



Building Permit Application

Howard County Maryland
 Department of Inspections, Licenses and Permits
 3430 Court House Drive
 Permits: 410-313-2455
 www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 2893 EVERGREEN WAY
 City: ELLICOTT CITY State: MD Zip Code: 21042
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: _____
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: SFD
 Proposed Use: SFD
 Estimated Construction Cost: \$ 120,000.00

Description of Work: REPAIR DAMAGE BY TREE
ADD PORCH RELOCATE FIREPLACE
ADD BATH 700 SQ FT ADD OFFICE

Occupant/Tenant Name: JOHN GALIK
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: JOHN GALIK
 Address: 2893 EVERGREEN WAY
 City: ELLICOTT CITY State: MD Zip Code: 21042
 Phone: 410-627-5214 Fax: _____
 Email: JOHN GALIK @ GMAIL.COM

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: JAY HOLSEY
 Address: 151 GARDEN RIDGE ROAD
 City: BALTIMORE State: MD Zip Code: 21225
 Phone: 410-554-8220 Fax: _____
 Email: BEDROCK.REMODEL @ YAHOO.COM

Contractor Company: BEDROCK REMODELING
 Contact Person: JAY HOLSEY
 Address: 151 GARDEN RIDGE
 City: BALTIMORE State: MD Zip Code: 21225
 License No.: 65169
 Phone: 410-554-8220 Fax: _____
 Email: BEDROCK.REMODEL @ YAHOO.COM

Engineer/Architect Company: ADAM CARBALLO
 Responsible Design Prof.: ADAM CARBALLO
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: 443-745-1100 Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor: <u>30678</u> <u>44</u>
Area of construction (sq. ft.):	2 nd floor: _____
Use group:	Basement:
	<input checked="" type="checkbox"/> Finished Basement
	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Craw Space
Construction type:	<input type="checkbox"/> Slab on Grade
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>3</u>
<input type="checkbox"/> Structural Steel	Multi-family Dwelling
<input type="checkbox"/> Masonry	No. of efficiency units: _____
<input checked="" type="checkbox"/> Wood Frame	No. of 1 BR units: _____
<input type="checkbox"/> State Certified Modular	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input type="checkbox"/> Electric	<input checked="" type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jay Holsey
 Email Address: BEDROCK.REMODEL @ YAHOO.COM
 Title/Company: BEDROCK REMODELING INC

Print Name: JAY HOLSEY
 Date: 11-3-16

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		<u>11/3/16 RBuehler</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	#

EVERGREEN WAY (50' ROW)

R - 700' / A = 84.59'

N 66° 50' 23" W - 30.00'

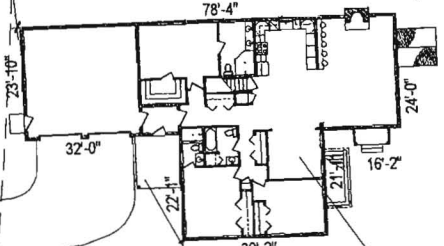
LOT #33
41,236 SF

N 16° 22' 01" E - 285.32'

55'-0" SETBACK

23'-10"

WELL



EXISTING DRIVEWAY

NEW COVERED PORCH ROOF
9'-0" x 11'-0"

INTERIOR RENOVATION /
POST FALLEN TREE
RECONSTRUCTION TO ROOF

N 30° 05' 32" E - 265.09'

