



Bureau of Environmental Health
8930 Stanford Boulevard, Columbia, MD 21045
Main: 410-313-2640 | Fax: 410-313-2648
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 2/27/17 ONSITE SEWAGE DISPOSAL SYSTEM P 560556

INSTALLATION PERMIT A
APPROVAL DATE: 3/30/17 (SEC) SEWER HOUSE CONNECTION

PROPERTY ADDRESS: 12300 Carol Drive

SUBDIVISION: Fulton Manor LOT: 7 TAX ID: 05-417945

CONTRACTOR: Fogle's Septic Clean Inc. EMAIL: kim@fogles.com

CONTRACTOR ADDRESS: 580 Obrecht Road, Sykesville, MD 21784 PHONE: 410-795-5670

PROPERTY OWNER: Mike Miller EMAIL: Mmuller328@hotmail.com

OWNER ADDRESS: 12300 Carol Drive, Fulton, MD 20759 PHONE:

NUMBER OF BEDROOMS: 4 CONNECTED TO PUBLIC WATER: YES NO

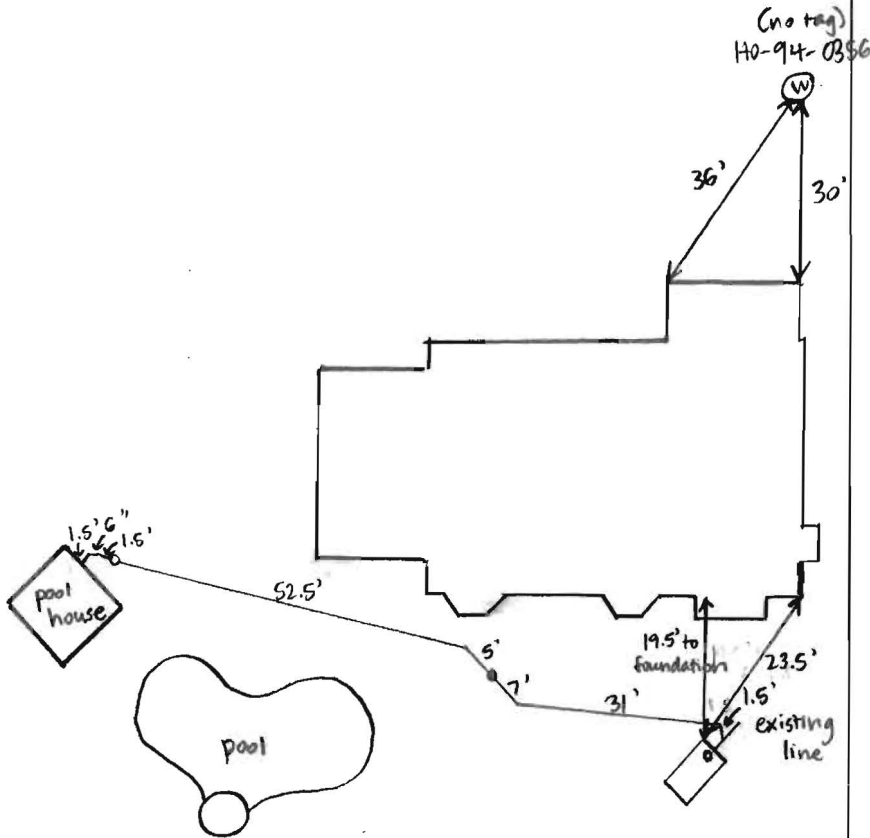
Table with 2 columns: LOCATION, NOTES. LOCATION: INSTALL 4" SEWER LINE PER APPROVED SITE PLAN. NOTES: Must Call for a final inspection with Health Department before covering up work.

ISSUED BY: Robert Freemon ISSUE DATE: 2/27/17 EXPIRATION DATE: 2/27/18

- NOTE: HOWARD COUNTY BUREAU OF UTILITIES APPROVAL OF GRINDER PUMP INSTALLATION IS REQUIRED PRIOR TO SEPTIC PERMIT APPROVAL
NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM. PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT. CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM.

NOT TO SCALE



ROAD NAME

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
_____	_____	_____
NUMBER OF TRENCHES _____		
TOTAL LENGTH _____		
ABSORPTION AREA _____		
DISTRIBUTION BOX LEVEL _____		
DISTRIBUTION BOX BAFFLE _____		
DISTRIBUTION BOX PORT _____		

SEPTIC TANK DATA

SEPTIC TANK I LEVEL _____

MANUFACTURER _____ ?

CAPACITY _____ 1250 _____ GAL

SEAM LOC _____ MID _____

TANK LID DEPTH _____ 2.5' _____

BAFFLES INLET OUTLET?

