

LAYOUT 11/22/05 INSP 4 12/1/05  
 INSP 2 11/23/05 INSP 5 \_\_\_\_\_  
 INSP 3 11/30/05 INSP 6 \_\_\_\_\_  
 11/17/2005

ISSUE DATE: \_\_\_\_\_

# PERMIT

P 523682

APPROVAL DATE: 02/10/2006

A 521512

TAX ID #03-284328

**ON-SITE SEWAGE DISPOSAL SYSTEM  
 HOWARD COUNTY HEALTH DEPARTMENT  
 BUREAU OF ENVIRONMENTAL HEALTH**

Fogles Septic Clean, Inc IS PERMITTED TO INSTALL  ALTER

ADDRESS: 580 Obrecht Rd, Sykesville PHONE NUMBER: 410-795-5670

SUBDIVISION: Edna Mae Cook Subdivision LOT NUMBER: 5

ADDRESS: 11277 Old Frederick Road PROPERTY OWNER: James Beal

SEPTIC TANK CAPACITY (GALLONS): 1000 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS) 1000 COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 3

SQUARE FEET PER BEDROOM: 240

LINEAR FEET OF TRENCH REQUIRED: 176 HOUSE SERVED BY PUBLIC WATER

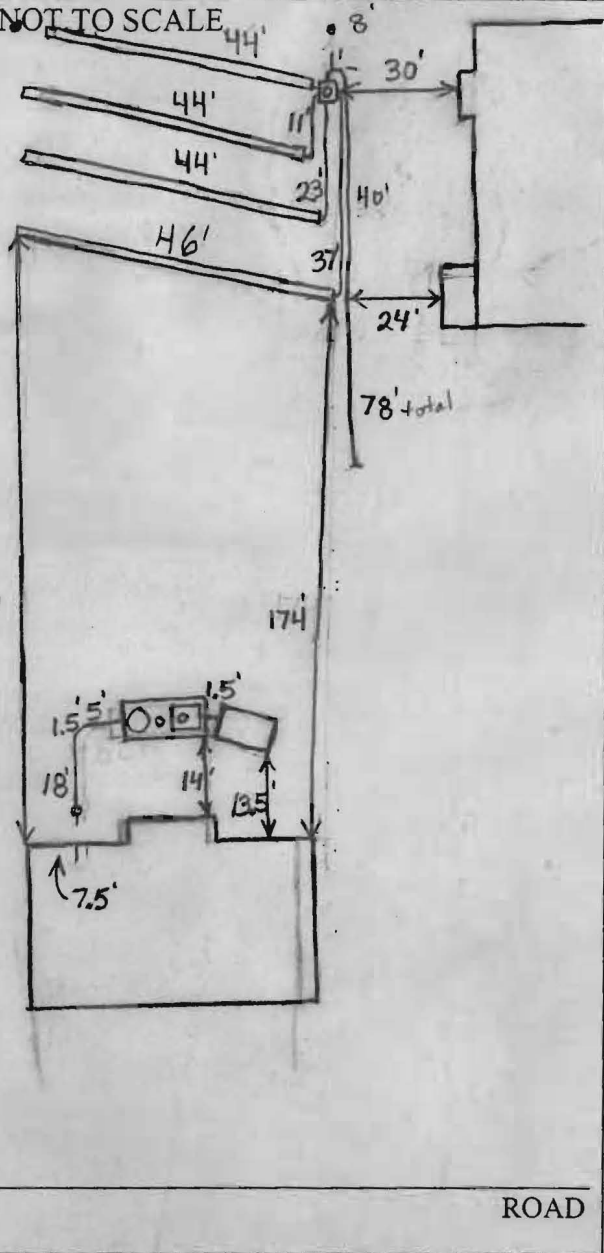
TRENCHES:	Trench to be 3.0 feet wide. Inlet 3.0 feet below original grade. Bottom maximum depth 8.0 feet below original grade. Effective area begins at 6.5 feet below original grade. 5.0 feet of stone below distribution pipe.
LOCATION:	Keep the distribution box at the highest elevation in the approved SDA.
NOTES:	An advanced nitrogen pre-treatment septic system is required. Layout is extremely important. Install 4 - 44' trenches for primary system. - <i>DO NOT CHANGE SPECS. Room 4 only 2 systems</i>