#2893

LOT #34

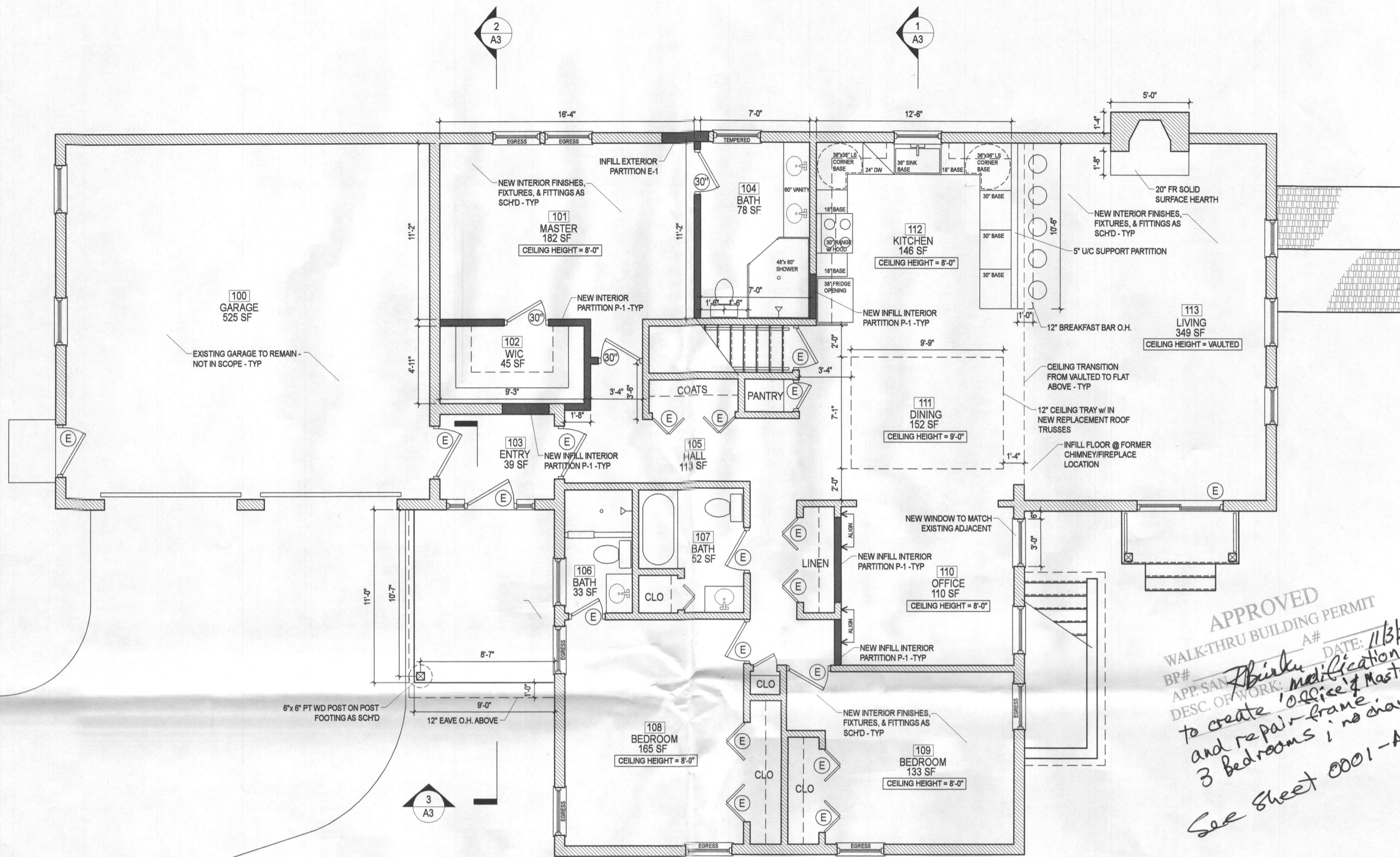
40,097 SF

DRY WELL

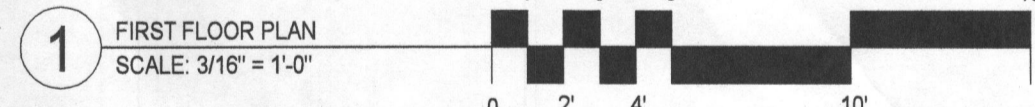
5'-0" DRAINAGE
& UTILITY EASEMENT

LOT #35

APPROVED
WALK-THRU BUILDING PERMIT
BP# _____ A# _____ DATE: 11/3/2016
APP. SAN _____
DESC. OF WORK: *Rebrick Repairs new porch (99 sq ft)*
& interior modifications as described



