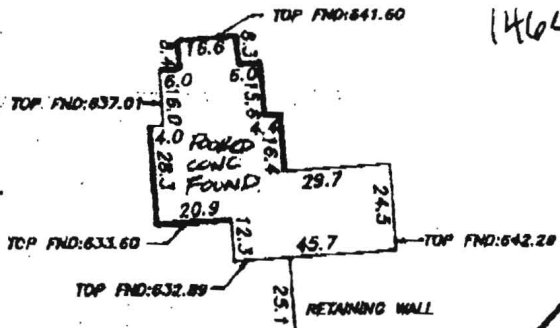


6. ACCURACY OF ELEVATIONS: 0.2'

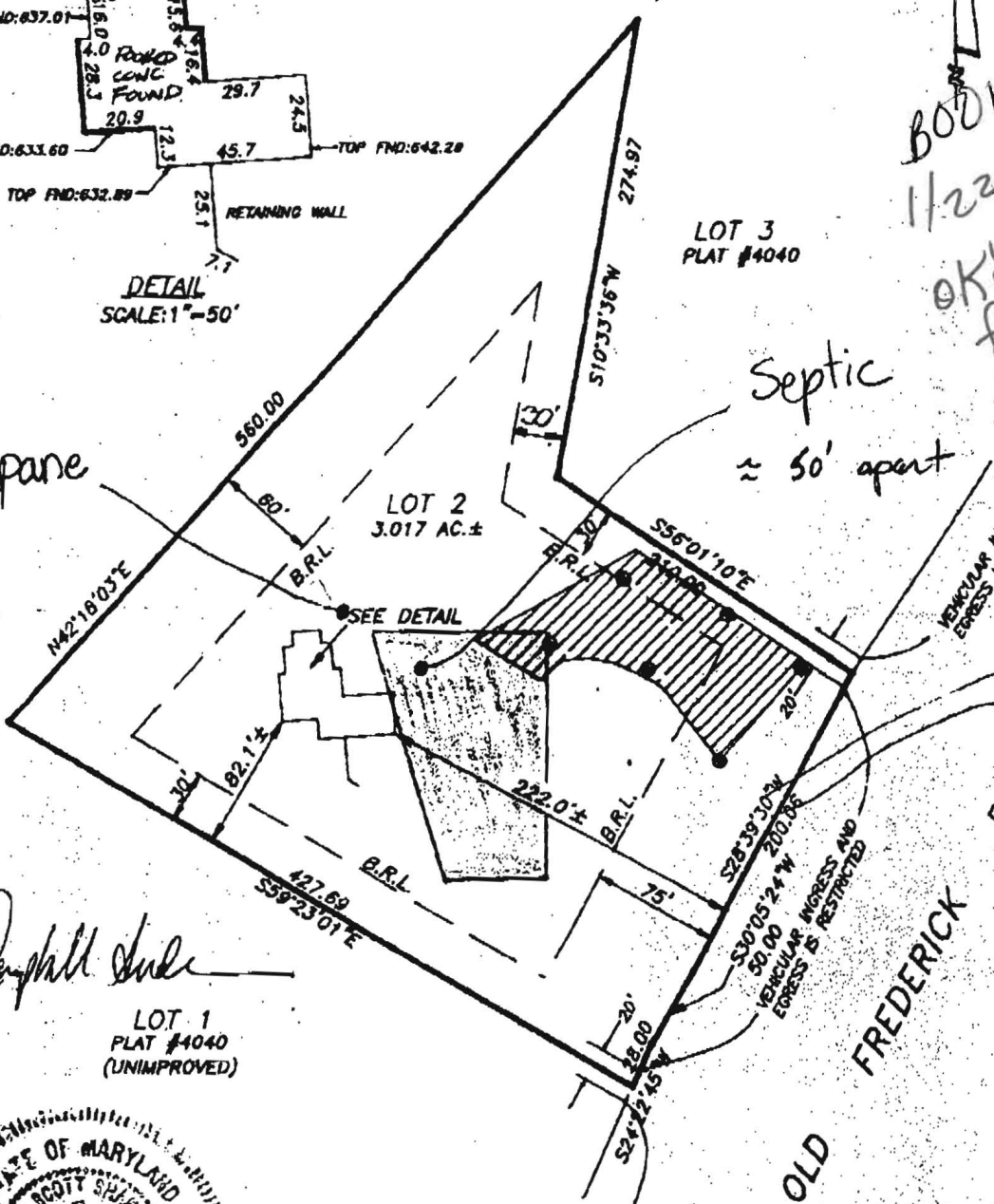
Anderson
14640 Old Frederick Rd



BOD 145307
1/22/04
OK'd a fax with written sep. distance between propane & S Tanks
BP for propane OK