PLANS APPROVED: Peter Yencsik Reviewed by: \_\_\_\_\_ DATE: 7/20/05

NOTES: PERMIT VOID AFTER 2 YEARS  
 CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS  
 WATERTIGHT SEPTIC TANKS REQUIRED  
 ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL UNLESS SPECIFICALLY AUTHORIZED  
 MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED  
 CONTRACTOR RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE REGULATIONS, GUIDELINES AND THE TERMS OF THIS PERMIT

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS  
 RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM  
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT  
 ALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM**

NOT TO SCALE



2/10/06 - Met with Tim from Greemire on site. He did startup inspection and gave preliminary approval for use of unit. Fogles 185' must fix a few small items but O.K. to start using. (BB)

TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3'	3'	8'
NUMBER OF TRENCHES 4		
TOTAL LENGTH 178'		
ABSORPTION AREA 534 + Sidewalk		
DISTRIBUTION BOX LEVEL _____		
DISTRIBUTION BOX BAFFLE Elbow		
DISTRIBUTION BOX PORT Yes		

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	✓
CAPACITY	1500 GAL
SEAM LOC	Top
TANK LID DEPTH	1 1/2' - 4'
BAFFLES	Front
BAFFLE FILTER	No
MANHOLE LOC	Front
6" PORT LOC	Middle
WATERTIGHT TEST	No
SEPTIC TANK 2 LEVEL	Yes
CAPACITY	1000 GAL
SEAM LOC	Top
TANK LID DEPTH	2.5' - 5'
BAFFLES	_____
BAFFLE FILTER	No
MANHOLE LOC	_____
6" PORT LOC	None
WATERTIGHT TEST	No

Monarch  
2-Comp.

PRE-CONSTRUCTION 11/22/05 Easement staked. Trenches laid out. Hung sewer coming out of front of house instead of back. Fogles INSTALLATION to consult with builder on placement of tanks. (BB) 11/23/05 Contractor hit rock while trying to dig tank holes in front yard. May be O.K. to put tanks in back yard but space is very limited. (BB) 12/1/05 Tanks set. First unit installed. Need to finish pump line and house connection. Need to connect up blower and pump and install vent pipe. Some fill needs to be removed from around tanks to reduce cover over them. Trenches finished previous day. (BB) FINAL INSPECTOR Brian Baber DATE OF APPROVAL 2/10/06 2/2/06 No one on site. (BB) 2/7/06 Pump line broken. Alarm works. No water in aeration chamber. (BB) 2/8/06 Pump working. (BB)

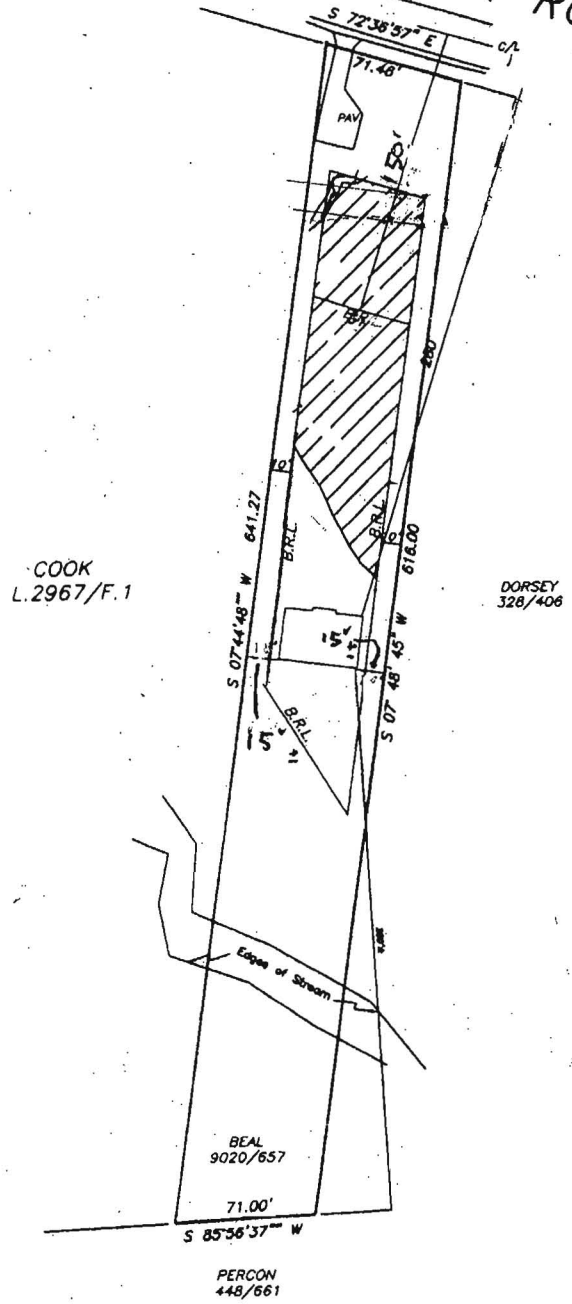
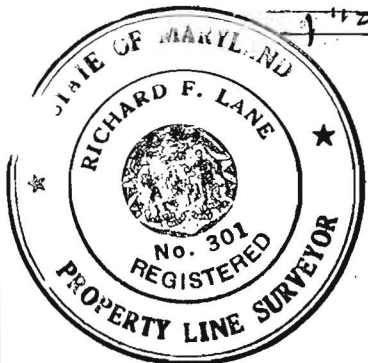
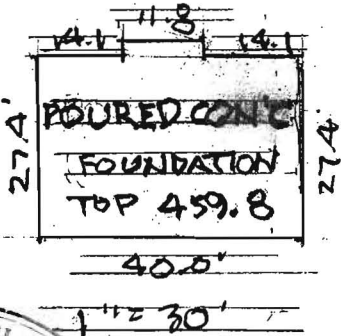
NOTES:

1. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING, OR REFINANCING.
2. THIS PLAT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES BUILDINGS, POOLS, BUILDING ADDITIONS OR OTHER EXISTING OR FUTURE IMPROVEMENTS.
3. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.
4. ACCURACY OF BUILDING MEASUREMENTS: 0.10 +/-
5. ACCURACY OF SETBACK DIMENSIONS: 1.0 +/-
6. ACCURACY OF ELEVATIONS: 0.5 +/-

THE PROPERTY SHOWN HEREON LIES IN ZONE C AS SHOWN ON FLOOD INSURANCE RATE MAP NO: 240044 0010 B DATED: 12/4/86

OLD FREDERICK ROAD

*wait check O.K. [Signature]*



I HEREBY CERTIFY THAT I HAVE LOCATED THE IMPROVEMENTS AS SHOWN. THIS PLAT DOES NOT REPRESENT A BOUNDARY SURVEY AND CANNOT BE USED TO ESTABLISH PROPERTY LINES OR CORNERS.

*[Signature]* 9/1/05

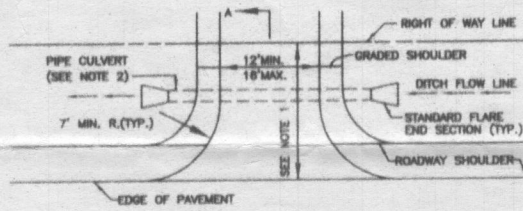
FOUNDATION LOCATION DRAWING

BEAL PROPERTY  
LIBER 9020 FOLIO 657

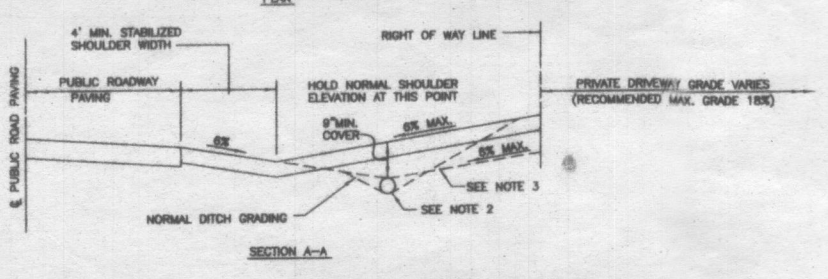
ELECTION DISTRICT: 3RD  
COUNTY: HOWARD, MD.  
SCALE: 1" = 100'  
DATE: SEPT 1, 2005