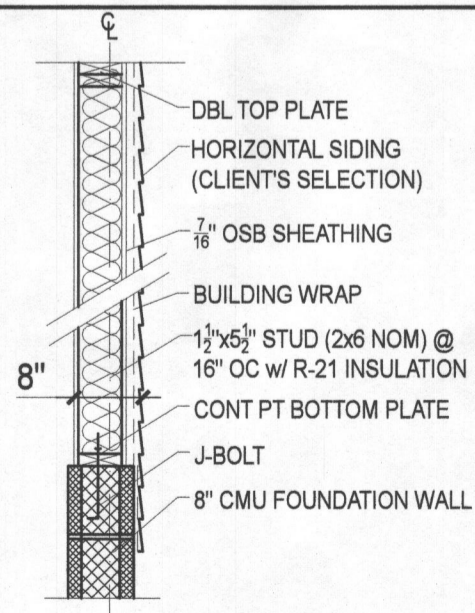
APPROVED
 WALK-THRU BUILDING PERMIT
 BP# _____ A# _____ DATE: 11/3/2016
 APP. SAN _____
 DESC. OF WORK: modification
 to create office & Master Bedroom,
 and repair frame.
 3 bedrooms; no change.
 See sheet 0001-AD = AD1



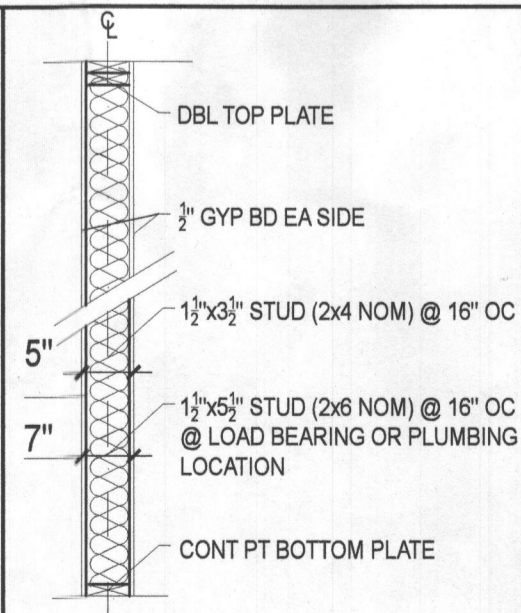
EGRESS WINDOW REQUIREMENTS AS PER IRC 2015 SECTION R310

- AT GRADE FLOOR OPENINGS = 5.0 SF MIN CLEAR OPENING
- ABOVE / BELOW GRADE OPENINGS = 5.7 SF MIN CLEAR OPENING
- 20" WIDTH MIN
- 24" HEIGHT MIN
- SILL HEIGHT MAX = 44" AFF, TYP
- ALL EGRESS WINDOWS SHALL BE OPERATIONAL VIA INTERIOR W/O USE OF TOOLS
- WINDOW WELL REQUIREMENTS AS PER IRC2015 SECTION R310

2,371 SF
 NET INTERIOR
 FIRST FLOOR AREA CALCULATION
 (AREA CALCULATION INCLUDES INTERIOR PARTITIONS,
 PENETRATIONS & STAIRCASES)



(E-1) EXTERIOR PARTITION TYPE E-1
 STANDARD 8" EXTERIOR
 SIDING CLAD PARTITION



(P-1) INTERIOR PARTITION TYPE P-1
 STANDARD 5" OR MODIFIED
 7" INTERIOR PARTITION

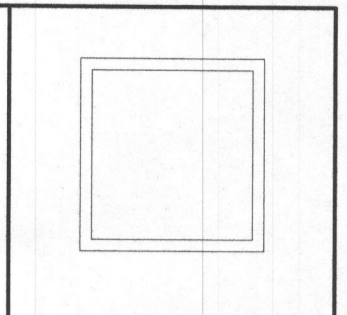
LEGEND

- AREA OUT OF SCOPE
- COLUMN LINE
- EXISTING PARTITION
- NEW PARTITION
- DEMO PARTITION
- OVERHANG / OBSCURED
- ROOM NUMBER TAG
- SECTION CUT LINE
- CENTER LINE
- WINDOW TYPE