BAFFLE FILTER _____ ? _____

MANHOLE LOC _____ NONE _____

6" PORT LOC _____ FRONT _____

WATERTIGHT TEST _____ _____

SLOTTED _____ NO _____

DATE ON LID _____ _____

PUMP/SEPTIC TANK LEVEL

MANUFACTURER _____

CAPACITY _____ GAL

SEAM LOC _____

TANK LID DEPTH _____

BAFFLES _____

BAFFLE FILTER _____

MANHOLE LOC _____

6" PORT LOC _____

WATERTIGHT TEST _____

SLOTTED _____

DATE ON LID _____

PRE-CONSTRUCTION:

INSTALLATION: 3/30/17 Sewer house connection complete. Future pool house staked - sewer line to run under slab. Line bedded with #57 stone. Fogler's verified inlet baffle, could not determine if an outlet baffle is present. (50)

FINAL INSPECTOR Sarah Collins DATE OF APPROVAL 3/30/17

NOTE

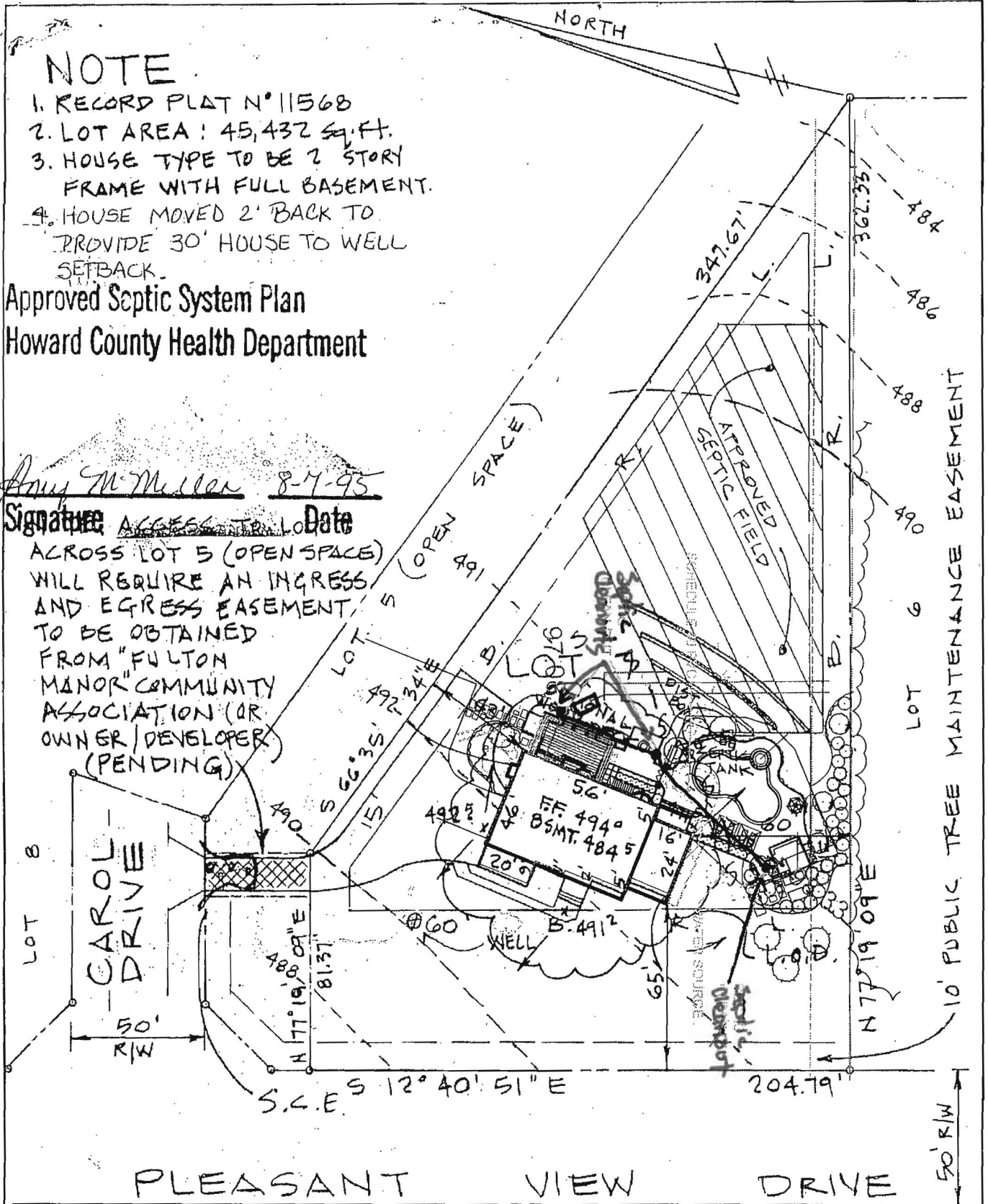
1. RECORD PLAT N° 11568
2. LOT AREA: 45,432 SQ. FT.
3. HOUSE TYPE TO BE 2 STORY FRAME WITH FULL BASEMENT.
4. HOUSE MOVED 2' BACK TO PROVIDE 30' HOUSE TO WELL SETBACK.

