



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: B16004512

Building Address: 12014 Catharine Close Rd
 City: Clarksville State: MD Zip Code: 21029
 Suite/Apt. #: _____ SDP/WP/BA #: GP15-081
 Census Tract: _____ Subdivision: Greenberry
 Section: _____ Area: _____ Lot: 10
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Vacant lot
 Proposed Use: Single Family house
 Estimated Construction Cost: \$ 240,000
 Description of Work: New 2 story "Chapel Hill II" NEW 'K', 3 car garage, morning room, 4' EXT to family room, sitting rm with covered porch, 1st floor bedroom, unfinished basement
 Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: NVR, Inc
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 Phone: 410-379-5956 Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Decatur Building Services
 Address: PO Box 552
 City: Woodbine State: MD Zip Code: 21797
 Phone: 443-309-7792 Fax: _____
 Email: Jim@DecaturbuildingServices.com

Contractor Company: NV Homes
 Contact Person: Taylor Paris
 Address: 9720 Patuxent Woods Drive
 City: Columbia State: MD Zip Code: 21046
 License No.: 56
 Phone: 410-379-5956 Fax: _____
 Email: T.Paris@NVR,Inc.com

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input checked="" type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<u>Construction type:</u>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>5</u>	
<input type="checkbox"/> Structural Steel	<u>Multi-family Dwelling</u>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<u>Water Supply</u>	
<input checked="" type="checkbox"/> Public	
<input type="checkbox"/> Private	
<u>Sewage Disposal</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	RECEIVED OCT 13 2016 LICENSES & PERMITS DIVISION
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<u>Heating System</u>	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<u>Sprinkler System:</u>	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>615000287</u>	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Keenan
 Applicant's Signature
Jim@DecaturbuildingServices.com
 Email Address
AGENT
 Title/Company

Jim Keenan
 Print Name
10/13/2016
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

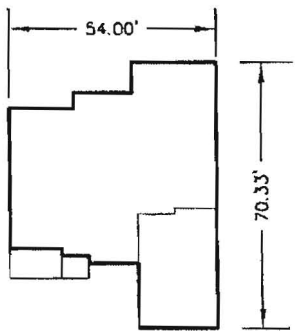
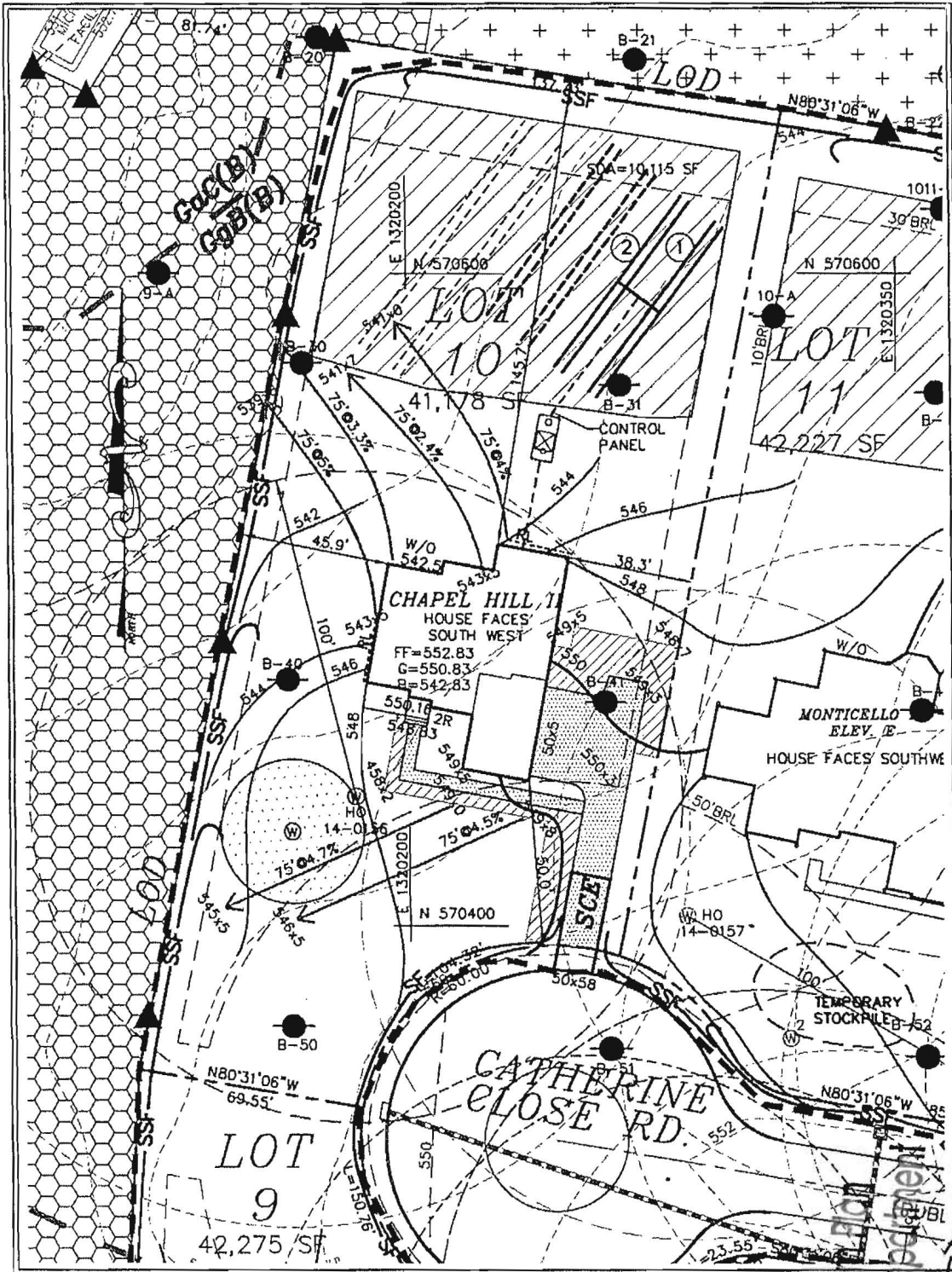
AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health		<u>Robert R. Brink</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>100.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50.00</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	#

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



Approved Septic System Plan
 Howard County Health Department
 5-Bedroom SFD
 approved as illustrated
[Signature]
 Signature
 10/28/2016
 Date

CHAPEL HILL II
 ELEVATION K

12014 Catherine Close Rd
 B16004512

PLOT PLAN (SITE SPECIFIC)
 GREENBERRY
 LOT 10

FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**MILDENBERG
 BOENDER, & ASSOC., INC.**

Engineers · Planners · Surveyors
 7350-B Grace Drive, Columbia, Maryland 21044
 (410) 997-0298 Ball. (410) 997-0298 Fax

SCALE: 1" = 50' DRAWN BY: MMM DATE: OCT. 2015 PN: 15-005

RESIDENTIAL BUILDING PERMIT PERMIT FEE AND EXCISE TAX WORKSHEET

APPLICANT'S COPY

PERMIT NUMBER B16004512

OWNER NV Homes ADDRESS CHAPER Hill II w/ MORNING 4FT

CONSTRUCTION PHASE: New Addition Alteration Temporary Ext. Sitr R, Pcc

IRC USE GROUP: R-3 DESCRIPTION OF WORK: UNfinished Lower level of 3 car

2 story full-bas, 10R, 3FB, 113, P & 3 car GARAGE (43R)

PRESCRIPTIVE METHOD UA ALTERNATIVE PERFORMANCE METHOD

BUILDING	FRONT	DEPTH	HEIGHT	AREA	AREA
1	66	60	10	2611	2611
2	54	49	10	1915	1817
3	54	60	10	1959	1959
				GSF = 6485	OGSF = 6387

Footings	Foundation	Walls	Roof	Other
<u>16" x 8"</u>	<u>8" Concrete</u>	<u>NO G.C. BV BLOCKS</u>	<u>GABLE</u>	

Residential Fee Calculations:

Residential - A building which contains one or more dwelling unit, including boarding houses but not including transient accommodations such as hotels, country inns or bed and breakfast inns. Residential includes uses accessory to building units such as attached garages or home occupations, but does not include non-residential uses in mixed use structures.

BPF = $\frac{6485}{GSF} \times \$1.18 = \$ 1167^{30}$ Permit Fee $\times 10\%$ (Tech Fee) = 116^{73}
 ET = $\frac{6387}{OGSF} \times \$1.17 = \$ 7472^{79}$ Excise Tax
 PSFS = $\frac{6387}{OGSF} \times \$1.25 = \$ 8047^{82}$

BPF = Building Permit Fee OGSF = Occupiable Gross Square Feet GSF = Gross Square Feet ET = Excise Tax PSFS = Public School Facilities Surcharge
 Note: OGSF calculations may differ from GSF calculations when computing excise tax.

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PERMIT FEE, TECHNOLOGY FEE, SCHOOL SURCHARGE AND EXCISE TAX TOTAL: \$ _____

References: Chapter 285, Acts of the Maryland General Assembly of 1992; Howard County Code Sections 20.503; County Council Resolution 58-2008; 2004 Legislation House Bill 1445; 2006 International Residential Code for One and Two Family Dwellings

BY: [Signature] DATE: 7/28/2016 CHECKED BY: _____ DATE: _____



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: *Taylor Faris, NV Homes*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*
Well & Septic Program

RE: *12014 Catherine Close Road* Potential Basement Bedroom

DATE: October 28, 2016

I have reviewed the floor plans in support of Building Permit **B16004512** for a new home at **12014 Catherine Close Road** and noted that there is a rough-in for a full bathroom in the unfinished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the basement to finished living space.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **five**-bedroom design to accommodate a future finished basement. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.

SOILS TABLE (WITHIN LOD)

SYMBOL	RATING	NAME	K FACTOR
GgB	(B)	GLENELO LOAM, 3-8% SLOPES.	.20

PRIMARY TRENCH DATA

TRENCH	EX. GROUND ELEVATION	INVERT ELEVATION	BOTTOM OF TRENCH EL.
1	544.00	540.00	537.00
2	543.50	539.50	536.50

SEPTIC TRENCH SIZING

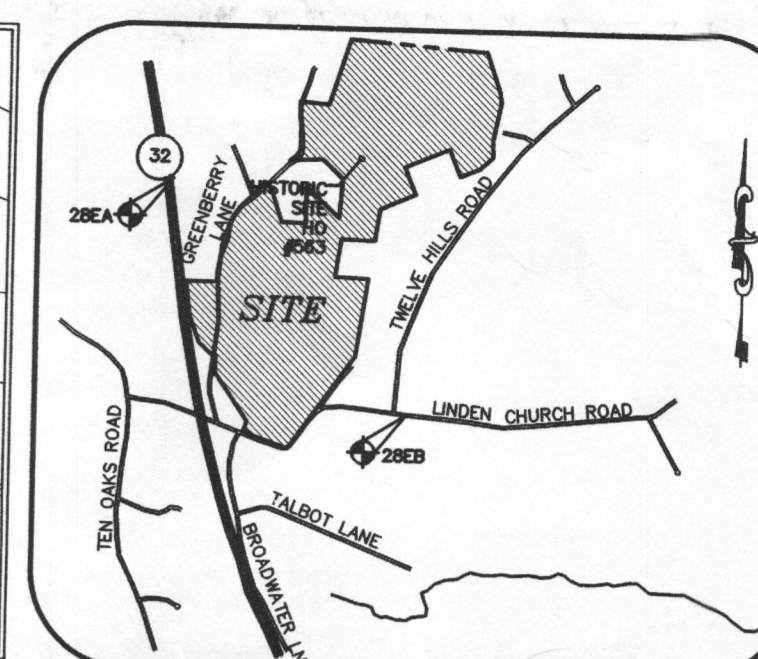
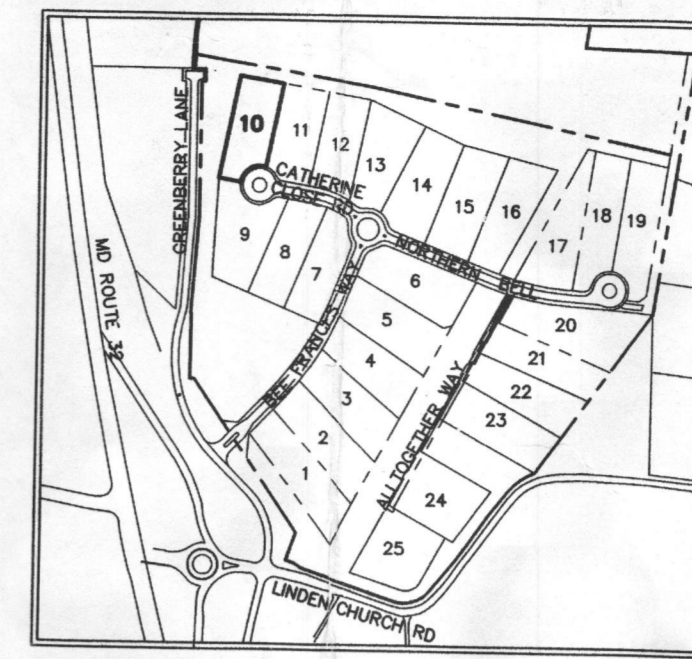
SYSTEM	APPLICATION RATE (GPD / SF)	MAXIMUM FLOW RATE (GPD)	AREA OF REQUIRED TRENCH (SF)	TRENCH WIDTH (FT)	LENGTH OF TRENCH (LF)	EFFECTIVE DEPTH BEGINS (FT)	TRENCH DEPTH (FT)	TRENCH REDUCTION FACTOR**	ADJUSTED LENGTH OF REQUIRED TRENCH (LF)	MINIMUM TRENCH SPACING (FT)	PROVIDED TRENCH LENGTH (FT)
PRIMARY	1.2	750	625	3	208.3	5.0	2.0	0.62	129.2	10.0	142
SECONDARY	1.2	750	625	3	208.3	5.0	2.0	0.62	129.2	10.0	130
TERTIARY	0.8	750	937.5	3	312.5	5.0	2.5	0.55	172.0	10.0	172

