUAL VENTILATION TOTAL	394 SQ./N.



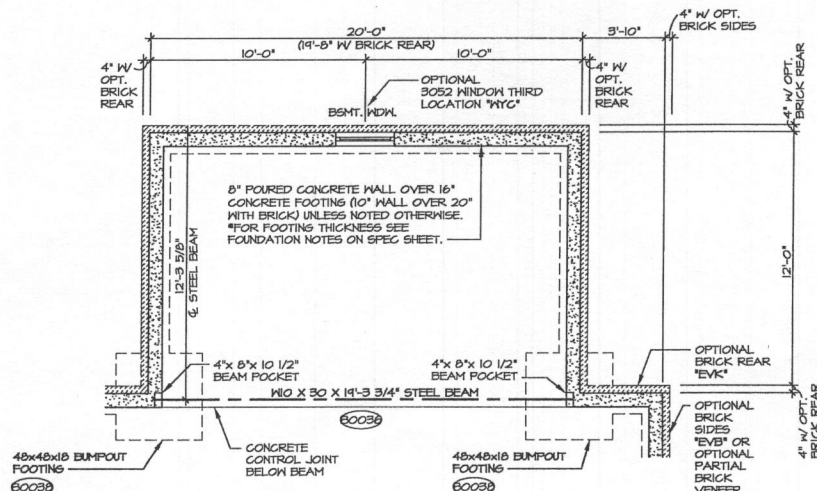
5 PARTIAL FRAMING PLAN
SCALE: 1/4" = 1'-0" OPT. MORNING ROOM "MAA"

- NOTES:
- ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 - ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING.
 - ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 - JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

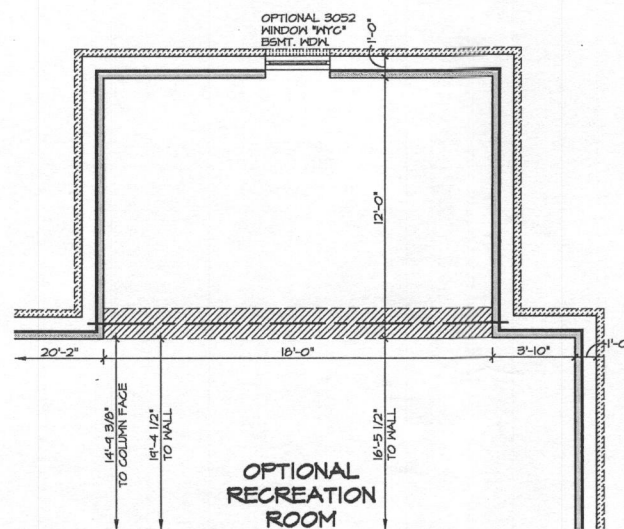
NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS



7 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0" OPTIONAL MORNING ROOM "MAA" OPTIONAL GOURMET ISLAND "KFF"



1 FOUNDATION PLAN PARTIAL
SCALE: 1/4" = 1'-0" FULL BASEMENT FOUNDATION "FBA" OPTIONAL MORNING ROOM "MAA"



3 BASEMENT PLAN PARTIAL
SCALE: 1/4" = 1'-0" OPTIONAL RECREATION ROOM "WB" W/ MORNING ROOM ABOVE "MAA"

CRAWL VENTILATION:

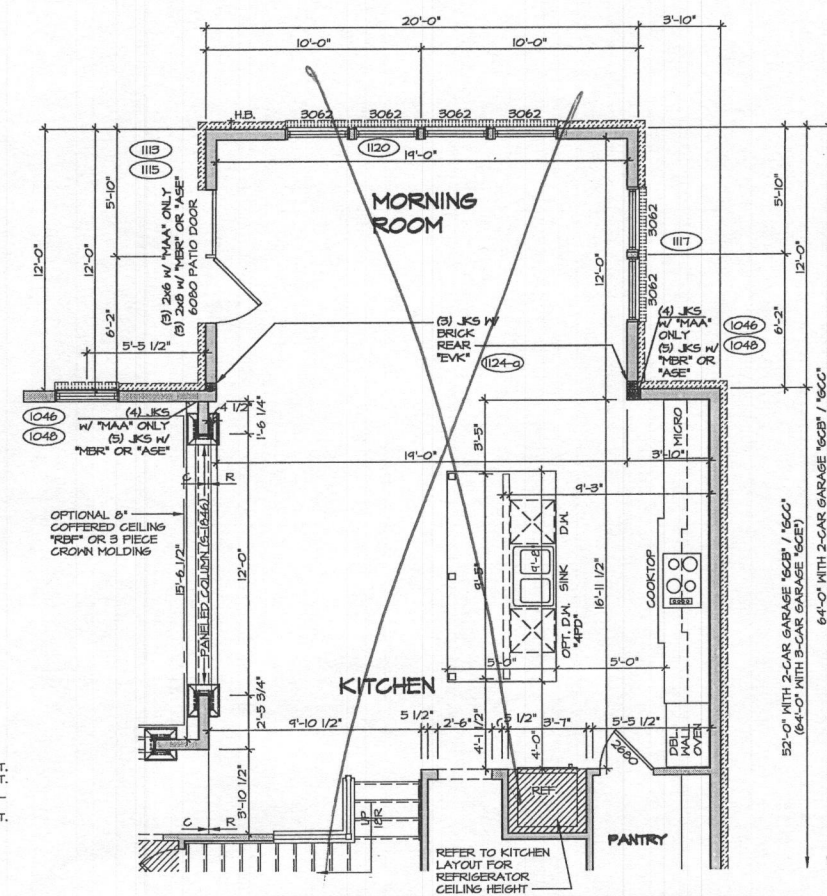
ALL VENTILATION CALCULATIONS AND GRAPHICS ARE CALCULATED WITH THE FOLLOWING FORMULAS AND ASSUMING A MINIMUM VENT AREA OF 42 SQ. FT.:

- AREA IN SQ. FT. / 1500 = SQ. FT. OF VENTILATION REQUIRED.
- SQ. FT. OF VENTILATION REQUIRED / 42 = MINIMUM NUMBER OF VENTS NEEDED.
- NUMBER OF VENTS ON DRAWING X 42 = ACTUAL VENTILATION.

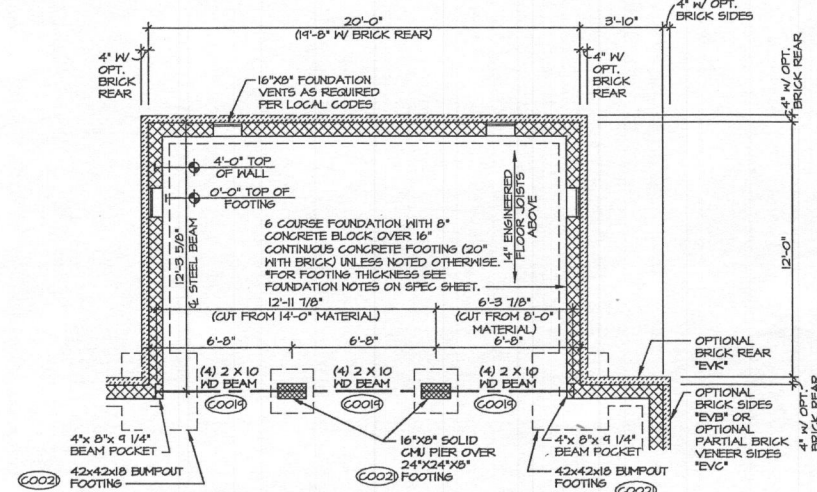
NOTE: FOR MORE INFORMATION SEE SPEC SHEET.

MORNING ROOM

TOTAL CRAWL AREA	224.75 SQ. FT.
TOTAL VENTILATION REQUIRED	.15 SQ. FT.
REQUIRED NUMBER OF VENTS	1
ACTUAL NUMBER OF VENTS	4
ACTUAL VENTILATION	1.60 SQ. FT.