Approved Septic System Plan
Howard County Health Department

Amy M. Miller 8-7-95

Signature: _____ Date: _____

ACROSS LOT 5 (OPEN SPACE) WILL REQUIRE AN INGRESS AND EGRESS EASEMENT TO BE OBTAINED FROM "FULTON MANOR" COMMUNITY ASSOCIATION (OR OWNER/DEVELOPER) (PENDING)



— SEPTIC DATA —

HOUSE FIN FL.	494°
" BSMT.	4845
" SEWER INV.	4887

NOTE: TRENCH LENGTH TO BE DETERMINED AT TIME OF SEPTIC PERMIT ISSUANCE

12-14-95
c/o 1:00

PERMIT

SEWAGE DISPOSAL SYSTEM

DEPARTMENT OF HEALTH AND MENTAL HYGIENE

INDEXED

P 56371 B

A 49337E

DISTRICT 5th

DATE 12-12-95

DATE SYSTEM APPROVED 12/19/95

INSPECTOR McRiflan

HOWARD COUNTY HEALTH DEPARTMENT

BUREAU OF ENVIRONMENTAL HEALTH
461-9933 313-2640

Adamson Plumbing & Heating

IS PERMITTED TO INSTALL ALTER

ADDRESS 7825 McClellan Avenue, Boonsboro, Maryland 21713 PHONE (301)831-7497

SUBDIVISION Fulton Manor LOT 7 ROAD 12300 Carol Drive

PROPERTY OWNER Gary and Susan Amey

ADDRESS _____

SEPTIC TANK CAPACITY 1250 GALLONS

NUMBER OF BEDROOMS 4

180 SQUARE FEET PER BEDROOM

LINEAR FEET OF TRENCH REQUIRED 180

OLD PERMIT SIGNED

AND RETURNED 8-15-97

Sevitt # B00107536
deh

TRENCHES - Trench to be 2 feet wide. Inlet 3 feet below original grade. Bottom maximum depth 7 feet below original grade. Effective area begins at 3 feet below original grade. 4 feet of stone below distribution pipe.

LOCATION - Place distribution box 125 feet up the right (362.33') lot line and 45 feet off that same lot line when facing the lot from Pleasant View Drive. Run trenches on contour toward the left back lot line.

NOTES - No trench to exceed 100 feet in length. Provide 6" - 8" diameter cleanout and cap to grade or above on septic tank. OK 8-21-95 Am

PLANS APPROVED BY Amy McMillen

DATE 12/19/94

COVER NO WORK UNTIL INSPECTED AND APPROVED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS, 90° ELBOWS NOT ACCEPTABLE.

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX TRENCHES) TO BE 100 FEET FROM WELL (UNLESS OTHERWISE SPECIFICALLY AUTHORIZED)

NOTE: IF DEEP TRENCH(ES) ARE USED CALL FOR INSPECTION BEFORE AND AFTER PLACING GRAVEL IN TRENCH(ES)

NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 35/40 PVC OR ABS

PERMIT VOID AFTER TWO YEARS

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL STAND PIPES MUST BE 8 INCHES IN DIAMETER CAST IRON. CONCRETE OR TERRA COTTA OR PVA OR ABS ACCEPTED. IF TOP OF SEPTIC TANK IS DEEPER THAN 3 FEET. MANHOLE TO GRADE REQUIRED.

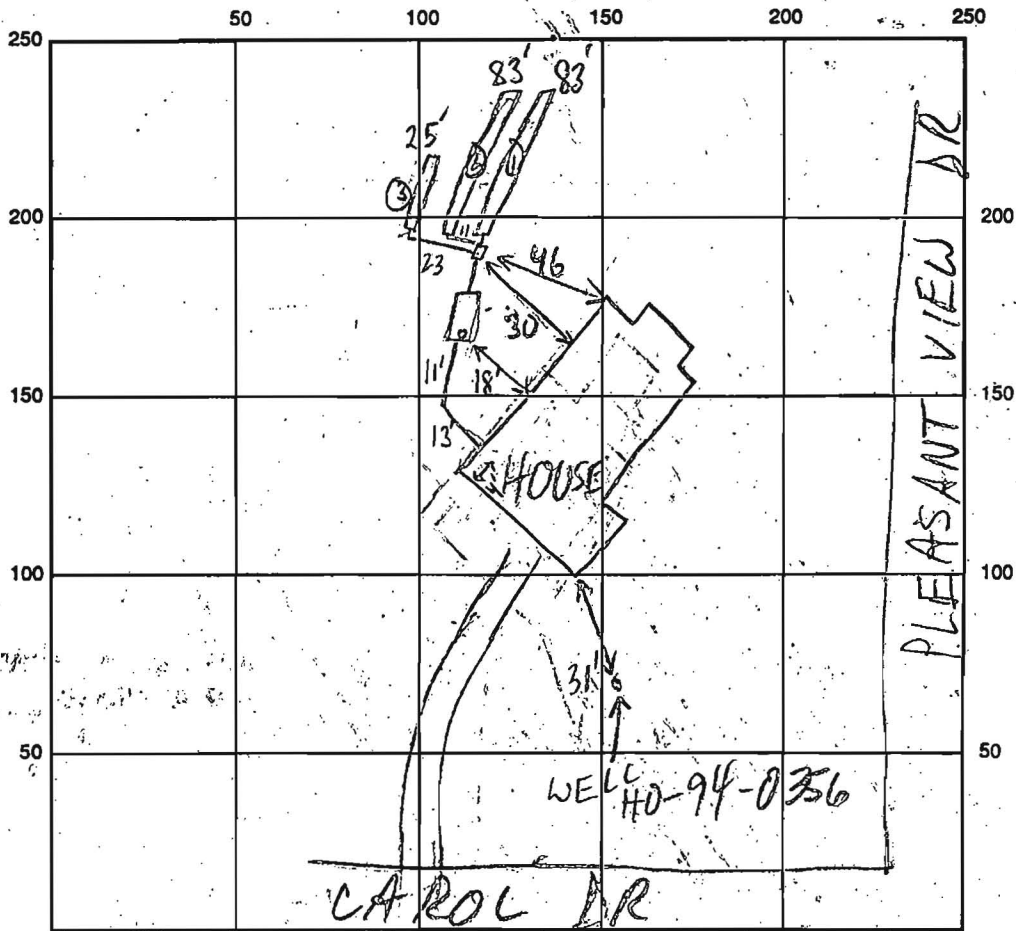
NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