LOW PRESSURE DOSING SYSTEM - INITIAL INSTALLATION

TRENCH	GROUND ELEVATION	PIPE INV. ELEVATION	TRENCH LENGTH (FT)	LATERAL LENGTH (FT)	PERFORATION DIAMETER (IN)	PRESSURE HEAD (FT)	PERFORMANCE FLOW RATE (GMP)	PERFORMANCE SPACING (FT)	NUMBER OF PERFORATIONS	TRENCH FLOW RATE (GPM)
1	544.00	540.00	70.0	66.5	5/16	2.0	1.63	3.5	20	32.60
2	543.50	539.50	72.0	72.0	5/16	2.5	1.82	4.0	18	32.76

ON-SITE SEWAGE DISPOSAL SYSTEM:

RESIDENTIAL SYSTEM DESIGN: HOOT 600 BNR
 5 BEDROOM HOUSE (LIVING AREA = 3,500 SQ.FT.)
 150 X 5 = 750 GPD
 APPLICATION RATE = 1.2 GPD/SQ.FT.
 DESIGN FLOW + APPLICATION RATE = SQ.FT. OF TRENCH REQUIRED
 750 + 1.2 = 625 SQ.FT.
 SQ.FT. REQUIRED + WIDTH OF TRENCH = LENGTH OF TRENCH
 625 + 3.0' = 208.3 FT
 USE 24" OF GRAVEL BELOW DRAIN PIPE
 208.3 X 0.62 = 129.1
 USE TWO (2) 62' LONG TRENCHES
 A MINIMUM OF 10' BETWEEN TRENCHES UTILIZING SIDEWALL REDUCTION CREDIT.
 MINIMUM TANK CAPACITY = 600 GALLONS
 PUMP: GOULDS MODEL WE03M



LOCATION PLAN
SCALE: 1"=600'

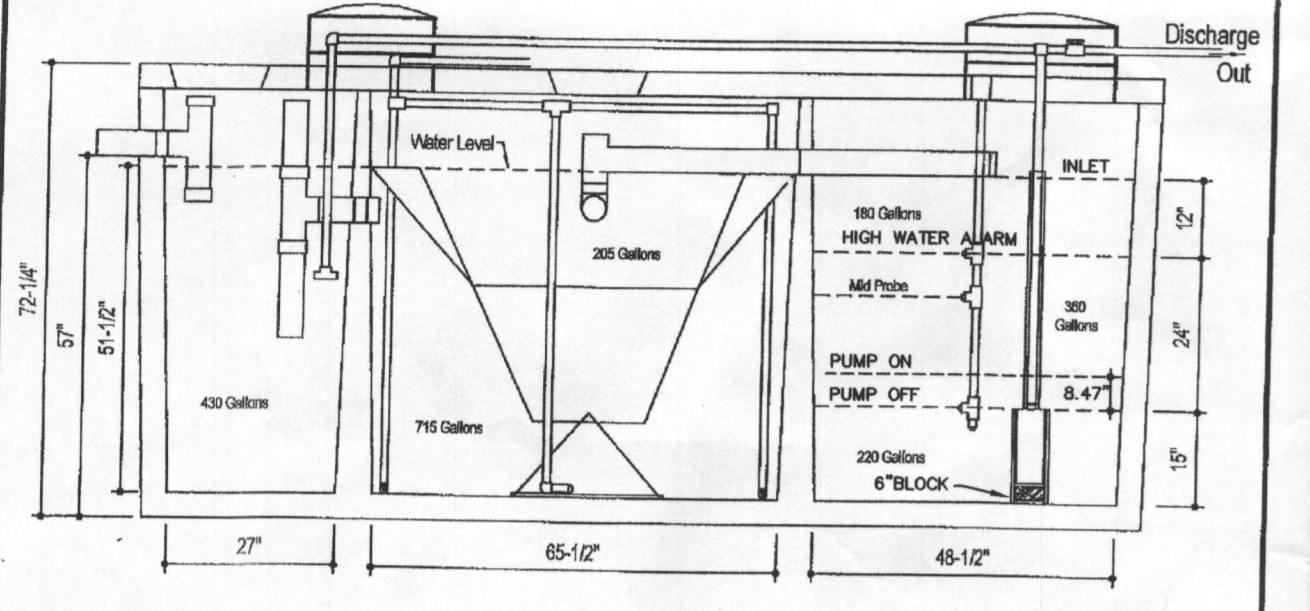
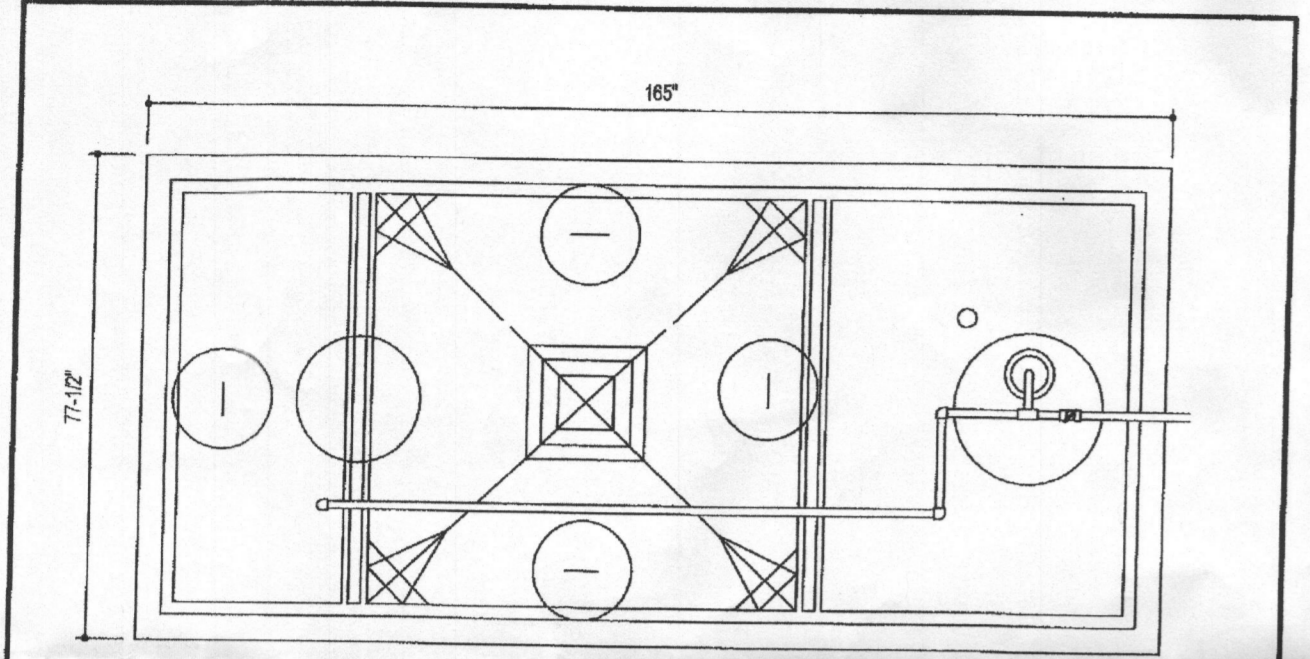
VICINITY MAP
SCALE: 1"=2000'
ADC MAP 24 GRID F6

GENERAL NOTES:

- THE SUBJECT PROPERTY IS ZONED RR-DEO PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
- TAX MAP: 28
GRID: 9 PARCEL: 48
LOT: 10
DEED REFERENCE: LIBER 5891 FOLIO 307
ELECTION DISTRICT: FIFTH
ZONING: RR-DEO
AREA: 41,178 S.F.
D.P.Z. FILES: COP-13-025, SP-13-010, F-14-095, GP-15-081
- 2' TOPOGRAPHY FOR THE DEVELOPED AREAS IS BASED ON AERIAL SURVEY FLOWN BY WINGS TOPOGRAPHY INC. ON OR ABOUT MARCH 2007.
- PRIVATE WELL AND SEPTIC WILL BE UTILIZED.
- SOILS DATA BASED ON THE USDA SOIL SURVEY OF HOWARD COUNTY, MD, DATED MAY, 2008.
- THIS AREA DESIGNATES A PRIVATE SEWAGE DISPOSAL AREA OF AT LEAST 10,000 SQ. FT. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS AVAILABLE, THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE DISPOSAL AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY. CERTIFICATION PLAN.
- EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.

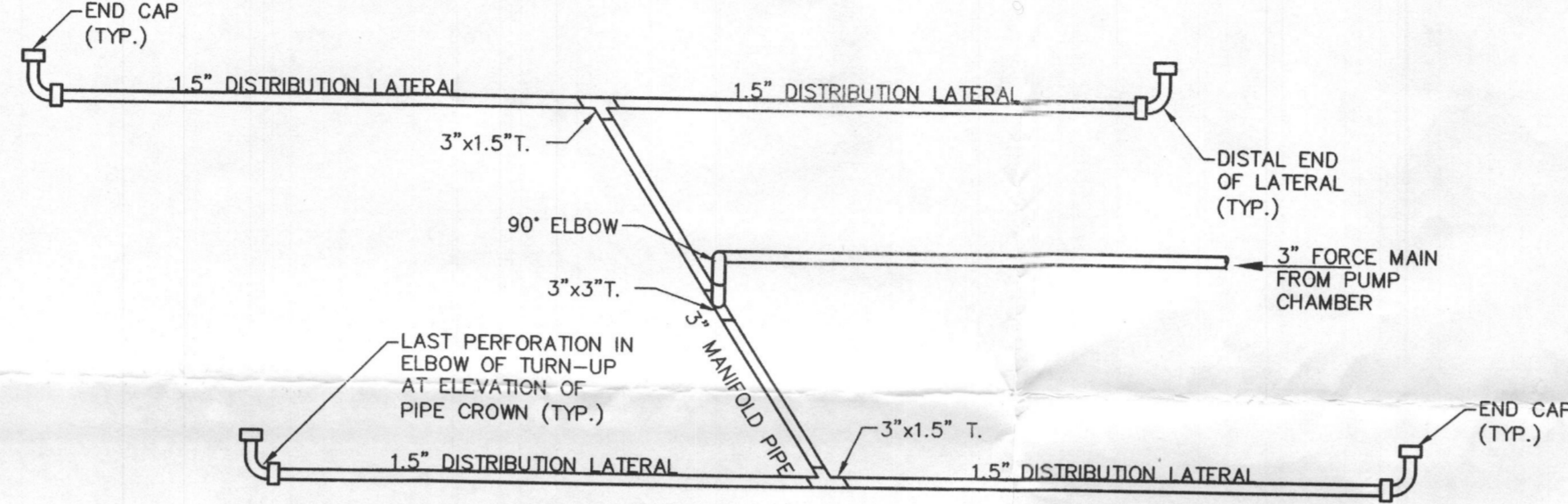
BEST AVAILABLE TECHNOLOGY (BAT) SITE PLAN NOTES

- ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
- THE MAXIMUM DEPTH OF THE BAT PER THE MANUFACTURER'S SPECIFICATION IS 3.0' FEET.
- THE BLOWER MAY NOT BE LOCATED MORE THAN 100 FEET FROM THE TANK BASED ON MANUFACTURER'S SPECIFICATIONS.
- THE BAT SYSTEM SHALL BE MAINTAINED AND OPERATED FOR THE LIFE OF THE SYSTEM.
- THE BAT SHALL BE OPERATED BY AND MAINTAINED BY A CERTIFIED SERVICE PROVIDER.
- WITHIN ONE (1) MONTH OF INSTALLATION, A PERSON INSTALLING THE BAT SYSTEM SHALL REPORT TO THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) IN A MANNER ACCEPTABLE TO MDE, THE ADDRESS AND DATE OF COMPLETION OF THE BAT INSTALLATION AND THE TYPE OF BAT INSTALLED.
- ELECTRICAL WORK FOR THE BAT INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
- AN AGREEMENT AND EASEMENT MUST BE COMPLETED AND SIGNED BY ALL APPLICABLE PARTIES, AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY.
- THE HEALTH DEPARTMENT REQUIRES DOCUMENTATION FOR THE START-UP CERTIFICATION FROM THE MANUFACTURER PRIOR TO FINAL APPROVAL OF THE INSTALLATION.