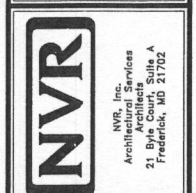
4 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0" OPTIONAL MORNING ROOM "MAA"



2 FOUNDATION PLAN PARTIAL
SCALE: 1/4" = 1'-0" CRAWL SPACE FOUNDATION "FCA" OPTIONAL MORNING ROOM "MAA"

REVISIONS

REV. NO.	DATE	DESCRIPTION
1	2/10/19	SMX - REVISED KITCHEN ISLAND W/ OPTION "KFF" PAR 30752
2	6/10/19	DOB - ADIT REVISIONS
3	9/7/14	A/H - PAR 42920 (ASPED U.G. REP. TO PLAN)
4	9/27/14	DAG - ADIT REVIEW
5	6/19/14	DEB - ADDED HOSE BIE LOCATIONS
6	8/29/14	CEL - INTERNAL ADIT
7	9/29/14	DRA - REVISED TRIMMED OPENINGS
8	9/29/14	CAB - REVISED ISLAND DIM. TO MATCH KITCHEN DIM. PAR 2114



MODEL: REGENT'S PARK II

SHEET NO. A-7C

VERSION 01

DRAWN BY: JEA

DATE: 9/14/19

OPTION: MAA

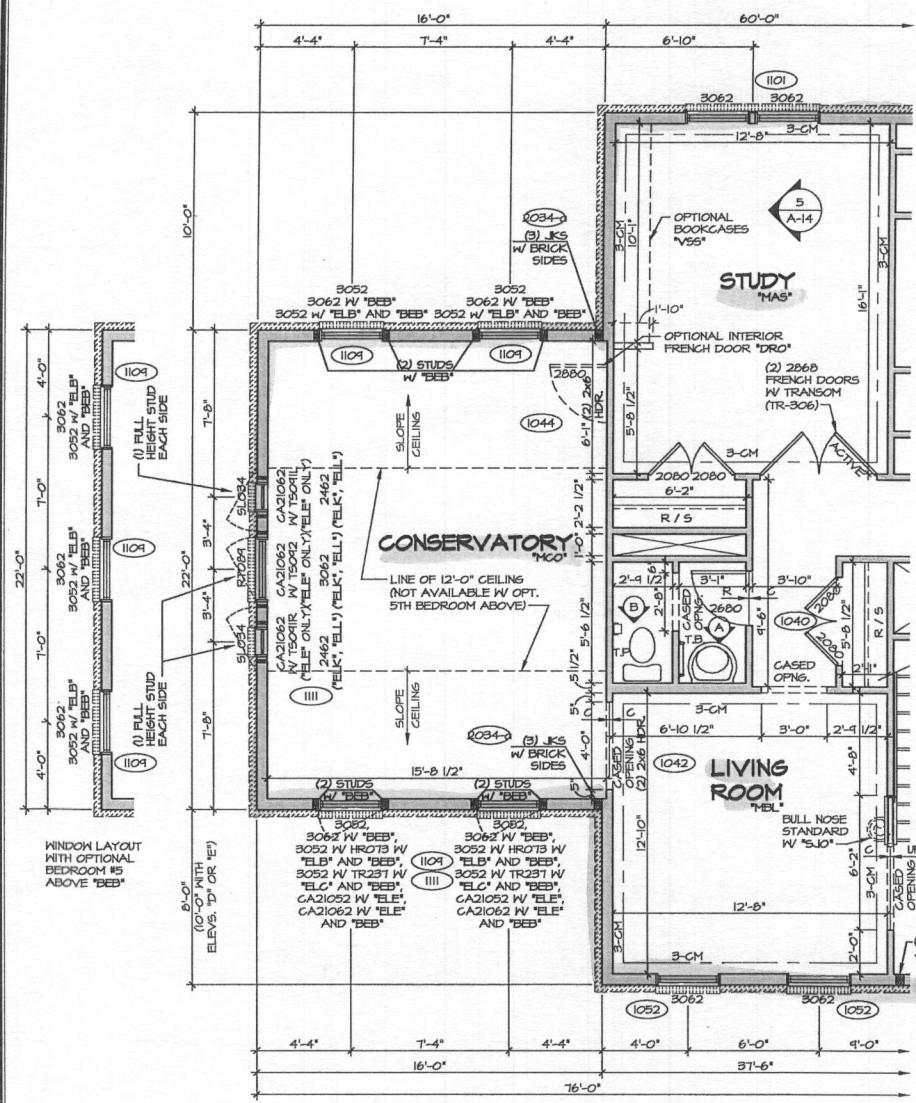
FLOOR PLAN PARTIAL

MORNING ROOM

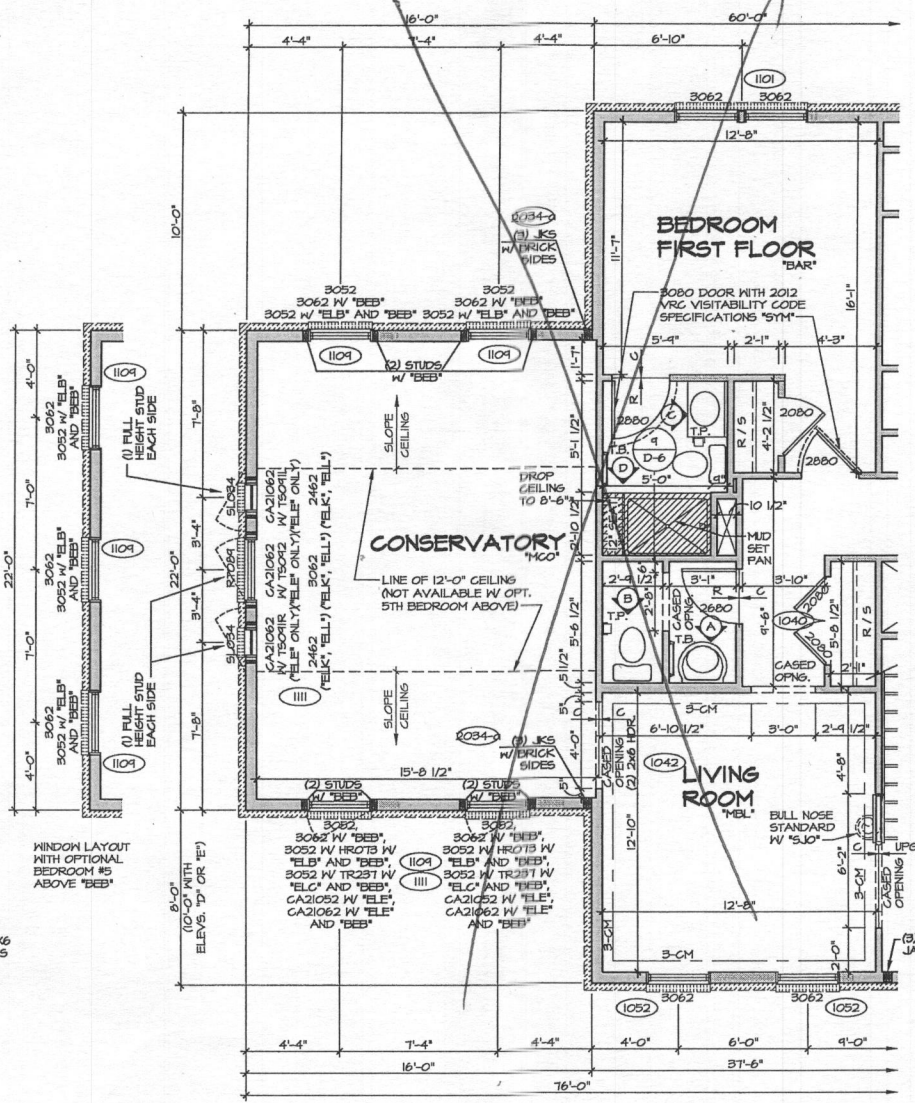
51

- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 4. ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
 5. HATCHED AREAS INDICATE DROPPED CEILING.
 6. ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
 7. HATCHER ALWAYS ON THE LEFT FOR PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 8. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