***INSTALLER IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT**

HD-260(6-90)

CALL 461-9933 FOR INSPECTION OF SEPTIC SYSTEM.

A 49337E



INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE

SEPTIC TANK LEVEL 1250 GAL CLEANOUTS S.T. - OK
 DISTRIBUTION BOX LEVEL OK - Baffle IN
 DRAIN FIELD/TITLE DEPTH 1/2/3 FT. TRENCH WIDTH 2 FT. INLET DEPTH 1/2/3 FT.
 EFFECTIVE GRAVEL DEPTH 1/2/3 FT. TOTAL LENGTH 083 @ 83 @ 25 FT.
 NUMBER OF TRENCHES 3 ONE SIDEWALL BOTTOM AREA 0332 @ 332 @ 100 SQ. FT.
 DRYWALL INSIDE DIAMETER FT. EFFECTIVE DEPTH BELOW INLET FT.
 ABSORBENT AREA 764 SQ. FT.

REMARKS: 12/14/95 ADVISED INSTALLER TO INSTALL TRENCHES
OF ROUGHLY EQUAL LENGTH IN FUTURE - CONTINUE MR
12/19/95 OK TO COVER MR RS

DATE SYSTEM APPROVED 12/19/95 INSPECTOR M. Rifkin

7/29/97
anytime

SITE INSPECTION SHEET

OWNER: Gary Amey

DATE REQUESTED: 7/29/97

