



CAP. PROJ

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

DILIP ZUIDWALT 2011.11.20

Date Received: 8/25/16

C-0182

Permit No.: B16004693

Building Address: 2200 Scott Wheeler Drive
City: MARRICKSVILLE State: MD Zip Code: 21104
Suite/Apt. # SDP/WP/BA #:
Census Tract: Subdivision:
Section: Area: Lot:
Tax Map: Parcel: Grid:
Zoning: Map Coordinates: Lot Size:

Property Owner's Name: HOWARD COUNTY POLICE
Address: 2200 SCOTT WHEELER DRIVE
City: MARRICKSVILLE State: MD Zip Code: 21104
Phone: Fax:
Email:
Applicant's Name & Mailing Address, (If other than stated herein)
Applicant's Name: STEVE WARE
Address: 1730 E. JOPPA RD
City: BALTIMORE State: MD Zip Code: 21234
Phone: 410 665 5300 Fax: 410 665 4824
Email: SWARE@SHADECONSTRUCTION.NET

Existing Use: POLICE TRAINING FACILITY
Proposed Use: POLICE SNIPER DECK
Estimated Construction Cost: \$ 15,000
Description of Work: FREE STANDING DECK WITH ROOF AND STAIRS TO USE FOR TARGET PRACTICE @ RANGE.
Occupant or Tenant: HOWARD COUNTY POLICE DEPT
Was tenant space previously occupied? Yes No
Contact Name: MIKE BENEDETTA
Address: 9250 BENDIX RD
City: COLUMBIA State: MD Zip Code: 21045
Phone: 410 928-0602 Fax:
Email: MABENEDETTA@HOWARDCOUNTYMD.GOV

Contractor Company: SHADE CONSTRUCTION CO. INC.
Contact Person: STEVE WARE
Address: 1730 E. JOPPA RD
City: BALTIMORE State: MD Zip Code: 21234
License No.: 03002564
Phone: 410 665 5300 Fax: 410 665 4824
Email: SWARE@SHADECONSTRUCTION.NET

Engineer/Architect Company: ENCO ENGINEERS, INC.
Responsible Design Prof.: DILIP PATEL
Address: 7226 LEE DEFOREST DRIVE
City: COLUMBIA State: MD Zip Code: 21046
Phone: 410 953 8181 Fax:
Email: ENCO@ENCOENGINEERS.COM

12x15' N/STAIRS

Table with 2 columns: Commercial Building Characteristics, Residential Building Characteristics. Includes fields for Height, No. of stories, Gross area, Area of construction, Use group, Construction type, etc.

Table with 2 columns: Utilities, Sewage Disposal, Heating System, Sprinkler System, Grading Permit Number, Building Shell Permit Number. Includes checkboxes for Public/Private, Electric/Gas, etc.

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.
Applicant's Signature: STEVE WARE
Print Name: STEVE WARE
Email Address: SWARE@SHADECONSTRUCTION.NET
Date: 8/25/16
Title/Company: PROJECT MGR.: SHADE CONSTRUCTION CO.

RECEIVED

OCT 23 2016

LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

Table with 3 columns: AGENCY, DATE, SIGNATURE OF APPROVAL. Includes rows for State Highways, Building Officials, PSZA (Zoning), PSZA (Engineering), Health.

Table with 2 columns: DPZ SETBACK INFORMATION, Filing Fee. Includes rows for Front, Rear, Side, Side St., All minimum setbacks met?, Is Entrance Permit Required?, Historic District?, Lot Coverage for New Town Zone, SDP/Red-line approval date.

Table with 2 columns: Filing Fee, Permit Fee, Tech Fee, Exclse Tax, PSFS, Guaranty Fund, Add'l per Fee, Total Fees, Sub- Total Paid, Balance Due, Check. Includes a large handwritten '0' in the Filing Fee column.

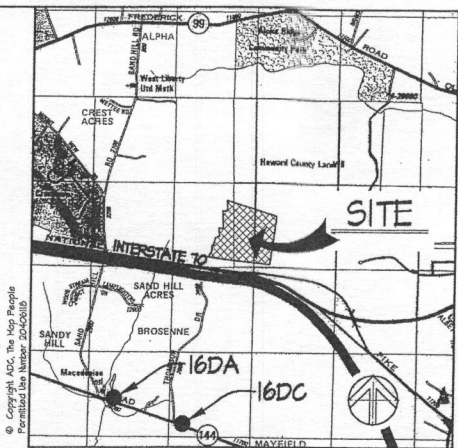
Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA
T:\Operations\Updated Forms\Building applmp 8.2012.docx
* COMM MISC. FOR D. MOCK
redline done my lars changele

GENERAL NOTES

- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410) 313-1800 at least five (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-251-7777 at least 48 hours prior to any excavation work being done.
- Traffic control devices, markings and signing shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to the placement of any asphalt.
- All plan dimensions are to face of curb unless otherwise noted.
- The existing topography was obtained from a flown aerial survey taken with 2 foot contour intervals on March 30, 2006 performed by Hartford Aerial Survey.
- The coordinates shown hereon are based upon the Howard County Geodetic Control which is based upon the Maryland State Plane Coordinate System. Howard County Monument Nos. 16DA and 16DC were used for this project.
- Major is public. See Contract No. 44-4072. This project is in the Little Patuxent drainage area (108P.5).
- Plumbing code indicates an average flow rate of 15 gal. per day per person for day workers at schools and offices. At this rate, the 324 projected users would produce 4,860 gal. per day. The three existing storage tanks each have a capacity of 14,000 gal., totaling a 42,000 gal. maximum capacity. At maximum use, the system would reach maximum capacity after 8 days of use. Currently projected plans are to empty the tanks once per week. Each tank includes an alarm alerting maintenance that the tank is approaching capacity.
- Stormwater Management is provided by a combination of an on-site P-3 pocket pond (quality/CV management), a stormceptor (quality pretreatment), infiltration structures (recharge), grass channel (quality & recharge), non-roof-top and rooftop disconnection (quality & recharge). These facilities are publicly maintained.
- Existing utilities are based on the Site Development Plans for Phase I development of the Public Safety Training Center (SDP-03-036) prepared by Whitman Requardt & Associates L.L.P., dated 12/16/02, without the benefit of as-built surveys. No as-built information is available, so the contractor must determine the exact location of utilities by digging test pits, by hand, at all crossings prior to construction.
- There are no floodplains on this site based on the FEMA National Flood Insurance Program, Flood Insurance Rate Map, Howard County Maryland, Panel 16 of 45, Map Number: 24004416 B, effective December 4, 1986. Floodplain shown on these plans are from an approved floodplain study by Bernard Johnson, Inc., dated 1986.
- The wetland delineation study for this site was prepared by Whitman Requardt & Associates L.L.P., dated 1/22/02.
- No traffic study is required for this project.
- This site is exempt from the APTD test requirements as stated in Sections 16.1107-(2)-(1) and 16.1110-(1)-(2) of the Howard County Code.
- A waiver (WP-02-102) from section 16.147 of the Howard County Subdivision and Land Development Regulations was approved on April 23, 2002 to allow recording of adjoiner deeds to reconfigure 3 county owned parcels of land to establish revised Parcel 253.
- Use of a sewage holding tank was approved by the Howard County Health Department on March 25, 2002.
- The property boundaries shown on these plans have been recorded in deed liber 6684, folio 614; in a Plot of Land Acquisition to an Adjoiner, reference number 15716; and in a Plot of Forest Conservation Easements, reference number 19334.
- No grading, removal of vegetative cover or trees, or placement of new structures is permitted within the limits of wetlands, streams, or their required buffers and forest conservation easement areas except as approved by Waiver Petition WP-06-127, approved June 12, 2006.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual.
- This site has complied with the requirements of Section 16.1202 of the Howard County Code and the Forest Conservation Manual. The total forest conservation obligation of 1.31 acres was offset with 6.45 acres of forest retention and 0.42 acres of reforestation as shown on the Plan for Grant of Forest Conservation Easement, reference number 19334.
- All exterior light fixtures shall be oriented to direct light downward on-site, away from adjoining residential properties and public roads in accordance with Section 134 of the Howard County Zoning Regulations. The light intensity at the property line will not exceed 0.1 foot candles.
- There are no cemeteries or grave sites on the subject property.
- This project is subject to the amended Fifth edition of the Subdivision and Land Development Regulations and the Zoning Regulations as amended under council bill #45-2003. Development or construction must comply with setback and buffer regulations in effect at the time of submission of the Site Development Plan, waiver petition application or building/grading permit.
- All utilities constructed within fill material must be installed in accordance with AASHTO-T180.
- Buildings 'A' and 'E' shall have sprinkler systems installed in accordance with applicable code.
- ABBREVIATIONS:
 PROP Proposed
 EX Existing
 BIT Bituminous
 CONC Concrete
 MH Manhole
 SD Storm Drain
 Inlet
 SAN Sanitary Sewer
 TC Top of curb
 TS Top of step
 PS Parking space
 PC Point of Curvature
 PT Point of Tangency
 TR Top of Rail
 TRF Tree Protection Fence
 R.O.M. Right-of-way
 DIP Ductile iron pipe, class 54 unless otherwise noted
 PVC Polyvinyl chloride pipe, schedule 40 unless otherwise noted
 HDPE High Density Polyethylene Pipe
 CORR Corrugated Metal Pipe, classed unless otherwise noted
 RCP Reinforced concrete pipe, class III unless otherwise noted
 C46 Concrete curb & gutter, as detailed
 INV Invert elevation
 FTE Finished floor elevation
 BC Bottom of curb
 BS Bottom of step
 HC Handicapped parking space
 TYP Typical
 L.O.D. Limit of Disturbance
 BN Bottom of Nail
 Right-of-way

BUILDING/STRUCTURE INDEX

EXISTING STRUCTURES	IDENTIFIER
ADMINISTRATION/CLASSROOM BUILDING	(1)
POLICE RANGE TRAILER	(2)
VEHICLE STORAGE BUILDING	(3)
PROPOSED STRUCTURES	IDENTIFIER
FIRE GROUNDS BUILDING	BUILDING 'A'
STORAGE/MAZE STRUCTURE	STRUCTURE 'B'
RAMP BUILDING	BUILDING 'C'
FIRE FIGHTING PROP	STRUCTURE 'D'
POLICE SIMULATION PROP	STRUCTURE 'E'
HOGAN'S ALLEY TRAINING PROP	BUILDING 'F'
EXPOSURE TRAINING BUILDING	BUILDING 'G'
K-4 TRAINING BUILDING	BUILDING 'H'
ARMORY (12'x45' (9'x45' PAD))	STRUCTURE 'I'
SNIPER DECK (12'x15')	STRUCTURE 'J'



BENCHMARKS

MONUMENT	NORTHING	EASTING	ELEVATION	HORIZ. DATUM	VERT. DATUM
16DA	54312.41	183233.00	446.674	NAD83(41)	NAVDZ21
16DC	543045.51	183346.17	524.506	NAD83(41)	NAVDZ21

DRAWING INDEX

SHEET #	DRAWING #	DRAWING TITLE
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2 OF 10	CO.02	GENERAL NOTES
3 OF 10	CO.03	BUILDING ELEVATIONS
4 OF 10	CO.04	EXISTING CONDITIONS & DEMOLITION PLAN
5 OF 10	CO.05	EXISTING CONDITIONS & DEMOLITION PLAN
6 OF 10	CO.06	EXISTING CONDITIONS & DEMOLITION PLAN
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8 OF 10	CO.08	EXISTING CONDITIONS & DEMOLITION PLAN
9 OF 10	CO.09	EXISTING CONDITIONS & DEMOLITION PLAN
10 OF 10	CO.10	EXISTING CONDITIONS & DEMOLITION PLAN
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12 OF 10	CO.12	COMPOSITE LAYOUT & DETAIL REFERENCE PLAN
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14 OF 10	CO.14	LAYOUT & DETAIL REFERENCE PLAN
15 OF 10	CO.15	LAYOUT & DETAIL REFERENCE PLAN
16 OF 10	CO.16	LAYOUT & DETAIL REFERENCE PLAN
17 OF 10	CO.17	LAYOUT & DETAIL REFERENCE PLAN
18 OF 10	CO.18	LAYOUT & DETAIL REFERENCE PLAN
19 OF 10	CO.19	LAYOUT & DETAIL REFERENCE PLAN
20 OF 10	CO.20	LAYOUT & DETAIL REFERENCE PLAN
21 OF 10	CO.21	SITE DETAILS
22 OF 10	CO.22	SITE DETAILS
23 OF 10	CO.23	SITE DETAILS
24 OF 10	CO.24	SITE DETAILS
25 OF 10	CO.25	SITE SEPARATION WALL
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27 OF 10	CO.27	RETAINING WALL DETAILS AND NOTES
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29 OF 10	CO.29	PLANTING PLAN
30 OF 10	CO.30	PLANTING PLAN DETAILS
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32 OF 10	CO.32	FUTURE STORM DRAIN DRAINAGE AREA
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34 OF 10	CO.34	STORM DRAIN PROFILES
35 OF 10	CO.35	STORM DRAIN PROFILES
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37 OF 10	CO.37	TRAINING WATER PROFILES
38 OF 10	CO.38	DOMESTIC WATER PROFILES
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85 OF 10	CO.85	STORMWATER MANAGEMENT POND 11 PROFILES
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87 OF 10	CO.87	STORMWATER MANAGEMENT POND 12 PLAN
88 OF 10	CO.88	STORMWATER MANAGEMENT POND 12 PROFILES
89 OF 10	CO.89	STORMWATER MANAGEMENT POND 12 DETAILS
90 OF 10	CO.90	STORMWATER MANAGEMENT POND 13 PLAN
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93 OF 10	CO.93	STORMWATER MANAGEMENT POND 14 PLAN
94 OF 10	CO.94	STORMWATER MANAGEMENT POND 14 PROFILES
95 OF 10	CO.95	STORMWATER MANAGEMENT POND 14 DETAILS
96 OF 10	CO.96	STORMWATER MANAGEMENT POND 15 PLAN
97 OF 10	CO.97	STORMWATER MANAGEMENT POND 15 PROFILES
98 OF 10	CO.98	STORMWATER MANAGEMENT POND 15 DETAILS
99 OF 10	CO.99	STORMWATER MANAGEMENT POND 16 PLAN
100 OF 10	CO.100	STORMWATER MANAGEMENT POND 16 PROFILES
101 OF 10	CO.101	STORMWATER MANAGEMENT POND 16 DETAILS
102 OF 10	CO.102	STORMWATER MANAGEMENT POND 17 PLAN
103 OF 10	CO.103	STORMWATER MANAGEMENT POND 17 PROFILES
104 OF 10	CO.104	STORMWATER MANAGEMENT POND 17 DETAILS
105 OF 10	CO.105	STORMWATER MANAGEMENT POND 18 PLAN
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107 OF 10	CO.107	STORMWATER MANAGEMENT POND 18 DETAILS
108 OF 10	CO.108	STORMWATER MANAGEMENT POND 19 PLAN
109 OF 10	CO.109	STORMWATER MANAGEMENT POND 19 PROFILES
110 OF 10	CO.110	STORMWATER MANAGEMENT POND 19 DETAILS

THIS SEAL IS FOR REVISIONS MADE BY SITE RESOURCES, INC.

Professional Certification, I hereby certify that these drawings were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 23165, Expiration Date: 07/18/2013.