**NOTES:**

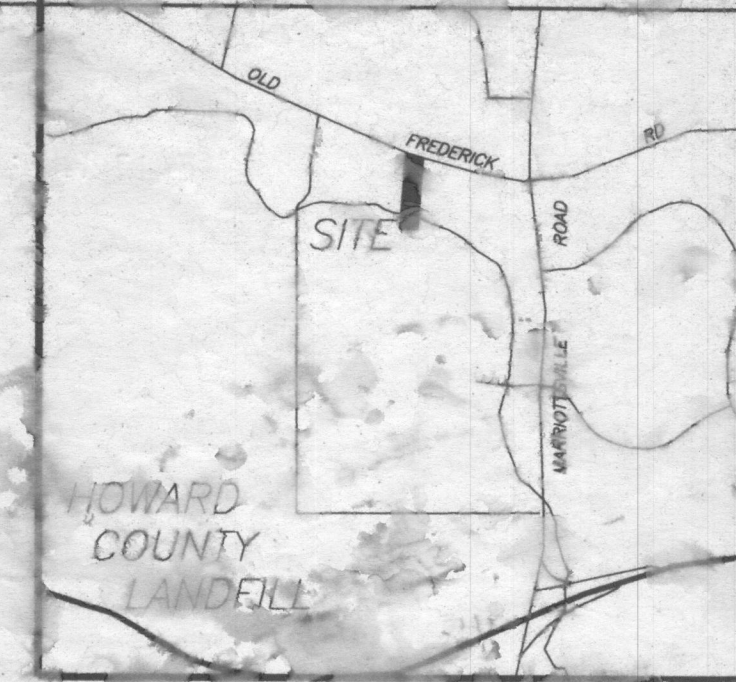
1. THE TOPOGRAPHY SHOWN HEREON WAS FIRD-RUN BY SHANABERGER & LANE ON FEBRUARY 10, 2005.
2. B.R.L. DESIGNATES BUILDING RESTRICTION LINE  
▲ DESIGNATES EX. WELL
3. THIS AREA DESIGNATES A PRIVATE SEWAGE DISPOSAL AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS DISPOSAL AREA SHALL BECOME NULL & VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE DISPOSAL AREA.
4. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP AND LOT AREA AS REQUIRED BY THE MD STATE DEPARTMENT OF THE ENVIRONMENT.
5. SUBJECT PROPERTY ZONED: RC-DEO
6. TOTAL PROPERTY AREA PER DEED L.4054/F.547: 1 ACRE
7. THE EXISTING PROPERTY IS SERVED BY PUBLIC WATER IN OLD FREDERICK RD.
8. ALL VISIBLE EXISTING WELLS & SEPTIC AREAS WITHIN 100' OF THE PROPERTY LINES HAVE BEEN SHOWN.
9. AN ADVANCED NITROGEN PRE-TREATMENT SEPTIC SYSTEM WILL BE REQUIRED WITH A PERPETUITY MAINTENANCE CONTRACT.
10. THE EXISTING WELL (TAG #88-1635) MUST BE ABANDONED AND SEALED PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR LOT 5.
11. A BUILDING PERMIT WILL NOT BE ISSUED FOR LOT 5 UNTIL REPAIRS TO THE NEIGHBORING SYSTEM HAVE BEEN MADE.
12. ANY HOUSE CONSTRUCTED ON LOT 5 WILL NOT EXCEED THREE(3) BEDROOMS.
13. THE SEPTIC TRENCHES MUST BE STAKED AT THE TIME OF LAYOUT IN FIELD.
14. LIMIT OF DISTURBANCE: 8044 S.F.±



- NOTES:**
1. DRIVEWAY MUST BE PROVED FROM EDGE OF PUBLIC ROAD TO RIGHT OF WAY LINE USING STANDARD PAVING SECTION P-1 AS SHOWN ON STD. NO. OR ALTERNATE SECTION EQUAL TO OR BETTER THAN P-1, AS APPROVED BY D.P.M.
  2. DRAINAGE CULVERT SHALL BE SIZED FOR A 10 YEAR FREQUENCY STORM AND THE MINIMUM SIZE SHALL BE 12\"/>