ADDRESS: 12300 Carol Drive

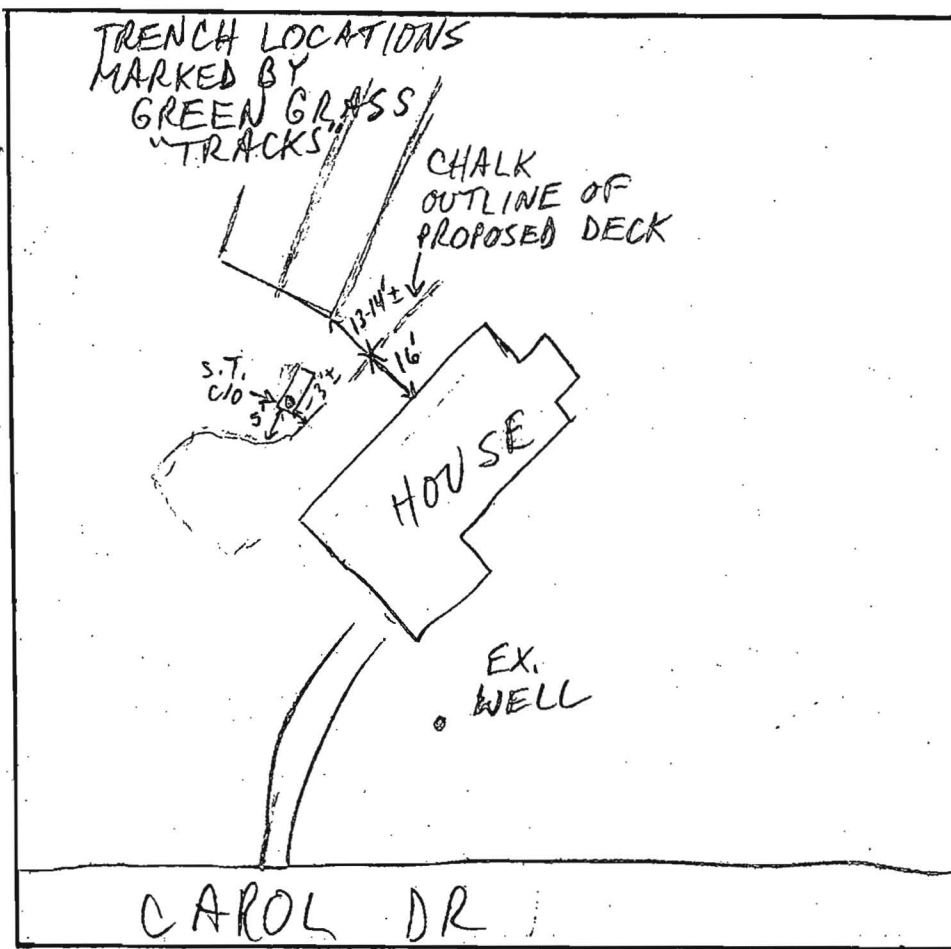
DRILLER: _____

WELL TAG # _____

COUNTY # _____

PROPOSAL: Deck

LOCATION DIAGRAM



PLEASANT VIEW DR
RESOLVED
8/15/97
MR

COMMENTS: 7/29/97 PROPOSED DECK 2' TO EX. S.T. - UNACCEPTABLE

7/31/97 T/C w/OWNER: ALTHO CONCESSION TO 5' SETBACK HAD ALREADY BEEN GRANTED BY ALM, HE WANTED FURTHER SETBACK REDUCTION. I ADVISED THAT WAS NOT POSSIBLE DUE TO SIG. POTENTIAL FOR IMPACT TO S.T., AND REDESIGN OR S.T. RELOC. NECESSARY. SIMILAR INFO COMMUNICATED TO DECK CONTRACTOR SEPARATELY; HE WILL WORK ON SOLUTION

DATE: _____ INSPECTOR: _____

MR

MR

PROPOSED SEPTIC LINE FROM POOL HOUSE BATHROOM TO EXISTING LINE TO BE INSTALLED WITH 4" SCHEDULE 40 PVC.

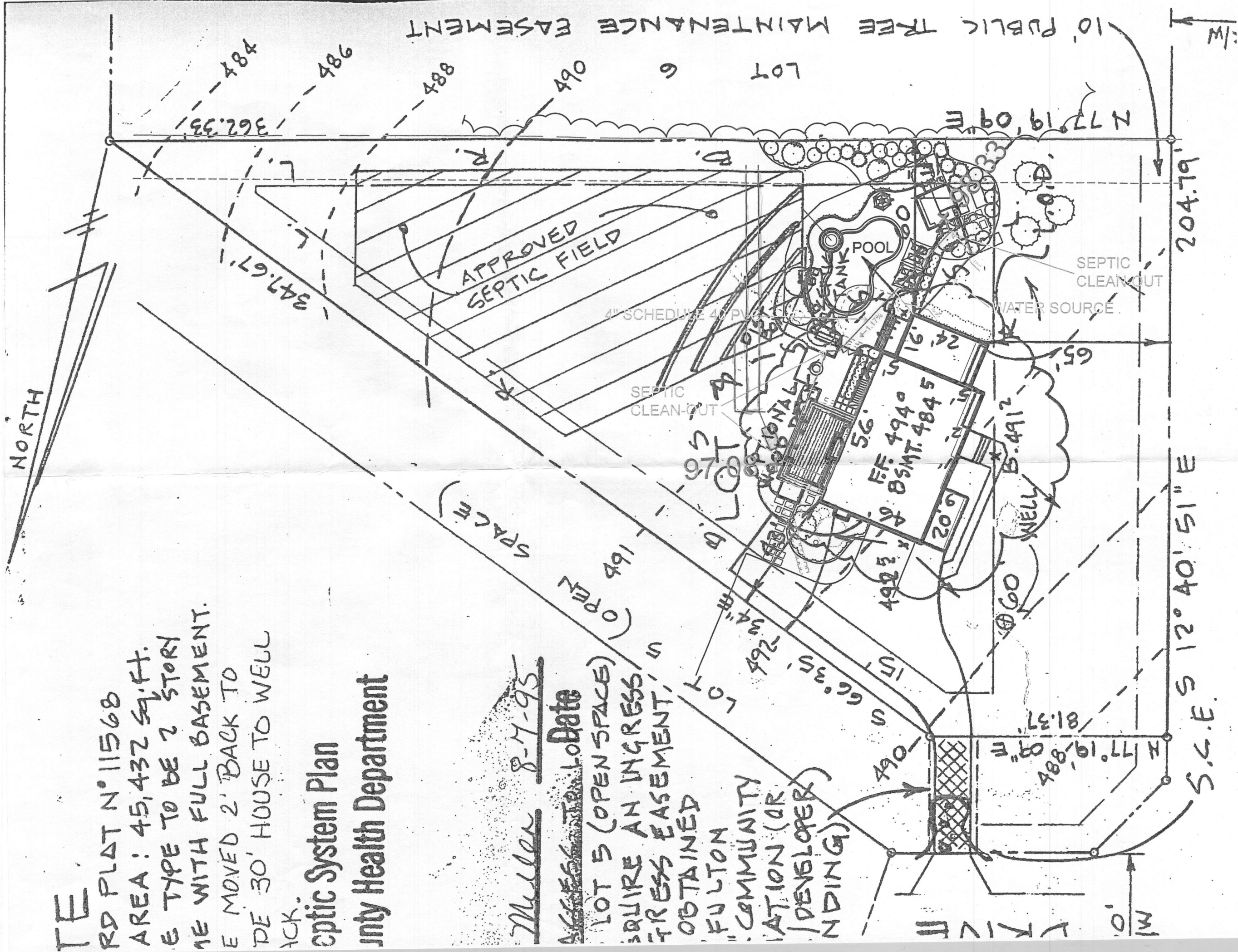
PROPOSED SEPTIC LINE FROM POOL HOUSE BATHROOM TO EXISTING LINE TO BE GRAVITY LINE, FALLING AT A RATE OF 1.17%