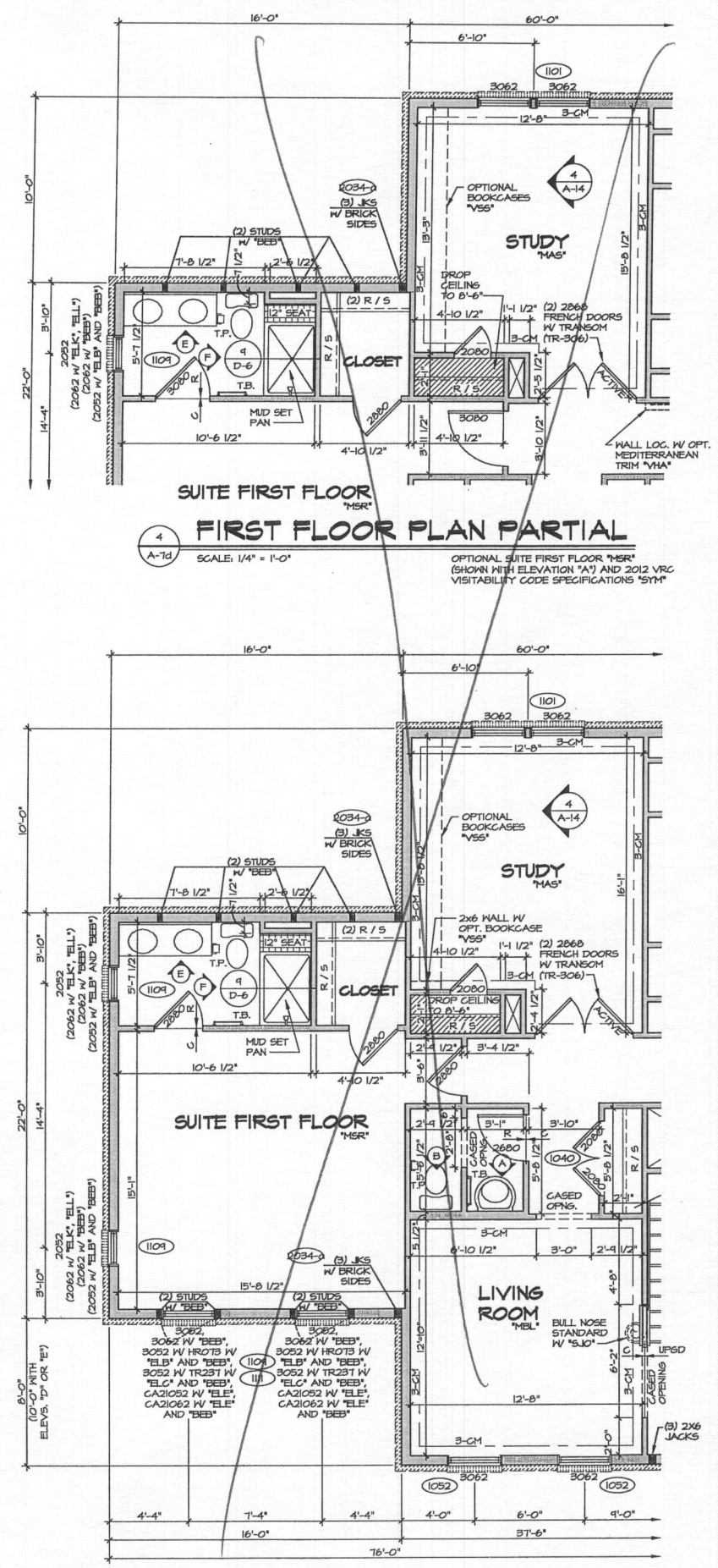
NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS



1 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL CONSERVATORY "MCO"
(SHOWN WITH ELEVATION "A")



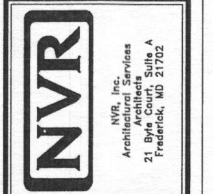
2 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL CONSERVATORY "MCO"
W/ OPTIONAL BEDROOM FIRST FLOOR "BAR"
(SHOWN WITH ELEVATION "A")



3 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL SUITE FIRST FLOOR "MSR"
(SHOWN WITH ELEVATION "A") AND 2012 VRC VISIBILITY CODE SPECIFICATIONS "SYM"

REV. NO.	DATE	REMARKS
1	4/29/15	LS - REV. CENTER GABLE WINDOW OF CONSERVATORY TO ROOM (PAR #3296)
2	10/29/15	BEF - 2012 VRC CODE UPDATES
3	12/24/14	BSA - ADDED ELEVATION "1"
4	4/20/14	MS - PRAXIS TB CONVERSIONS
5	3/27/14	DA6 - ADIT REVIEW
6	3/27/14	DA6 - QUALITY CHECK
7	3/27/14	BE6 - ADDED NOTE THAT BULL NOSE IS STANDARD W/ "5.0" OPTION
8	4/22/14	BE6 - REVENDED FRONT AND SIDE WINDOW SIZE W/ "TELB" AND "BEB"
9	10/10/10	CAB - REVISIONS PER PAR #7487

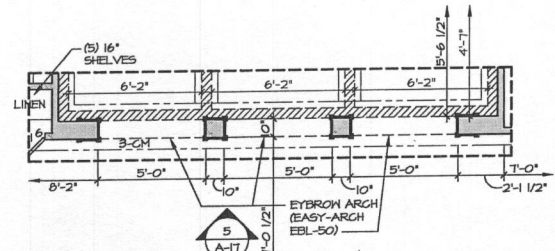
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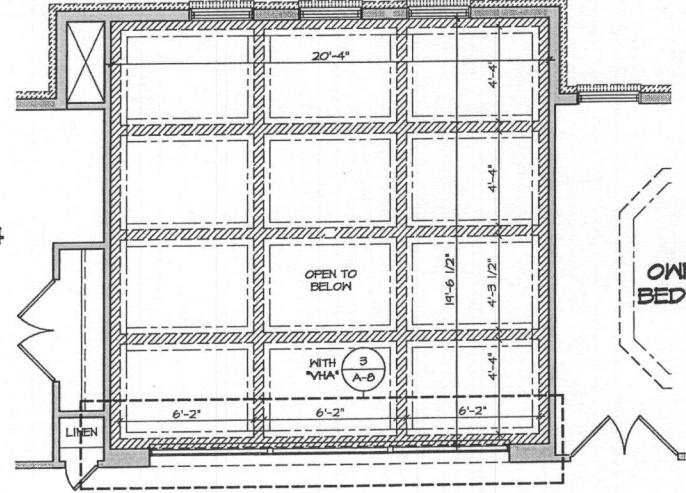
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21 Bye Court, Suite A
Frederick, MD 21702

MODEL	REGENT'S PARK II
DRAWING TITLE	FIRST FLOOR PLAN PARTIAL
VERSION	01
DRAWN BY	JEA
DATE	9/14/13
OPTION	CONSERVATORY
SUITE FIRST FLOOR	MSR
SHEET NO.	A-7d
52	