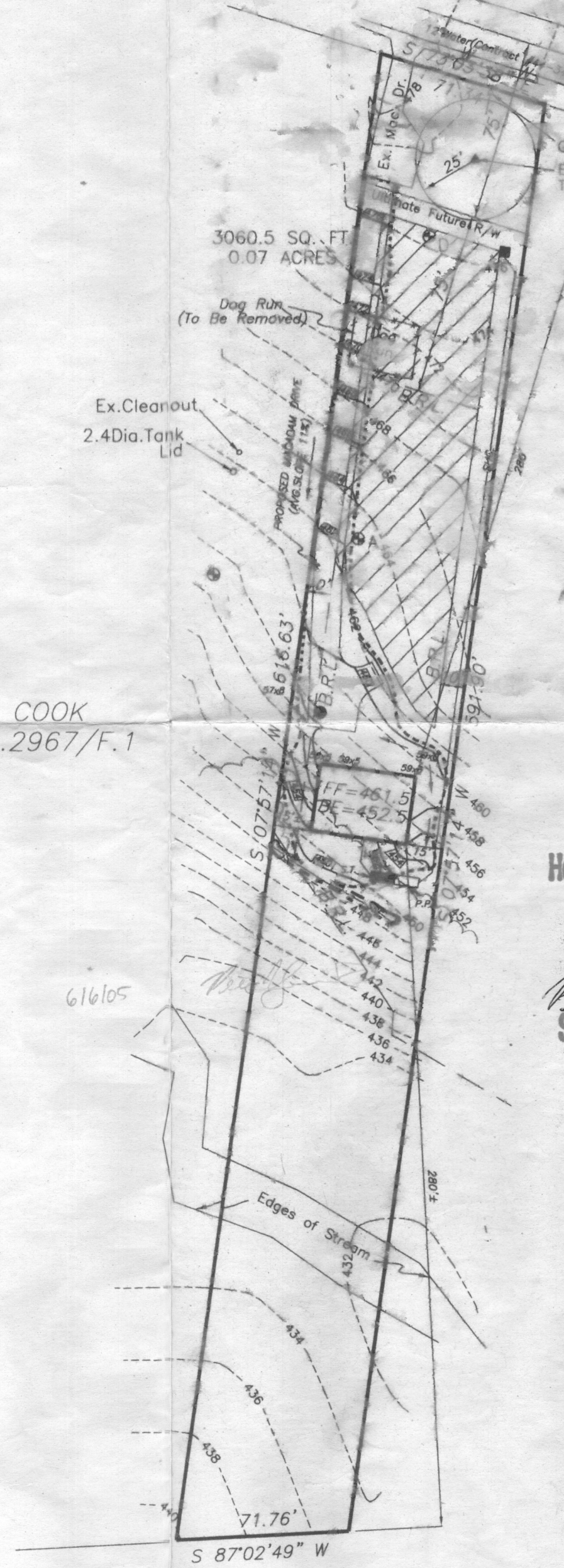


NOTE: No culvert under existing driveway entrance is required.



VICINITY MAP  
SCALE: 1"=2000'

OLD FREDERICK ROAD



COOK  
L.2967/F.1

Approved Septic System Plan  
Howard County Health Department

*[Signature]*  
Signature  
6/6/05  
Date

**SEPTIC SYSTEM DATA**

INV. AT HOUSE 450.0

SEPTIC TANK		PUMP PIT	
EX. GRADE	451.0	EX. GRADE	452.0
FIN. GRADE	451.0	FIN. GRADE	452.0
INV. IN	449.3	INV. IN	449.0
INV. OUT	449.0	INV. OUT	

DISTRIBUTION BOX	
EX. GRADE	476.2
FIN. GRADE	476.2
INV. IN	472.7
INV. OUT	472.5

**TRENCHES**

INLET DEPTH	3.5
BOTTOM DEPTH	
WIDTH	

NOTE: TRENCH LENGTH AND ORIENTATION TO BE DETERMINED BY HEALTH DEPARTMENT AT TIME OF SEPTIC SYSTEM LAYOUT INSPECTION.

\* A PUMPED SEPTIC SYSTEM IS REQUIRED FOR SEWER SERVICE TO BASEMENT AND FIRST FLOOR LEVELS. PUMP IS LOCATED IN THE PUMP PIT ADJACENT TO THE SEPTIC TANK.

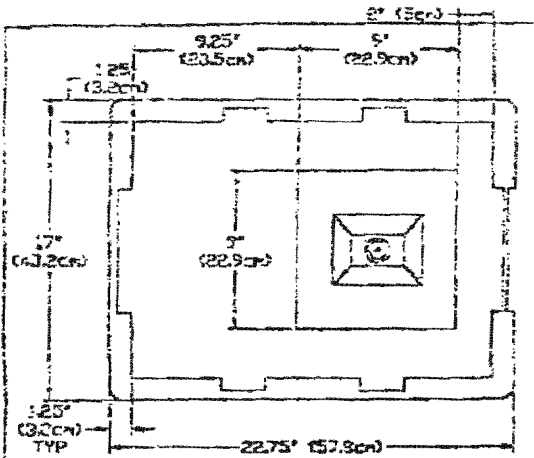
DEVELOPER:  
JULIUS GROUP LLC  
1263 BEGGS RD.  
WESTMINSTER, MD. 21157