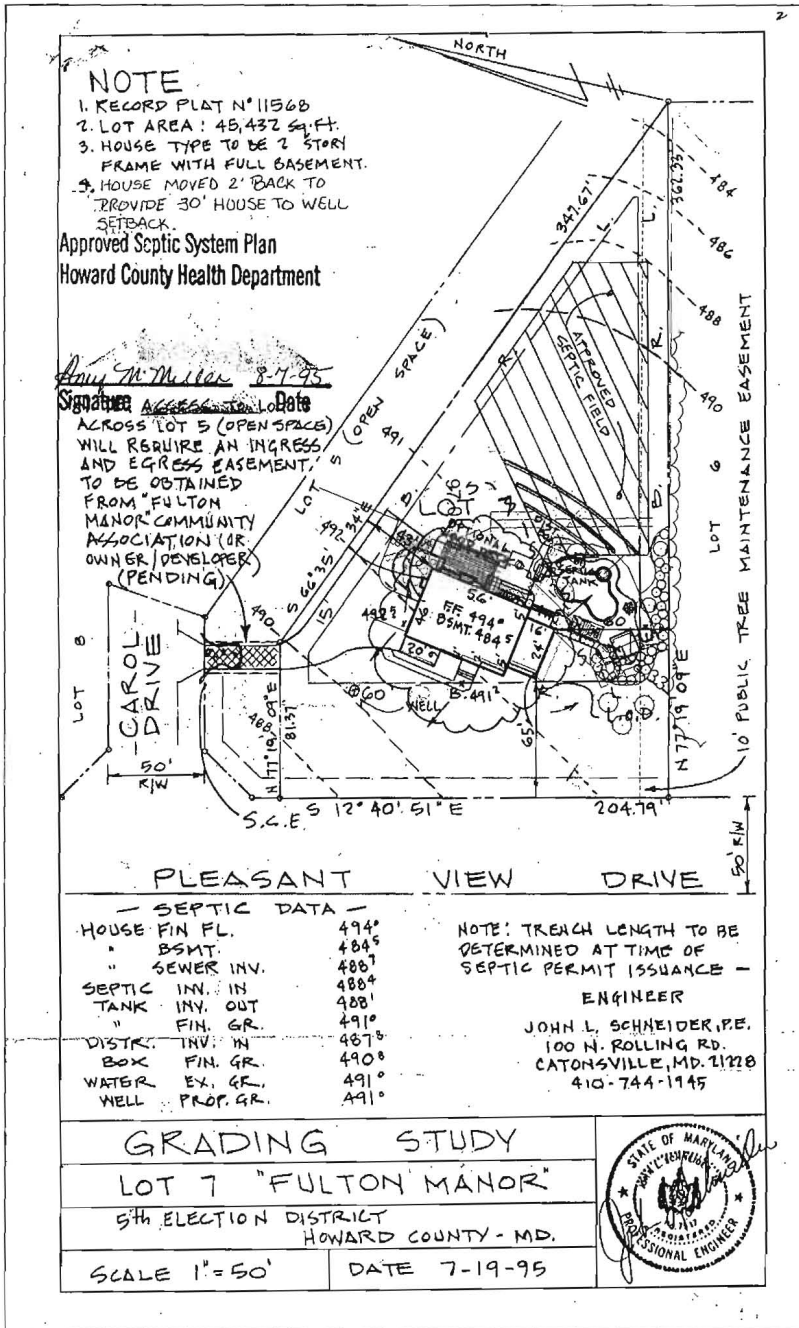
TE
 RD PLAT N° 11568
 AREA: 45,432 sq. ft.
 E TYPE TO BE 2 STORY
 ME WITH FULL BASEMENT.
 E MOVED 2' BACK TO
 DE 30' HOUSE TO WELL
 ACK.