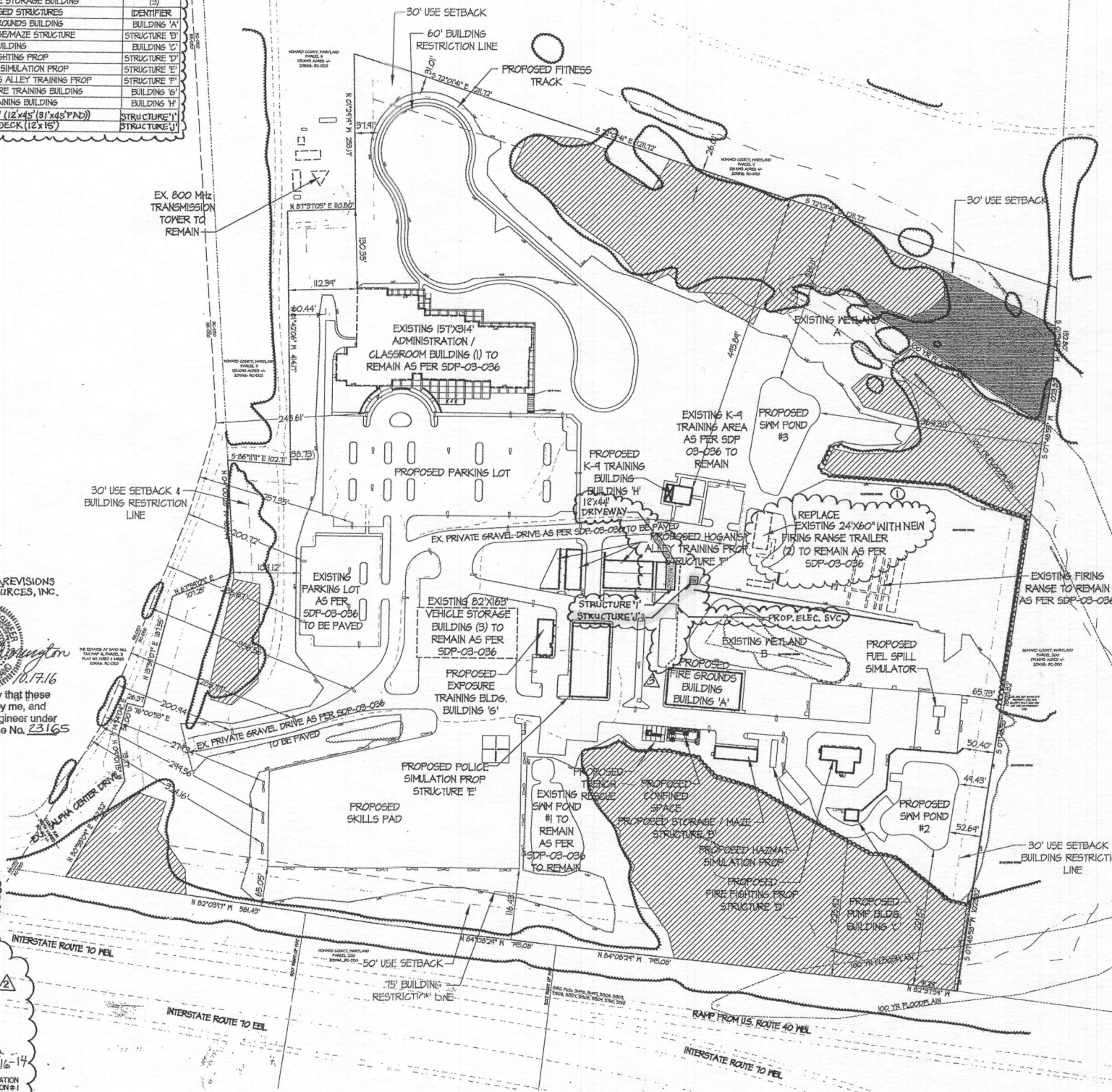
James M. Irvin
 PROFESSIONAL ENGINEER
 No. 23165
 State of Maryland
 07/18/2013

PURPOSE AND INTENT

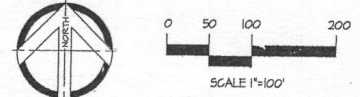
This project will provide an institutional campus for the preparation and training of individuals specializing in public safety as it pertains to police, fire and rescue. The campus will consist of a variety of training facilities, props and buildings that will provide both classroom and real-life training scenarios.

SITE ANALYSIS DATA CHART

a. Total Project Area =	39.23 AC / 1,685,584 SF	0.46 AC / 19,916 SF
b. Limit of Disturbed Area =	20.80 AC / 906,244 SF	0.15 AC / 6,582 SF
c. Present Zoning Designation =	RC-DEO	
d. Proposed Use for Site and Structures =	Police/Fire/Rescue Training	
e. Total Square Feet of Floor Area by Use:		
Administration/Office =	EXISTING: 30,450 SF PROPOSED: 4,265 SF TOTAL: 34,715 SF	35,915 SF
Classroom =	EXISTING: 13,200 SF PROPOSED: 14,565 SF TOTAL: 27,765 SF	32,765 SF
Storage =	EXISTING: 13,040 SF PROPOSED: 10,871 SF TOTAL: 23,911 SF	23,911 SF
K-4 Kennels =	0 SF PROPOSED: 500 SF TOTAL: 500 SF	500 SF
f. Maximum Number of Users at Full build-out =	324 (254 students, 50 faculty, 20 visitors)	
g. Parking Spaces: Institutional Use, Colleges/Universities (1 space per 3 students) =	REQUIRED: 110 PROVIDED: 255	11,211 SF / 24,371 SF
h. Handicap Parking Spaces at 1 per 25 =	5	
i. Building Coverage on Site =	2.14 248 AC and 5.6% of gross area	
j. Application DFZ file references =	SDP-03-036 (see Project Timeline on sheet CO.02 for complete history)	



OVERALL SITE PLAN



APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT

Robert W. Weller
 COUNTY HEALTH OFFICER
 10/30/06
 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

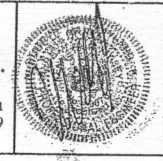
James M. Irvin
 DIRECTOR
 10/30/06
 DATE

APPROVED: DEPARTMENT OF PLANNING & ZONING

Mark M. Caughy
 DIRECTOR
 10/16/06
 DATE

Edmeades & Stromdahl, Ltd.
 ARCHITECTS/PLANNERS
 34 North Main Street, Bel Air, Maryland 21014
 Phone: 410.879.0358 Fax: 410.879.4785
 E-mail: bw@edmeades-stromdahl.com

Site Resources, Inc.
 LAND PLANNING / SITE DESIGN
 14315 Jarrettville Pk., Phoenix, Maryland 21131
 Phone: 410.683.3088 Fax: 410.683.3389



DES: KPR			
DRN: AM			
CHK: REM			
DATE: 10/11/06			
BY: NO.			
REVISION			
DATE			

Cover Sheet

Phase II Improvements: four buildings, eight training props and associated infrastructure
PUBLIC SAFETY TRAINING CENTER
 at Alpha Ridge Landfill, Capital Project No. C-0182, Howard County, Maryland

OWNER:
 Howard County
 Department of Public Works
 3430 Carthouse Drive
 Elkport City, Maryland 21043
 Phone (410) 313-2100

ADDRESS / PERMIT INFORMATION:
 PARCEL #253, ADDRESS: 2200 Alpha Center Drive
 GRID No. 228, ZONE RC-DEO, TAX MAP No. 1
 3rd Election District, Census Tract 6030
 WATER CODE: 780, SEWER CODE: Private - Holding Tank

SCALE: 1"=100'

SHEET 1 OF 10

B16004693

PROJECT TIMELINE

REFERENCE	ACTION	DATE APPROVED	APPROVED BY
WRITTEN APPROVAL	APPROVED THE USE OF A SEWAGE HOLDING TANK	MARCH 25, 2002	HOWARD COUNTY HEALTH DEPARTMENT
WP-02-102	ALLOWS RECORDING OF ADJOINER DEEDS TO RECONFIGURE PARCELS 253, 220, AND 11.	APRIL 23, 2002	HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
WRITTEN APPROVAL	DEFER PLACEMENT OF BITUMINOUS PAVING UNTIL A LATER PHASE OF WORK ON THIS SITE.	JULY 16, 2002	HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
WRITTEN APPROVAL	ALLOWS THE USE OF A STORAGECEPTOR	OCTOBER 7, 2002	HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
WRITTEN APPROVAL	WAIVES THE REQUIREMENT FOR A 12' BENCH, 1' ABOVE THE NORMAL FLOOD ELEVATION, WITHIN THE SWM FOND AS DESCRIBED UNDER SECTION 5.2.1.A.2 OF THE HOWARD COUNTY DESIGN MANUAL, VOLUME I.	OCTOBER 15, 2002	HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
WP-03-36	ALLOWS DISTURBANCE WITHIN THE STREAM BUFFER ON THE SOUTH EAST PORTION OF THE SITE IN THE VICINITY OF THE SWM FOND AND FUTURE BURN BUILDING.	DECEMBER 9, 2002	HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
44-4021	CAPITAL PROJECT WATER DRAWINGS	DECEMBER 12, 2002	HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
44-4021	CAPITAL PROJECT WATER DRAWINGS	DECEMBER 12, 2002	HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
SDP-03-036	HCPSTG PHASE I IMPROVEMENTS	MARCH 18, 2003	HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
SDP-03-036	REDLINE REVISION: REMOVE 'FUTURE', ADDED PARKING AND 10' X 5' CONCRETE PAD	JULY 23, 2004	HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
SDP-03-036	REDLINE REVISION: REMOVED OFFICE TRAILER, ADDED 24' X 60' DOUBLE WIDE TRAILER	OCTOBER 26, 2004	HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
SDP-03-036	REDLINE REVISION: REVISED ADMIN/CLASROOM BUILDINGS WITH WALKWAY AND PARKING AREA WITH 3 HANDICAPPED SPACES.	JULY 13, 2005	HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
WRITTEN APPROVAL	ALLOWS A BREAK IN 12' BENCH REQUIRED BY SECTION 5.2.1.A.2 IN SWM FOND #2	FEBRUARY 7, 2006	HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
WP-06-127	(1) ALLOWS DISTURBANCE OF STEEP SLOPES IN EXCESS OF 25% IN A CONTIGUOUS AREA GREATER THAN 20,000 SF AND (2) EXTENDS APPROVAL OF WP-03-036 AND DEFERRED PLACEMENT OF BITUMINOUS DESCRIBED ABOVE, ALLOWING A MAXIMUM OF 1200 SF OF DISTURBANCE AND A MAXIMUM OF 85 SF OF PAVING WITHIN THE 50' INTERMITTENT STREAMBANK BUFFER, PROVIDED THAT BEST MANAGEMENT PRACTICES ARE USED BY THE CONTRACTOR AND ALL NECESSARY PERMITS ARE OBTAINED FROM THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE).	JUNE 12, 2006	HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
WRITTEN APPROVAL	ALLOWS STORMWATER MANAGEMENT OUTLET STRUCTURE FOR FOND #2 TO BE LESS THAN 25' FROM PROPERTY LINE	MAY 30, 2006	HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
SDP-06-110	SDP APPROVAL	OCTOBER 30, 2006	HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
	SDP revision to add armory and sniper deck	OCTOBER 17, 2016	HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

BUILDING INFORMATION TABLE

EXISTING STRUCTURE	TYPE	MEAN HEIGHT	STREET ADDRESS	AGE
ADMINISTRATION/CLASROOM BUILDING	PERMANENT BUILDING	34'-4"	2200	6-YRS
POLICE RANGE TRAILER	TEMPORARY MODULAR BUILDING	12'-4"	2260	2-YRS
VEHICLE STORAGE BUILDING	PERMANENT BUILDING	24'-4"	2280	2-YRS
PROPOSED STRUCTURE	TYPE	MEAN HEIGHT	STREET ADDRESS	AGE
K-4 TRAINING BUILDING	PERMANENT BUILDING	12'-4"	2204	10-YRS
HOGAN'S ALLEY TRAINING PROP 1	PERMANENT STRUCTURE	18'-4"	2208	10-YRS
HOGAN'S ALLEY TRAINING PROP 2	PERMANENT STRUCTURE	20'-4"	2208	10-YRS
HOGAN'S ALLEY TRAINING PROP 3	PERMANENT STRUCTURE	22'-4"	2208	10-YRS
EXPOSURE TRAINING BUILDING	PERMANENT BUILDING	18'-4"	2222	10-YRS
POLICE SIMULATION PROP	PERMANENT BUILDING	21'-4"	2220	10-YRS
FIRE GROUNDS BUILDING	PERMANENT BUILDING	28'-4"	2260	10-YRS
STORAGE MAZE	PERMANENT BUILDING	12'-4"	2272	10-YRS
FIRE FIGHTING PROP	PERMANENT STRUCTURE	26'-4"	2260	10-YRS
PUMP BUILDING	PERMANENT BUILDING	15'-4"	2264	10-YRS
ARMORY	PERMANENT STRUCTURE	12'-4"		
SNIPER DECK	PERMANENT STRUCTURE	12'-4"		

EXISTING VEGETATIVE COMMUNITIES

Forest Stand 1
3.26 ac. FS1 is a Maple and Oak stand. The stand is the largest associated stand and the onsite portions are approximately 4.6 acres of a much larger stand. The onsite canopy species include Red Oak, Red Maple, Black Oak, and Tulip Poplar. This stand contains some large maple trees including a 36 inch dba Red Maple. The understorey is shrubby and viney and dense. Species include Greenbrier, Multiflora Rose, Poison Ivy, Japanese Honeysuckle and grape. One of two separate stream branches run through each of the two onsite portions of FS1. The stream branch running through the southern, onsite portion of FS1 is dry. The stream branch running through the northern, onsite portion of FS1 is a perennial tributary of the Little Patuxent River. The canopy is approximately 70 to 90 percent closed.

The adjacent treeline running along Interstate Route 70 is a stand of Tree of Heaven.

Significant Trees:
Specimen Trees: 36" Red Maple
28" Red Maple
28" Red Maple
28" Red Maple
Large Trees: 28" Red Maple

Forest Stand 2
3.24 ac. FS2 is a Red Maple stand. The canopy species include Red Maple, Red Oak, Tulip Poplar and a few American Elm trees. In some areas of the stand, Red Maple is the only canopy species. The canopy is approximately 40 percent closed in the western portion of the stand and is as low as 65 percent closed in the eastern portion of the stand. The eastern portion of the stand is in closer proximity to Wetland A. The shrub layer consists of Multiflora Rose which is concentrated in the eastern portion of the stand. The dominant herbaceous species consist of Poison Ivy, Virginia Creeper, and Japanese Honeysuckle. Groundcover is at approximately 70 percent. This stand has moderately good forest structure, but has limited habitat due to its small size and disconnection from FS1. A corridor linking FS1 and FS2 would improve the value.

Significant Trees:
Specimen Trees: 39" Tulip Poplar
39" White Oak

Forest Stand 3
0.91 ac. FS3 is a disturbed, low quality stand of Tree of Heaven. Some Tulip Poplar, Red Maple, Black Cherry, and Red Oak are also growing in this stand. This stand has been subject to much disturbance from Interstate Route 70, the unnamed access access road, and the clearing and grading of the site.

Hedgerows
A few hedgerows exist periodically throughout the site. They are small stands of trees and brush narrower than 35' and smaller than 10,000 sf in area. These stands are comprised of mostly Red Maple, Tree of Heaven and a mix of both Asian and Black Cherry. Understorey is dominated by Greenbrier, Multiflora Rose, Poison Ivy, Japanese Honeysuckle and grape.

Open Space
The majority of the site is mowed grass and open field. The open field areas contain a variety of grasses and herbaceous plants with scattered larger shrubs Greenbrier and Multiflora Rose. The edges of the open field areas are dense with the larger shrubs.

Wetlands
There are two wetlands on the site, neither is to be disturbed during this work. Wetland A to the north-east of the site is mostly grass but is surrounded by Red Maple and will most likely become wooded in the future. Wetland B is in the center of the site. Wetland B was created due to a poorly graded slope on the south side of the existing firing range. It contains a few juvenile Willows, Cattails and other herbaceous plants.