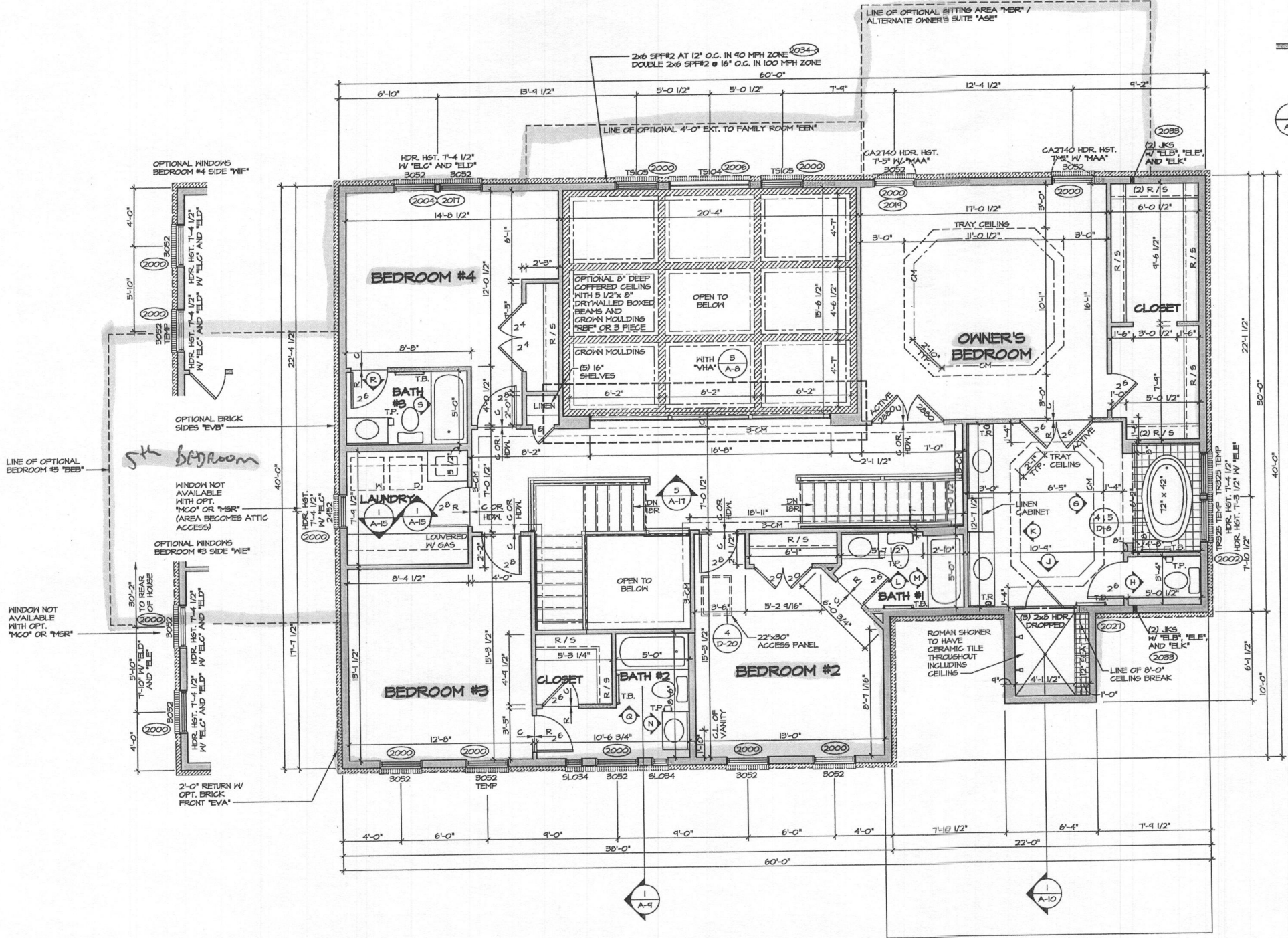
5 Bedrooms



3 SECOND FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL MEDITERRANEAN TRIM "MHA"



2 SECOND FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL COFFERED CEILING "REF" AND 4'-0" EXTENSION TO FAMILY ROOM "EEN"



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION 'A' 'ELA'