OWNER  
EDNA MAE COOK  
11285 OLD FREDERICK RD.  
MARRIOTTVILLE, MD. 21784

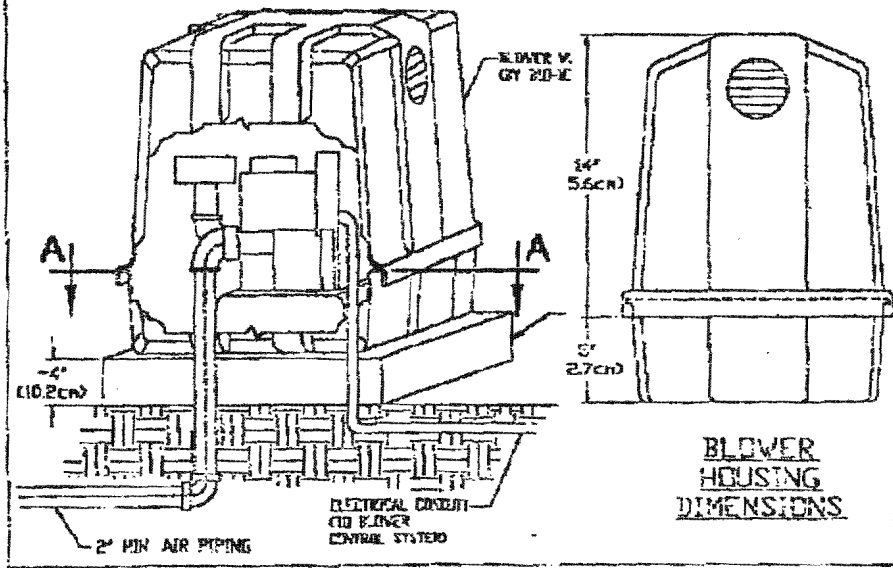
SITE PLAN  
PROPERTY OF  
EDNA MAE & THOMAS L. COOK  
LOT 5  
L.4054/F.547 63  
TAX MAP 10 PARCEL 82  
3RD ELECTION DIST. HOWARD CO.,MD.  
SCALE: 1"=50' APRIL 12, 2005

SHANABERGER & LANE  
8726 TOWN & COUNTRY BLVD.  
SUITE 201  
ELLCOTT CITY, MD. 21043  
PHONE: 410-461-9563  
FAX: 410-461-9693

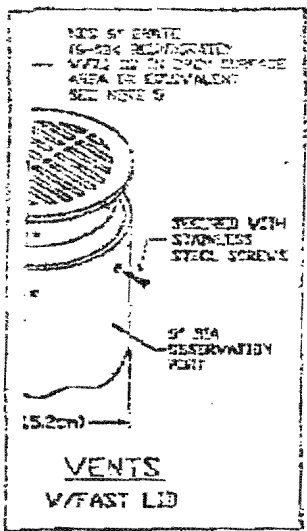




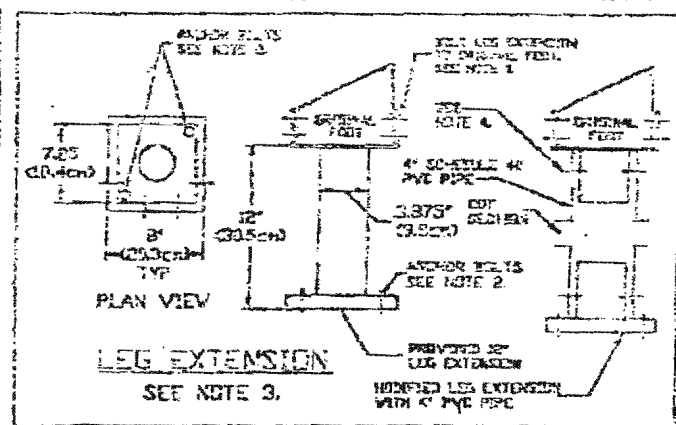
**BLOWER HOUSING BASE  
DIMENSIONS (SECTION A-A)**