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR PULLING ALL PERMITS AND PAYING ANY ASSOCIATIVE FEES.
- CONTRACTOR SHALL COMPLY WITH ALL HEALTH AND LIFE SAFETY REQUIREMENTS AS DIRECTED BY HOWARD COUNTY AND THE STATE OF MARYLAND.
- INTERIOR FINISHES ARE CLIENT'S CHOICE
- INTERIOR LIGHTING SELECTION ARE CLIENT'S CHOICE
- DOOR TYPE SYMBOL DENOTES DOOR WIDTH, DOOR STYLE CLIENT'S CHOICE. INTERIOR DOOR HEIGHTS: ALL DOORS = 6'-8" U.O.N.
- NOTE: WALL BRACING - PER 2015 IRC SECTION R602.10.3 (METHOD 3) USE 48" PANELS MIN

ISSUED FOR PERMIT



PROFESSIONAL CERTIFICATION:
 I CERTIFY THAT THESE DOCUMENTS
 WERE PREPARED OR APPROVED BY ME,
 AND THAT I AM A DULY LICENSED
 ARCHITECT UNDER THE LAWS OF THE
 STATE OF MARYLAND. LICENSE NUMBER
 15709, EXPIRATION DATE 3/27/2018.

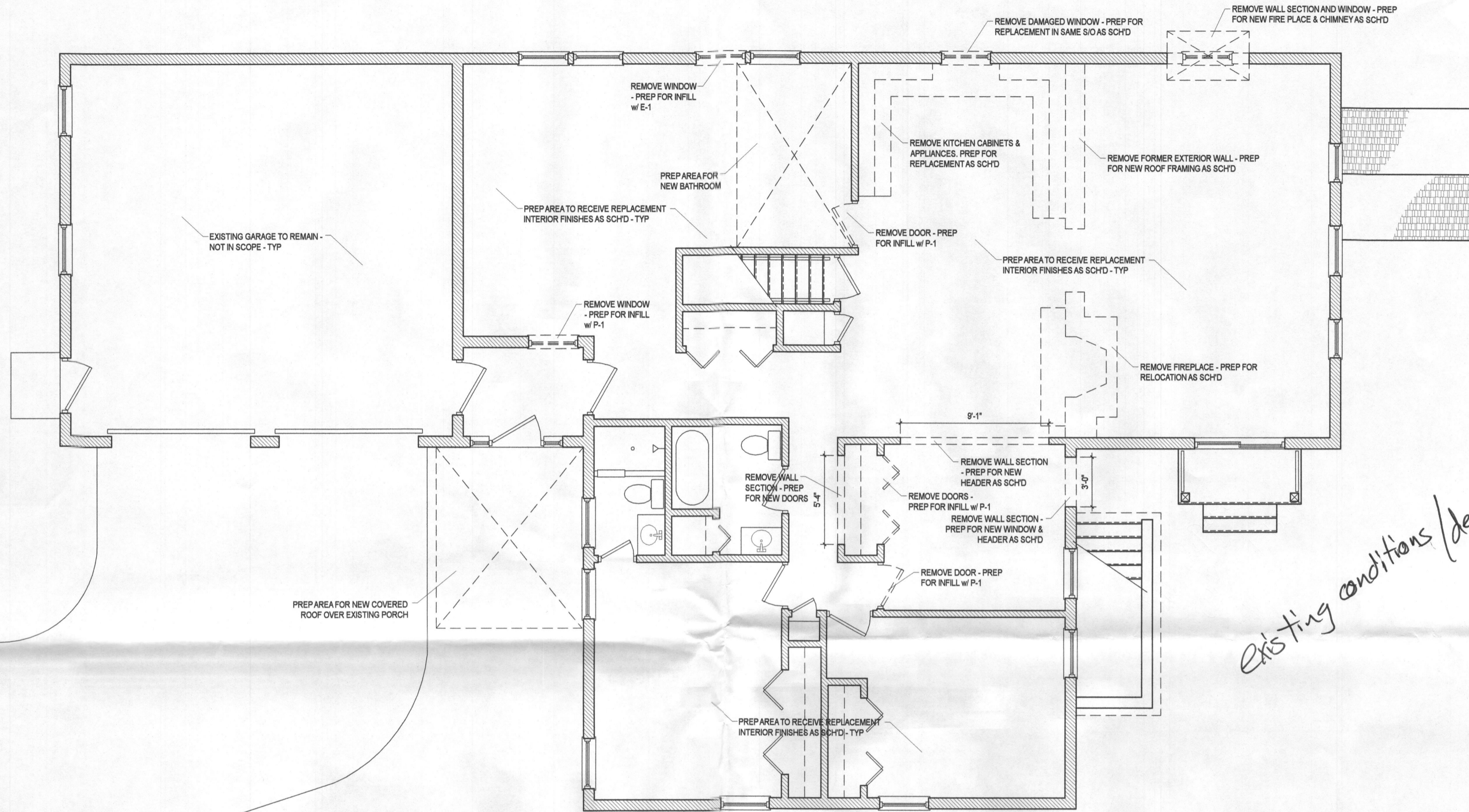
CONTRACT DOCUMENTS HAVE BEEN
 PREPARED BY A LICENSED ARCHITECT
 FOR BOTH ARCHITECTURE &
 STRUCTURAL DESIGN. MD Lic # 15709.