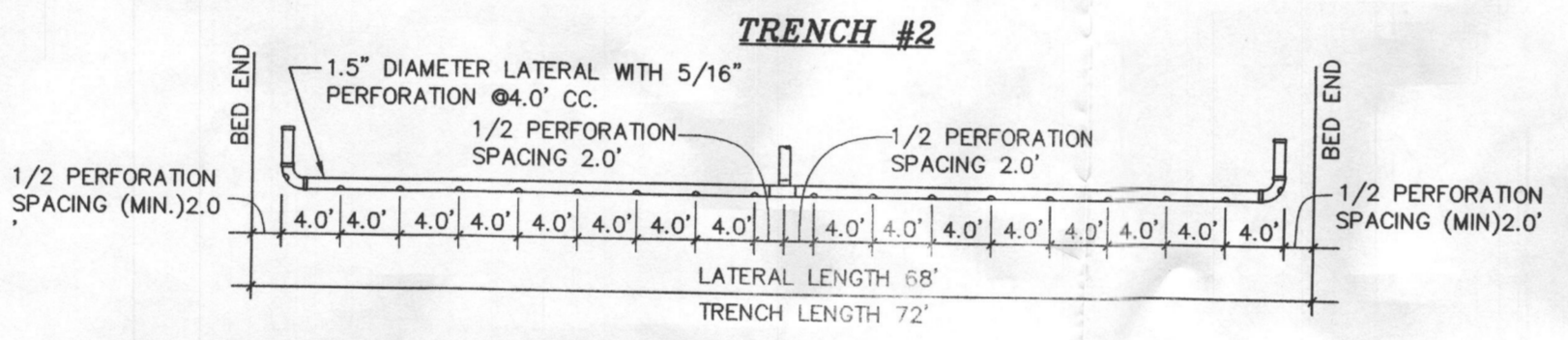
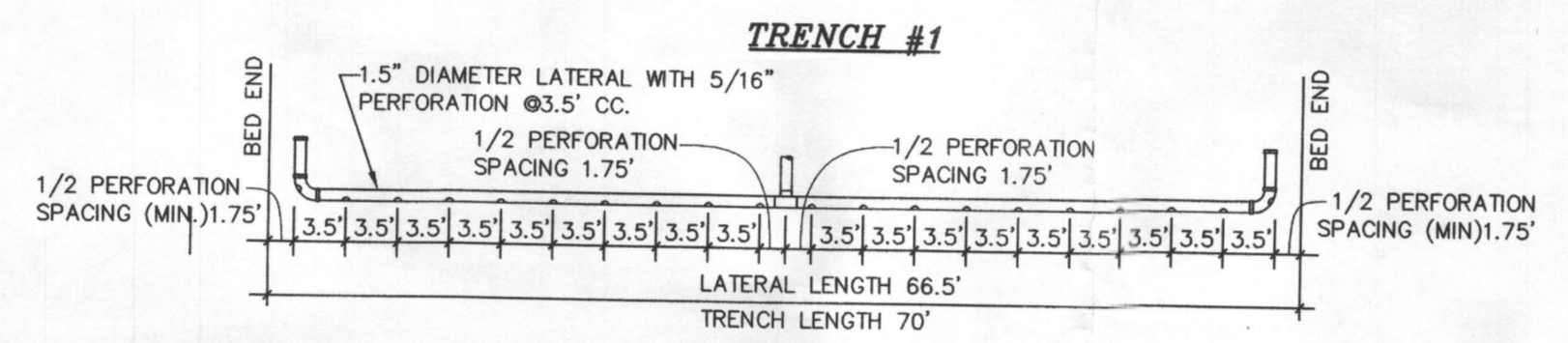


DESIGN DATA & GENERAL NOTES
 1) Concrete strength Fc=4,000 p.s.i., @ 28 days, Density = 150 pcf.
 2) Cement - Portland Type III per ASTM C 150-92.
 3) Reinforcing Steel - #4 per ASTM A 618-98 & C 404-92.
 4) Reinforcing per ASTM A 618, Min. 1-2" cover.

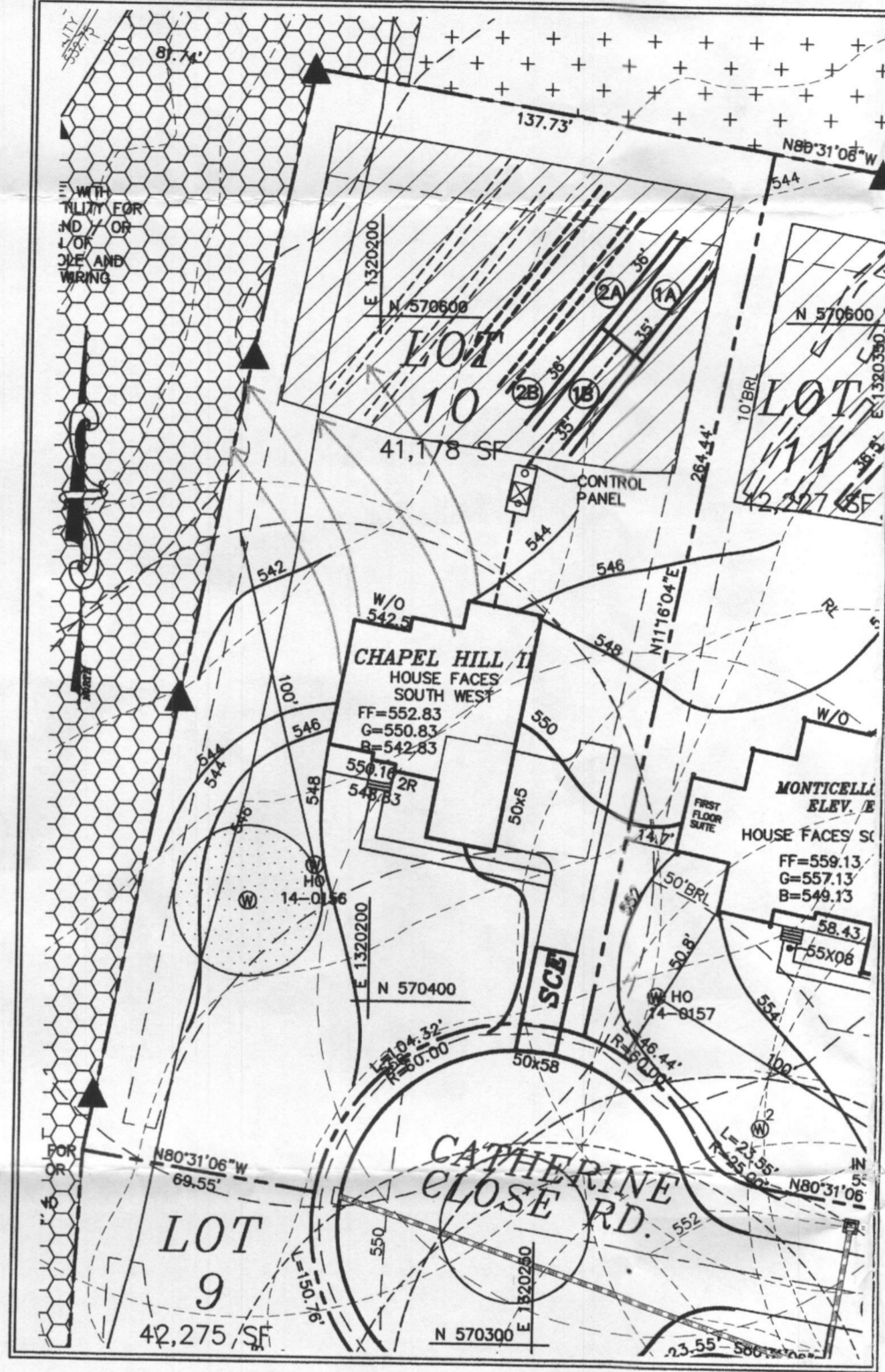
Mayer Brothers, Inc.
 600 GPD BNR SYSTEM
 H-600 BNR
 with 750 GALLON PUMP CHAMBER
 Dwg. No. Hoot Form #1 No Scale March 19, 2009



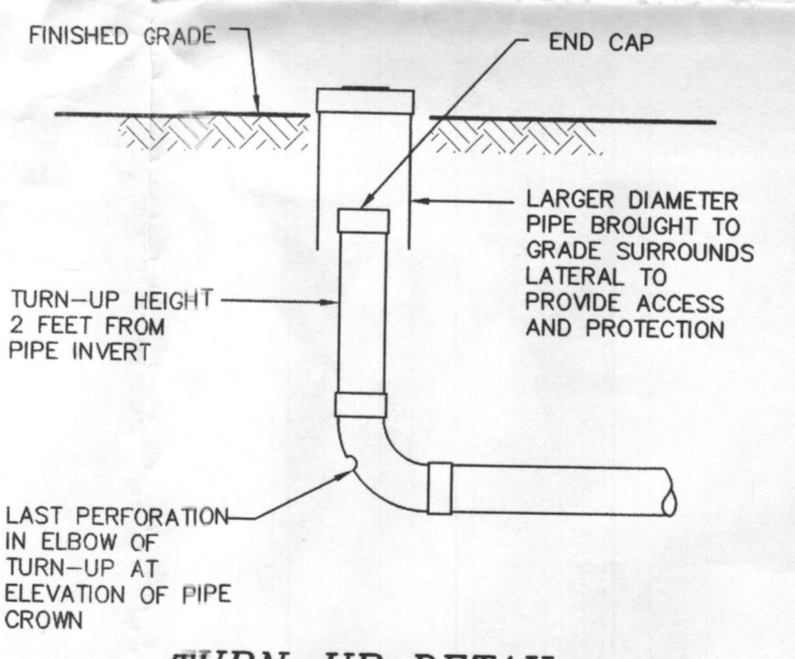
CENTER FEED MANIFOLD DISTRIBUTION NETWORK SCHEMATIC
NOT TO SCALE



CENTER FEED LAYOUT
NOT TO SCALE

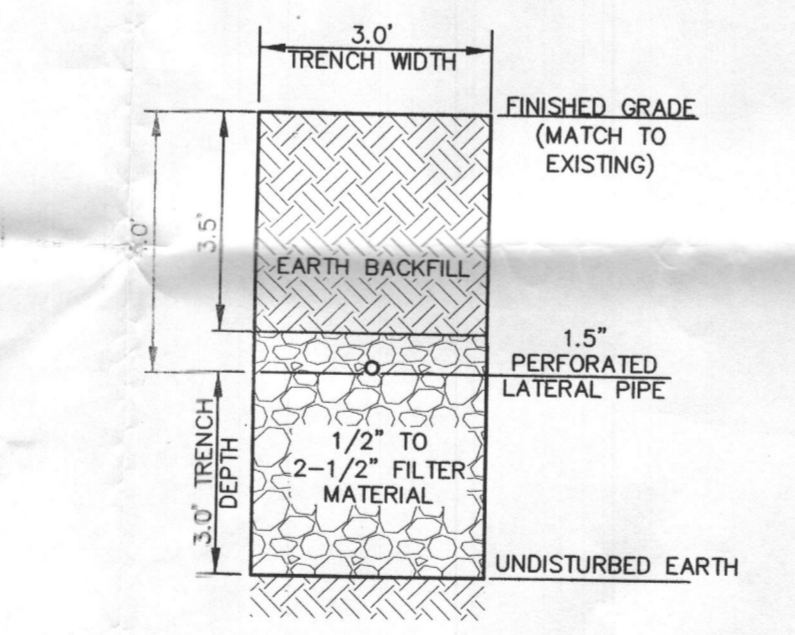


GRAPHIC SCALE
1 inch = 50 feet



TURN-UP DETAIL
NOT TO SCALE

NOTE: PLACE AN OBSERVATION PIPE IN THE GRAVEL BED AT DISTAL END OF EACH TRENCH SEGMENT



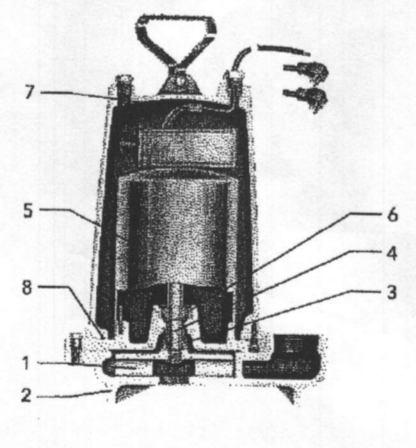
TRENCH DETAIL
NOT TO SCALE

PERFORMANCE RATINGS (gallons per minute)

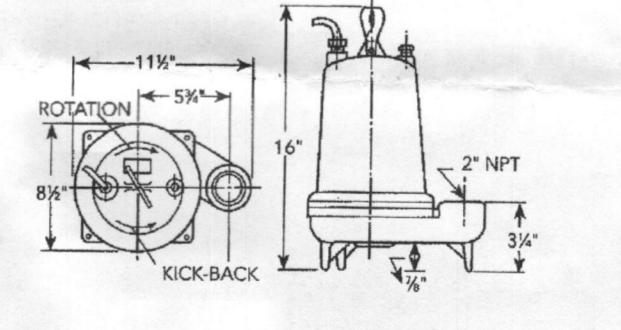
Order No.	1/2"	3/4"	1"	1 1/4"	1 1/2"	2"	3"
HP	1750	1750	3500	3500	3500	3500	3500
5	86	-	-	-	-	-	-
10	70	43	78	94	-	-	-
15	52	52	70	90	103	128	93
20	37	35	46	43	98	123	49
25	5	15	48	74	94	117	45
30	-	-	35	67	88	110	40
35	-	-	22	57	82	103	35
40	-	-	-	45	74	95	30
45	-	-	-	35	64	86	25
50	-	-	-	25	53	77	20
55	-	-	-	40	67	86	103
60	-	-	-	30	56	63	96
65	-	-	-	20	45	58	89
70	-	-	-	-	35	55	81
75	-	-	-	-	25	51	74
80	-	-	-	-	-	47	66
90	-	-	-	-	-	37	49
100	-	-	-	-	-	28	30

COMPONENTS

Item No.	Description
1	Impeller
2	Casting
3	Mechanical Seal
4	Motor Shaft
5	Motor
6	Ball Bearings
7	Power Cable
8	Casting O-Ring



DIMENSIONS
 (All dimensions are in inches. Do not use for construction purposes.)



xylem
 Let's Solve Water
 Xylem, Inc.
 2881 East Bayard Street Ext., Suite A
 Seneca Falls, NY 13148
 Phone: (866) 325-4210
 Fax: (585) 322-5977
 www.xylem.com/brands/gouldswatertechnology
 Gould is a registered trademark of Goulds Pump, Inc. and is used under license.
 © 2012 Xylem Inc. 93885 01 April 2012

WELL CERTIFICATION:
 THE EXISTING WELL, TAG NO. HO-14-0156, HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN

Goulds Water Technology

Wastewater

APPLICATIONS
 Specifically designed for the following uses:
 • Homes, Farms, Trailer Courts, Motels, Schools, Hospitals, Industry, Effluent Systems