Propane

Septic
≈ 50' apart



Ray Campbell Inc



SLIGHTLY OFFSCALE

- SEPTIC ESMT PER PLAT #4040
- SEPTIC ESMT PER SITE PLAN

I HEREBY CERTIFY THAT I HAVE LOCATED THE IMPROVEMENTS AS SHOWN THIS PLAT DOES NOT REPRESENT A BOUNDARY SURVEY AND CANNOT BE USED TO ESTABLISH PROPERTY LINES OR CORNERS.

9/10/03

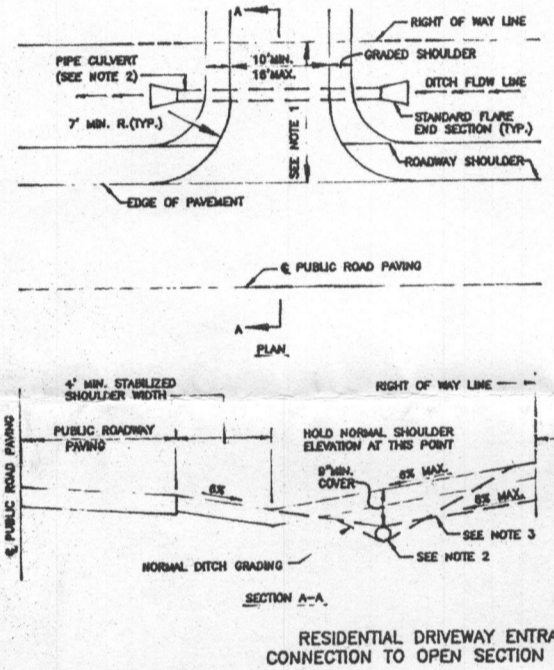
SHANBERGER & LANE
8728 TOWN AND COUNTRY BLVD.
SUITE 201

FOUNDATION LOCATION DRAWING
LOT 2
H.B.L. PROPERTIES, INC.
PROPERTY
(PLAT #4040)
ELECTION DISTRICT: 4TH
DEED REFERENCE: 7004/192
COUNTY: HOWARD
SCALE: 1"=100'
DATE: 9/10/03