CLIENT
 BEDROCK REMODELING

ADAM CARBALLO, ARCHITECT
 MD LIC# 15709
 443-745-1100

0005-A=A1
 FIRST FLOOR PLAN
 2893 EVERGREEN WAY
 JOB # 16-250
 OCTOBER 2016



EXISTING GARAGE TO REMAIN - NOT IN SCOPE - TYP

REMOVE WINDOW - PREP FOR INFILL w/ E-1

PREP AREA FOR NEW BATHROOM

PREP AREA TO RECEIVE REPLACEMENT INTERIOR FINISHES AS SCHED - TYP

REMOVE WINDOW - PREP FOR INFILL w/ P-1

REMOVE KITCHEN CABINETS & APPLIANCES. PREP FOR REPLACEMENT AS SCHED

REMOVE FORMER EXTERIOR WALL - PREP FOR NEW ROOF FRAMING AS SCHED

REMOVE DOOR - PREP FOR INFILL w/ P-1

PREP AREA TO RECEIVE REPLACEMENT INTERIOR FINISHES AS SCHED - TYP

REMOVE FIREPLACE - PREP FOR RELOCATION AS SCHED

REMOVE WALL SECTION - PREP FOR NEW HEADER AS SCHED

REMOVE DOORS - PREP FOR INFILL w/ P-1

REMOVE WALL SECTION - PREP FOR NEW WINDOW & HEADER AS SCHED

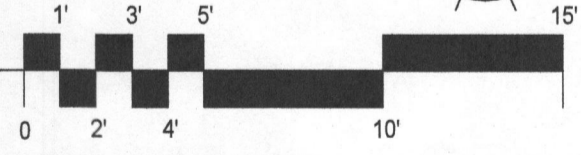
REMOVE DOOR - PREP FOR INFILL w/ P-1

PREP AREA FOR NEW COVERED ROOF OVER EXISTING PORCH

PREP AREA TO RECEIVE REPLACEMENT INTERIOR FINISHES AS SCHED - TYP

Existing conditions / demo plan

1 FIRST FLOOR DEMO PLAN
SCALE: 3/16" = 1'-0"



LEGEND

- AREA OUT OF SCOPE
- COLUMN LINE
- EXISTING PARTITION
- NEW PARTITION
- DEMO PARTITION
- OVERHANG / OBSCURED
- ROOM NUMBER TAG
- SECTION CUT LINE
- CENTER LINE
- WINDOW TYPE