Septic System Plan
 Inty Health Department

Muller 8-7-95

ACCESS TO LOT
 LOT 5 (OPEN SPACE)
 REQUIRE AN INGRESS
 EGRESS EASEMENT, IN
 OBTAINED
 FULTON
 COMMUNITY
 ACTION (OR
 DEVELOPER)
 (PENDING)





PROPOSED SEPTIC LINE FROM POOL HOUSE BATHROOM TO EXISTING LINE TO BE INSTALLED WITH SCHEDULE 40 PVC.
PROPOSED SEPTIC LINE FROM POOL HOUSE BATHROOM TO EXISTING LINE TO BE GRAVITY LINE, FALLING AT A RATE OF 1.17%

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Wednesday, February 15, 2017 9:16 AM
To: 'Shane Gray'
Subject: RE: 12300 Carol Dr - Septic System Location

If you can push the footers back the additional 6", then we will be 4'6" from the closest footers to the closest corner of the tank according to your drawing. We would be able to approve a waiver for that. If that's acceptable to you, you will have to bring in a waiver request letter signed by the homeowner asking for a waiver to the distance from the pool to the sewage disposal area and the distance from the deck to the tank. Make sure the plot plan for our approval shows the pool and existing trenches being at least 20' apart and shows the deck with footer locations. Make sure the plan is to an engineer scale (1:20, 1:30, 1:40, or 1:50). You can bring the waiver request and the building permit with plot plan for a walk-through at your convenience.

Jeff

From: Shane Gray [mailto:shane@colaostone.com]
Sent: Tuesday, February 14, 2017 5:44 PM
To: Williams, Jeffrey
Subject: RE: 12300 Carol Dr - Septic System Location

There are currently footers, but we will be replacing them with the new deck (new footers will be further from septic tank than the current ones). As currently shown, I have the deck cantilevered 18" past the footers. We can cantilever up to 24" for additional space between the footers and septic tank.

Shane Gray, Associate ASLA
Landscape Designer & Sales Consultant
Colao & Peter Outdoor Environments
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C: 703.459.6767
3301 Old Pickett Road, Fairfax, Va 22031
<http://www.Colao-Peter.com>

From: Williams, Jeffrey [mailto:jewilliams@howardcountymd.gov]
Sent: Tuesday, February 14, 2017 3:25 PM
To: Shane Gray <shane@colaostone.com>
Subject: RE: 12300 Carol Dr - Septic System Location

Question: are the deck footers existing? If not, is there an option to cantilever the deck at all to gain additional separation from the footers to the tank?

From: Shane Gray [mailto:shane@colaostone.com]
Sent: Thursday, February 09, 2017 3:05 PM
To: Williams, Jeffrey
Subject: RE: 12300 Carol Dr - Septic System Location

Hi Jeff,

Thank you for your advisement. To answer your questions: Yes, we did field locate the septic disposal trenches, lines, and tank. The screenshot you shared does look similar to how our measurements show.

Attached are two plans. One shows the original plat with our design, plus the actual field location which I have shown in red. You will see that the pool is over 20' from the actual trenches. This is shown at 1" = 50'-0".

The second plan is a close-up outlining the deck footers closest to the septic tank itself. This is shown at 1" = 5'-0". Both footers are over 5' from the tank. However, where the stairs land (though there are no footers) is only 2' and some change from the septic tank. Is this an issue?

Given the information provided, will we be permitted to build the pool, covered deck, and pool shed structure? Is this something you can permit?

Thank you for your help.

Shane Gray, Associate ASLA
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From: Williams, Jeffrey [<mailto:jewilliams@howardcountymd.gov>]

Sent: Wednesday, February 08, 2017 10:05 AM

To: Shane Gray <shane@colaostone.com>

Subject: RE: 12300 Carol Dr - Septic System Location

Did you field locate the disposal trenches when you located the tank? Here is a screenshot of an aerial view from 1998 that shows the trench locations relative to the house position in darker green grass, which pretty closely matches the location you show.



I cannot easily line up what you sent to our plans as it is in an architectural scale. We would look for a plot plan to be in an engineer scale such as 1"=30' or 1"=50' if possible.

What we need to see is the sheet where you located the proposed pool on the 8/7/95 plan, but you need to also show the sewage disposal area (what is labeled the approved septic field on the original plan) along with the actual locations of the tank and trenches. The pool edge must be 20' from the disposal area and trenches. If not, we can discuss a waiver depending on the distance.

It looks like the deck may have been an add-on during the house construction, so I don't know if we specifically approved it at the reduced setback. Please show the locations of the deck footers and we can consider a waiver to that distance as well. If you can send me a revised plan as described above, we can perform a site visit to look at the locations.

From: Shane Gray [mailto:shane@colaostone.com]
Sent: Tuesday, February 07, 2017 1:41 PM
To: Williams, Jeffrey
Subject: 12300 Carol Dr - Septic System Location

Hi Jeff,

Thanks for all the help. As discussed, we re-drew the site plan/septic tank with the measurements we took after locating with a septic company a building permit official. That document is attached and labeled 'Miller as built septic lines.' The same drawing + our design overlaid is attached and labeled 'Miller plan w as built septic and updated plat.' Lastly, attached is the original septic plan (Amy McMillen, 8-7-95 deemed untrue) with our design overlaid, labeled 'Miller plan w original plat plan B11x17.'

Would it help if I overlaid our proposed design overtop of the 'M. Rifkin as-built' septic map, even though our measurements were slightly different?