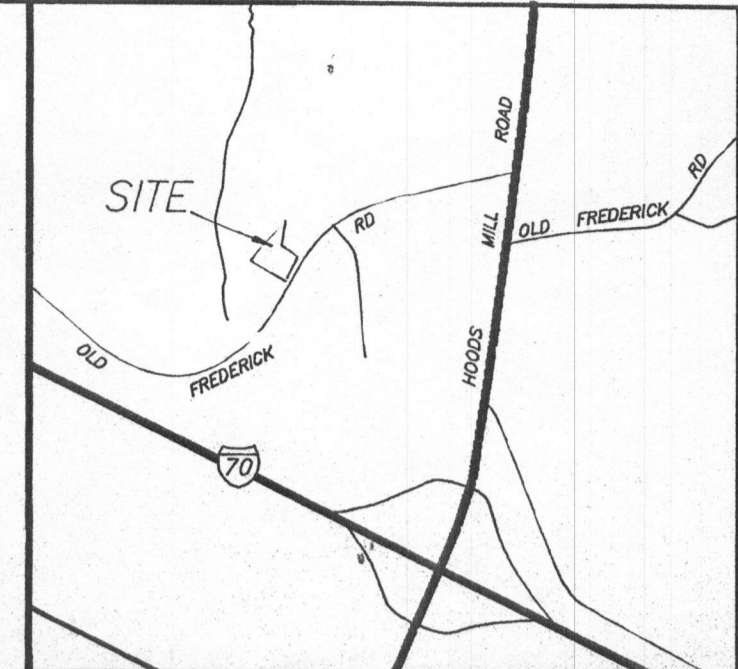
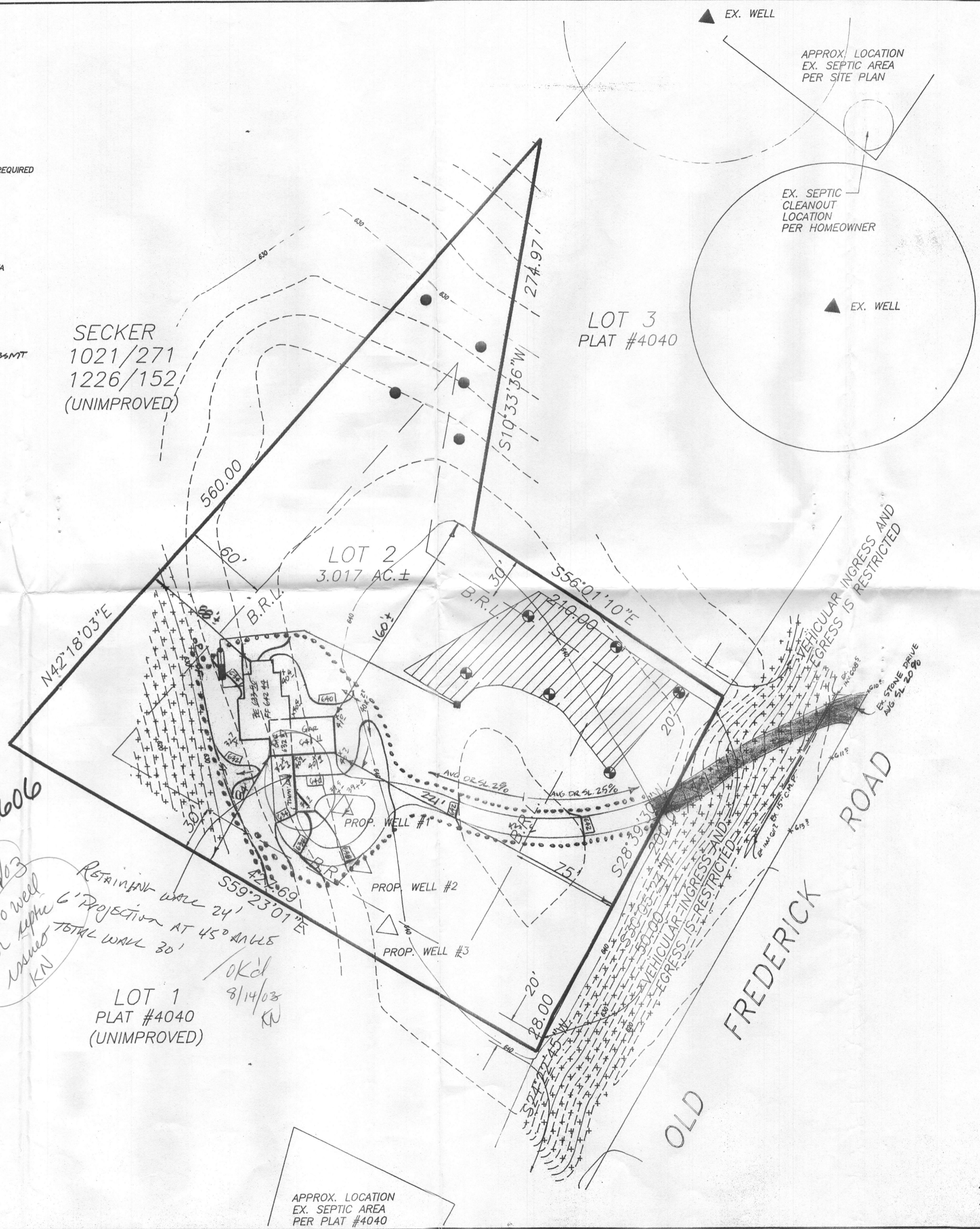
43-328-0477

NOTES:

1. THE TOPOGRAPHY SHOWN HEREON WAS FIRLD-RUN BY SHANABERGER & LANE ON OCTOBER 23, 2002.
2. B.R.L. DESIGNATES BUILDING RESTRICTION LINE
 ● DESIGNATES APPROVED PERC TEST
 ○ DESIGNATES FAILED PERC TEST
 ▴ DESIGNATES SOIL TYPE BOUNDARY
 ▲ DESIGNATES EX. WELL
 △ DESIGNATES PROPOSED WELLS
 [] DESIGNATES SLOPES > 25%
3. [] THIS AREA DESIGNATES A PROPOSED PRIVATE SEWAGE DISPOSAL AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS DISPOSAL AREA SHALL BECOME NULL & VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE DISPOSAL AREA.
4. [] PRIVATE SEWAGE DISPOSAL AREA PER PLAT #4040.
5. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP AND LOT AREA AS REQUIRED BY THE MD STATE DEPARTMENT OF THE ENVIRONMENT.
6. SUBJECT PROPERTY ZONED: RC-DEO
7. [H] DESIGNATES PROPOSED HOUSE SITE
8. LIMIT OF DISTURBANCE 21,101 S.F.±
9. GRAVITY SEWER SERVICE HAS BEEN PROVIDED TO BSMT HOWEVER, A PUMP PIT WILL BE REQUIRED FOR SEPTIC SYSTEM.



- NOTES:
1. DRIVEWAY MUST BE PAVED FROM EDGE OF PUBLIC ROAD TO RIGHT OF WAY LINE USING STANDARD PAVING SECTION P-1 AS SHOWN ON STD. NO. OR ALTERNATE SECTION EQUAL TO OR BETTER THAN P-1, AS APPROVED BY D.P.W.
 2. GRAVITATION QUANTITY SHALL BE SIZED FOR A 10 YEAR FREQUENCY STORM AND THE MINIMUM SIZE SHALL BE 12" DIA. ROUND OR 14" DIA. ARCH PIPE IF LARGER PIPE IS REQUIRED. DITCH WIDTH SHALL BE LONGER TO PROVIDE MIN. DITCH GRADIENT OF 0.5% AND CLEARANCE SHOWN.
 3. GRAVITY FLOW MAY BE PROVIDED OVER DRIVEWAY LOCATED AT OR NEAR THE CREST OF VERTICAL CURVES ON THE PUBLIC ROAD WHERE QUANTITY OF FLOW IS SMALL, AS APPROVED BY D.P.W.
 4. THE IN GRADE OF PRIVATE DRIVEWAY SHALL NOT EXCEED 11%.



VICINITY MAP
SCALE: 1"=2000'

SEPTIC SYSTEM DATA

INV. @ HOUSE	G31.50
SEPTIC TANK	
EX GRADE	G34.2
PROP GRADE	G34.2
INV. IN	G31.1
INV. OUT	G30.9
PUMP PIT	
EX GRADE	G34.2
PROP GRADE	G34.2
INV. IN	G30.9
INV. OUT	G30.9

DISTRIBUTION BOX

EX GRADE	G41.7
PROP GRADE	G41.7
INV. IN	G38.9
INV. OUT	G38.7

NOTE: TRENCH LENGTH & ORIENTATION TO BE DETERMINED BY HEALTH DEPT. AT TIME OF SEPTIC SYSTEM LAYOUT INSPECTION.

OWNERS/BUILDER:
RONALD & KAY ANDERSON
17813 CADDY DRIVE
DERWOOD, MD. 20855-1005

8/14/03
No well or approx
Assumed KN

RESTRAINER WALL 24'
6' PROJECTION AT 45° ANGLE
TOTAL WALL 30'

OK'd
8/14/03
KN

SHANABERGER & LANE
8726 TOWN & COUNTRY BLVD.
SUITE 201
ELLCOTT CITY, MD. 21043
PHONE: 410-461-9563
FAX: 410-461-9693

SITE PLAN
LOT 2
H.B.L. PROPERTIES, INC.
PROPERTY
(PLAT #4040)

TAX MAP 8 PARCEL 93
4TH ELECTION DIST. HOWARD CO., MD.
SCALE: 1"=50' MAY 20, 2003

APPROX. LOCATION
EX. SEPTIC AREA
PER PLAT #4040