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
 - CONTRACTOR IS RESPONSIBLE FOR PULLING ALL PERMITS AND PAYING ANY ASSOCIATIVE FEES.
 - CONTRACTOR SHALL COMPLY WITH ALL HEALTH AND LIFE SAFETY REQUIREMENTS AS DIRECTED BY HOWARD COUNTY AND THE STATE OF MARYLAND.
 - INTERIOR FINISHES ARE CLIENT'S CHOICE
 - INTERIOR LIGHTING SELECTION ARE CLIENT'S CHOICE
 - DOOR TYPE SYMBOL DENOTES DOOR WIDTH, DOOR STYLE CLIENT'S CHOICE. INTERIOR DOOR HEIGHTS: ALL DOORS = 6'-8" U.O.N.
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ISSUED FOR PERMIT

0001-AD=AD1
FIRST FLOOR DEMOLITION PLAN

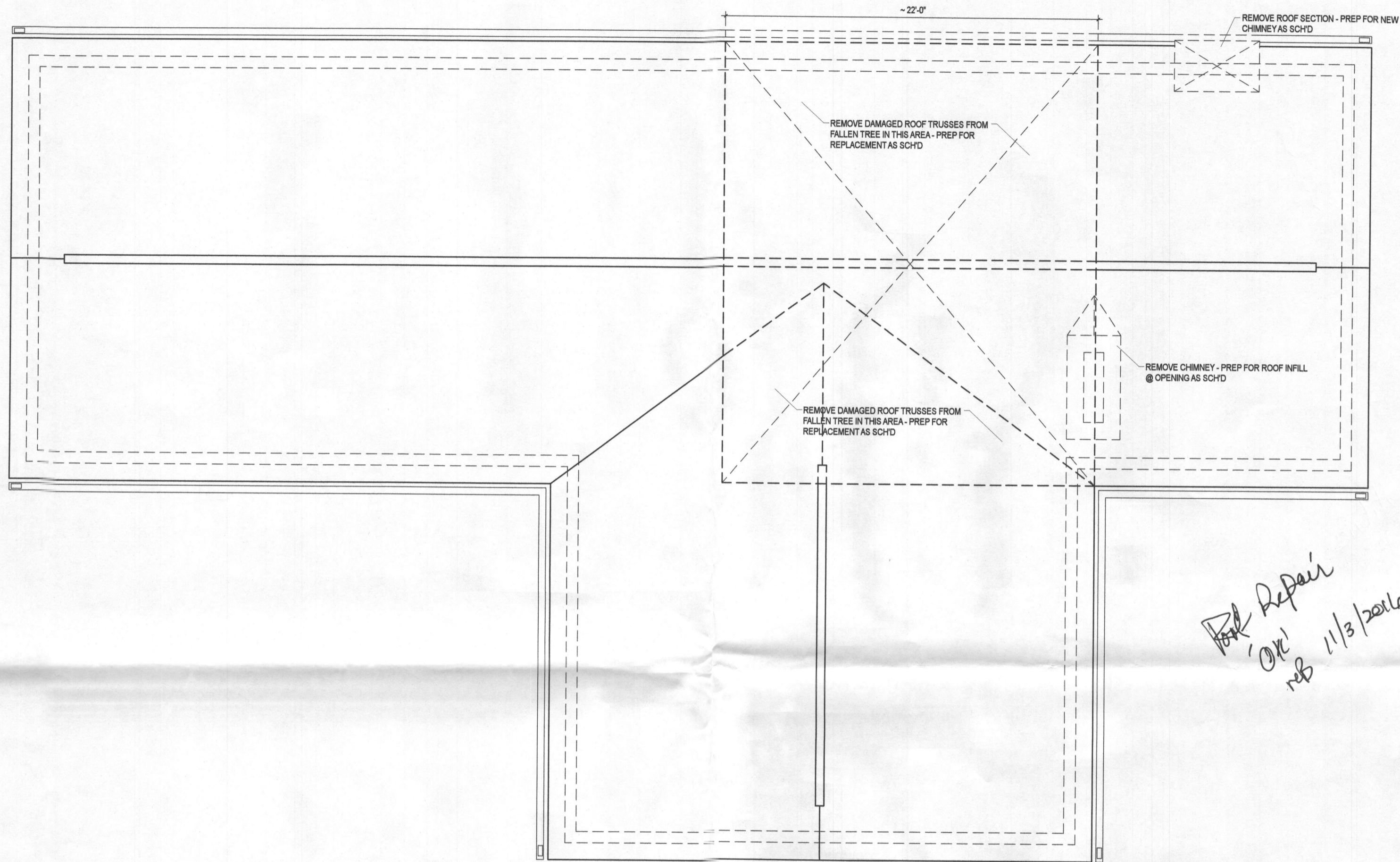
2893 EVERGREEN WAY
JOB # 16-250
OCTOBER 2016