LIGHTING FIXTURE SCHEDULE

NOTE: VERIFY CEILING AND WALL CONSTRUCTION AND FINISHES WITH THE ARCHITECT'S DRAWINGS AND FINISH SCHEDULES FURNISH PROPER MOUNTING FRAMES, BRACKETS AND HARDWARE AS REQUIRED TO BE COMPATIBLE WITH ARCHITECTURAL FINISHES. MOUNTING HEIGHTS INDICATED ARE TO BOTTOM OF FIXTURE

TYPE	DESCRIPTION	LAMPS		MAX FL	MOUNTING AFF.	SURFACE WALL OR CEILING MTD.	MANU. / MODEL NO. (OR APPROVED EQUAL)
		VOLTS	NO.				
D	INDUSTRIAL INCANDESCENT FIXTURE WITH CAST ALUMINUM HOUSING, CAST ALUMINUM GUARD AND GLASS GLOBE.	120	1	200 WATT A-21	200		STONCO "VXAL" SERIES
D1	SAME AS TYPE 'D' EXCEPT WALL MOUNTED.	120	1	60 WATT A-H RED	60	WALL MOUNTED AT T-6' A.F.F.	STONCO "VXAL" SERIES
D2	SAME AS TYPE 'D' EXCEPT WALL MOUNTED.	120	1	60 WATT A-H GREEN	60	WALL MOUNTED AT T-6' A.F.F.	STONCO "VXAL" SERIES
H	ROUGH SERVICE GRADE COMPACT FLOURESCENT WALL SCONCE WITH INTEGRAL PHOTOCELL.	120/271	1	32 TRT	35	WALL MTD. AT T-0' A.F.F.	LITHONIA "VRIEY" SERIES
J	REMOTE WEATHERPROOF EMERGENCY LIGHT HEAD WITH FIBERGLASS HOUSING AND SEALED & GASKETED LAMP.	6 VOLT D.C.	1	HALOGEN		WALL MTD. AT T-0' A.F.F.	LITHONIA "ELANK" SERIES
M	H.I.D. WALL PACK WITH DIE CAST ALUMINUM HOUSING, IMPACT RESISTANT BOROSILICATE GLASS LENS AND INTEGRAL PHOTOCELL.	120	1	50 WATT M.H.	175	WALL MTD. AT 10'-0" A.F.F.	LUMARK "P" SERIES
M1	SAME AS TYPE 'M'.	120	1	70 WATT M.H.	100	WALL MTD. AT 10'-0" A.F.F.	LUMARK "P" SERIES
P	2X4 FLUORESCENT TROFFER WITH 3" DEEP, 18 CELL LOW IRIDESCENT PARABOLIC LOUVER AND 2 ELECTRONIC BALLAST.	120	3	F3218	105	RECESSED MOUNTED.	LITHONIA "FNB" SERIES
Q	2X2 FLUORESCENT TROFFER WITH 3" DEEP, 4 CELL LOW IRIDESCENT PARABOLIC LOUVER AND SINGLE ELECTRONIC BALLAST.	120	3	FIT18	70	RECESSED MOUNTED.	LITHONIA "FNB" SERIES
R	POLE MOUNTED H.I.D. FIXTURE WITH FLAT GLASS LENS AND COLD WEATHER H.P.F. BALLAST, U.L. LISTED FOR NET LOCATIONS. SHALL HAVE TYPE 3 LIGHT DISTRIBUTION OPTICS. POLE SHALL BE 20' SQUARE ALUMINUM WITH EPA WITH STANDRATING OF 100 MPH WINDS FOR ATTACHED FIXTURES. COLOR OF POLE AND FIXTURE TO BE SELECTED BY ARCHITECT. FIXTURE TO BE EQUIPPED WITH INTEGRAL PHOTOCELL.	208V, 1 PH.	1	400 WATT M.H.	450	POLE	LITHONIA "KSF2" SERIES
R1	SAME AS TYPE 'R' EXCEPT WITH TYPE V LIGHT DISTRIBUTION OPTICS.	208V, 1 PH.	1	400 WATT M.H.	450	POLE	LITHONIA "KSF2" SERIES
S1	35' CLASS 3 WOODEN POLE WITH 4' CROSS ARM AND 2 QUARTZ FLOOD LIGHTS. POLE TO BE SET IN GROUND 4'-0". FLOOD LIGHTS TO BE MOUNTED TO CROSS ARMS. CROSS ARMS TO BE BOLTED TO BRACE AT 6' BELOW POLE TOP. CROSS ARM TO BE WOOD. BRACES TO BE ZINC-COATED STRUCTURAL STEEL. PROVIDE FUSING AT BASE FOR FIXTURES.	120	2	1500 WATT QUARTZ	3000	POLE	BAY-BRITE "NG" SERIES
S2	SAME AS TYPE 'S1' EXCEPT WITH 35' CLASS 3 WOODEN POLE AND POLE SET IN GROUND T-6'.	120	2	1500 WATT QUARTZ	3000	POLE	BAY-BRITE "NG" SERIES

THIS SEAL IS FOR REVISIONS MADE BY SITE RESOURCES, INC.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 23165. Expiration Date: 07/18/2017.

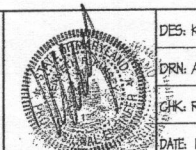
APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS

APPROVED: DEPARTMENT OF PLANNING & ZONING

EDMEADES & STROMDAHL, LTD. ARCHITECTS/PLANNERS
34 North Main Street Bel Air, Maryland 21014
Phone: 410.879.0388 Fax: 410.879.4785
E-mail: lw@edmeades-stromdahl.com

SITE RESOURCES, INC. LAND PLANNING / SITE DESIGN
14315 Jarrettville Pike Phoenix, Maryland 21131
Phone: 410.683.3388 Fax: 410.683.3389



DES.	DRN.	CHK.	DATE
KPR	AM	REM	10/11/06

BY	NO.	REVISION	DATE

Site Notes

Phase II Improvements: four buildings, eight training props and associated infrastructure

PUBLIC SAFETY TRAINING CENTER
at Alpha Ridge Landfill, Capital Project No. C-0182, Howard County, Maryland

OWNER: Howard County Department of Public Works
4430 Coonhorse Drive Ellicott City, Maryland 21043
Phone (410) 313-3100

ADDRESS / PERMIT INFORMATION:
PARCEL #253, ADDRESS 2200 Alpha Center Drive
PLAT No. 5716, LEGAL 11/18/04
GRID No. 2/B, ZONE RC-DEO, TAX MAP No. 16
3rd Election District, Census Tract 6030
WATER CODE: 150, SEWER CODE: Private - Holding Tank

600' SCALE MAP NO. 16 BLOCK NO. 2 / 8

CO.02

SCALE: AS SHOWN

SHEET 2 OF 10

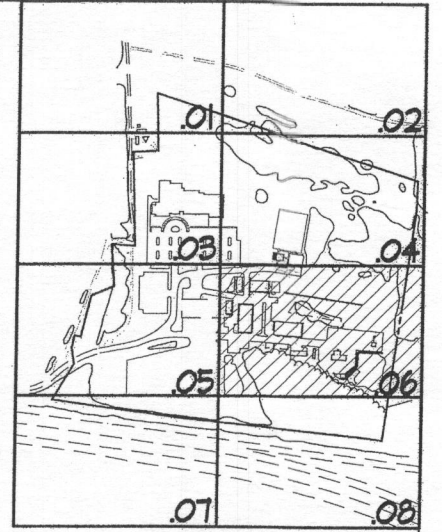
SDP - 06-110

MATCHLINE, SEE SHEET C5.04

MATCHLINE, SEE SHEET C5.05

LEGEND - GRADING & SEC PLAN

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING TREELINE
- PROPOSED TREELINE
- EXISTING ROADS
- PROPOSED ROADS
- EXISTING STORMDRAINS
- EXISTING WATER
- EARTH DIKE
- LIMIT OF DISTURBANCE
- RRIP SUPER SILT FENCE INLET PROTECTION
- GMP SUPER SILT FENCE INLET PROTECTION
- ASIP AT GRADE INLET PROTECTION
- RPS REMOVABLE PUMPING STATION
- EGM PROPOSED EROSION CONTROL MATTING
- EXISTING STEEP SLOPES GREATER THAN 20% IN A CONTIGUOUS AREA MORE THAN 20,000 SF
- BAFFLE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- SUPER SILT FENCE
- TREE PROTECTION FENCE
- RIFRAP INFLOW PROTECTION
- GABION INFLOW PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM
- EXISTING FOREST CONSERVATION EASEMENT
- PROPOSED FOREST CONSERVATION EASEMENT
- SCATTERED BRUSH CLEARING AREA GROUND SHALL REMAIN UNDISTURBED



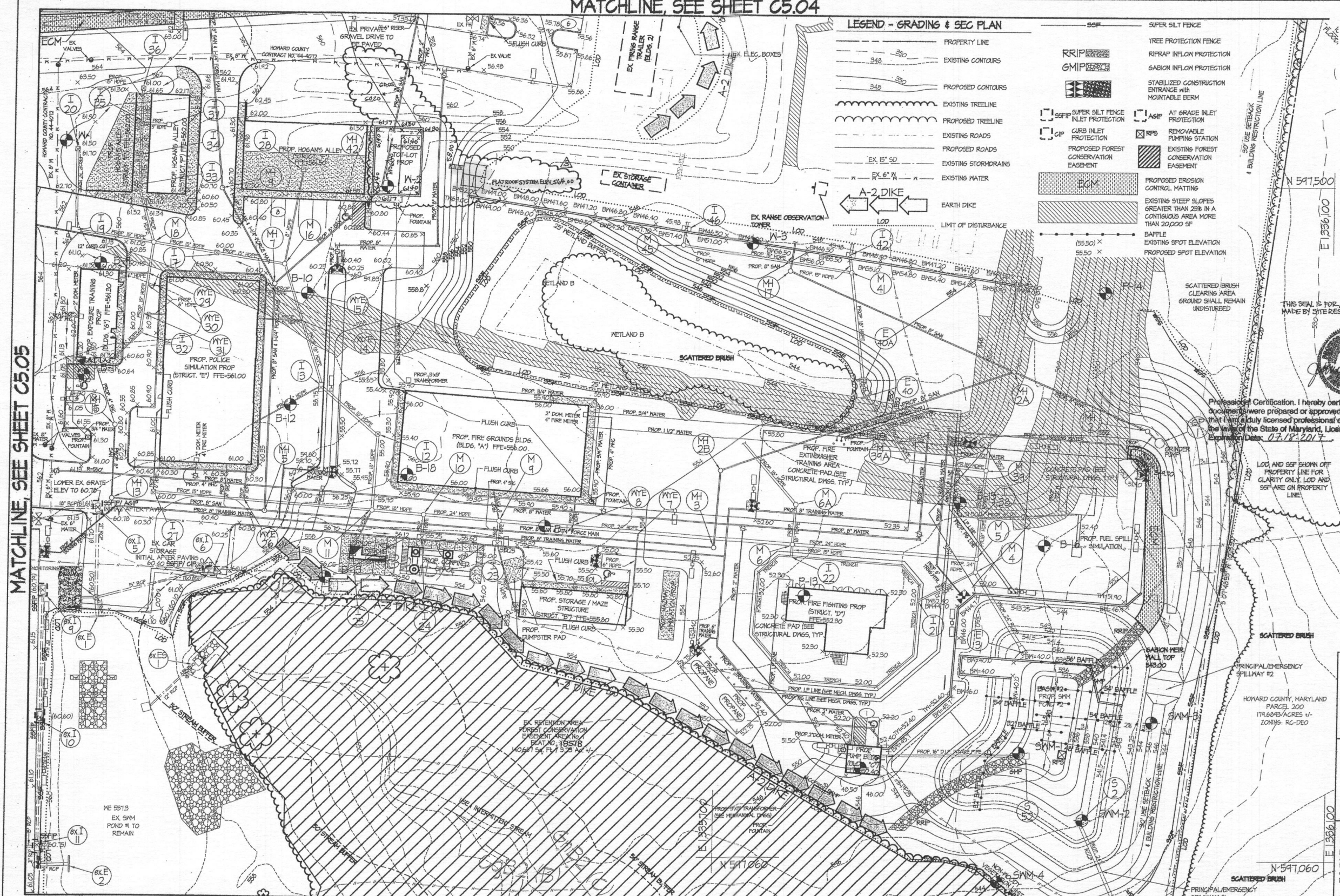
KEY MAP

THIS SEAL IS FOR REVISIONS MADE BY SITE RESOURCES, INC.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 23165, Expiration Date: 07/18/2017.

SEDIMENT BASIN TABLE	
BASIN NUMBER	2
EXISTING DRAINAGE AREA AC.	6.58
INTERIM DRAINAGE AREA AC.	6.46
PROPOSED DRAINAGE AREA AC.	6.46
STORAGE REQUIRED C.F.	1,628
	DRY
TOTAL	28,256
	WET
TOTAL	29,596
STORAGE PROVIDED C.F.	60,592
	DRY
TOTAL	548.25
EXISTING GROUND ELEV.	548.25
TOP EMBANKMENT ELEV.	546.00
EMERGENCY SPILLWAY GREST ELEV.	544.00
EMERGENCY SPILLWAY GREST ELEV.	544.00
NET STORAGE ELEV.	542.00
CLEANOUT ELEV.	537.00
BOTTOM ELEV.	535.00
GO INTO BASIN C.F.S.	21.8
GO OUT BASIN C.F.S.	11.8
GO OUT EMERGENCY SPILLWAY C.F.S.	1.00
TOTAL GO OUT OF BASIN C.F.S.	24.71
	WET
TOTAL	4.07
	DRY
TOTAL	544.71
DESIGN HIGHWATER 100 YEAR	1.00
FRESHWATER REQUIRED 100 YEAR	1.25
FRESHWATER PROVIDED 100 YEAR	24
DAMPER DIMENSIONS	4' x 4'
RISER INTERIOR DIMENSIONS	10'
EMERGENCY SPILLWAY WIDTH	585.00 - 542.00
NET STORAGE ZONE ELEV.	542.00 - 544.00
DRY STORAGE ZONE ELEV.	29' x 6'
BOTTOM DIMENSIONS	594
STORAGE REQUIRED AT CLEANOUT C.F.	4.66
STORAGE PROVIDED AT CLEANOUT C.F.	8.89
DIMENSION FROM CLEANOUT ELEV. TO RISER TOP	542.50
START DRAINAGE REVISIONS AT ELEV.	YES
1 YEAR MAINTENANCE REQUIRED	YES
1 YEAR MAINTENANCE PROVIDED	YES
1 YEAR DRAINAGE C.F.S.	0.41
1 YEAR OUTFLOW C.F.S.	0.44



MATCHLINE, SEE SHEET C5.08

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWERAGE SYSTEMS
 HOWARD COUNTY HEALTH DEPARTMENT
 Robert J. Walker, COUNTY HEALTH OFFICER, 10/20/06 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 James M. Irvin, DIRECTOR, 10/20/06 DATE

APPROVED: DEPARTMENT OF PLANNING & ZONING
 David A. Wright, DIRECTOR, 11/21/06 DATE

APPROVED: CHIEF DEVELOPMENT ENGINEERING DIVISION
 10/24/06 DATE

APPROVED: CHIEF, DIVISION OF LAND DEVELOPMENT
 10/26/06 DATE

EDMEADES & STROMDAHL, LTD.
 ARCHITECTS / PLANNERS
 34 North Main Street Bel Air, Maryland 21014
 Phone: 410.879.0388 Fax: 410.879.4785
 E-mail: bw@edmeades-stromdahl.com

SITE RESOURCES, INC.
 LAND PLANNING / SITE DESIGN
 14315 Jarnettville Pike Phoenix, Maryland 21131
 Phone: 410.683.3388 Fax: 410.683.3389



DES. KFR	
DRN. AM	
CHK. REM.	
DATE 10/11/06	
BY NO.	
REVISION: ADD ARMORY AND SNIPER DECK.	10/17/06

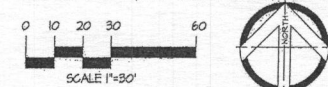
Grading & Erosion & Sediment Control Plan

600' SCALE MAP NO. 16 BLOCK NO. 2 / B

Phase II Improvements: four buildings, eight training props and associated infrastructure
PUBLIC SAFETY TRAINING CENTER
 at Alpha Ridge Landfill, Capital Project No.C-01B2, Howard County, Maryland

OWNER: Howard County Department of Public Works
 3450 Concourse Drive Ellicott City, Maryland 21043
 Phone: (410) 319-2100