**BLOWER HOUSING  
DIMENSIONS**



**VENTS  
W/FAST LID**



**LEG EXTENSION  
SEE NOTE 3.**

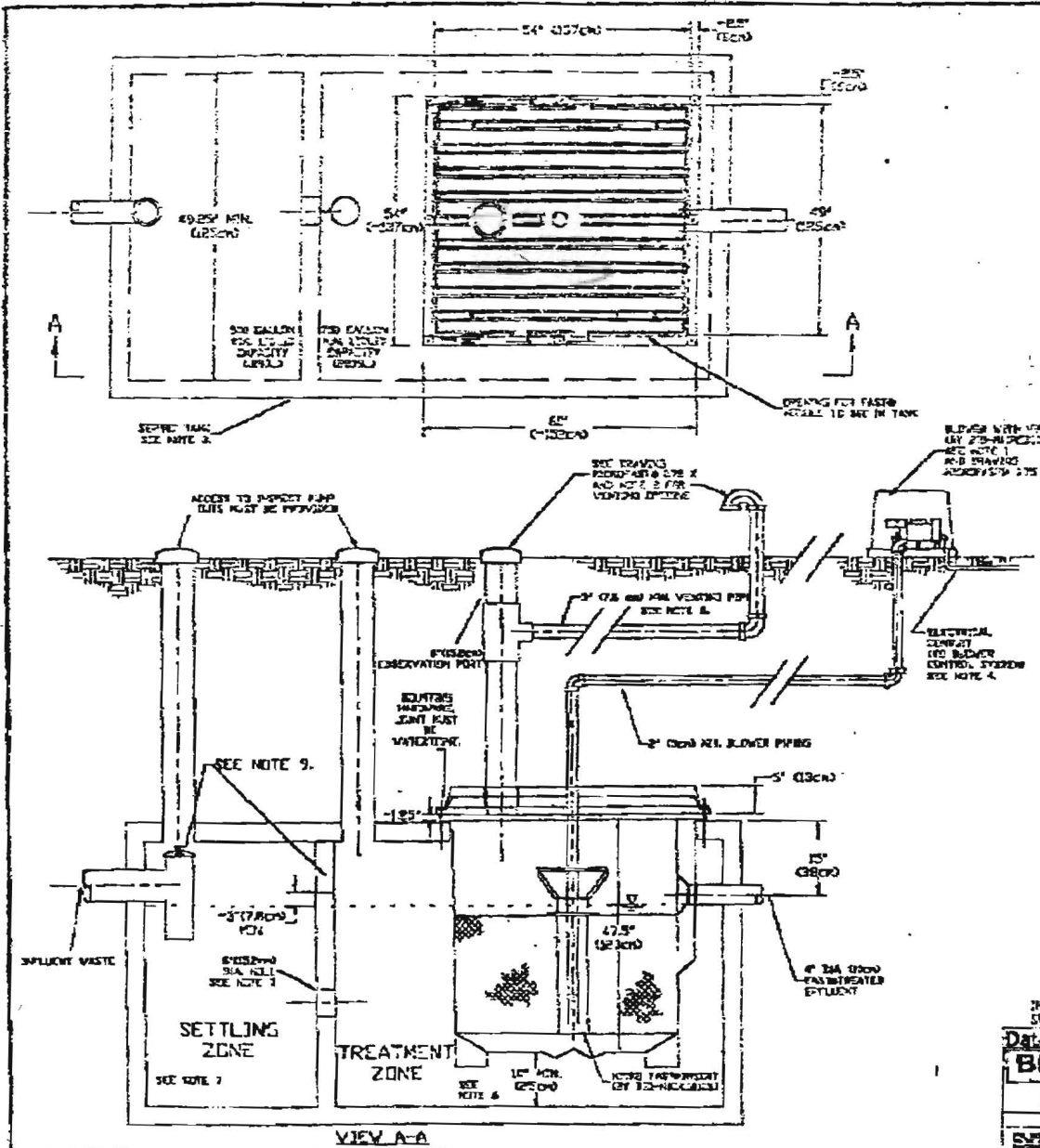
**NOTES**

1. SECURE ORIGINAL 7" X 7" FOOT TO LEG EXTENSION BY PLACING TWO (2) SCREWS IN EACH SIDE OF THE LEG EXTENSION. EIGHT (8) SCREWS PER FOOT ARE INCLUDED AND SHOULD BE USED ON EACH OF THE FOUR (4) CORNER LEG EXTENSIONS.
2. ANCHOR THE LEG EXTENSIONS (4 CORNER LEGS ONLY) TO THE BASE OF THE TANK. PLACE BOLTS AT OPPOSITE CORNERS OF THE LEG EXTENSION BASE.
3. TO ELONGATE FOOT PAST THE PROVIDED 12", CUT THE 3.9" LEG EXTENSION IN THE CENTER INTO TWO SEPARATE PIECES. THEN CUT A SCH 40 PVC PIPE TO THE DESIRED LENGTH AND SLIP THE PIPE OVER THE TOP AND BOTTOM CUT SECTIONS OF THE LEG EXTENSIONS.
4. ATTACH PIPES WITH STAINLESS STEEL SCREWS.
5. VENT TO BE LOCATED ABOVE FINISH GRADE OR HIGHER TO AVOID INFILTRATION. CAP WITH 6" VENT GRATE W/AT LEAST 7.1 SQ. IN. OF OPEN SURFACE AREA. SECURE WITH STAINLESS STEEL SCREWS (SEE MCF 025 L DWD).  
OR  
RUN VENT TO DESIRED LOCATION AND COVER OPENING WITH 3" VENT GRATE W/AT LEAST 7.1 SQ. IN. OPEN SURFACE AREA. SECURE WITH STAINLESS STEEL SCREWS. VENT MUST NOT ALLOW EXCESS MOISTURE BUILDUP OR BACK PRESSURE.

IN THE INTEREST OF TECHNOLOGICAL PROGRESS, ALL PRODUCTS ARE SUBJECT TO DESIGN AND/OR MATERIAL CHANGE WITHOUT NOTICE.

Date 2-21-03  
**BIO-MICROBICS**  
 1-800-753-FAST(3278)

MicroFAST 0.75 X



- NOTES**