SPECIFICATIONS

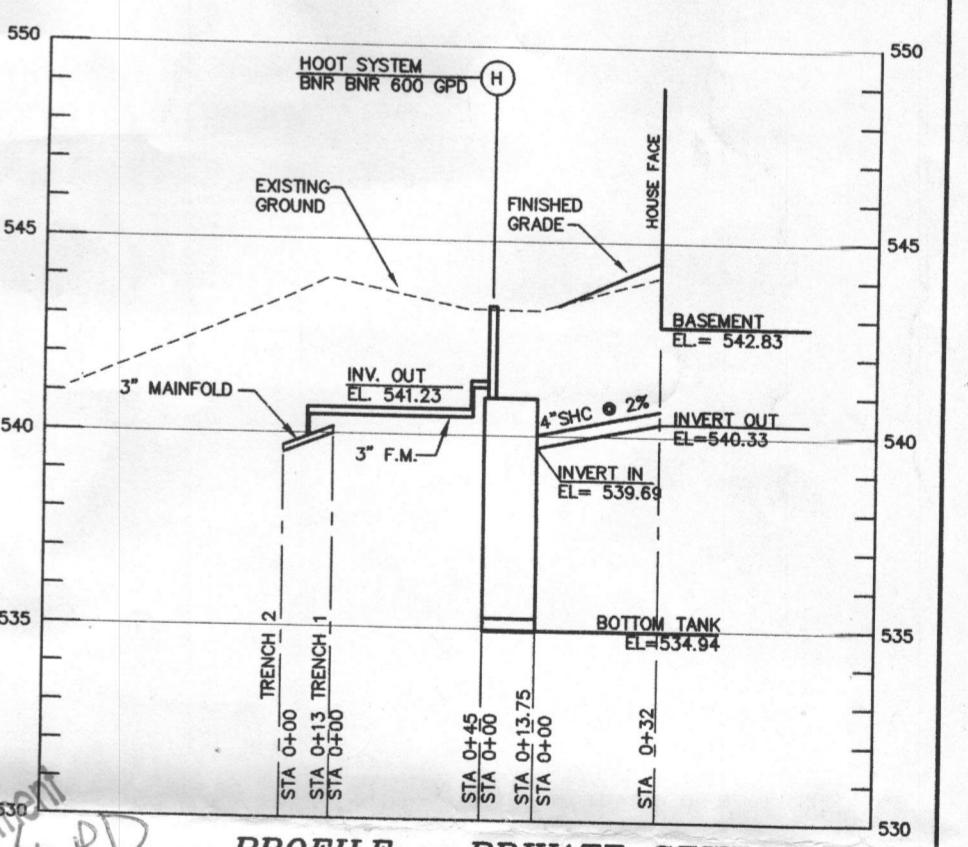
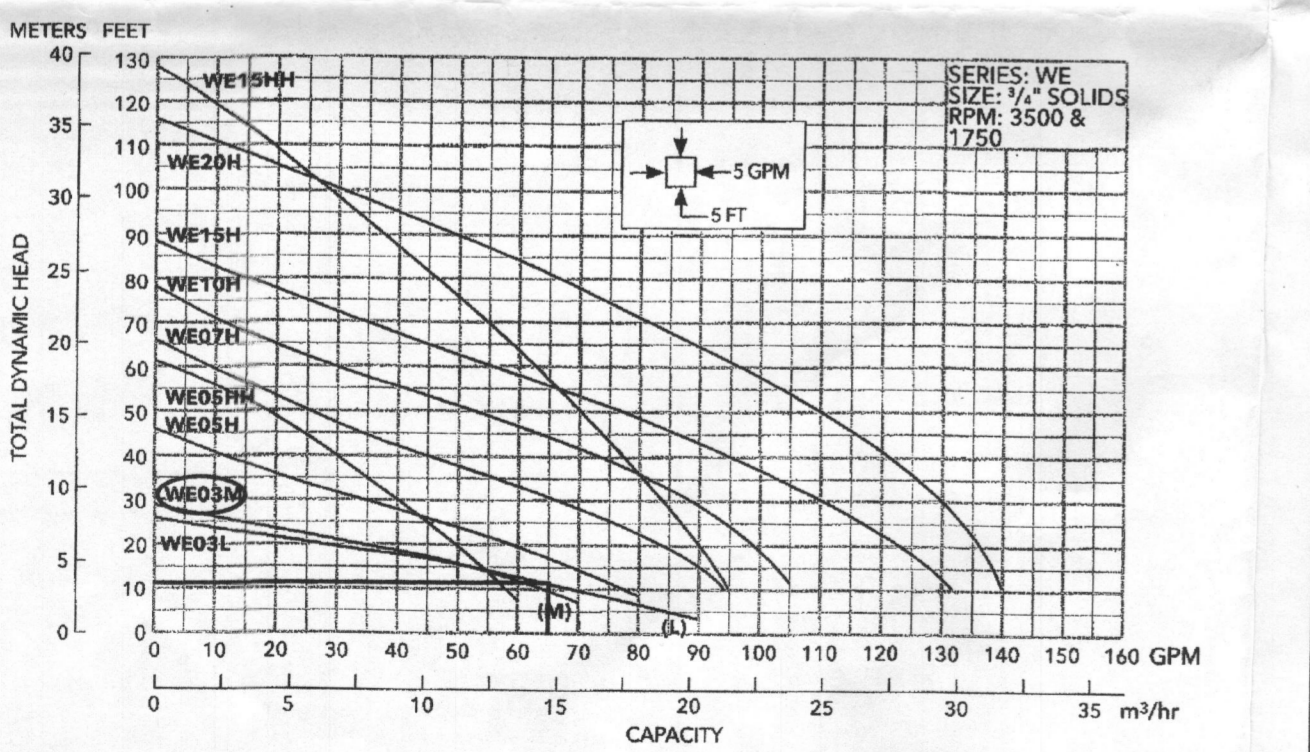
Pump
 • Solids handling capabilities: 3/4" maximum.
 • Discharge size: 2" NPT.
 • Capacities: up to 140 GPM.
 • Total heads: up to 128 feet TDH.
 • Temperature: 104°F (40°C) continuous, 140°F (60°C) intermittent.
 • See order numbers on reverse side for specific HP, voltage, phase and RPM's available.

MOTORS
 • Fully submerged in high-grade turbine oil for lubrication and efficient heat transfer.
 • Class B insulation on 1/2 - 1 1/2 HP models.
 • Class F insulation on 2 HP models.

Single Phase (60 Hz):
 • Capacitor start motors for maximum starting torque.
 • Built-in overload with automatic reset.

• S/TOW or STOW severe duty oil and water resistant power cords.
 • 1/2 - 1 HP models have NEMA three prong grounding plugs.
 • 1 1/2 HP and larger units have bare lead cord ends.
Three phase (60 Hz):
 • Class 10 overload protection must be provided in separately ordered starter unit.
 • STOW power cords all have bare lead cord ends.
 • Designed for Continuous Operation: Pump ratings are within the motor manufacturer's recommended working limits, can be operated continuously without damage when fully submerged.
 • Bearings: Upper and lower heavy duty ball bearing construction.
 • Power Cable: Severe duty rated, oil and water resistant. Epoxy seal on motor end provides secondary moisture barrier in case of outer jacket damage and to prevent oil wicking. Standard cord is 20'. Optional lengths are available.
 • O-ring: Assures positive sealing against contaminants and oil leakage.

AGENCY LISTINGS
 Listed to UL 778 and CSA 22.2 108 Standards by Canadian Standards Association File #E39549



PROFILE - PRIVATE SEWER
SCALE: 1"=50' HOR, 1"=5' VER

BAT SYSTEM CHART

DESCRIPTION	ELEVATION
FINISHED GRADE AT SEPTIC TANK	543.25
INVERT INTO TANK	539.69
EXTERIOR BOTTOM OF TANK	534.94
INTERIOR BOTTOM OF TANK	535.27
PUMP OFF	536.52
PUMP ON	537.23
HIGH WATER ALARM	538.52
WATER LEVEL	539.52
INVERT OUT OF TANK	541.23
FINISHED GRADE AT TRENCH #1	544.00
INVERT INTO TRENCH #1	540.00
FINISHED GRADE AT TRENCH #2	543.50
INVERT INTO TRENCH #2	539.50
TOTAL DYNAMIC HEAD	10.05'
DOSED VOLUME	125 GAL
PUMP RUNTIME	1.7 MIN.

*Approved Septic System Plan
 Howard County Health Department
 Hoot H-600 w/LPD
 as illustrated
 RB Miller
 Signature
 B1600452*

STATE OF MARYLAND
 R. JACOB HIKMAT
 PROFESSIONAL ENGINEER
 NO. 17942
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942, EXP. DATE 09/03/2018.
 DATE: 10/25/18
 R. JACOB HIKMAT, P.E.

Project: 15-005
 date: OCT 2016
 illustration: MAM
 engineering: MAM
 approval: RJH

DATE SUBMITTED TO: []
 DATE: []
 REVISIONS/ISSUED TO: []
 NO.: []
 description: []
 revisions: []

12014 CATHERINE CLOSE ROAD, CLARKSVILLE MD
GREENBERRY LOT 10
 FIFTH ELECTION DISTRICT
 HOWARD COUNTY
 SITE PLAN FOR BAT INSTALLATION

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 7850-B Grace Drive, Columbia, Maryland 21044
 (410) 997-0298 Fax
 (410) 997-0298 Fax

12014 Catherine Close Road

LOT 10
5 Bedrooms

CHAPEL HILL II



NVR, Inc.
Architectural Services
Architects
21 Byte Court, Suite A
Frederick, MD 21702

	FULL BASEMENT						ATTACHED GARAGE / ROOMS						STANDARD DETAILS	
	STD. DWGS.	ELEV. "A"	ELEV. "B"	ELEV. "C"	ELEV. "K"	ELEV. "L"	MORNING ROOM	4' EXTENSION TO HOUSE	ALT. DESIGN OWNER'S SUITE	1 CAR SIDE GARAGE	SITTING AREA / COVERED PORCH	3 CAR SIDE GARAGE		2-0" EXTENSION GARAGE
SPEC SHEET	2													D-1
FRONT ELEVATIONS		3	4	5	6	7								D-2
SIDES AND REAR ELEVATIONS		8	8	4	10	11								D-4
FOUNDATION	12	13	13	13	13	13	12	14		14	12	12		D-5
FOUNDATION HOLD DOWN	15J	15.2	15.2	15.2			15.1	15.1		15.1	15.1	15.1		D-5a
PLUMBING	16													D-6
BASEMENT PLAN	17	18	18	14	14									D-7
FIRST FLOOR PLAN	20	21	21	22	22		20	23		24	20, 21, 22			D-8c
SECOND FLOOR PLAN	25	26	26	27	27			25	26		25			D-11
BUILDING SECTION AT FOYER	24							24						D-12
BUILDING SECTION AT GARAGE	30						30		30		30			D-12b
BUILDING SECTION AT MORNING ROOM	31						31							D-12c
PRIMARY STAIR - PINE	32, 33, 34													D-13
PRIMARY STAIR - OAK	35, 36, 37													D-14
PRIMARY STAIR - DIRECT SET	38, 34, 40													D-15a
SECONDARY STAIR - PINE / OAK	41, 42, 43, 44													D-16
KITCHEN PLANS, HOOD A	45													D-17
KITCHEN PLANS, HOOD A - MORNING ROOM	46						46							D-20
KITCHEN PLANS, HOOD B	47													D-21
KITCHEN PLANS, HOOD B - MORNING ROOM	48						48							D-22
KITCHEN PLANS - HUTCH / PLANNING DESK	44													D-22a
MISC. CABINETS - BUTLER'S PANTRY, LAUNDRY, NET BAR	50													D-27
INTERIOR DETAILS - TRIM	51, 52, 53													D-28a
INTERIOR DETAILS - FIREPLACE	54, 55													D-29
EXTERIOR DETAILS - PORCH		56	56											D-30
BASEMENT ELECTRICAL	57	58	58	54	54		58	63		64	60, 61, 62			D-34
FIRST FLOOR ELECTRICAL	60	61	61	62	62		60	63		64	60, 61, 62			D-36
SECOND FLOOR ELECTRICAL	65	66	66	67	67				66	66				D-38
FIRST FLOOR JOIST LAYOUT	64	70	70	70	64		64	64						D-38a
SECOND FLOOR JOIST LAYOUT	71	72	72	72	71					71				D-40
ROOF FRAMING		73	74	75	76	77	73	74	80	81	80	81	82	D-40b
TRUSS BRACING - NV	84													D-44
BRACED WALL PANEL DETAIL- FIRST FLOOR - 90 MPH	85, 86						85	85		87	86	85		D-45
BRACED WALL PANEL DETAIL- SECOND FLOOR	88													D-46
ROOF VENT	84	84	90	91	92	93								MB-1
HEATING LAYOUT - BASEMENT	84													F-1
HEATING LAYOUT - FIRST FLOOR	86													SP-1
HEATING LAYOUT - SECOND FLOOR	88													SP-2
														SEP-1
														SEP-2
														SEP-3
														SEP-4

BASE SQUARE FOOTAGE

FIRST FLOOR	GROSS SQ. FT.	1747
SECOND FLOOR	GROSS SQ. FT.	1671
HOUSE TOTAL	GROSS SQ. FT.	3468

ELEVATIONS SQ. FT.

ELEVATION "A"	GROSS SQ. FT.	+0
ELEVATION "B"	GROSS SQ. FT.	+108
ELEVATION "C"	GROSS SQ. FT.	+138
ELEVATION "K"	GROSS SQ. FT.	+140
ELEVATION "L"	GROSS SQ. FT.	+0

ADDITIONAL SQ. FT.

MORNING ROOM	GROSS SQ. FT.	+264
4' EXT TO HOUSE	GROSS SQ. FT.	+64
OWNER'S SITTING AREA	GROSS SQ. FT.	+158
ALT OWNER'S / 2 CAR	GROSS SQ. FT.	+122
ALT OWNER'S / 3 CAR	GROSS SQ. FT.	+208

MAXIMUM FINISHED SQ. FT.

HOUSE TOTAL	GROSS SQ. FT.	4302
**MAXIMUM SQ. FT. DOES NOT INCLUDE BASEMENT		

FINISHED BASEMENT SQ. FT.