ADDRESS / PERMIT INFORMATION:
 PARCEL #233, ADDRESS: 2200 Alpha Center Drive
 PLAT No. 15116, L6609 / E160
 GRID No. 233, ZONE: RC-DEO, TAX MAP No. 16
 3rd Election District, Census Tract 6030
 WATER CODE: 130, SEWER CODE: Private - Holding Tank



REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.
 USDA - NATURAL RESOURCES CONSERVATION SERVICE
 DATE 10/19/06

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 DATE 10/19/06

ENGINEER'S CERTIFICATE
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 ENGINEER: [Signature] DATE: 10/19/06

DEVELOPER'S CERTIFICATE
 "We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 DEVELOPER: [Signature] DATE: 10-12-06

C5.06

SCALE: 1"=30'
 SHEET 45 OF 70

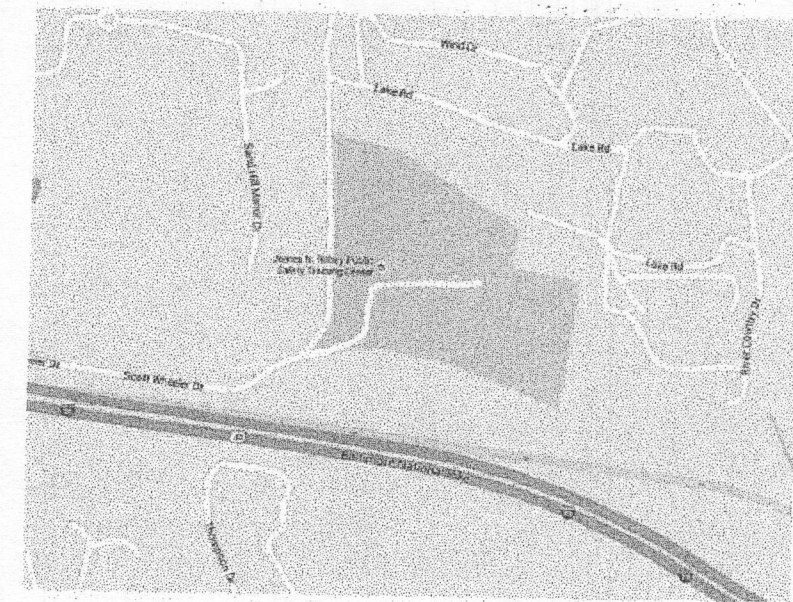
HOWARD COUNTY POLICE
 TRAINING SNIPER DECK
 2200 SCOTT WHEELER DRIVE
 MARRIOTSVILLE, MD 21104

SHADE CONSTRUCTION CO., INC.
 1730 EAST JOPPA ROAD
 BALTIMORE, MARYLAND 21234
 410-665-5300

RECEIVED
 OCT 23 2016
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 DIVISION


TABLE OF CONTENTS

DRAWING NUMBER	TITLE
A1	FLOOR & ROOF PLANS
A2	ELEVATIONS
A3	ELEVATIONS
S1	FOUNDATION & FLOOR PLANS
S2	ROOF FRAMING PLANS
S3	SECTIONS & DETAILS
S4	STAIR SECTIONS & DETAILS
S5	GENERAL NOTES
S6	GENERAL NOTES



LOCATION MAP

CONSULTING ENGINEERS

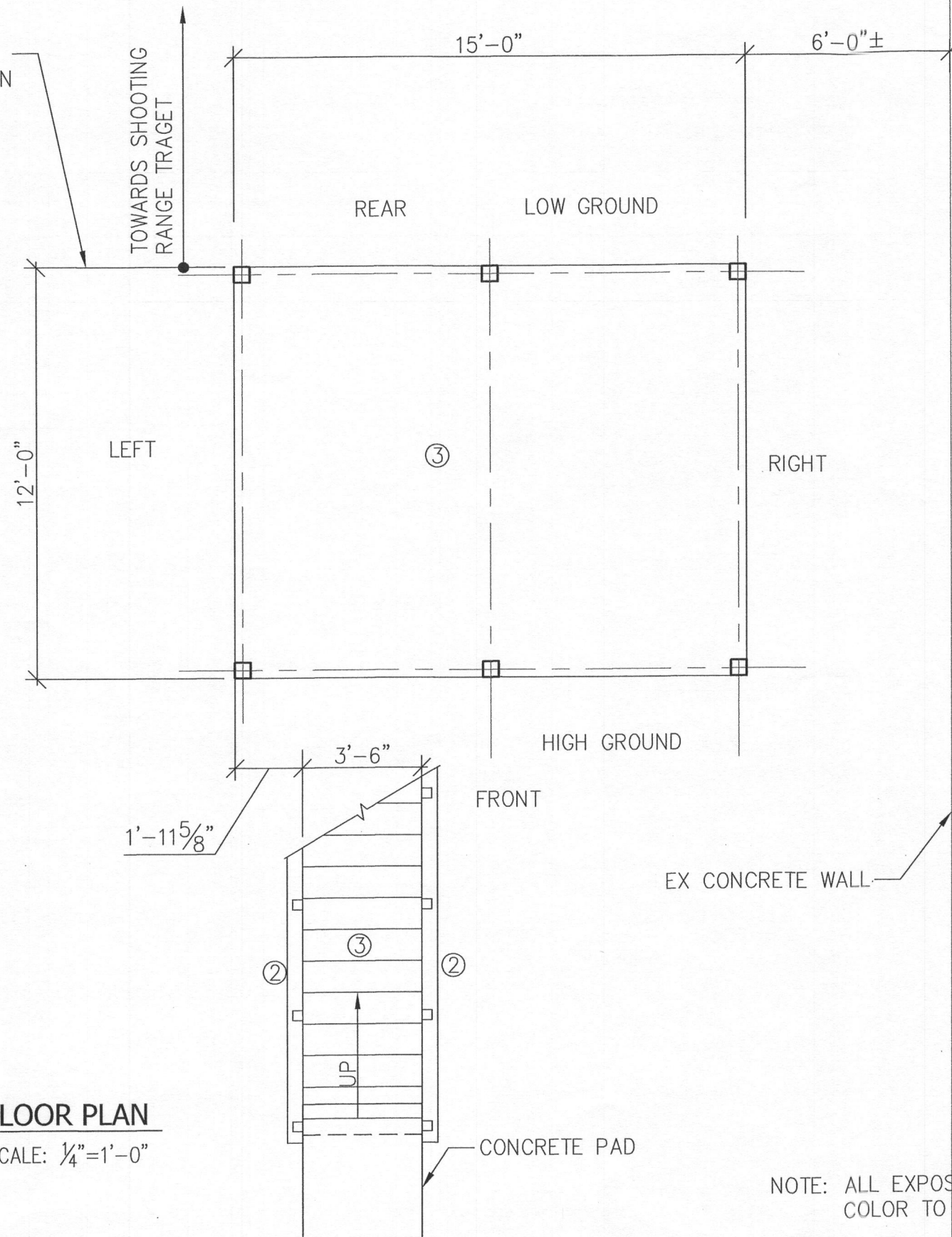


ENCO Structural Engineers, Inc.
 7226 Lee Deforest Drive, Columbia, MD 21046
 Phone: 410-953-8181
 Email: enco@encoengineers.com
 Web: www.encoengineers.com

COMMENTS	
SUBMISSION	DATE
CLIENT REVIEW	07/28/16
PERMIT	08/22/16

TS

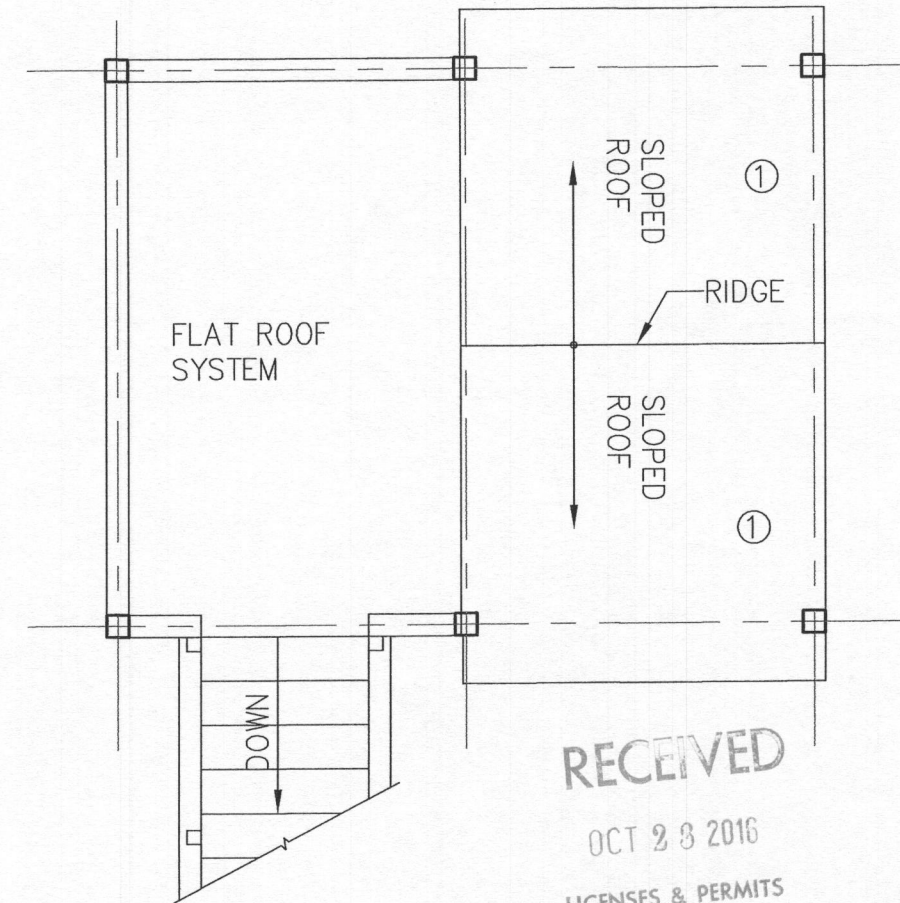
THE FACE OF POSTS SHALL BE AT LOCATION STAKED OUT BY OWNER



01 FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN KEY NOTES REFERENCED WITH KEY NUMBER INDICATED THUS ① ON PLAN

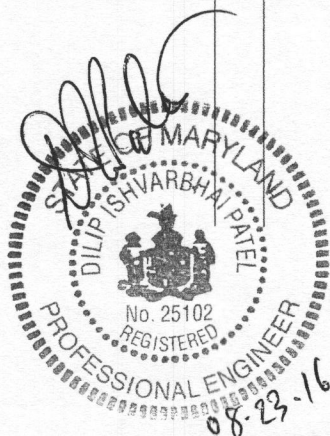
- ① 30 YEAR SHINGLE ROOF OVER 15 LB FELT PAPER WITH DRIP EDGE
- ② VINYL RAILING WITH WOOD MEMBER INSERT, TYP
- ③ COMPOSITE DECKING; COMPOSITE RAILING, COLOR TBD BY OWNER
- ④ VINYL SIDING



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02 ROOF PLAN
SCALE: 1/4" = 1'-0"

NOTE: ALL EXPOSED SURFACES SHALL BE WRAPPED IN ALUMINUM. COLOR TO BE WHITE.



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO: 25102, EXPIRATION DATE: 09/25/2018

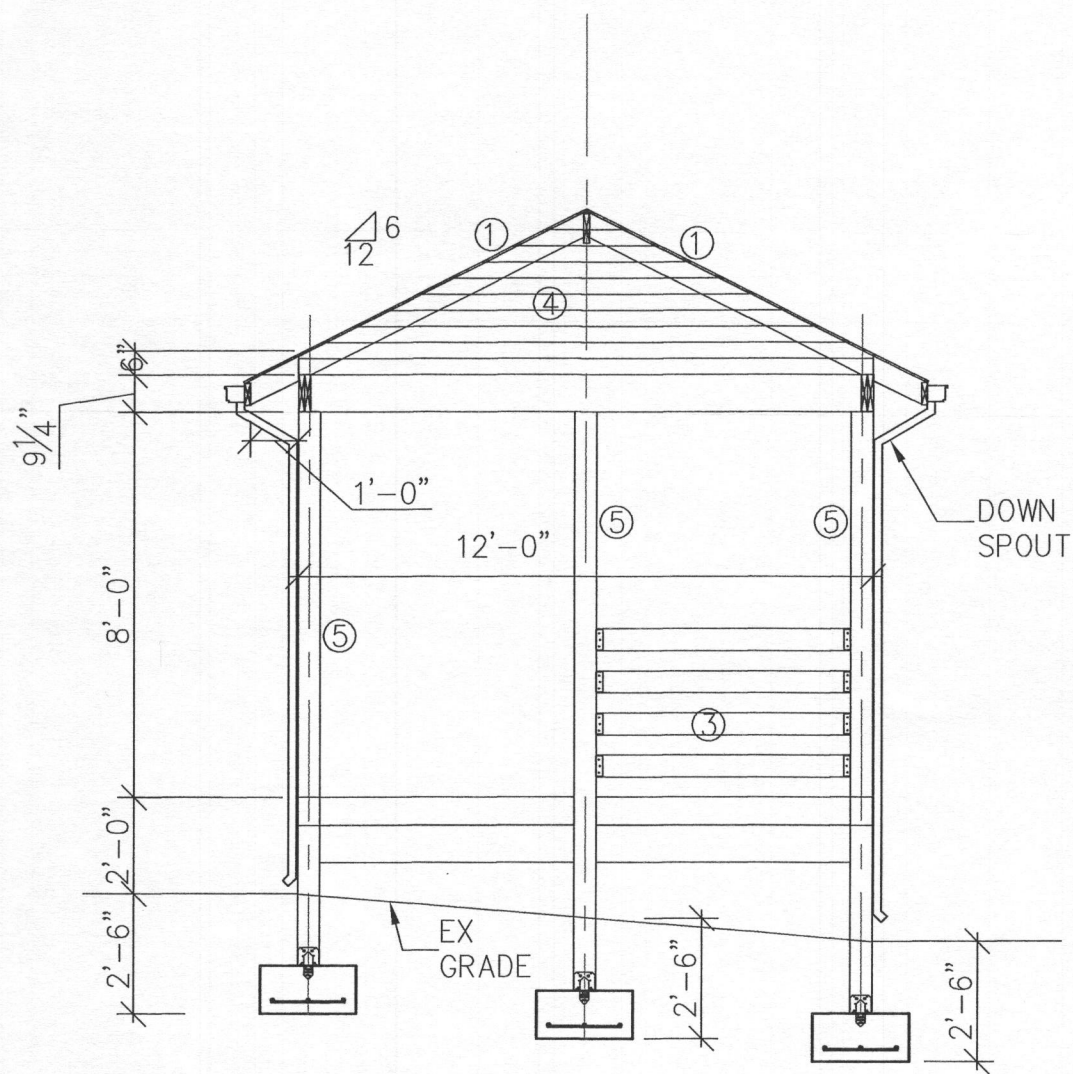
CONSULTING ENGINEERS:
ENCO Structural Engineers, Inc.
www.encoengineers.com
7226 Lee Deforest Drive, Suite 202
Columbia, Maryland 21046
P: 410-953-8181
Email: enco@encoengineers.com

CLIENT:
Shade Construction Co., Inc.
1730 East Joppa Road
Baltimore, MD 21234
410-665-5300