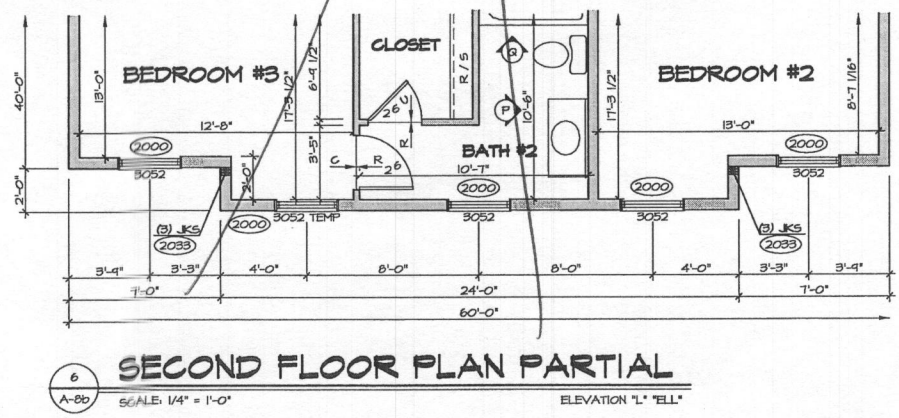
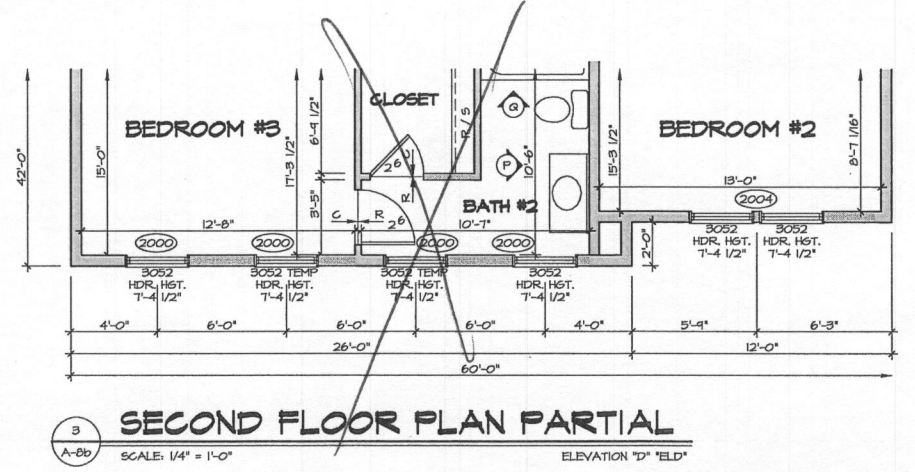
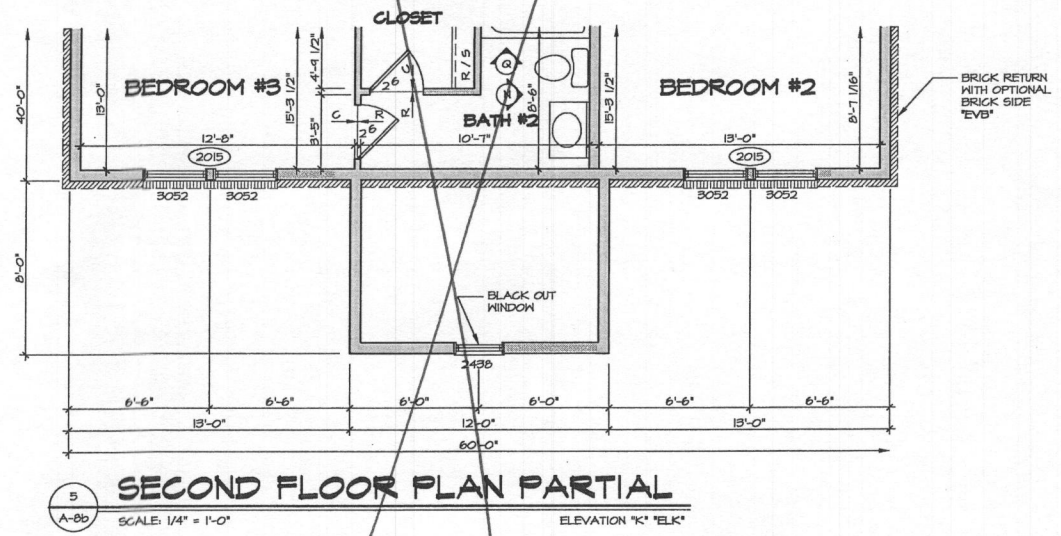
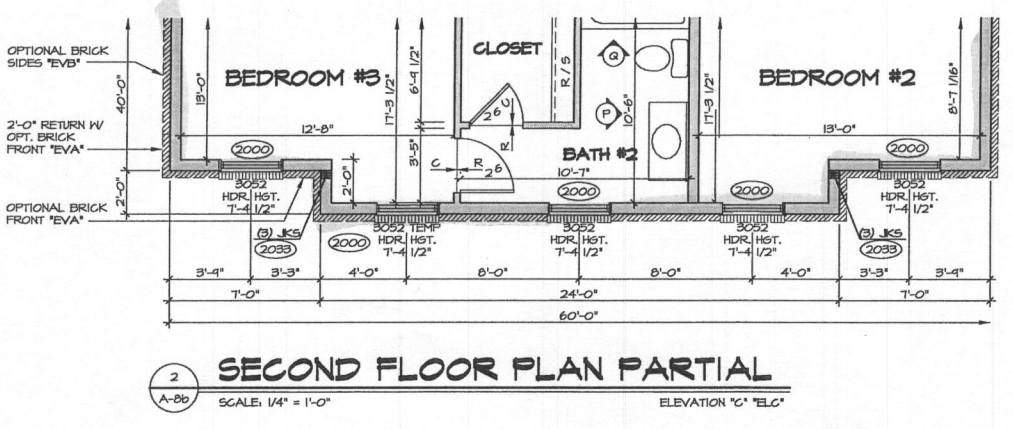
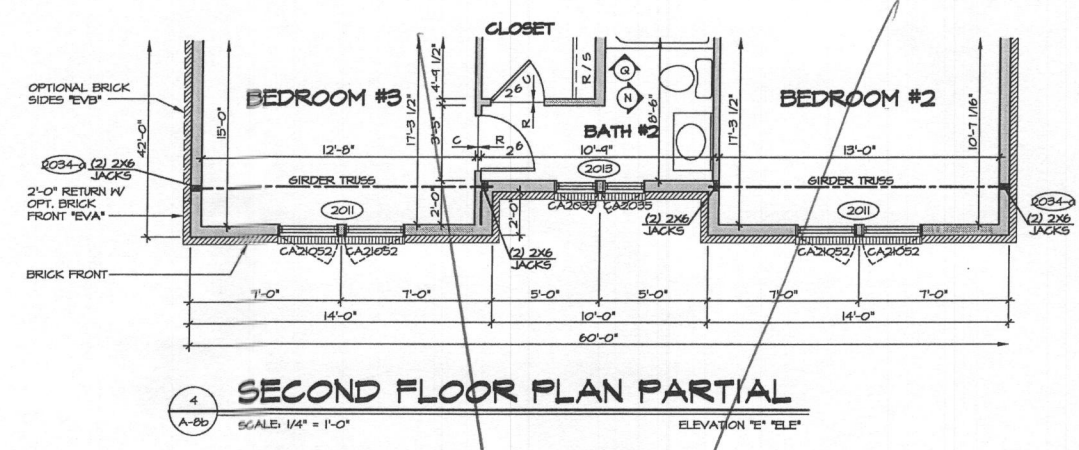
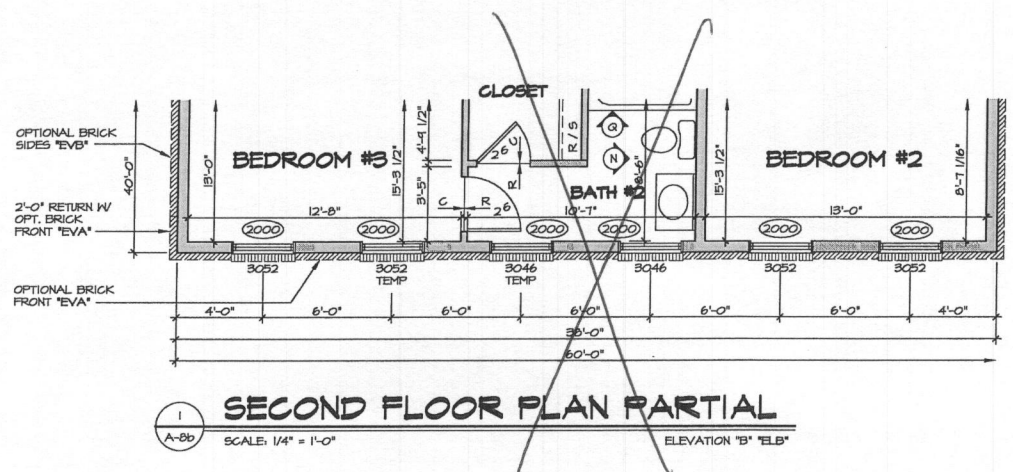
- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILING.
 5. ALL CASED OPENINGS AT 6'-11", UNLESS OTHERWISE NOTED.
 6. MASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REVISIONS
1	9/15	DOB - AUDIT REVISIONS
2	9/25/14	DPA - ADDED MEDITERRANEAN TRIM
3	10/26/14	R/S - INCREASE LAUNDRY BY 2', DECREASING BRK AND B4 (2B26-4)
4	10/26/14	L/S - SHORTENED REAR STAIRS 10' (FOUND THRU PAR #2915)
5	11/14	C/SB - TRIM AUDIT REVISIONS
6	2/10/15	BP/A - ADDED DETAIL BUBBLE FOR TUB ACCESS PANEL PAR 90252
7	3/10/15	BBB - ADDED PAD MALL TO OWNERS SHOWER
8	4/20/15	BBB - PAR #2486 - CENTERED DOOR TO LAUNDRY ROOM
9	5/8/15	BBB - SHIFTED LAUNDRY / BATH TO ACCOMMODATE DOOR TRIM (PAR #2655)

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Frederick, MD 21702

SHEET NO.	10200
VERSION	01
DRAWN BY	DPA
DATE	9/14/13
OPTION	
SHEET TITLE	REGENT'S PARK II SECOND FLOOR PLAN
OPTION DESCRIPTION	
SHEET NO.	A-8
54	

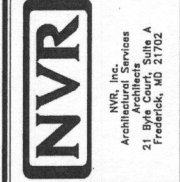


- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 6. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
 SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	REMARKS
1	1/19/13	BEB - MARKETING REVISIONS
2	1/24/14	SEA - ADDED ELEVATION "L"
3	10/24/14	BEK - DECREASE BESS BT.T. FOR ENLARGING LAUNDRY ROOM (26264)
4	11/24/14	BEF - INTERIOR ADIT
5	1/27/15	CEL - ADIT - REVERSE THE DIRECTION IN BATH #2
6	4/29/15	BEB - MODIFIED BATH #2 VANITY FROM 48" TO 42" TO MATCH BATH ELEVATIONS
7	9/09	DOB - ADIT REVISIONS

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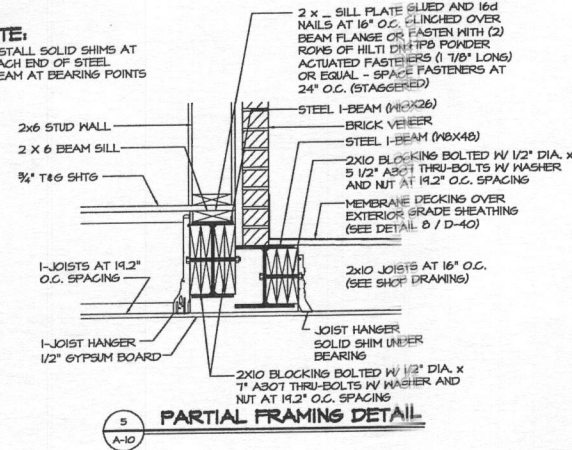
SET NO. 10200	VERSION 01	DATE: 5/14/13
MODEL: REGENT'S PARK II	DRAWN BY: JEA	OPTION: ELB, ELC, ELD, ELK, ELL