RECREATION ROOM	GROSS SQ. FT.	840
MORNING ROOM	GROSS SQ. FT.	+264
4' EXT.	GROSS SQ. FT.	+64
BASEMENT BATH	GROSS SQ. FT.	+45
EXERCISE ROOM	GROSS SQ. FT.	+220
MEDIA ROOM	GROSS SQ. FT.	+270
HOME OFFICE	GROSS SQ. FT.	+235

UNFINISHED AREA

UNFINISHED BASEMENT	GROSS SQ. FT.	1748
2 CAR GARAGE	GROSS SQ. FT.	421
3 CAR GARAGE	GROSS SQ. FT.	632
1 CAR GARAGE	GROSS SQ. FT.	240

FOOTPRINT

BASE HOUSE:	
WIDTH:	54'-0"
DEPTH:	48'-0"
MAXIMUM:	
WIDTH:	66'-4"
DEPTH:	70'-4"

SET - VERSION

10900-02

CS-1

J:\Dwg\10900\DETACHED\CHAPEL HILL II_10900_02_CS1.dwg 06/21/16 - 2:12 pm

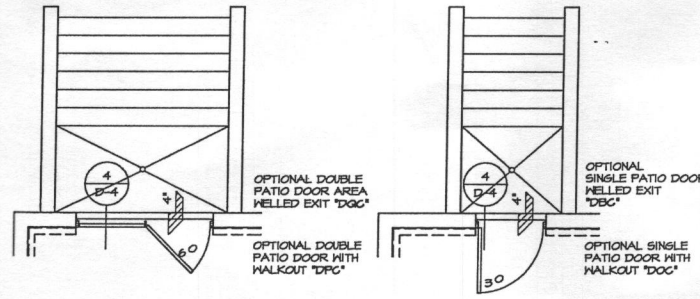
UNFINISHED BASEMENT
 0 bedrooms

OK FEB
 rough-in plumbing

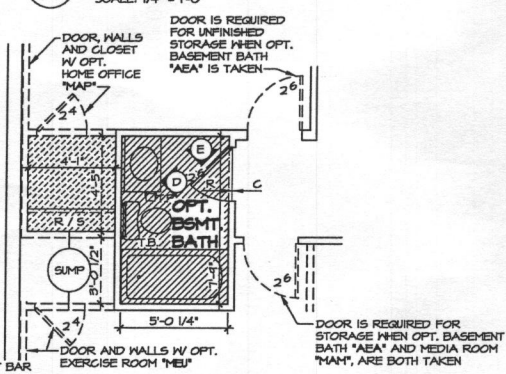
- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILING.
 5. ALL CASING OPENINGS AT 8'-0", UNLESS OTHERWISE NOTED.
 6. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

4 BASEMENT PLAN PARTIAL
 SCALE: 1/4" = 1'-0" OPTIONAL 4'-0" EXTENSION TO FAMILY ROOM "FEN"

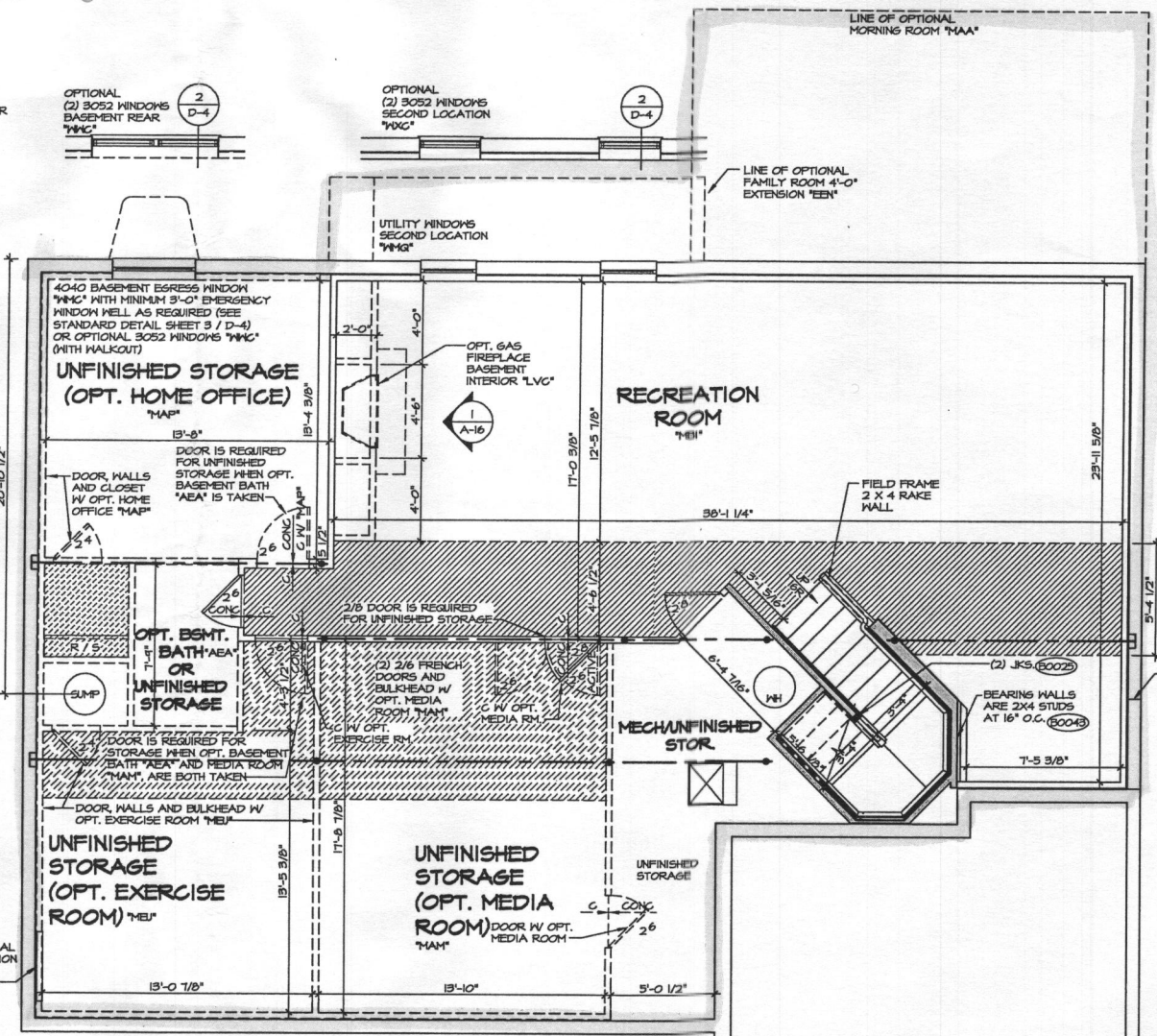
5 BASEMENT PLAN PARTIAL
 SCALE: 1/4" = 1'-0" OPTIONAL 4'-0" EXTENSION TO FAMILY ROOM "FEN" WITH MORNING ROOM "MAA"



3 PARTIAL FINISHED BASEMENT PLAN
 SCALE: 1/4" = 1'-0"



2 BASEMENT PLAN PARTIAL
 SCALE: 1/4" = 1'-0" OPT. BASEMENT BATH "ABA"

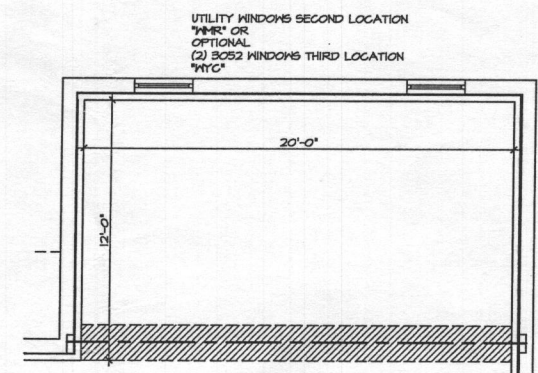


1 BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

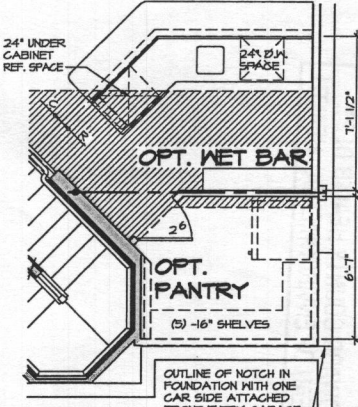
WITH OPTION "SGI" - DRYWALL UNFINISHED BASEMENT CEILING AREA

NOTES:

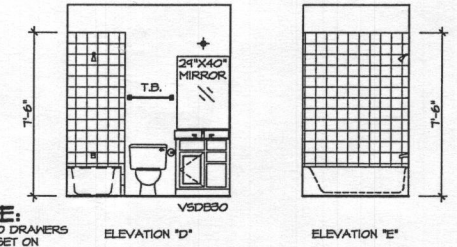
- 1/2" GYPSUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED
- A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" X 8'-0" CEILING SPACE ABOVE MECHANICAL AREA)
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.



6 BASEMENT PLAN PARTIAL
 SCALE: 1/4" = 1'-0" OPTIONAL MORNING ROOM "MAA"



7 BSMT. FLOOR PLAN PARTIAL
 SCALE: 1/4" = 1'-0" OPTIONAL BASEMENT WET BAR "WAZ"

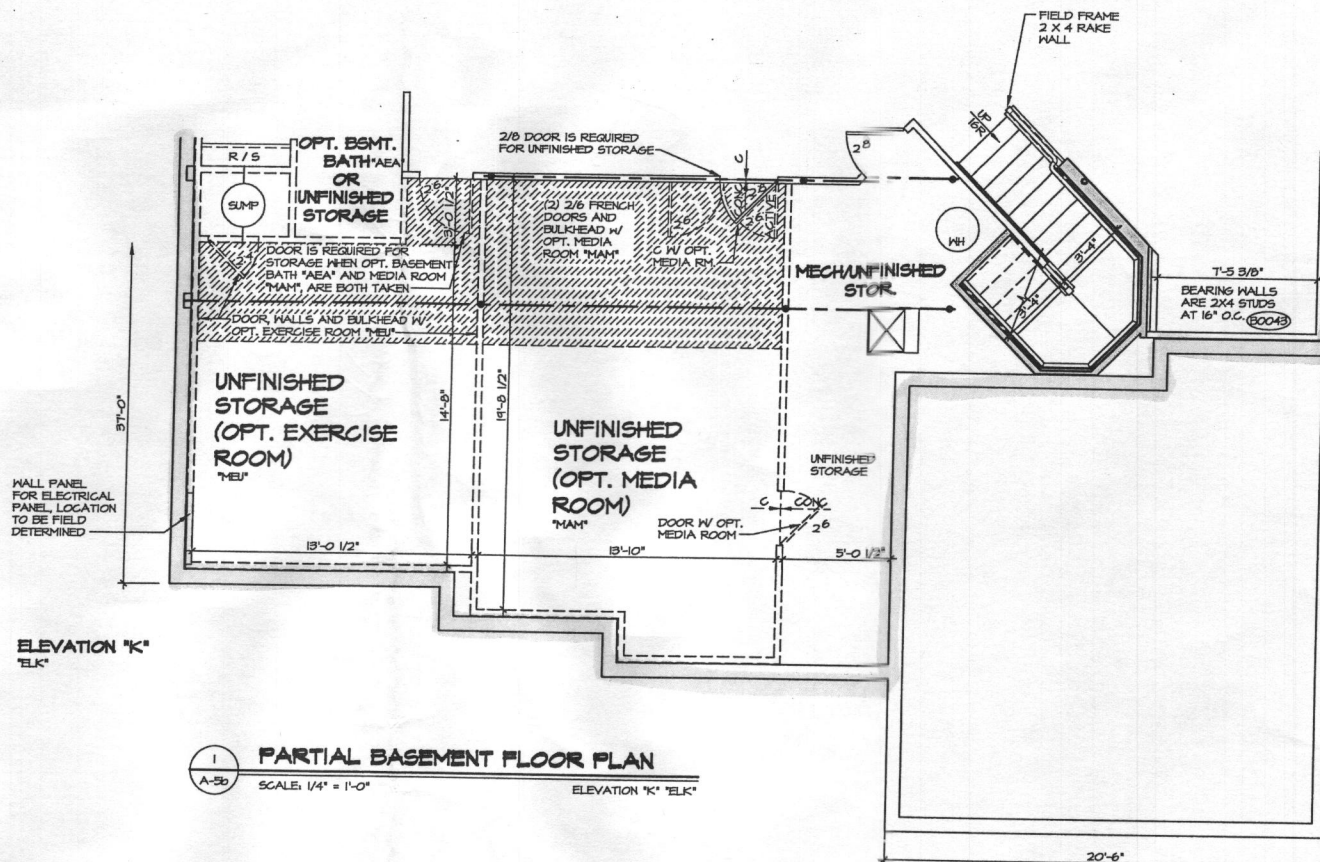


NOTE: VSD880 DRAWERS TO BE SET ON RIGHT HAND.