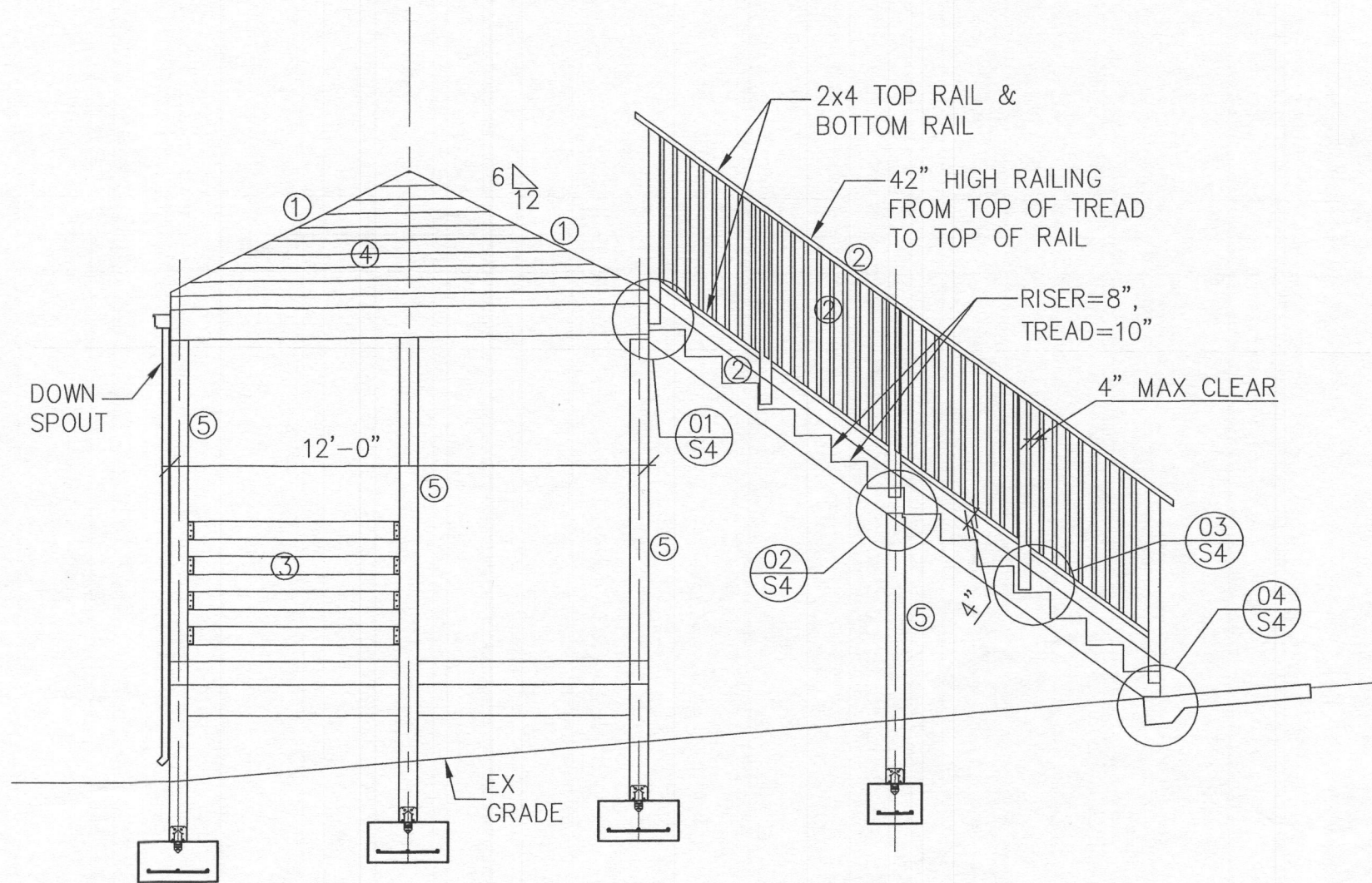
PROJECT:
HCPT SNIPER DECK
2200 Scott Wheeler drive
Marriottsville, MD 21104

SHEET TITLE:
FLOOR & ROOF PLANS

SUBMISSION	DATE	NO	DRN BY:	SCALE:	DATE:
OWNER/CLIENT REVIEW	07/28/16		IC	AS NOTED	08/22/16
PERMIT	08/22/16		DGN BY:	PROJ. NO:	SHT NO:
			DP	15701	A1



01 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



02 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

NOTE: ALL EXPOSED SURFACES SHALL BE WRAPPED IN ALUMINUM.
COLOR TO BE WHITE.

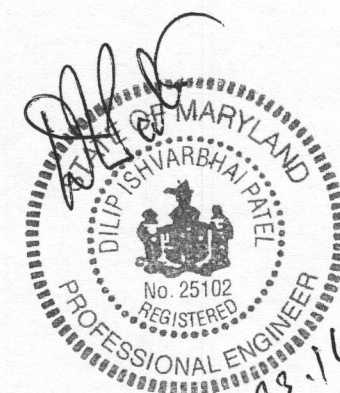
PLAN KEY NOTES REFERENCED WITH KEY NUMBER INDICATED THUS ① ON PLAN

- ① 30 YEAR SHINGLE ROOF OVER 15 LB FELT PAPER WITH DRIP EDGE
- ② VINYL RAILING WITH WOOD MEMBER INSERT, TYP
- ③ COMPOSITE DECKING; COMPOSITE RAILING, COLOR TBD BY OWNER
- ④ VINYL SIDING
- ⑤ BREAK METAL WRAPPED POST
- ⑥ BREAL METAL WRAPPED PARAPET

RECEIVED

OCT 28 2016

LICENSES & PERMITS
DIVISION



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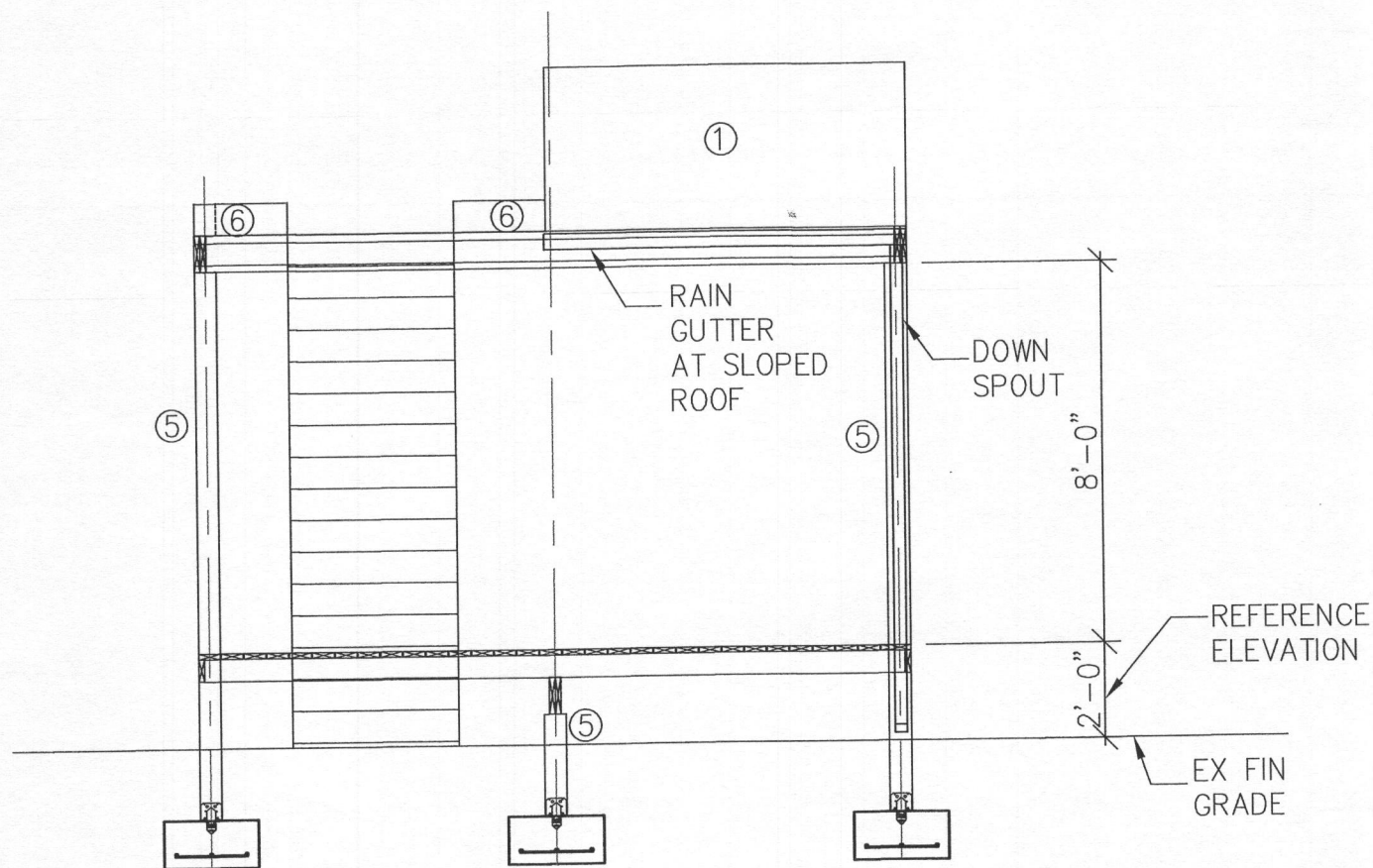
CONSULTING ENGINEERS:
ENCO Structural Engineers, Inc.
www.encoengineers.com
7226 Lee Deforest Drive, Suite 202
Columbia, Maryland 21046
P: 410-953-8181
Email: enco@encoengineers.com

CLIENT:
Shade Construction Co., Inc.
1730 East Joppa Road
Baltimore, MD 21234
410-665-5300

PROJECT:
HCPT SNIPER DECK
2200 Scott Wheeler drive
Marriottsville, MD 21104

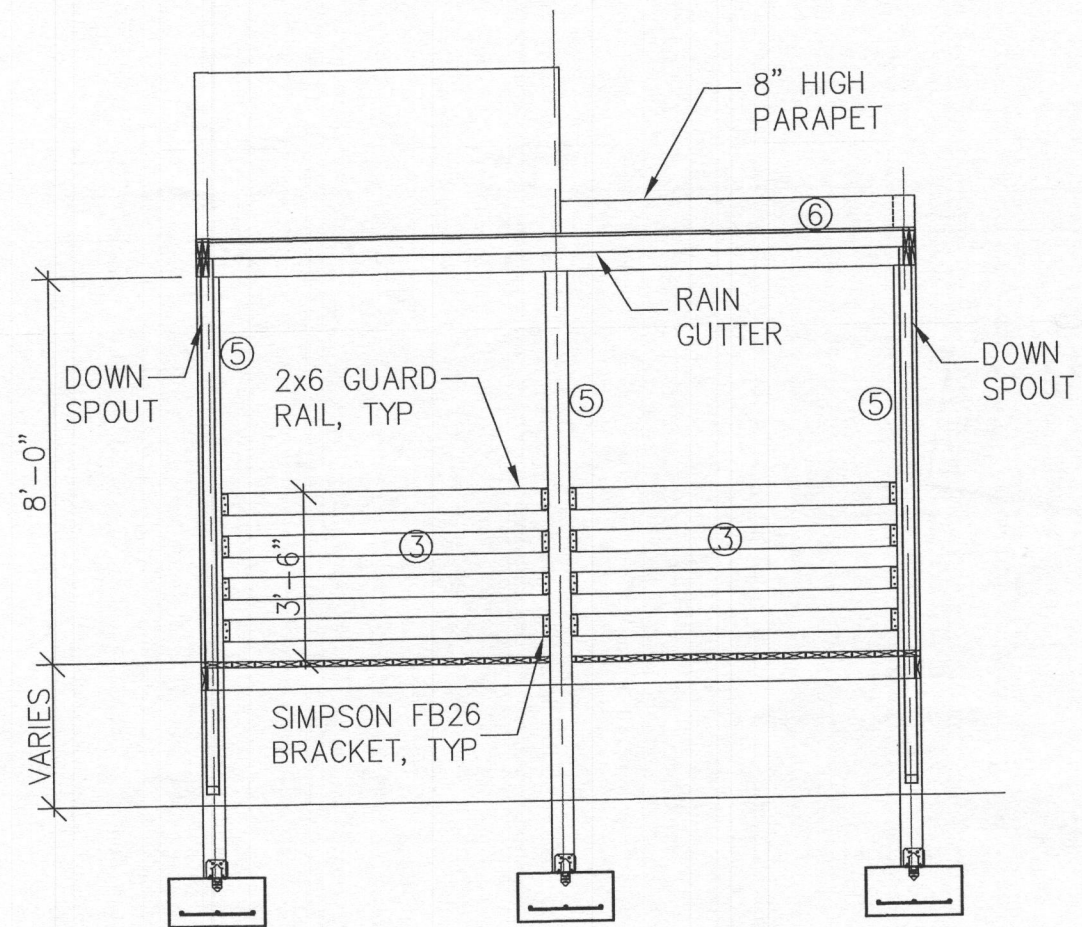
SHEET TITLE:
ELEVATIONS

SUBMISSION	DATE	NO	DRN BY:	SCALE:	DATE:
OWNER/CLIENT REVIEW	07/28/16		IC	AS NOTED	08/22/16
PERMIT	08/22/16		DGN BY: DP	PROJ. NO: 15701	SHT NO: A2



01 FRONT ELEVATION
SCALE: 1/4"=1'-0"

NOTE: ALL EXPOSED SURFACES SHALL BE WRAPPED IN ALUMINUM. COLOR TO BE WHITE.

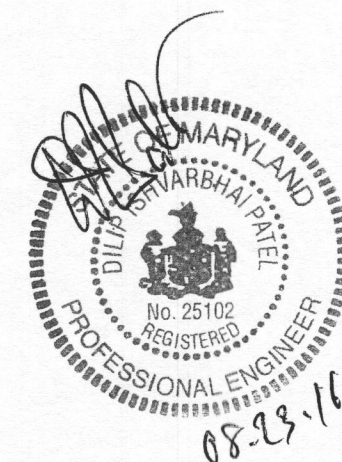


02 REAR ELEVATION
SCALE: 1/4"=1'-0"

PLAN KEY NOTES REFERENCED WITH KEY NUMBER INDICATED THUS ① ON PLAN

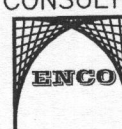
- ① 30 YEAR SHINGLE ROOF OVER 15 LB FELT PAPER WITH DRIP EDGE
- ② VINYL RAILING WITH WOOD MEMBER INSERT, TYP
- ③ COMPOSITE DECKING; COMPOSITE RAILING, COLOR TBD BY OWNER
- ④ VINYL SIDING