SHEET NO. A-8b	SECOND FLOOR PLAN PARTIAL
55	

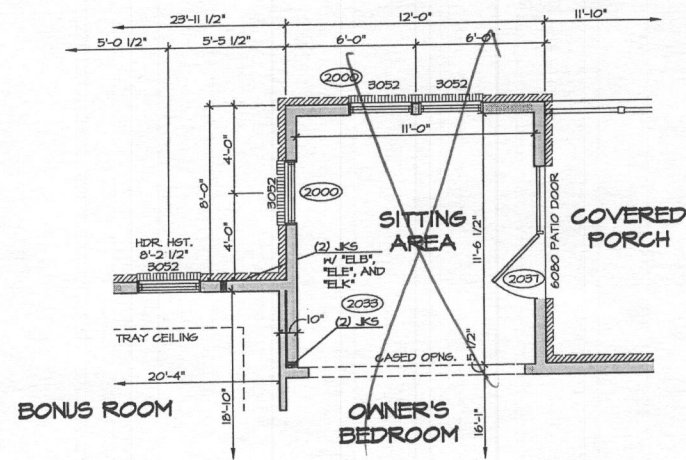
- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILINGS.
 4. ALL CASED OPENINGS AT "T-11", UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 6. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS

NOTE:
INSTALL SOLID SHIMS AT EACH END OF STEEL BEAM AT BEARING POINTS



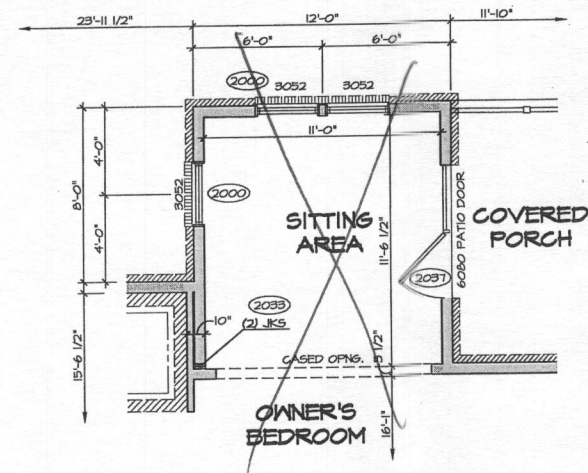
PARTIAL FRAMING DETAIL



SECOND FLOOR PLAN PARTIAL

SCALE: 1/4" = 1'-0"

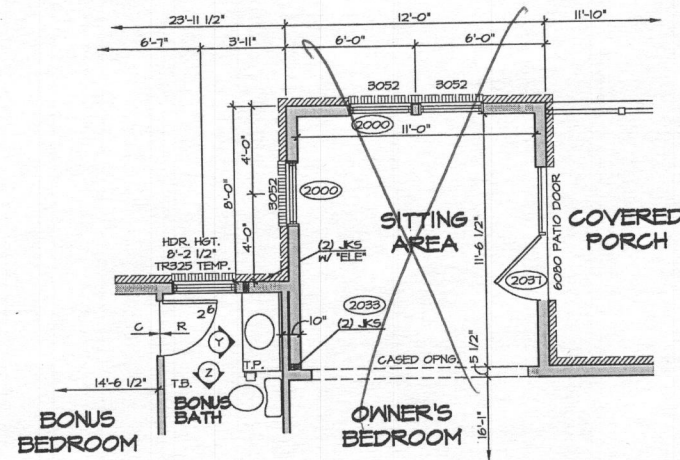
OPTIONAL SITTING AREA W/ COVERED PORCH "MFR" W/ 4'-0" EXTENSION TO FAMILY ROOM "EEN" AND BONUS ROOM "MAY"



SECOND FLOOR PLAN PARTIAL

SCALE: 1/4" = 1'-0"

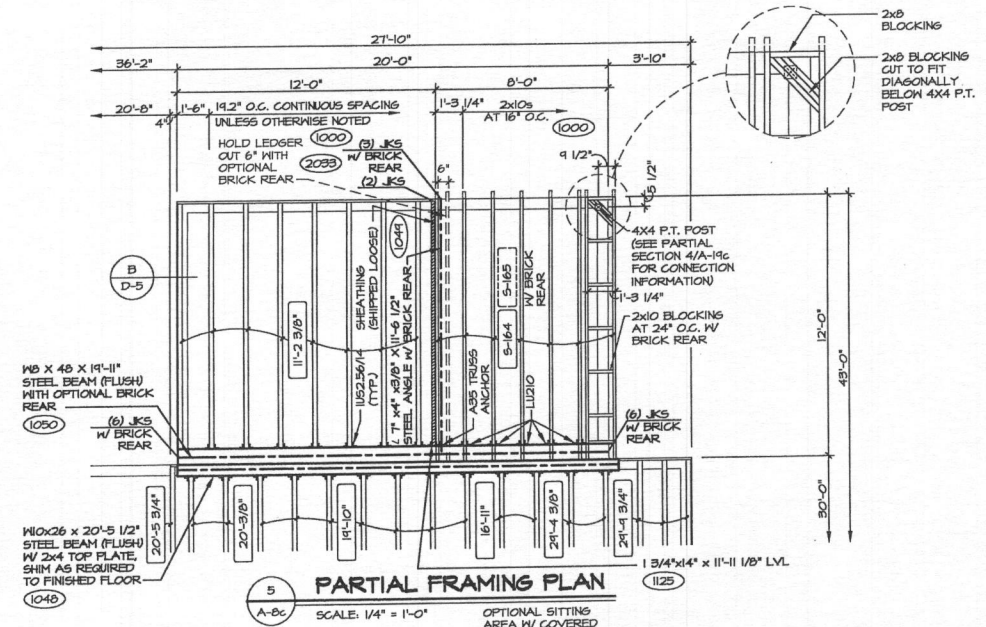
OPTIONAL SITTING AREA W/ COVERED PORCH "MFR" W/ 4'-0" EXTENSION TO FAMILY ROOM "EEN"



SECOND FLOOR PLAN PARTIAL

SCALE: 1/4" = 1'-0"

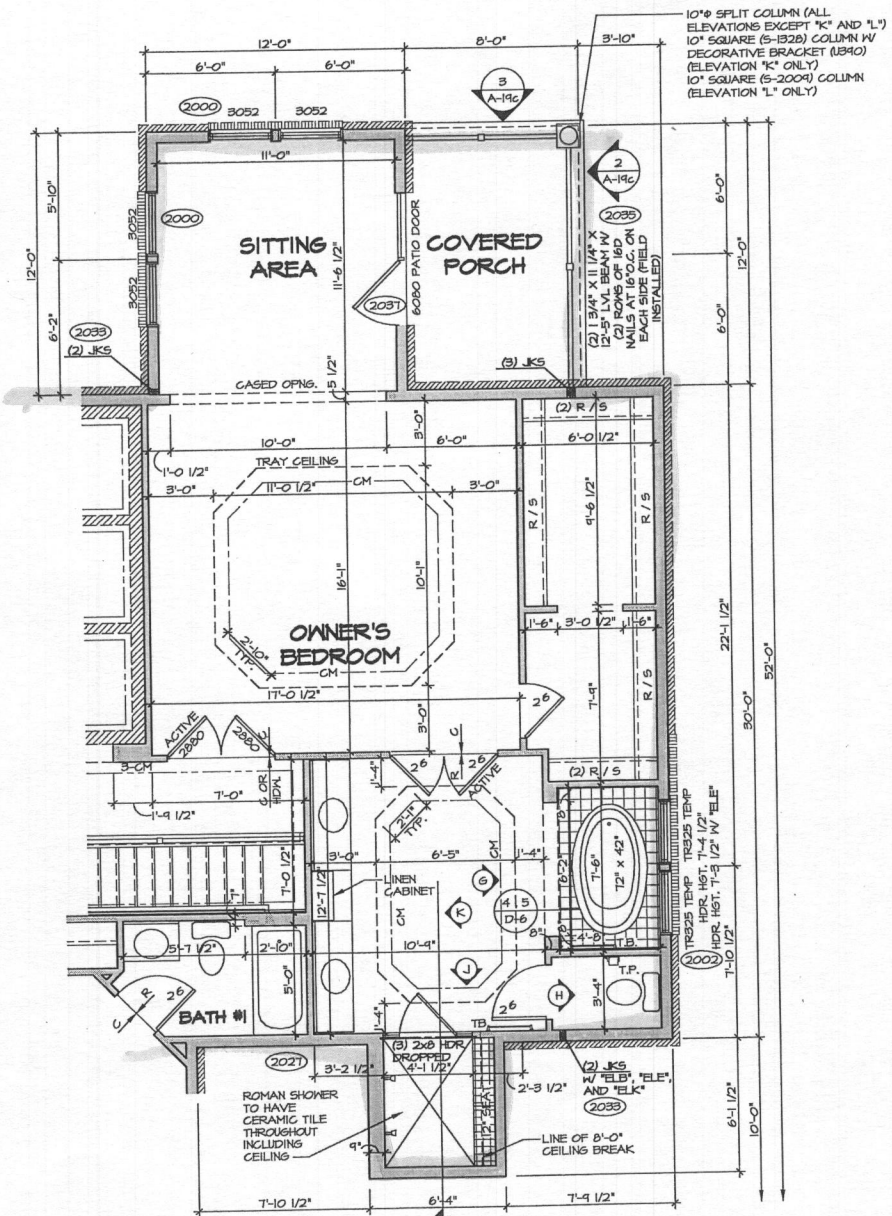
OPTIONAL SITTING AREA W/ COVERED PORCH "MFR" W/ 4'-0" EXTENSION TO FAMILY ROOM "EEN" AND BONUS BEDROOM "BAY"