8 BASEMENT BATH ELEVATIONS
 SCALE: 1/4" = 1'-0"

9 UNFINISHED BASEMENT
 SCALE: 1/8" = 1'-0"

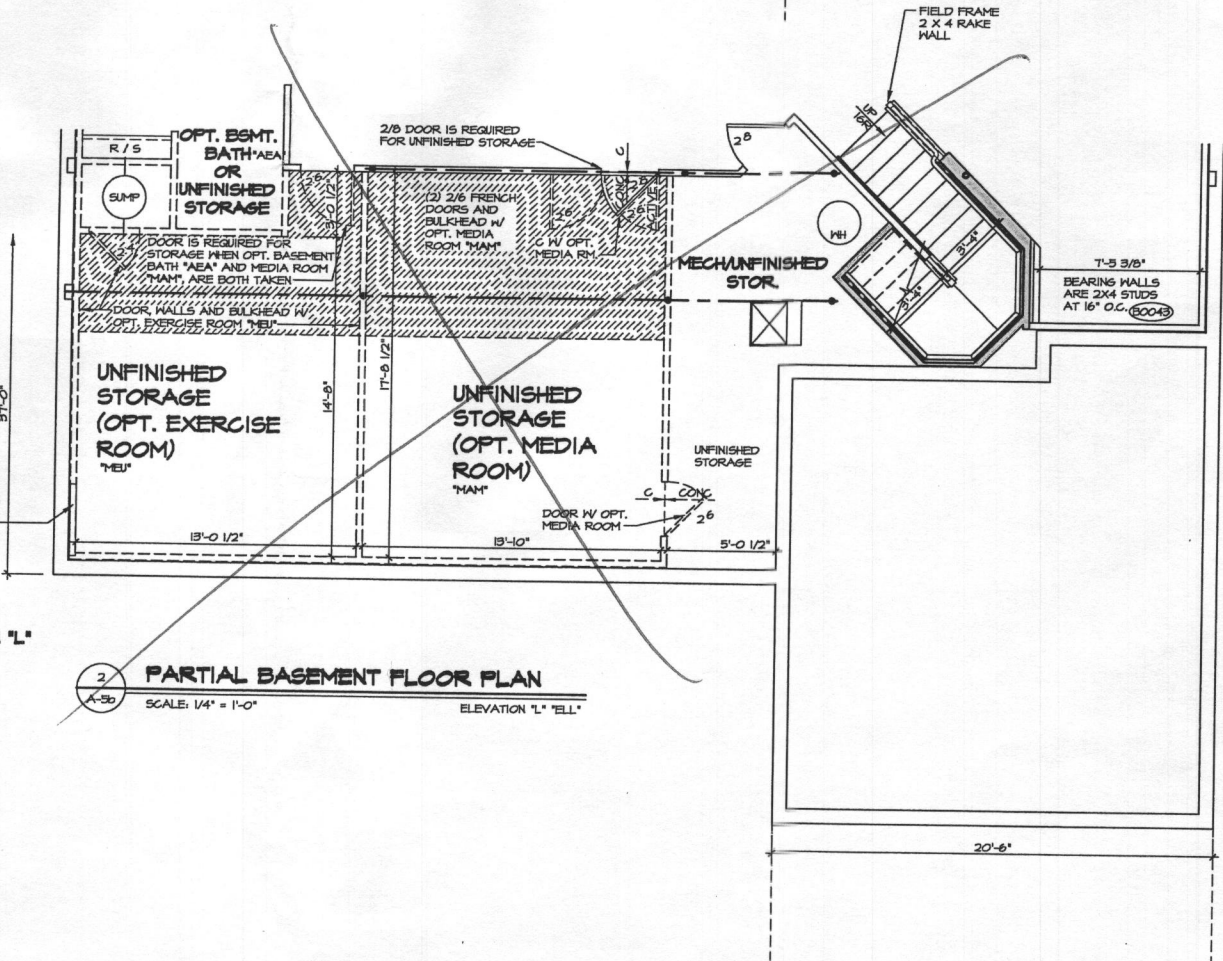
<p>REMARKS</p> <p>4/2/16 585 - PAR 59102 - REVISED BULKHEADS AT 4'-0" EXTENSION "FEN"</p> <p>5/9/16 C.L.S. - ADDED DIMENSION TO BULKHEAD AT BOTTOM OF STAIRS (PAR 59160)</p> <p>7/10/16 B.B. - MODIFIED OPTIONS, CLOSERS OR 2' L.A.S</p> <p>8/7/16 C.L.S. - ADDED A RND WALL NEXT TO NET BAR (PAR ID 26493)</p> <p>10/21/16 S.B.A. - 2X4 WALL CONVERSION</p> <p>10/21/16 E.L.S. - ADDED OUTLINE OF FOUNDATION NOTCH W/ OPT. "MAA" TO PLAN</p> <p>10/21/16 C.L.S. - REVISED WALL HOLE OFFICE TO 2X6, ADDED DROP GLS. BATH (PAR 57193)</p> <p>10/20/16 C.L.S. - ADDED W/L PERIS SECOND LOC. "WNC" TO MORNING ROOM (PAR 59161)</p> <p>1/27/16 585 - PAR 57193 - UPDATED HANDRAILS TO MATCH STAIR PLANS</p>	
REV. NO.	DATE
10	4/2/16
11	5/9/16
12	7/10/16
13	8/7/16
14	10/21/16
15	10/21/16
16	10/21/16
17	10/20/16
18	1/27/16
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<p>NVR</p> <p>NVR, Inc. Architectural Services 21 Parkmill Mills A Frederick, MD 21702</p>	
<p>SET NO. 10900 VERSION 02 DRAWN BY SWM DATE: 7/29/15 OPTION</p>	<p>MOD. CHAPEL HILL II DRAWING TITLE BASEMENT FLOOR PLAN OPTION DESCRIPTION</p>
<p>SHEET NO. A-5</p>	<p>17</p>



1 PARTIAL BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0" ELEVATION 'K' 'ELK'

HALL PANEL FOR ELECTRICAL PANEL LOCATION TO BE FIELD DETERMINED

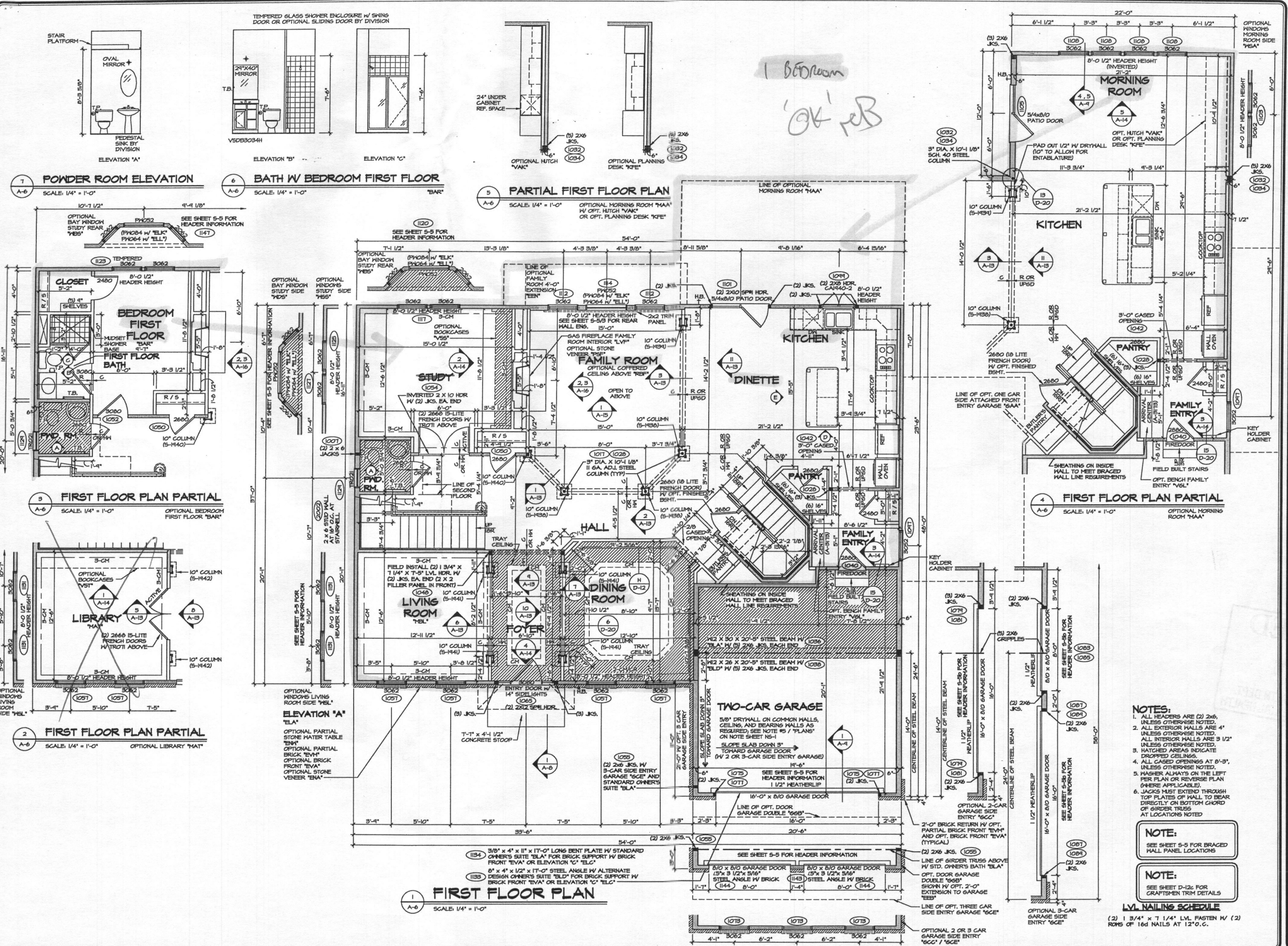
HALL PANEL FOR ELECTRICAL PANEL LOCATION TO BE FIELD DETERMINED



2 PARTIAL BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0" ELEVATION 'L' 'ELL'

- NOTES:**
1. ALL HEADERS ARE (3) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 8 1/2" UNLESS OTHERWISE NOTED.
 4. ALL CASED OPENINGS AT 8'-3", UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 6. JACKS MUST EXTEND THROUGH TOP PLATES OF HALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

SHEET NO. A-5D	MODEL CHAPEL HILL II	VERSION 02	DATE 8/15/14	OPTION ELK									
		DRAWN BY J&S	DATE 8/15/14	OPTION ELL									
DRAWING TITLE BASEMENT FLOOR PLAN		OPTION DESCRIPTION ELEVATION 'K' ELEVATION 'L'											
PROJECT DESCRIPTION CHAPEL HILL II		PROJECT NO. 19											
<p>REVISIONS:</p> <table border="1"> <tr> <th>REV. NO.</th> <th>DATE</th> <th>REMARKS</th> </tr> <tr> <td>1</td> <td>10/24/14</td> <td>ISSUE FOR PERMITS</td> </tr> <tr> <td>2</td> <td>12/2/16</td> <td>ISSUE FOR PERMITS - UPDATED HANDRAILS TO MATCH STAIR PLANS</td> </tr> </table>					REV. NO.	DATE	REMARKS	1	10/24/14	ISSUE FOR PERMITS	2	12/2/16	ISSUE FOR PERMITS - UPDATED HANDRAILS TO MATCH STAIR PLANS
REV. NO.	DATE	REMARKS											
1	10/24/14	ISSUE FOR PERMITS											
2	12/2/16	ISSUE FOR PERMITS - UPDATED HANDRAILS TO MATCH STAIR PLANS											
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<p>NVR Inc. Architectural Services 21 Bay Architects, Suite A Frederick, MD 21702</p>													



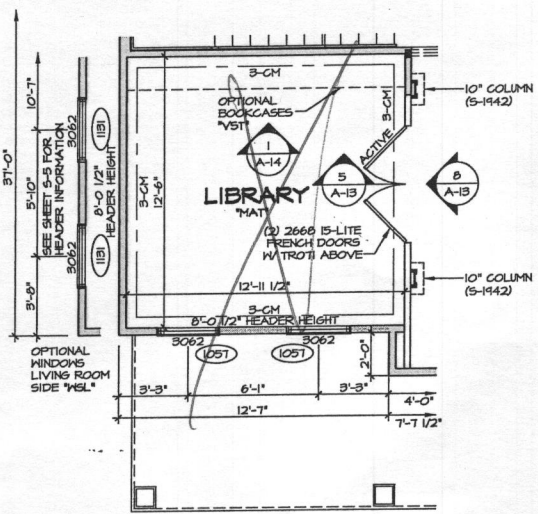
1 Bedroom
OK RB

- NOTES:**
1. ALL HEADERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 4" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL CASED OPENINGS AT 8'-3", UNLESS OTHERWISE NOTED.
 5. WASHERS ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 6. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.
- NOTE:**
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS
- NOTE:**
SEE SHEET D-12 FOR CRAFTSMAN TRIM DETAILS
- LVL NAILING SCHEDULE**
(2) 1 3/4" x 7 1/4" LVL FASTEN W/ (2) ROWS OF 16d NAILS AT 12" O.C.

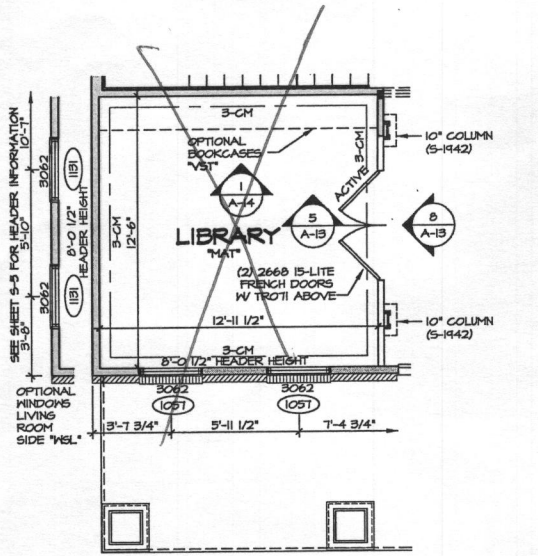
REMARKS	
10/10/15	CEL - PARADESITA - REMOVED SHEETINGS FROM FIREPLACE PANELS
10/26/16	10 - PARADESITA - UPDATED HANDSHEETS TO MATCH STAIR PLANS
11/27/16	10 - PARADESITA - REVISED STAIR HALL PER PARADESITA
12/14/16	10 - PARADESITA - REVISED KITCHEN CABINET LAYOUT
1/11/17	10 - PARADESITA - PARADESITA - ASSIGNED CEILING IN GARAGE FOR PLUMBING / INSULATION
1/22/17	10 - PARADESITA - ASSIGNED TRIM PANEL UNDER FAMILY ROOM WINDOW
1/23/17	10 - PARADESITA - ASSIGNED MATERIAL TO INSURE SHOWER OPT. BASE PER 395923
1/23/17	10 - PARADESITA - PLANT BUILT ARRIVAL CENTER PRO-101
1/23/17	10 - PARADESITA - 3022 WALL UPDATE

MODEL	CHapel Hill II
DRAWING TITLE	FIRST FLOOR PLAN
VERSION	02
DATE	7/28/15
OPTION	
SET NO.	10900
VERSION	02
DRAWN BY	SMH
DATE	7/28/15
OPTION	
SHEET NO.	A-6
20	

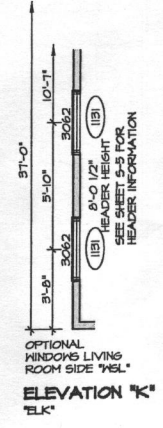
15. DWG. VTA DETACHED CHAPEL HILL II 10900_02 PLAN.dwg 08/28/15 - 10:54 AM