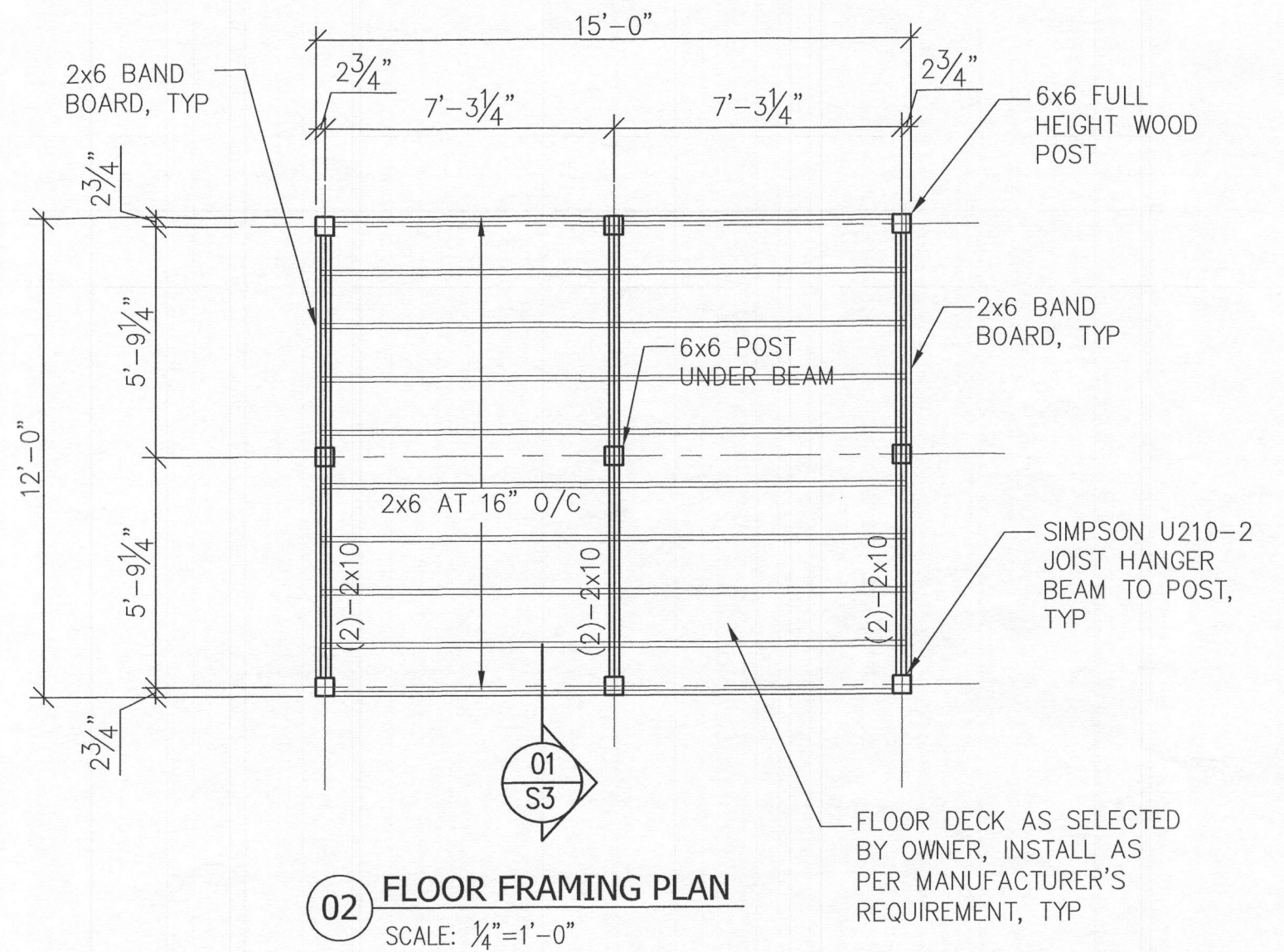
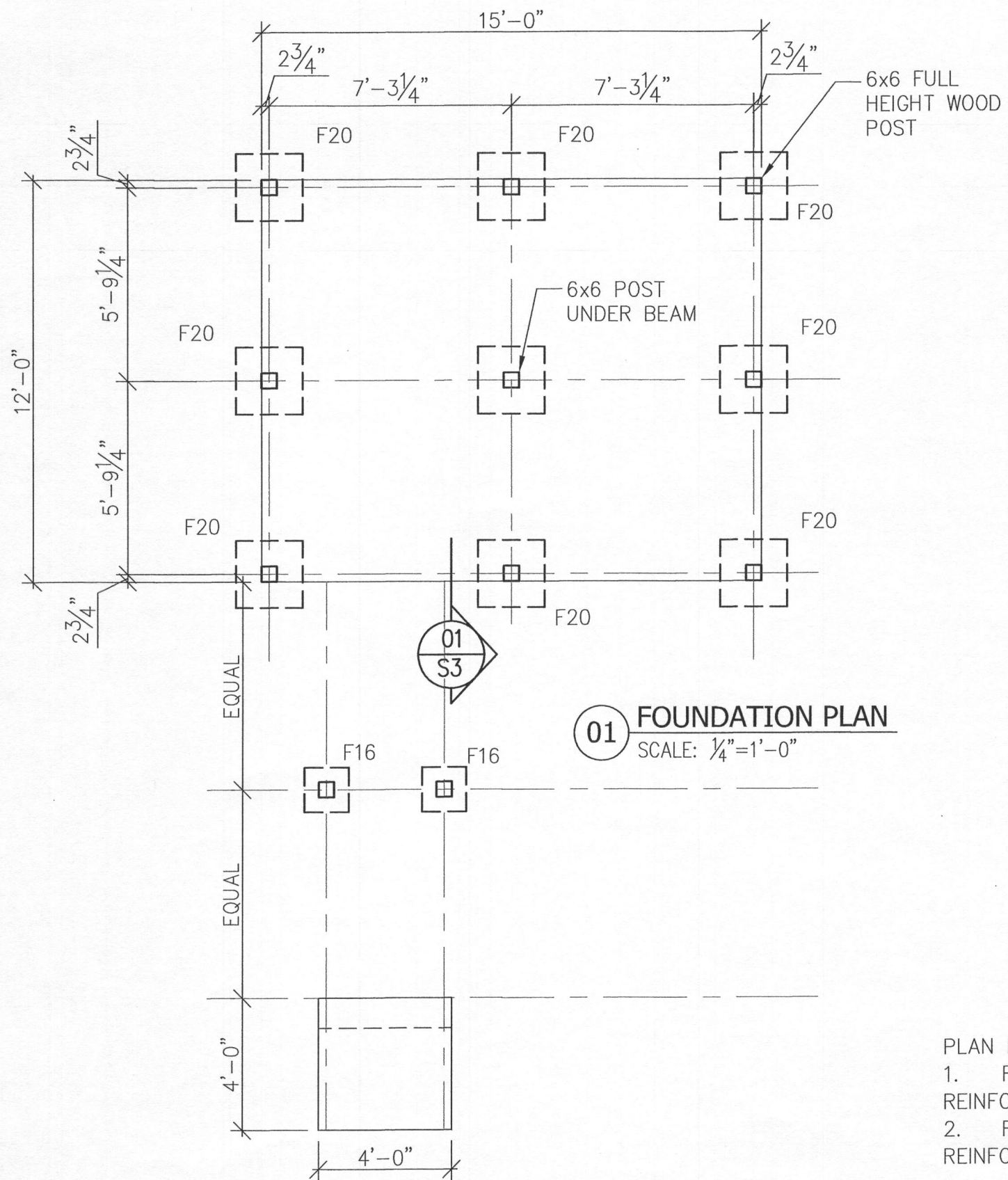
- ⑤ BREAK METAL WRAPPED POST
- ⑥ BREAL METAL WRAPPED PARAPET



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CONSULTING ENGINEERS:  ENCO Structural Engineers, Inc. www.encoengineers.com 7226 Lee Deforest Drive, Suite 202 Columbia, Maryland 21046 P: 410-953-8181 Email: enco@encoengineers.com	CLIENT: Shade Construction Co., Inc. 1730 East Joppa Road Baltimore, MD 21234 410-665-5300	PROJECT: HCPT SNIPER DECK 2200 Scott Wheeler drive Marriotsville, MD 21104	SHEET TITLE: ELEVATIONS	SUBMISSION	DATE	NO	DRN BY:	SCALE:	DATE:
				OWNER/CLIENT REVIEW	07/28/16		IC	AS NOTED	08/22/16
				PERMIT	08/22/16		DGN BY:	PROJ. NO:	SHT NO:
							DP	15701	A3



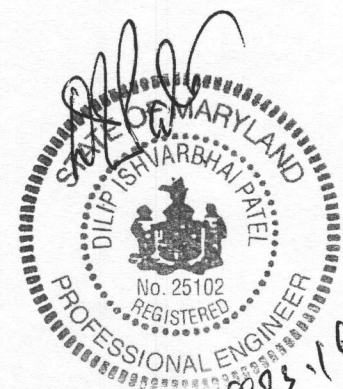
PLAN NOTES:

- F20 ON PLAN INDICATES 2'-0"x2'-0"x1'-0" CONCRETE FOOTING, REINFORCED WITH (3)-#4 BOTTOM REINFORCING BARS EACH WAY.
- F16 ON PLAN INDICATES 1'-4"x1'-4"x1'-0" CONCRETE FOOTING, REINFORCED WITH (3)-#4 BOTTOM REINFORCING BARS EACH WAY.

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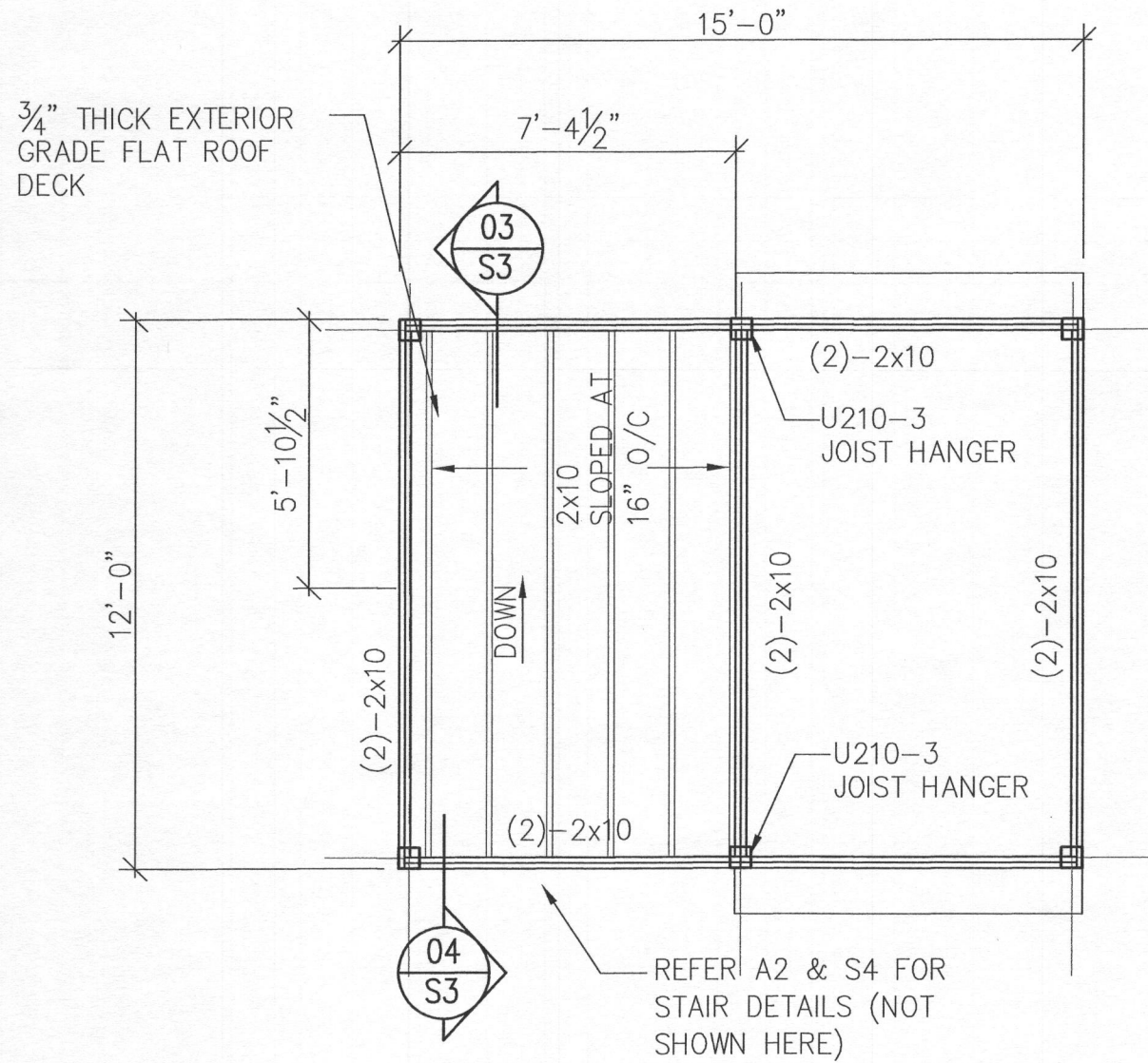
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Baltimore, MD 21234
410-665-5300

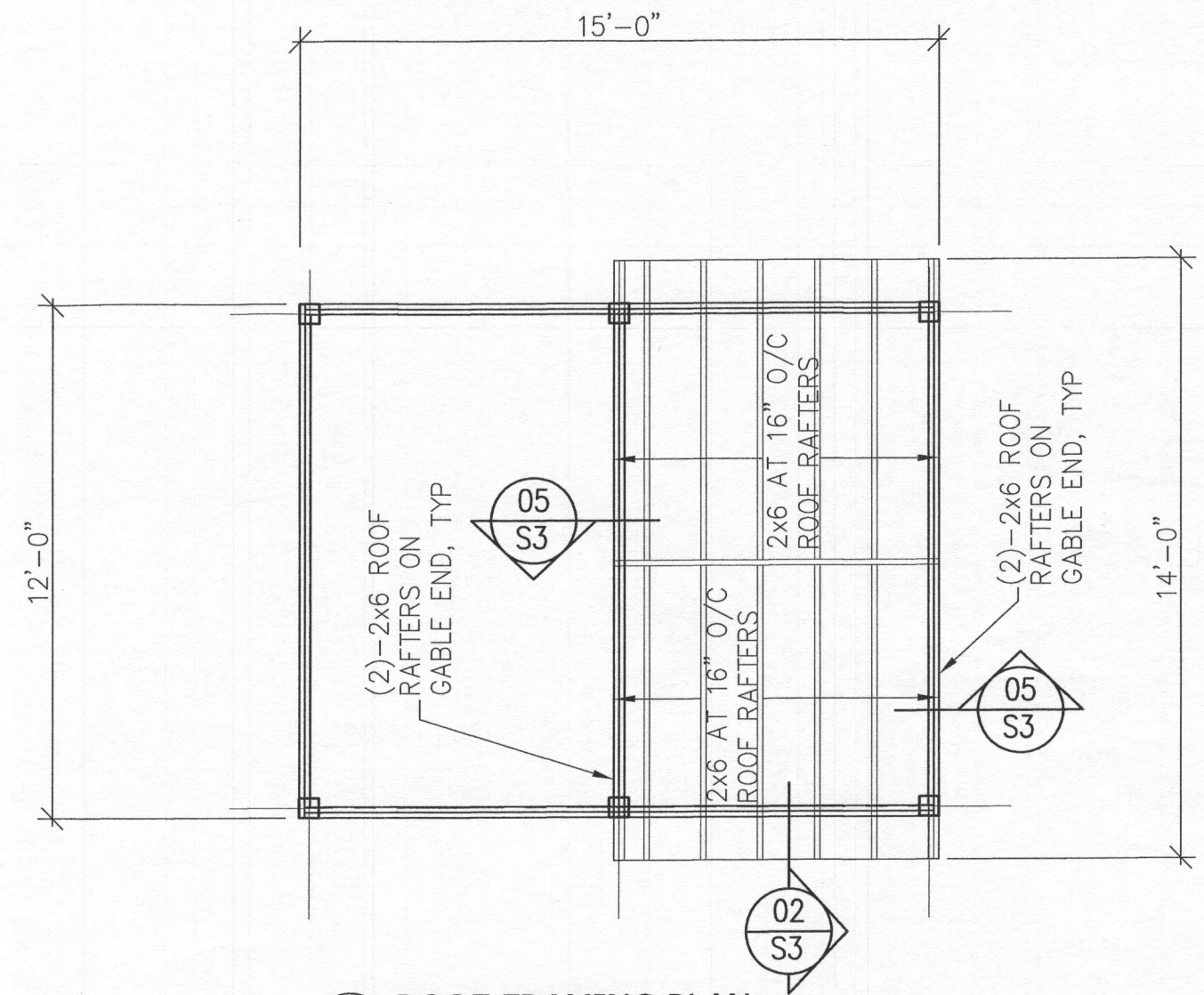
PROJECT:
HCPT SNIPER DECK
2200 Scott Wheeler drive
Marriottsville, MD 21104

SHEET TITLE:
**FLOOR & FOUNDATION
PLANS**

SUBMISSION	DATE	NO	DRN BY:	SCALE:	DATE:
OWNER/CLIENT REVIEW	07/28/16		IC	AS NOTED	08/22/16
PERMIT	08/22/16		DGN BY: DP	PROJ. NO: 15701	SHT NO: S1