PARTIAL FRAMING PLAN

SCALE: 1/4" = 1'-0"

OPTIONAL SITTING AREA W/ COVERED PORCH "MFR"



SECOND FLOOR PLAN PARTIAL

SCALE: 1/4" = 1'-0"

OPTIONAL SITTING AREA W/ COVERED PORCH "MFR"

REV. NO.	DATE	REMARKS
10	7/23/14	BEB - MODIFIED COVERED PORCH BEAM SIZE (PAR 29824)
11	8/25/14	DRA - REVISED WIDTH OF MOORE BEAM PER 5/A-10 AND SURROUNDINGS JOISTS
12	8/26/14	BEB - ADJUSTED JACKS TO MATCH ENGINEERING (PAR 26346)
13	9/25/14	CVB - ADDED TILE NOTE TO BATHROOM
14	2/10/15	9K4 - ADDED DETAIL BUBBLE FOR TUB ACCESS PANEL (PAR 30952)
15	3/17/15	958 - REVISED PAD MALL TO OWNERS SHOWER
16	7/15/15	LEA - REVISED STEEL BEAM AND ADDED DETAIL W REAR BRICK (PAR 30426)
17	4/14/16	DLR - REV. COVERED PORCH "MFR" 4X4 P.T. POST NOTES AND DTLS (PAR 30642)
18	7/15/14	BEB - ADDED ENGINEERING BUBBLE AT 6000 PATIO DOOR

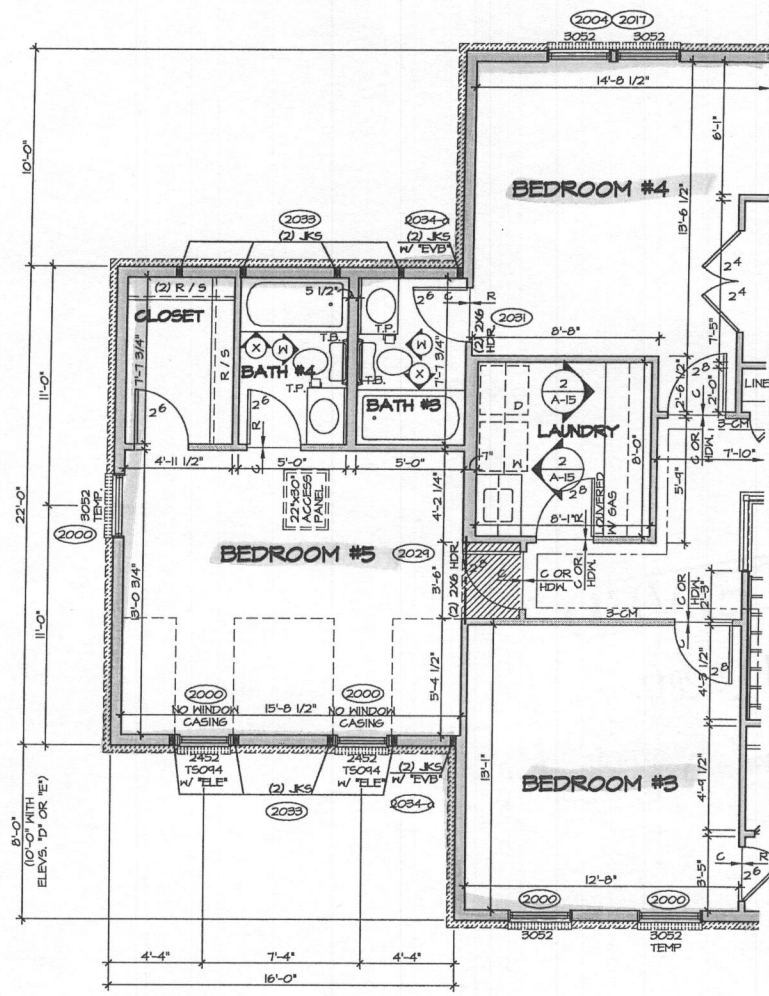
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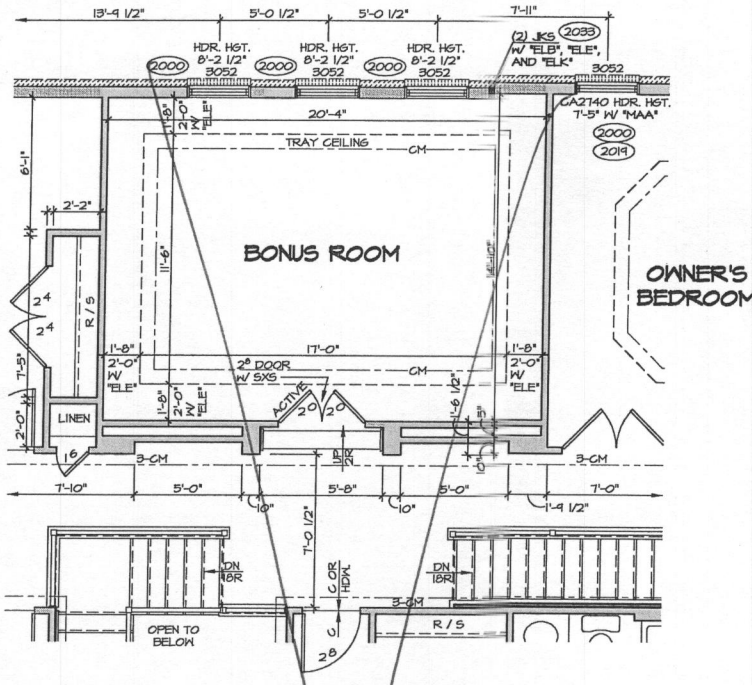
NVR, Inc.
Architectural Services
21 Bye Court, Suite A
Frederick, MD 21702