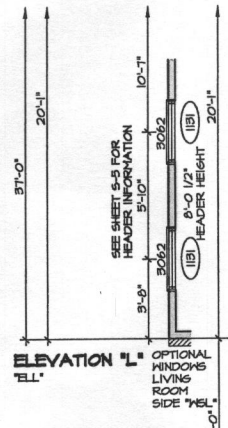
2 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL LIBRARY MAT



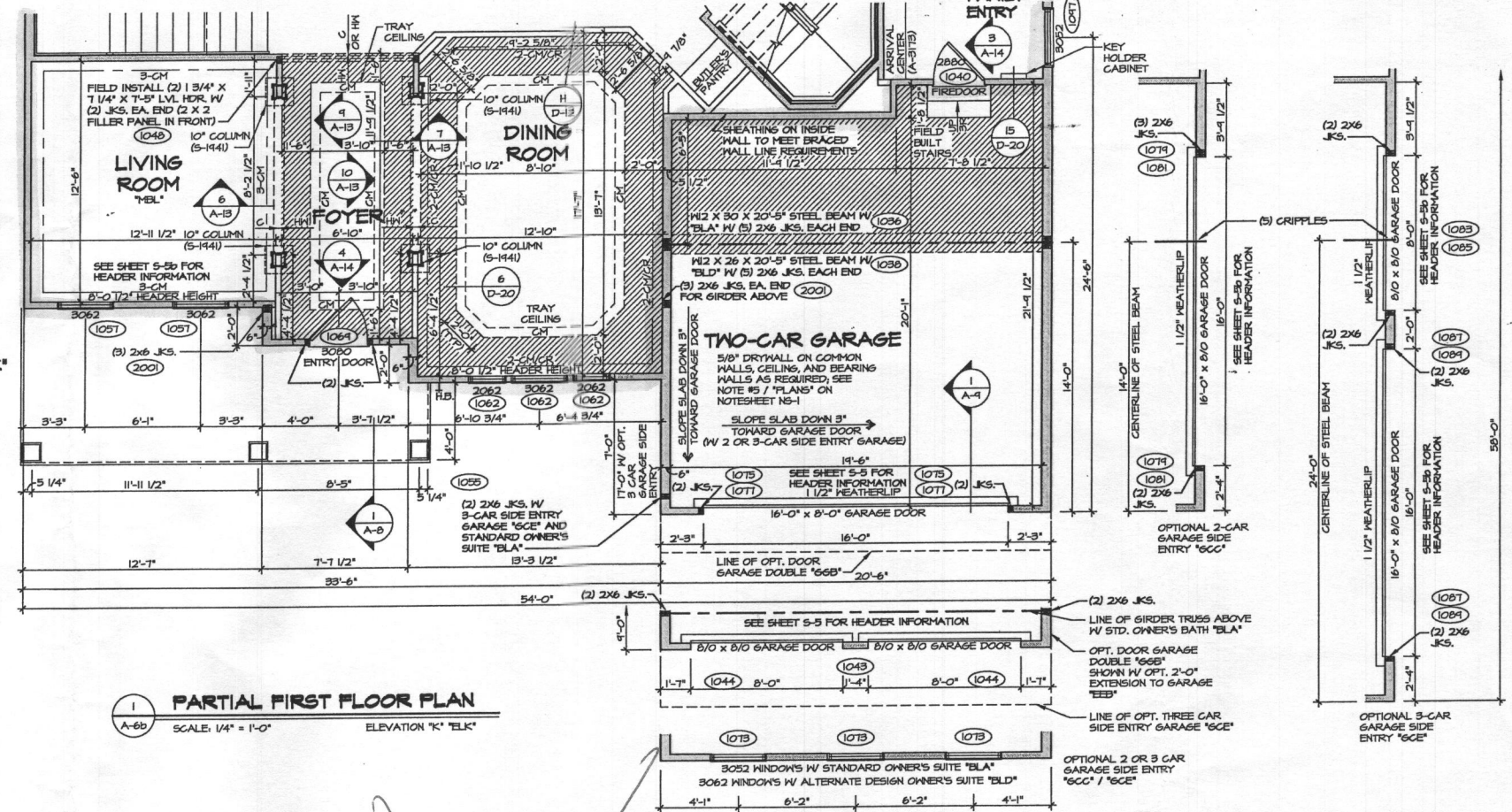
4 FIRST FLOOR PLAN PARTIAL
SCALE: 1/4" = 1'-0"
OPTIONAL LIBRARY MAT



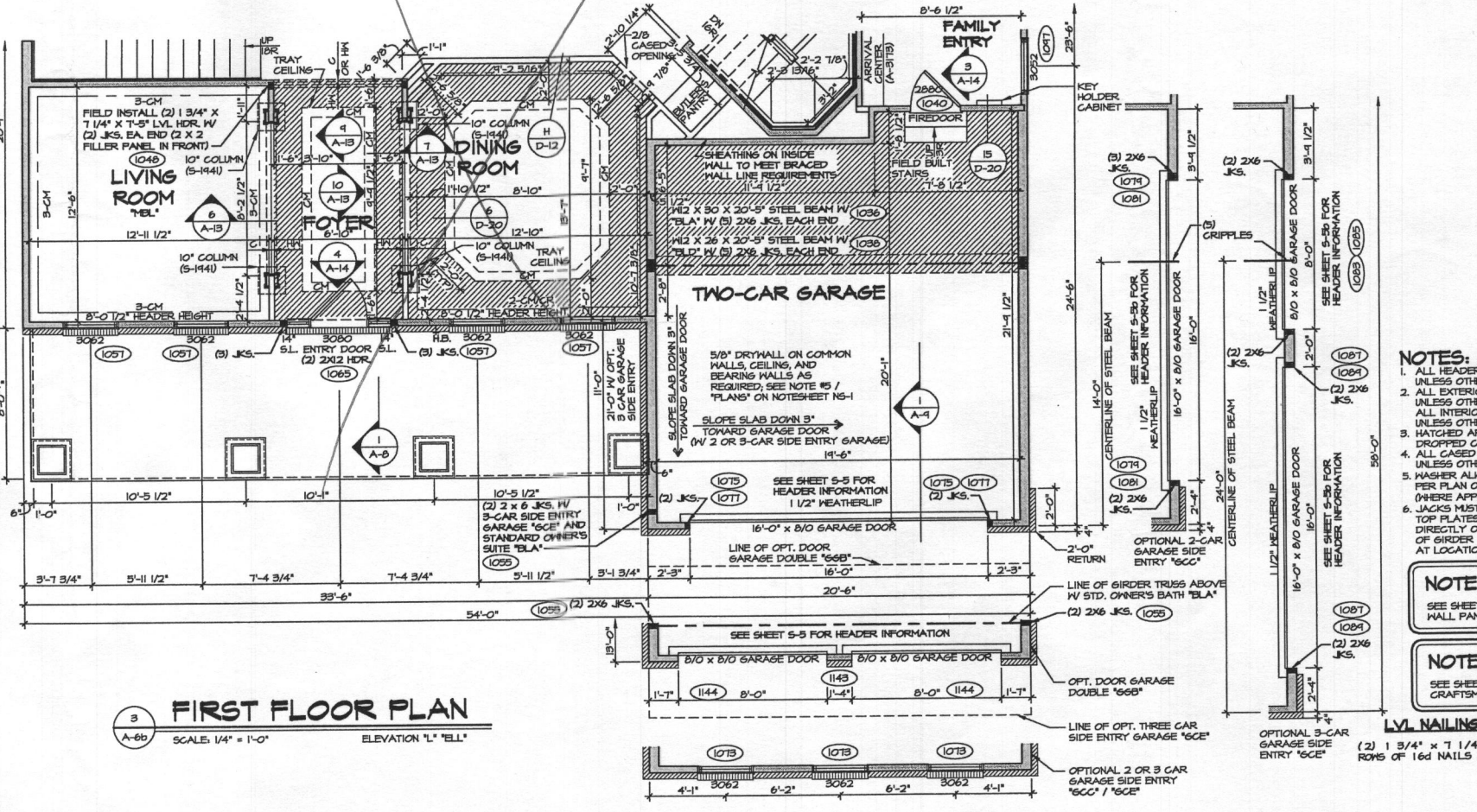
ELEVATION 'K'
ELK



ELEVATION 'L'
ELL



1 PARTIAL FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION 'K' ELK



3 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION 'L' ELL

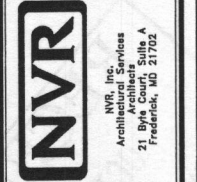
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 4. ALL CASED OPENINGS AT 8'-3", UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 6. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET S-5 FOR BRACED HALL PANEL LOCATIONS

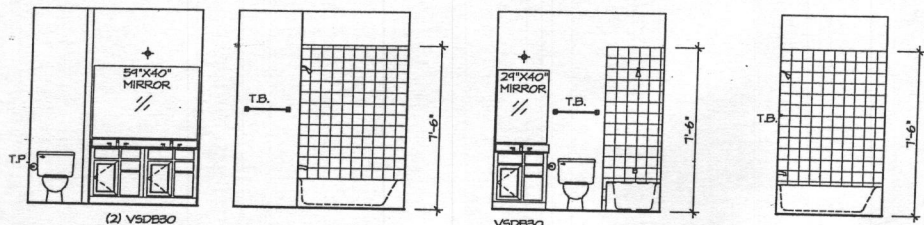
NOTE:
SEE SHEET D-12c FOR CRAFTSMEN TRIM DETAILS

LVL NAILING SCHEDULE
(2) 1 3/4" x 7 1/4" LVL FASTEN W/ (2) ROWS OF 16d NAILS AT 12" O.C.

REV. NO.	DATE	REMARKS
1	10/17/14	56A - 2x4 WALL CONVERSION
2	12/17/14	J.L.R. - REV. "ELK" LIVING RM. SIDE WINDOW CENTERLINES TO MATCH REST OF ELEVATIONS
3	5/14/15	56B - FAS #29240 - DROPPED CEILING IN GARAGE FOR PLUMBING / INSULATION
4	6/10/15	56E - FAS #29240 - DROPPED CEILING IN GARAGE FOR PLUMBING / INSULATION
5	6/10/15	56E - FAS #29240 - DROPPED CEILING IN GARAGE FOR PLUMBING / INSULATION
6	12/17/16	56B - FAS #29240 - DROPPED CEILING IN GARAGE FOR PLUMBING / INSULATION
7	5/27/16	56B - FAS #29240 - DROPPED CEILING IN GARAGE FOR PLUMBING / INSULATION
8	6/24/16	CAB - REVISIONS PER PAR #29240
9	6/27/16	CAB - REVISIONS TO STAIR WALL PER PAR #40274

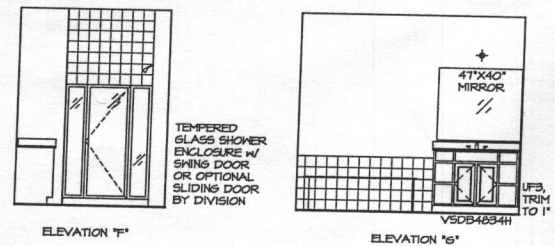


SHEET NO.	MODEL	SET NO.	DATE
A-6b	CHAPEL HILL II	104900	6/13/14
DRAWING TITLE	DRAWN BY	VERSION	OPTION
FIRST FLOOR PLAN PARTIALS	CVB	02	ELK ELL
OPTION DESCRIPTION			
ELEVATION 'K' ELEVATION 'L'			
22			