01 FLAT ROOF LEVEL FRAMING PLAN
SCALE: 1/4"=1'-0"

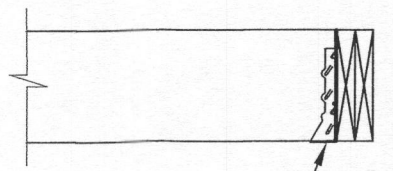


02 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

MEMBER TYPE	NAILS	
	NO	SPACING
2X8	2 @	16" O/C
2X10	2 @	12" O/C
2X12	3 @	12" O/C

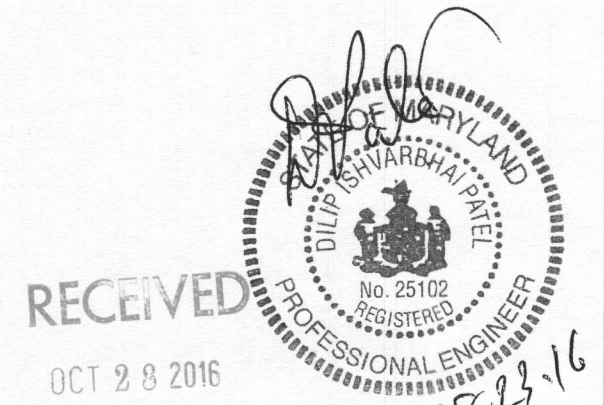


A1 TYPICAL MULTI PLY BEAM CONNECTION



A2 TYPICAL BEAM TO BEAM CONNECTION DETAIL

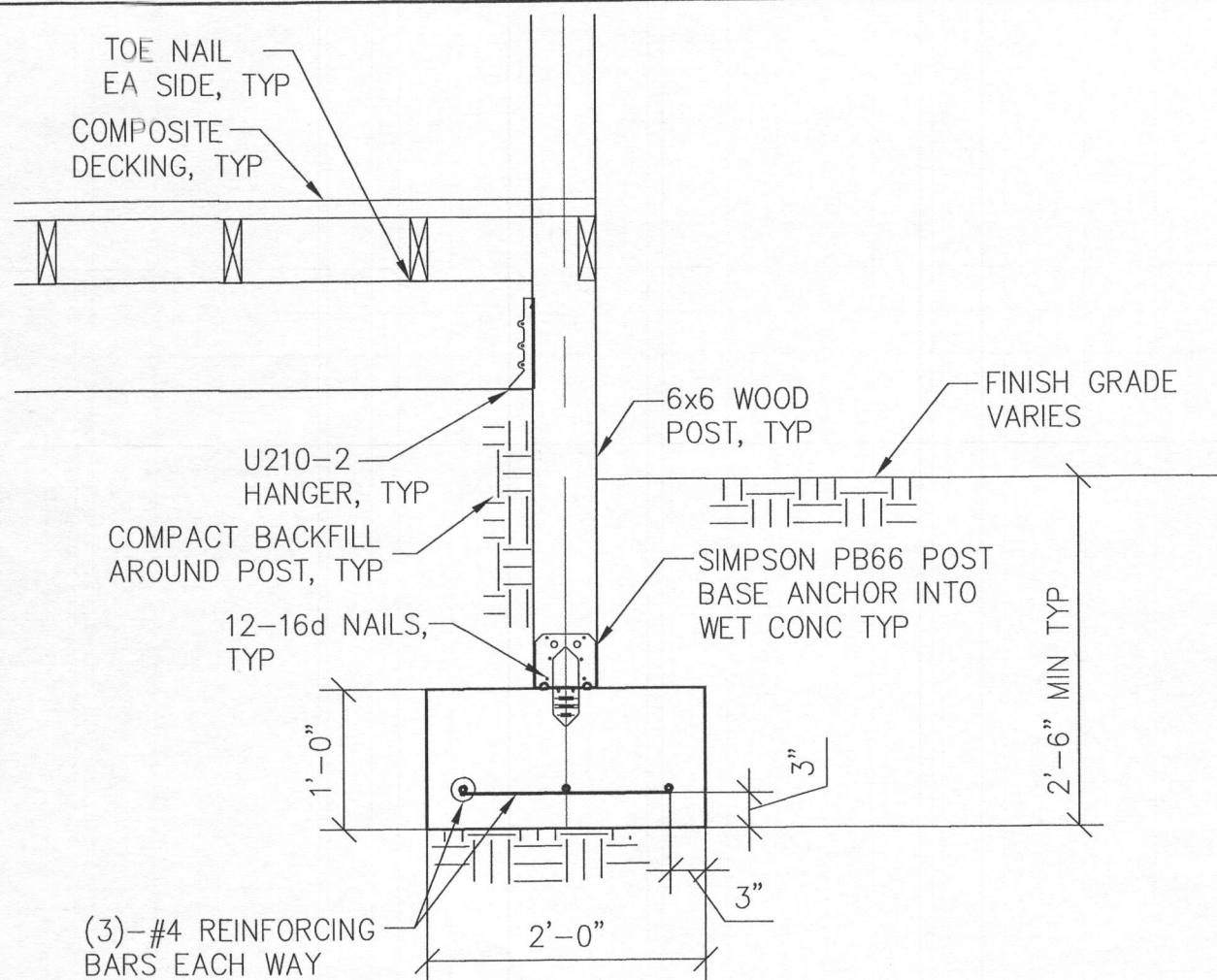
MEMBER TO BE FRAMED	FRAMING ANCHOR (SIMPSON OR EQUAL)
2-2X8	LUS28-2
2-2X10	LUS210-2
2-2X12	LUS210-2
3-2X10 OR 3-2x12	LUS210-3



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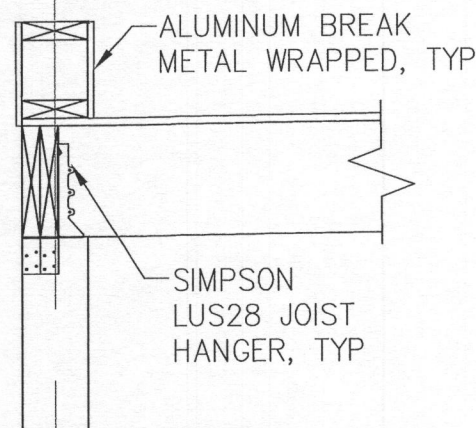
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				PERMIT	08/22/16	DGN BY: DP	PROJ. NO: 15701	SHT NO: S2	



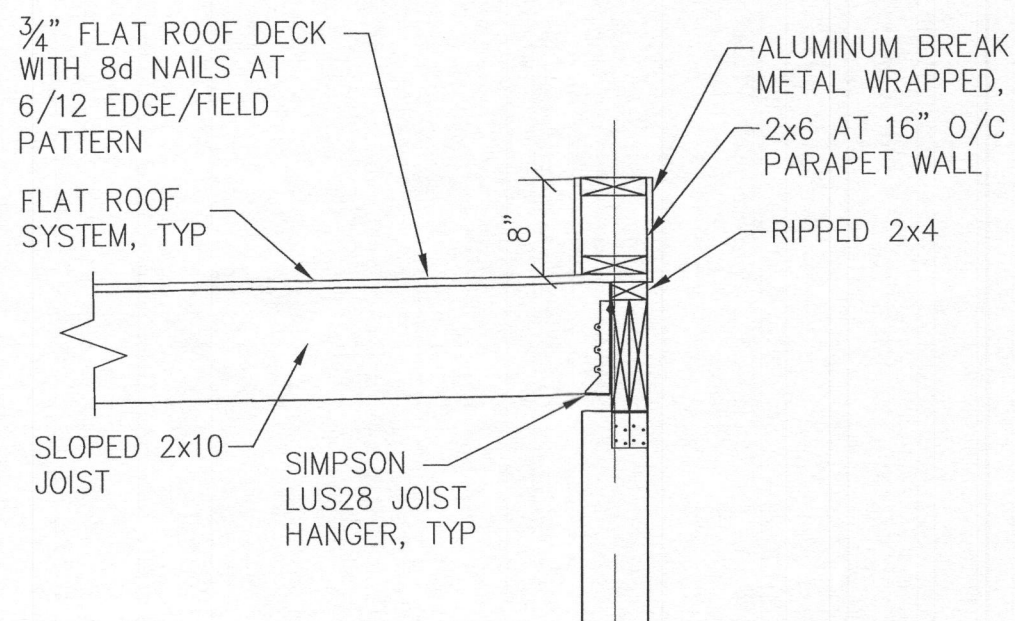
01 TYP POST & FOOTING DETAIL

SCALE: 3/4"=1'-0"

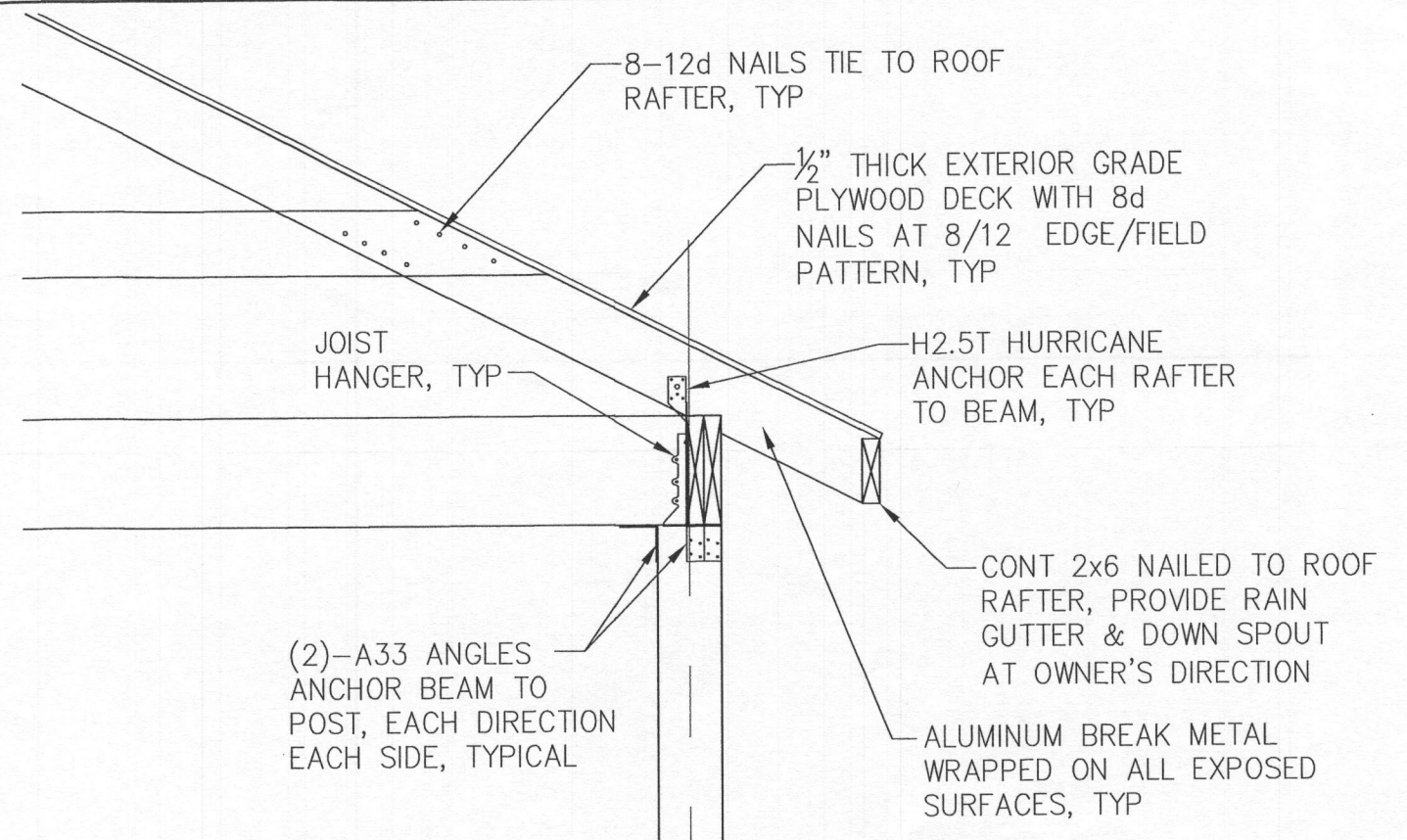
REFER DETAIL 04 FOR BALANCE OF NOTES



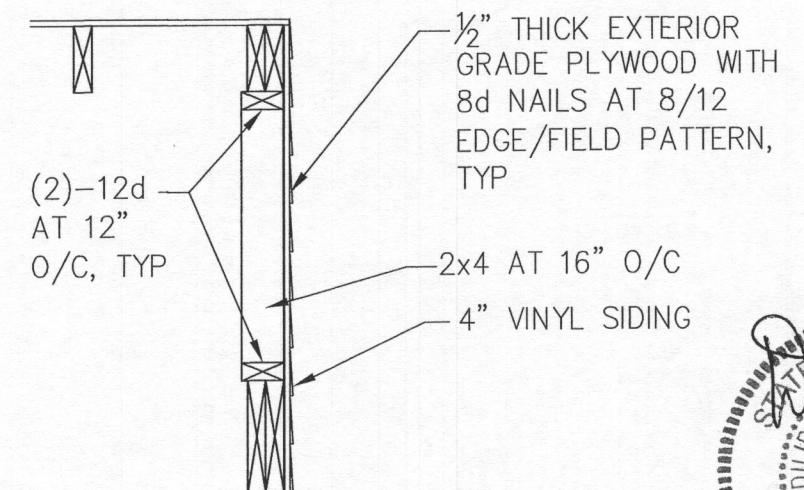
03 SECTION AT FLAT ROOF - LOW POINT
SCALE: 3/4"=1'-0"



04 SECTION AT FLAT ROOF - HIGH POINT
SCALE: 3/4"=1'-0"



02 TYP ROOF RAFTER -POST DETAIL
SCALE: 3/4"=1'-0"



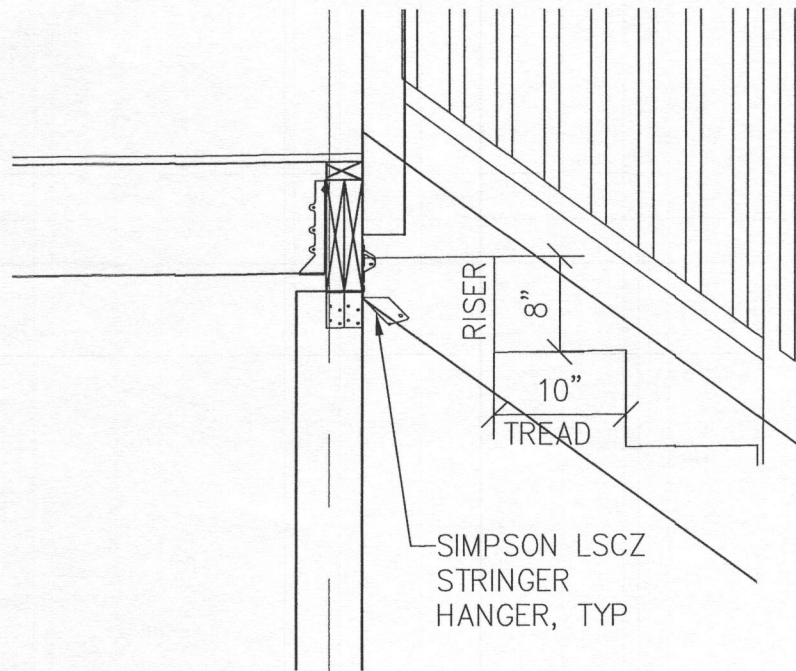
05 SECTION AT GABLE END
SCALE: 3/4"=1'-0"