Thanks for your help.

Shane Gray, Associate ASLA
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Williams, Jeffrey

From: Shane Gray <shane@colaostone.com>
Sent: Friday, February 24, 2017 10:16 AM
To: Williams, Jeffrey
Cc: Bernard, Dana
Subject: RE: 12300 Carol Drive - Pool House Septic

Jeff,

Thank you for the information. I will label that we will use a 4" pipe. Also, we labeled the slope as a 'minimum' but the plumber feels that we will have plenty of fall. We do understand your comments and will adjust to a pump if that ends up being necessary.

With the recent plans you have received, the Health Department will not approve the project? Is there anything else you will be requiring? It seems this is the last piece to the puzzle. Please let me know so that I can pick up a permit as soon as possible and get this project rolling.

Again, thank you for all of your help through this.
Shane

Shane Gray, Associate ASLA
Landscape Designer & Sales Consultant
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From: Williams, Jeffrey [mailto:jewilliams@howardcountymd.gov]
Sent: Friday, February 24, 2017 8:41 AM
To: Shane Gray <shane@colaostone.com>
Cc: Bernard, Dana <dbernard@howardcountymd.gov>
Subject: RE: 12300 Carol Drive - Pool House Septic

This plan could be acceptable if you specify a 4" line. Did you get a field measurement of the existing line elevation? Is the line leaving the pool house from under the slab? At 1.17%, there is no room for error in elevations. There is a very real possibility that something could be off and the fall will not work out. Please note that if the installer is not able to achieve at least 1% fall across the full length of the line, they will need to switch to a pumped system. This would require either a modification of the plumbing permit to add an interior ejector pit or modification of the septic permit to install a minimum 1000g single compartment approved style tank with a grinder pump outside the building.

From: Shane Gray [mailto:shane@colaostone.com]
Sent: Thursday, February 23, 2017 2:25 PM
To: Williams, Jeffrey

Cc: Bernard, Dana

Subject: RE: 12300 Carol Drive - Pool House Septic

Dana & Jeff,

Thank you both very much for your help. Before I make another journey to see you in Howard Co, I wanted to pass on the documents to see if they are OK.

- + Schedule 40 to be used for septic line
- + Gravity Line with 1.17% slope
- + 3 Clean-Outs (pool house, where meets existing line, and 70' in)
- + Septic and Water Lines are 10' off house and 10' apart (except where they go into building. Pool equip is behind so the side wall is only option)

Please let me know your thoughts whether or not this will be permitted.

I have also attached the electric plan – just in case.

Thanks,

Shane Gray, Associate ASLA
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From: Williams, Jeffrey [<mailto:jewilliams@howardcountymd.gov>]

Sent: Wednesday, February 22, 2017 1:43 PM

To: Shane Gray <shane@colaostone.com>

Cc: Bernard, Dana <dbernard@howardcountymd.gov>

Subject: RE: 12300 Carol Drive - Pool House Septic

Hello Shane. If you are making a connection from the pool house waste line to the sewer line outside the house, that will require a septic permit from the Health Department and Health inspection of the line installation. Also, the plan you will be presenting to us will be the design plan we will attach with the septic permit. As such, we will need a bit more detail:

- What are the elevations of the line leaving the pool house and the line at the connection to the existing sewer?
- What is the size and material of the line. It must be labeled on the plan. Schedule 40 PVC is typical.
- Is this a gravity line or a force main. If gravity, the line must have at least 1% fall and a cleanout shown at the outside of the pool house, at the tie-in, and every 70' in between. If a force main, add a note that there will be an interior ejector pit and note the diameter of the force main. Include a detail of the proper connection to tie in the force main to the existing sewer line.
- The proposed line appears to go through a lot of existing landscaping and under the existing deck. Is this homeowner ok with this? The location on this plan is where we will expect the actual line to be installed.

The process will be that we will need the design plan finalized for our approval. We will need the \$165 septic permit fee paid before we can approve the building permit. We will condition the building permit for no final inspection until we have approved the connection. The contractor doing the work must pick up the permit before they start installation. They must leave the line uncovered and call in for our inspection before backfilling. Let me know if there are any questions. Thanks
Jeff

From: Shane Gray [<mailto:shane@colaostone.com>]
Sent: Tuesday, February 21, 2017 1:58 PM
To: Bernard, Dana; Williams, Jeffrey
Subject: 12300 Carol Drive - Pool House Septic

Good Afternoon, Dana & Jeff,

Regarding:
The Miller Residence
12300 Carol Dr. Fulton, MD 20759

My apologies for the confusion with the pool house septic per my last visit. In hopes of getting a permit this week, I have attached a plan showing the septic line from the pool house (in red) to tie into the existing septic line no more than 5'-0" from the house. Our plumber suggested this location and we drew it in collaboration. There is a more detailed plan showing exactly where the toilet & sinks will be in the structure.

Are these documents acceptable, thus allowing the O.K. from the Health Department for permitting?

Warm Regards,

Shane Gray, Associate ASLA
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