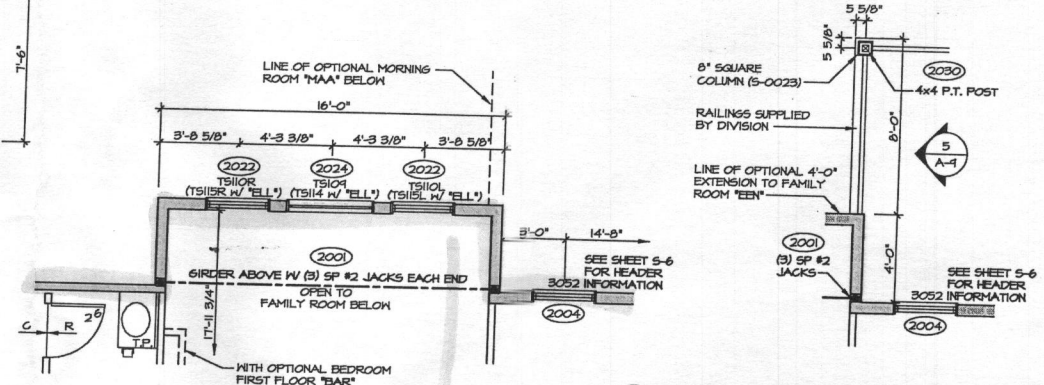


5 BATH #1 ELEVATIONS
SCALE: 1/4" = 1'-0"

6 BATH #2 ELEVATIONS
SCALE: 1/4" = 1'-0"

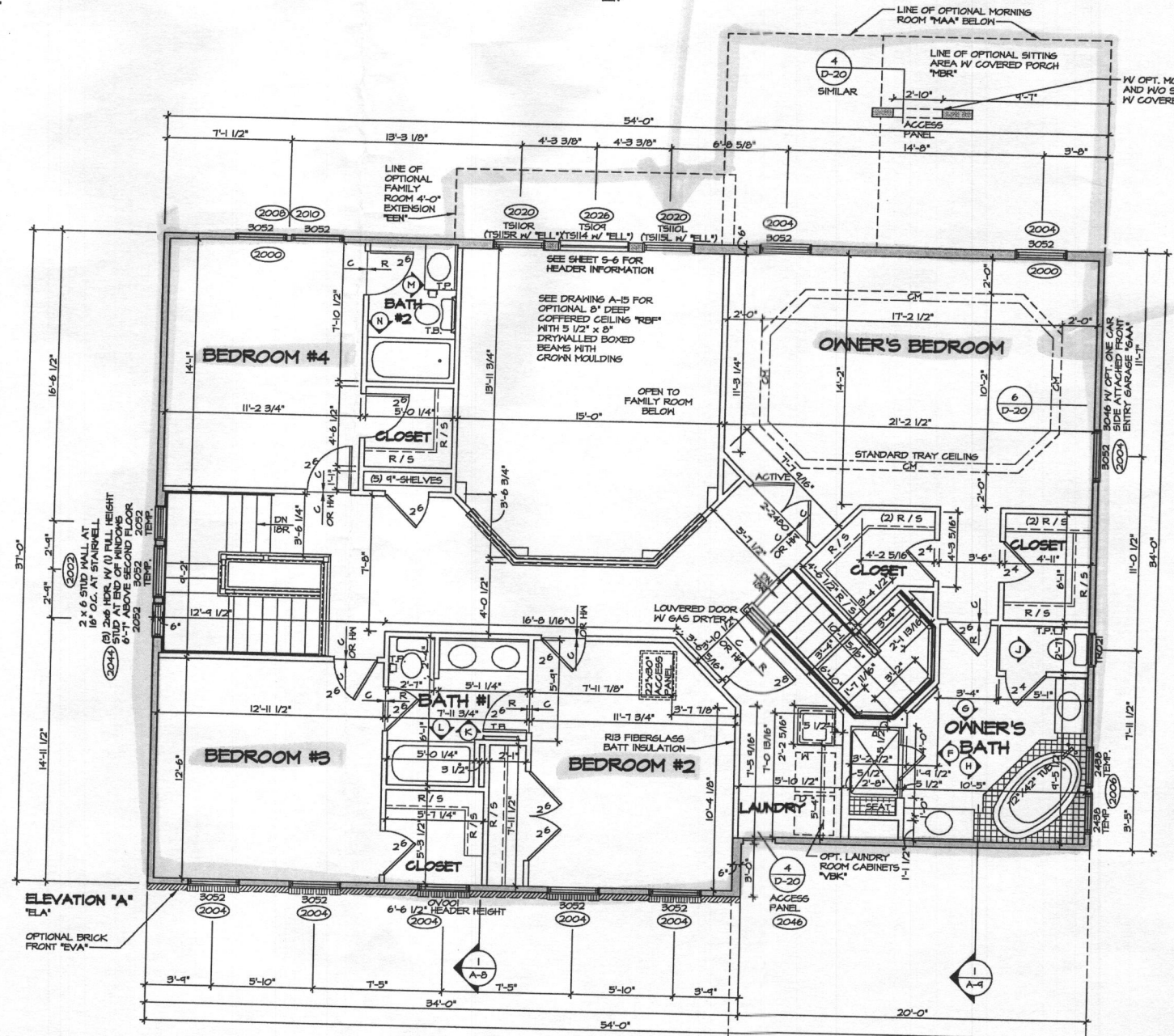


7 OWNER'S BATH ELEVATIONS
SCALE: 1/4" = 1'-0"

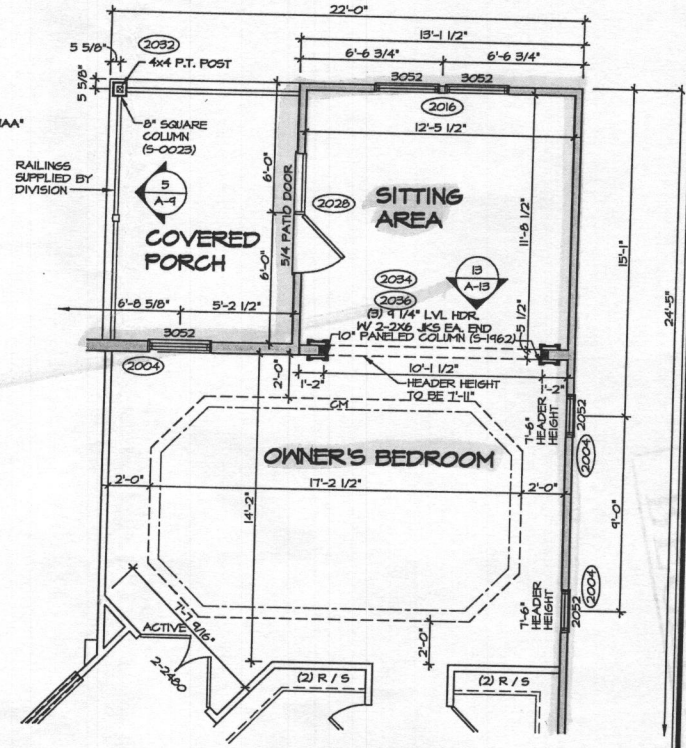


3 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

4 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- NOTES:
- ALL HEADERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS ARE 4" UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILINGS.
 - ALL CASED OPENINGS AT 8'-0", UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 - JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS

NOTE:
SEE SHEET D-12 FOR CRAFTSMEN TRIM DETAILS

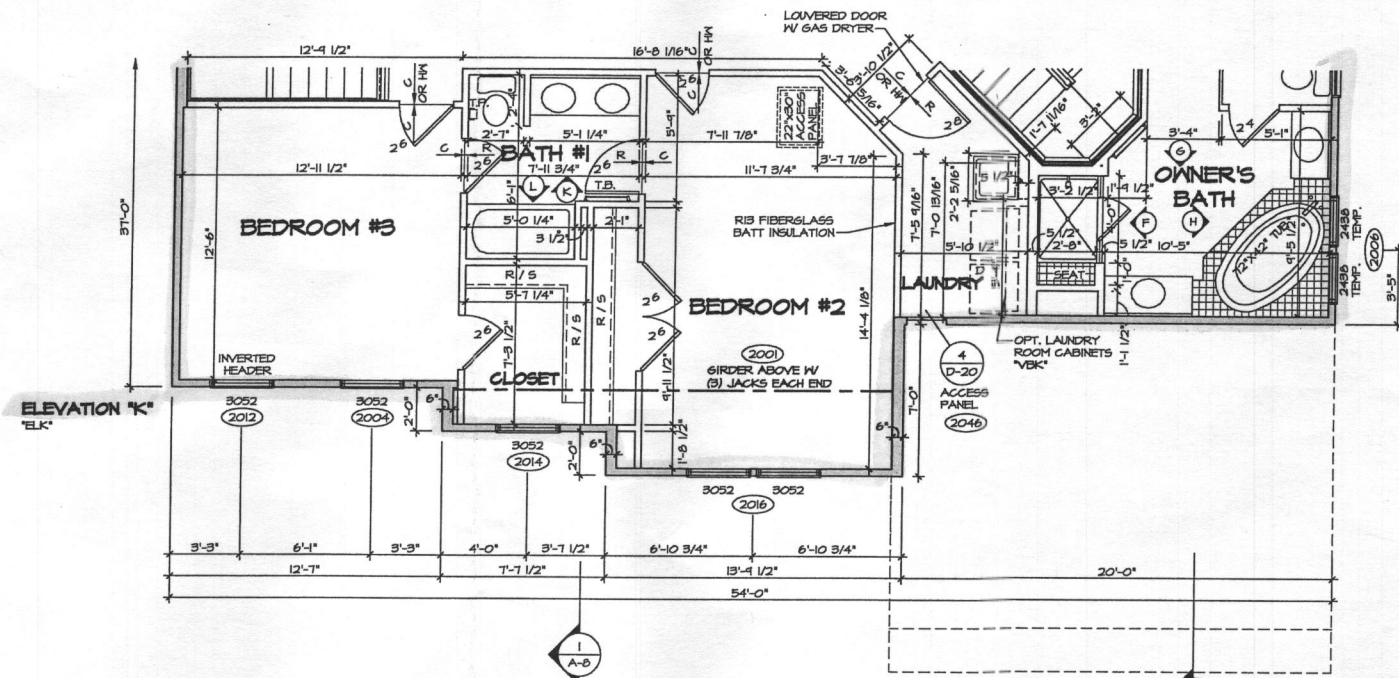
4 Bedrooms
OK MB

REV. NO.	DATE	DESCRIPTION
1	4/20/16	ISSUE FOR BIDDING - ADDED HEIGHT TO STAIR WINDOWS
2	9/20/16	ISSUE FOR BIDDING - ADJUSTED STAIR (PAR 41055)
3	12/22/16	ISSUE FOR BIDDING - REVISED TOILET AREA IN BATH #1 TO BE 2'-7" PER CODE (PAR 3129)
4	6/29/17	ISSUE FOR BIDDING - REVISED INVERTED HEADER NOTE (PERMIT RESPONSE)
5	12/15/17	ISSUE FOR BIDDING - REVISED TOILET AREA IN BATH #1 TO BE 2'-7" PER CODE (PAR 3129)
6	12/15/17	ISSUE FOR BIDDING - REVISED TOILET AREA IN BATH #1 TO BE 2'-7" PER CODE (PAR 3129)
7	12/15/17	ISSUE FOR BIDDING - REVISED TOILET AREA IN BATH #1 TO BE 2'-7" PER CODE (PAR 3129)
8	12/15/17	ISSUE FOR BIDDING - REVISED TOILET AREA IN BATH #1 TO BE 2'-7" PER CODE (PAR 3129)
9	12/15/17	ISSUE FOR BIDDING - REVISED TOILET AREA IN BATH #1 TO BE 2'-7" PER CODE (PAR 3129)
10	12/15/17	ISSUE FOR BIDDING - REVISED TOILET AREA IN BATH #1 TO BE 2'-7" PER CODE (PAR 3129)

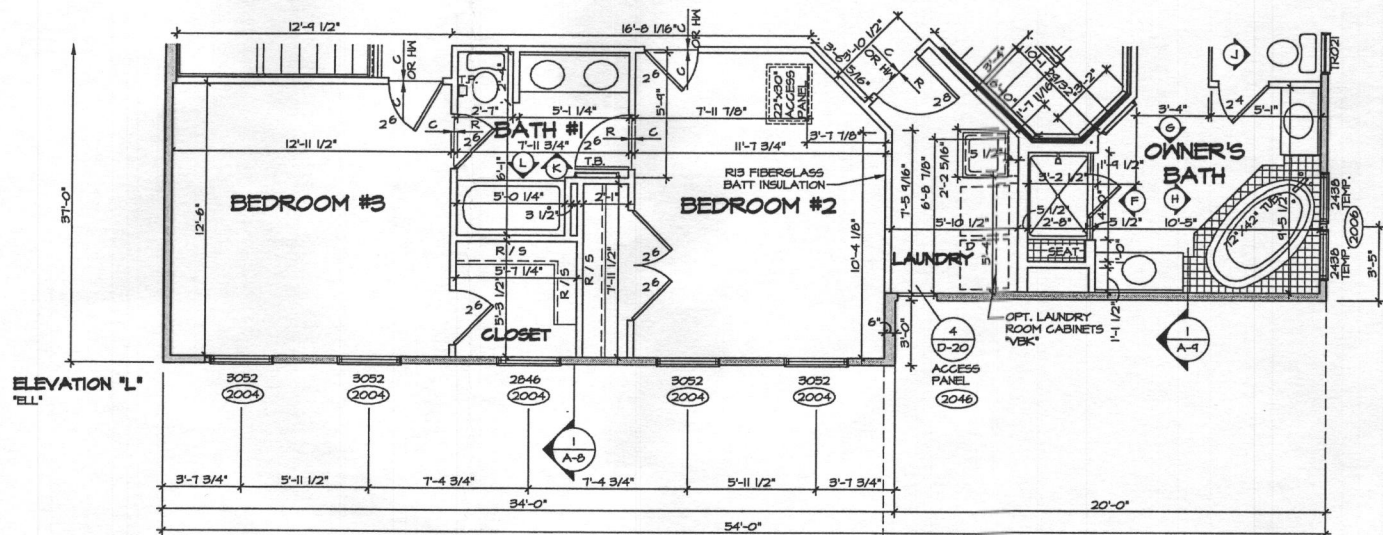
NVR
NVR, Inc.
Architectural Services
21 Bye Court, Suite A
Frederick, MD 21702

SET NO. 10800	VERSION 02
DRAWN BY SWH	DATE: 7/24/15
OPTION	

SHEET NO. A-7	25
PROJECT: CHAPEL HILL II	DRAWING TITLE: SECOND FLOOR PLAN
OPTION DESCRIPTION	



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "K" "ELK"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
ELEVATION "L" "ELL"

- NOTES:**
1. ALL HEADERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 4" UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS ARE 3 1/2" UNLESS OTHERWISE NOTED.
 3. HATCHED AREAS INDICATE DROPPED CEILING.
 4. ALL CASSED OPENINGS AT 8'-3", UNLESS OTHERWISE NOTED.
 5. WASHER ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 6. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET S-5 FOR BRACED WALL PANEL LOCATIONS

NOTE:
SEE SHEET D-12c FOR CRAFTSMEN TRIM DETAILS

REV. NO.	DATE	REMARKS
1	9/20/16	ISSUED - ADJUSTED STAIR (PAR 84992)
2	10/28/14	CHB - 2x4 WALL CORRECTION
3	10/28/14	CHB - ADDED ACCESS PANEL (PAR ID: 20371)
4	10/28/14	SSA - REVISED LAUNDRY R/L COUNTER (PAR 84988 & 84989)
5	10/22/14	CHB - REVISED LAUNDRY AND BEDROOM #2 WALL (PAR 80470)
6	2/25/15	CHB - REVISED TOILET AREA IN BATH #1 TO BE 2'-7" PER CODE (PAR 81189)
7	1/16/16	CVB - ADDED INSULATION NOTE TO THE WALL BETWEEN BEDROOM AND LAUNDRY
8	1/26/16	SSB - PAR 81328 - UPDATED HANGERS TO MATCH STAIR PLANS
9	6/24/16	CAD - REVISIONS PER PAR 84992

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SET NO. 10900	VERSION 02
DRAWN BY CVB	DATE: 8/13/14
OPTION ELK	OPTION ELL

SHEET NO. A-7b	MODEL: CHAPEL HILL II DRAWING TITLE: SECOND FLOOR PLAN PARTIALS
27	OPTION DESCRIPTION: ELEVATION "K" ELEVATION "L"