SET NO. 10200	VERSION 01
DRAWN BY JEA	DATE: 3/14/13
FLOOR PLAN PARTIAL	OPTION MFR

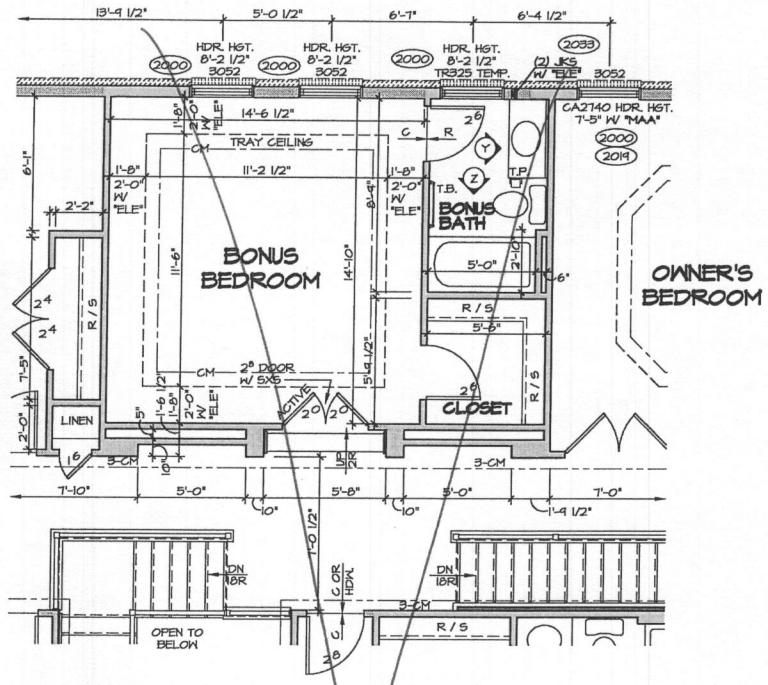
SHEET NO. **A-8c**
MODEL **REGENT'S PARK II**
DRAWING TITLE **FLOOR PLAN PARTIAL**
OPTION DESCRIPTION **SITTING AREA WITH COVERED PORCH**
OPTION **E6**



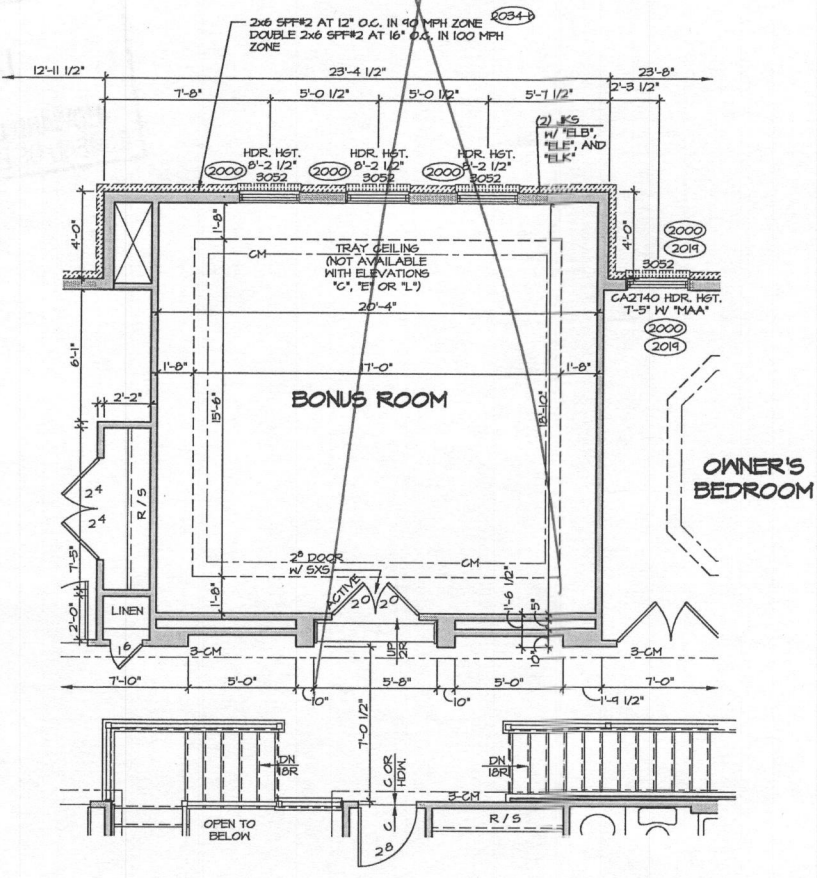
1 SECOND FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
BEDROOM #5 "BB"



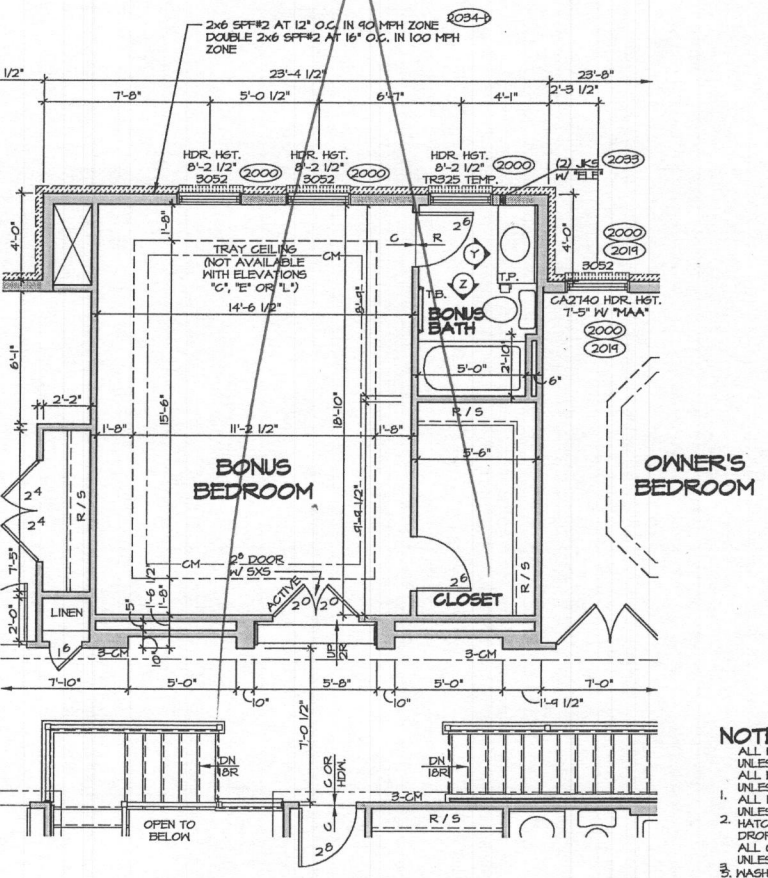
2 SECOND FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
BONUS ROOM "MAV" NO EXTENSION



3 SECOND FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
BONUS BEDROOM "BVV" NO EXTENSION



4 SECOND FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
BONUS ROOM "MAV" W/ 4'-0" EXTENSION TO FAMILY ROOM "EEN"



5 SECOND FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
BONUS BEDROOM "BVV" W/ 4'-0" EXTENSION TO FAMILY ROOM "EEN"

- NOTES:**
- ALL LEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 - ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILING.
 - ALL CASED OPENINGS AT T-11", UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 - JACKS MUST EXTEND THROUGH TOP PLATES OF HALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS

SHEET NO. A-8d	MODEL REGENT'S PARK II	SET NO. 10200	DATE: 5/14/15	REVISIONS	REMARKS
	DRAWING TITLE SECOND FLOOR PLAN PARTIAL	VERSION 01	DRAWN BY JEA	1 10/20/13 PS&C PROTOTYPING REVISIONS	
58	OPTION DESCRIPTION BEDROOM #5 BONUS ROOM, BONUS BEDROOM 4'-0" EXTENSION TO FAMILY ROOM		DATE: 5/14/15	2 11/20/13 PS&C MARKETING REVISIONS	
			DATE: 5/14/15	3 1/23/14 BEB - FINISHES/DOOR TRAP	
			DATE: 5/14/15	4 2/10/14 CLS - ADDED ELEVATION 1.1	
			DATE: 5/14/15	5 5/14/14 T&S - FRAMES, T&S COMPRESSIONS	
			DATE: 5/22/14	6 5/22/14 D&S - REVISED OWNERS ENTRY DOOR SIZE - PAR 102516	
			DATE: 7/10/14	7 7/10/14 BEB - ADJUSTED LINEN CLOSET WIDTH (PAR 25724)	
			DATE: 10/26/14	8 10/26/14 J.L.S. - SUSTAINED BEAMS BEING BY FOUND TRSU PAR 129511	