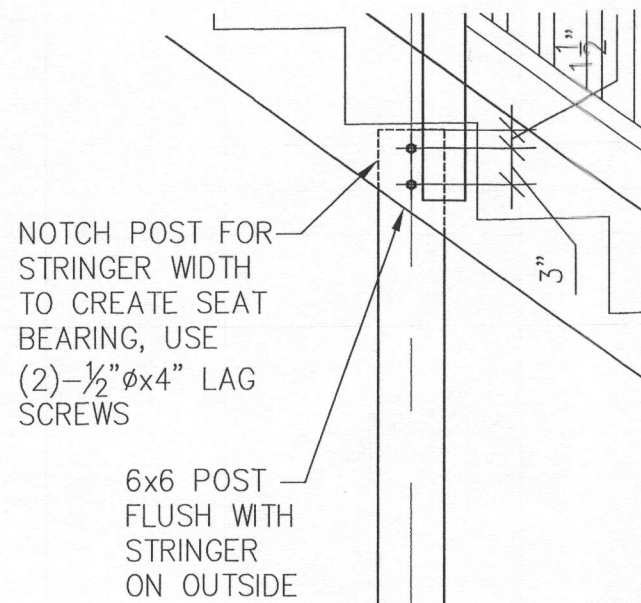
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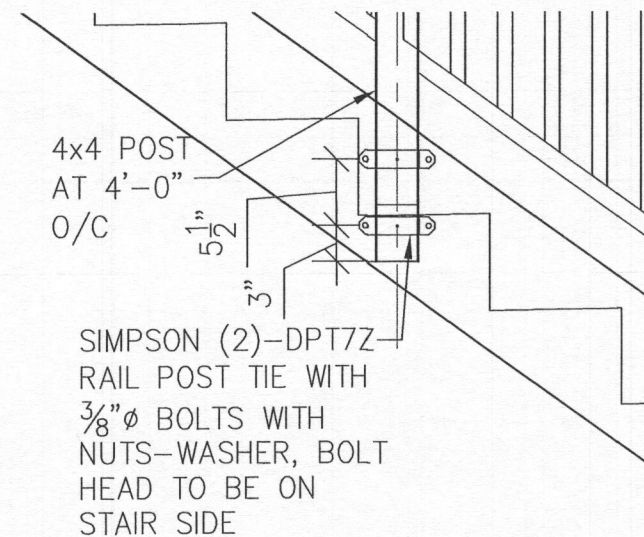
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				PERMIT	08/22/16		DGN BY: DP	PROJ. NO: 15701	SHT NO: S3



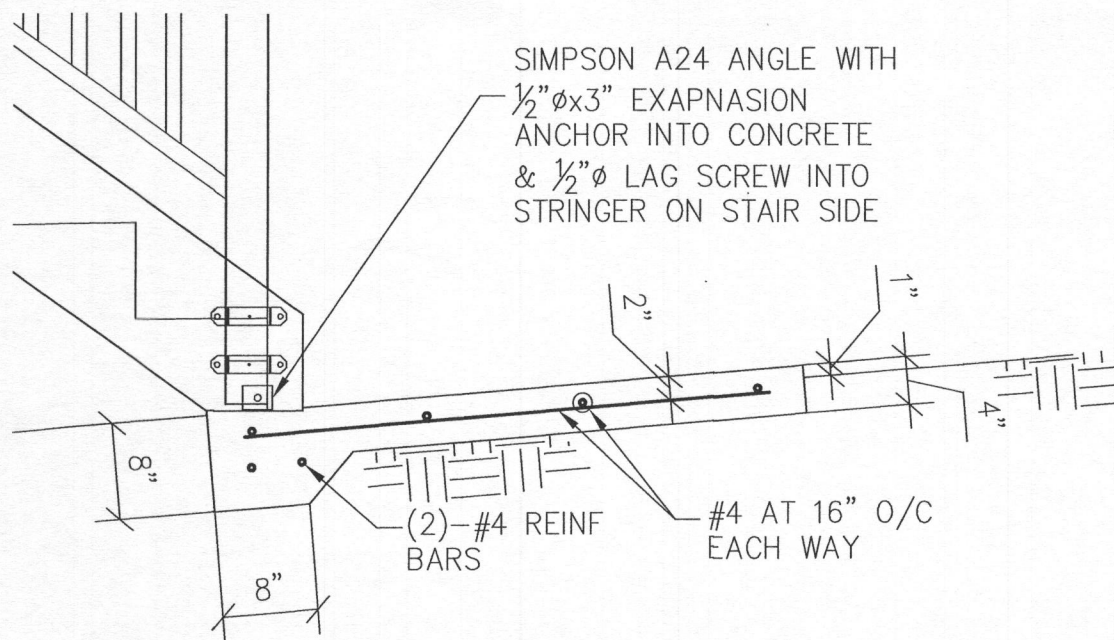
01 STAIR STRINGER CONNECTION TO ROOF BEAM
SCALE: $\frac{3}{4}''=1'-0''$



02 STAIR STRINGER TO POST CONNECTION DETAIL
SCALE: $\frac{3}{4}''=1'-0''$



03 STAIR RAIL POST CONNECTION TO STRINGERS DETAIL
SCALE: $\frac{3}{4}''=1'-0''$



04 STAIR STRINGER CONNECTION TO LANDING SLAB
SCALE: $\frac{3}{4}''=1'-0''$

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1730 East Joppa Road
Baltimore, MD 21234
410-665-5300

PROJECT:
HCPT SNIPER DECK
2200 Scott Wheeler drive
Marriottsville, MD 21104

SHEET TITLE:
SECTIONS & DETAILS

SUBMISSION	DATE	NO	DRN BY:	SCALE:	DATE:
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PERMIT	08/22/16		DGN BY: DP	PROJ. NO: 15701	SHT NO: S4

GENERAL STRUCTURAL NOTES

- THIS PROJECT SHALL BE DESIGNED AND CONSTRUCTED IN FULL COMPLIANCE WITH ALL APPLICABLE SECTIONS OF THE IBC 2012 CODE WITH HOWARD COUNTY ADOPTED ADDITIONAL ORDINANCES.
- THE STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING LOADS. UNDER NO CIRCUMSTANCES SHALL CONTRACTOR OR OWNER ENGAGE CONSTRUCTION PRACTICE OR BUILDING USE THAT WILL EXCEED THESE LOADS WITHOUT FIRST GAINING APPROVAL FROM THE ENGINEER.

LIVE LOADS:

ROOF : 30 PSF
 FLOOR : 60 PSF
 FLAT ROOF DECK: 50 PSF

ROOF SNOW LOADS:

GROUND SNOW LOAD $P_g = 25.00$ PSF
 SNOW IMPORTANCE FACTOR $I = 1.0$
 SNOW EXPOSURE FACTOR $C_e = 0.7$
 SLOPE FACTOR $C_s = 1.0$
 FLAT ROOF SNOW LOAD $P_f = 20.00$ PSF

WIND LOADS:

BASIC DESIGN WIND SPEED $V = 115$ MPH (3 SEC GUST)
 BUILDING CATEGORY II
 WIND EXPOSURE: C

EARTHQUAKE DESIGN DATA:

SEISMIC IMPORTANCE FACTOR: 1.0
 SEISMIC USE GROUP : I
 MAPPED SPECTRAL RESPONSE ACCELERATIONS: $S_s=12\%$, $S_1=5.0\%$
 SITE CLASS: D
 SPECTRAL COEFFICIENTS: $SDS = 0.12$, $SD1 = 0.08$
 SEISMIC DESIGN CATEGORY: B
 BASIC SEISMIC FORCE RESISTING SYSTEM: CANTILEVER COLUMNS/BEAM
 DESIGN BASE SHEAR=160 LBS
 SEISMIC RESPONSE COEFFICIENT: $CS = 0.064$
 RESPONSE MODIFICATION FACTOR: 2
 ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE ANALYSIS

- DETAILS DESIGNATED AS "TYPICAL" SHALL BE UNDERSTOOD TO APPLY AT ALL OCCURRENCES OF THE CONDITION INDICATED IN THE DETAIL TITLE, WHETHER THE DETAIL IS EXPLICITLY CALLED ON THE PLAN OR NOT.
- SCALES NOTED ON THE DRAWINGS ARE FOR GENERAL INFORMATION ONLY. NO DIMENSIONAL INFORMATION SHALL BE OBTAINED BY DIRECT SCALING OF THE DRAWINGS.
- THE CONTRACTOR SHALL ESTABLISH THE METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION SUBJECT TO COMPLIANCE WITH LOCAL & INDICATED CODES. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.

FOUNDATION NOTES

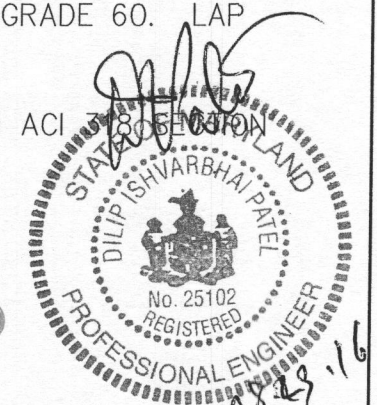
- THE FOUNDATION HAS BEEN DESIGNED FOR THE ASSUMED ALLOWABLE SOIL BEARING PRESSURES OF 1500 PSF. CONTRACTOR OR OWNER SHALL ENSURE THE SOIL BEARING PRESSURE PRIOR TO FOUNDATION PLACEMENT.
- BOTTOM OF ALL FOOTINGS SHALL BE THE ELEVATION INDICATED ON PLANS, EXTERIOR FOOTINGS SHALL BE AT MINIMUM 2'-6" BELOW FINISHED GRADE, WHICHEVER IS DEEPER. UNDER NO CIRCUMSTANCES FOOTINGS SHALL BE PLACED ON FILL.

CAST-IN-PLACE CONCRETE NOTES

- ALL CONCRETE WORK FOR THIS PROJECT SHALL BE DESIGNED IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 305R, ACI 306R, ACI 347.
- UNLESS INDICATED OTHERWISE, CONCRETE SHALL BE NORMAL WEIGHT, WITH MIX PROPORTIONED ACCORDING TO METHOD 1, 2 OR 3 AS DESCRIBED BY ACI-301, AND COMPLYING WITH THE FOLLOWING:
 PORTLAND CEMENT: ASTM C-150, TYPE I OR III. (GRANULATED BLAST FURNACE SLAG (GBFS) MAXIMUM 50%)
 FINE AGGREGATE: ASTM C-33.
 COARSE AGGREGATE: ASTM C-33. SIZE SHALL NOT EXCEED 1".
 WATER: DRINKABLE.
 AIR-ENTRAINING AGENT: CONFORM TO ASTM C-260.
 WATER-REDUCING AGENT: CONFORM TO ASTM C-494
- CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS FOLLOWS:
 FOOTINGS : 4000 PSI AIR ENTRAINED
- WATER-CEMENT RATIOS SHALL NOT EXCEED THE FOLLOWING VALUES. PROVIDE PLASTICIZERS AND/OR WATER REDUCING AGENTS AS REQUIRED TO LIMIT THE WATER CONTENT AS INDICATED.

28 DAY COMPR STRENGTH	WATER-CEMENT RATIO	
	NORMAL	AIR ENTRAINED
3000	0.51	0.46


- DEFORMED STEEL REINFORCING BARS SHALL CONFORM TO ASTM A-615, GRADE 60. LAP ALL SPLICES 30 BAR DIAMETERS, MIN. (UNO).
- CONCRETE COVER OVER REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI 308 SECTION 7.7, AND THE FOLLOWING CLEARANCES UNO:
 FOOTINGS 3"
- UNLESS NOTED OTHERWISE, CHAMFER ALL EXPOSED EDGES 3/4".



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							DP	15701	S5

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- CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE AS FOLLOWS:
 FOOTINGS : 4000 PSI AIR ENTRAINED
- WATER-CEMENT RATIOS SHALL NOT EXCEED THE FOLLOWING VALUES. PROVIDE PLASTICIZERS AND/OR WATER REDUCING AGENTS AS REQUIRED TO LIMIT THE WATER CONTENT AS INDICATED.

28 DAY COMPR STRENGTH	WATER-CEMENT RATIO	
	NORMAL	AIR ENTRAINED
3000	0.51	0.46
- DEFORMED STEEL REINFORCING BARS SHALL CONFORM TO ASTM A-615, GRADE 60. LAP ALL SPLICES 30 BAR DIAMETERS, MIN. (UNO).
- CONCRETE COVER OVER REINFORCEMENT SHALL BE IN ACCORDANCE WITH ACI 318 SECTION 7.7, AND THE FOLLOWING CLEARANCES UNO:
 FOOTINGS 3"
- UNLESS NOTED OTHERWISE, CHAMFER ALL EXPOSED EDGES 3/4".

WOOD FRAMING NOTES

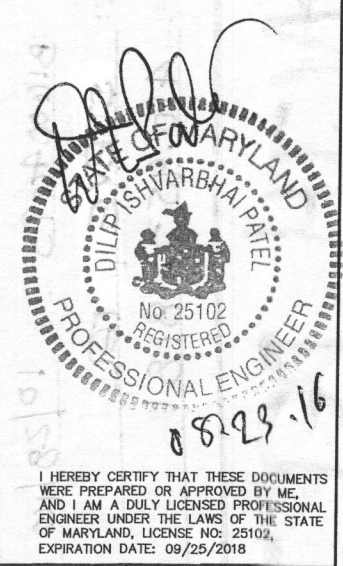
- IN ADDITION TO THE FOLLOWING SPECIFICATIONS, COMPLY WITH IBC CODE TABLE 2304.9.1 FASTENING SCHEDULE AND ANSI/NFPA NDS-2001 "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION"(NDS) FOR ALL WOOD FRAMING AND CONNECTIONS. LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF AMERICAN INSTITUTE OF TIMBER CONSTRUCTION
- PLYWOOD SHEATHING SHALL BE AS INDICATED EXTERIOR GRADE PLYWOOD BEARING AN AMERICAN PLYWOOD ASSOCIATION (APA) GRADE STAMP INDICATING A MINIMUM SPAN INDEX OF 32/16 AND EXPOSURE I. PLYWOOD SHALL BE FASTENED TO STRUCTURAL MEMBERS USING 8d COMMON NAILS AT 6" O/C UNO.

- ALL FRAMING LUMBER SHALL BE PRESSURE TREATED & HAVE MINIMUM DESIGN VALUES, BENDING $F_b=1000$ PSI, SHEAR PARALLEL TO GRAIN, $F_v=135$ PSI, COMPRESSION PARALLEL TO GRAIN, $F_c= 1400$ PSI, MODULUS OF ELASTICITY, $E=1300,000$ PSI.
- PROVIDE METAL JOIST HANGERS, STRAPS, TIES AND CONNECTORS AS REQUIRED TO ENSURE STRUCTURAL INTEGRITY OF FRAMED SYSTEM. PROVIDE HURRICANE TYPE TIE DOWN STRAPS TO SECURE ALL ROOF RAFTER/TRUSSES TO WALL TOP PLATES/BEAM.
- ALL DOUBLE (OR MORE) RAFTERS, JOISTS, PLYWOOD BEAMS, AND FLOOR TRUSSES MUST BE MECHANICALLY FASTENED OR NAILED TO EACH OTHER TO ACT AS A SINGLE UNIT WHEN LOADED. WOOD COLUMNS AND POSTS SHALL BE FRAMED TO TRUE END BEARINGS, AND SHALL BE POSITIVELY ANCHORED TO FOUNDATION WITH APPROVED POST BASES. SUPPORT COLUMN AND POST SECURELY IN POSITION AND PROTECT BASE FROM DETERIORATION. COLUMNS AND POSTS OF TREATED WOOD MAY BE PLACED DIRECTLY ON CONCRETE OR MASONRY. USE TREATED WOOD FOR ALL FLOOR JOISTS AND BEAMS WHICH ARE EXPOSED OR WITHIN 8" OF THE GROUND, OR IN PERMANENT CONTACT WITH EARTH.

SPECIAL INSPECTIONS

- CONTRACTOR OR OWNER SHALL HIRE A SPECIAL INSPECTIONS ENGINEER OF RECORD PER REQUIREMENTS OF CHAPTER 17, 'STRUCTURAL TESTS & INSPECTIONS' 2003 INTERNATIONAL BUILDING CODE.
- THE SPECIAL INSPECTIONS ENGINEER OF RECORD (SIER) SHALL INSPECT FOOTINGS SUB GRADE, SOIL COMPACTION TESTING, ERECTIONS OF HS BOLTS, ANCHORS, CONCRETE CONSTRUCTION & MATERIALS, REINFORCING STEEL INSTALLATION, IN PLACE DENSITY FOR COMPLIANCE WITH CONSTRUCTION DOCUMENTS, SHOP DRAWINGS & IBC CODE. THE INSPECTIONS REPORTS SHALL BE SUBMITTED TO ENGINEER WITHIN 5 DAYS AFTER INSPECTION OCCURS.
- THE CONTRACTOR SHALL NOTIFY STRUCTURAL ENGINEER OF RECORD (SER/EOR) FOR PERIODIC OBSERVATIONS AT CRITICAL STAGES OF CONSTRUCTION PRIOR TO CLOSING THE FRAMED CONSTRUCTION WITH FINISH OR SHEATHING MATERIALS.

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