ADAM CARBALLO, ARCHITECT
MD LIC# 15709
443-745-1100

CLIENT
BEDROCK REMODELING

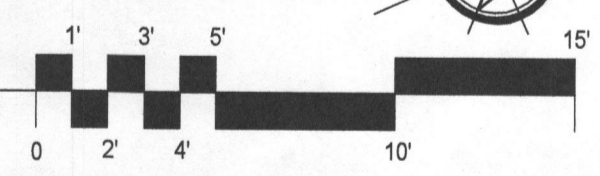


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CONTRACT DOCUMENTS HAVE BEEN PREPARED BY A LICENSED ARCHITECT FOR BOTH ARCHITECTURE & STRUCTURAL DESIGN, MD Lic # 15709.



*Roof Repair
'OK'
MB 11/3/2016*

R ROOF DEMO PLAN
SCALE: 3/16" = 1'-0"



LEGEND	
	AREA OUT OF SCOPE
	COLUMN LINE
	EXISTING PARTITION
	NEW PARTITION
	DEMO PARTITION
	OVERHANG / OBSCURED
	ROOM NUMBER TAG
	SECTION CUT LINE
	CENTER LINE
	WINDOW TYPE

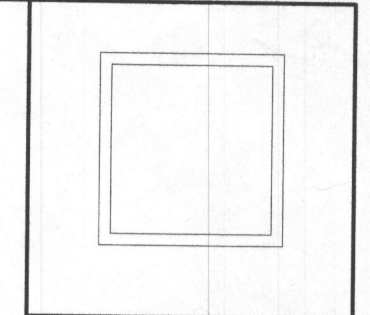
GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR PULLING ALL PERMITS AND PAYING ANY ASSOCIATIVE FEES.
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- INTERIOR FINISHES ARE CLIENT'S CHOICE
- INTERIOR LIGHTING SELECTION ARE CLIENT'S CHOICE

- DOOR TYPE SYMBOL **36"** DENOTES DOOR WIDTH, DOOR STYLE CLIENT'S CHOICE. INTERIOR DOOR HEIGHTS: ALL DOORS = 6'-8" U.O.N.

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ISSUED FOR PERMIT



PROFESSIONAL CERTIFICATION
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 15709. EXPIRATION DATE 3/27/2017.
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CLIENT
BEDROCK REMODELING

ADAM CARBALLO, ARCHITECT
MD LIC# 15709
443-745-1100

0002-AD=AD2
ROOF DEMOLITION PLAN
2893 EVERGREEN WAY
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OCTOBER 2016