1. BLOWER MUST BE WITHIN 100 FEET (30.5M) OF FAST@UNIT AND USE A MAXIMUM OF 4 ELBOWS IN THE RISER SYSTEM AS SHOWN FOR DISTANCES GREATER THAN 100 FT--CONSULT FACTORY. BLOWER MUST BE LOCATED ABOVE NORMAL FLOOD LEVELS.
  2. VENT TO BE LOCATED ABOVE FINISH GRADE OR HIGHER TO AVOID INFILTRATION. CAP WITH 6" VENT GRATE W/AT LEAST 7:1 SD. IN OPEN SURFACE AREA. SECURE WITH STAINLESS STEEL SCREWS (SEE MCF 0.75 X DRAWING).  
OR  
RISK VENT TO DESIRED LOCATION AND COVER OPENING WITH 3" VENT GRATE W/AT LEAST 7:1 SD. IN OPEN SURFACE AREA. SECURE WITH STAINLESS STEEL SCREWS. VENT MUST NOT ALLOW EXCESS MOISTURE BUILDUP OR BACK PRESSURE.
  3. ALL APPURTENANCES TO FAST@ (e.g. SEPTIC TANK, PUMPOUTS, ETC) MUST CONFORM TO ALL COUNTRY, STATE, PROVINCE, AND LOCAL CODES.
  4. BLOWER CONTROL SYSTEM BY BIO-MICROBICS, INC.
  5. COPYRIGHT (C) 2003, BIO-MICROBICS, INC.
  6. MUST INCREASE TANK SIZE BY 20% IF MINIMUM OF 10 INCHES IS USED BETWEEN THE UNIT AND THE BASE OF TANK. CONSULT FACTORY FOR APPROVAL.
  7. THE PRIMARY COMPARTMENT MAY BE A SEPARATE TANK.
  8. FOUR LEG EXTENSIONS MAY BE USED TO STAND UNIT IN TANK ELIMINATING NEED FOR LID. SEE DWG MCF 0.75 X & F AND REFER TO INSTALLATION MANUAL FOR MORE DETAILS.
  9. EITHER THE INFLUENT PIPE TEE SHALL BE FITTED WITH A PIPE CAP OR THE BAFFLE SEPARATING THE TWO ZONES SHALL BE EXTENDED ALL THE WAY TO THE TOP OF THE CONCRETE TANK. IF CHOOSING TO USE THE PIPE CAP, THEN THE BAFFLE SHALL BE AT LEAST 3" HIGHER THAN THE WATER LEVEL AS SHOWN ON THE DRAWING.

IN THE INTEREST OF TECHNOLOGICAL PROGRESS, ALL PRODUCTS ARE SUBJECT TO DESIGN AND/OR MATERIAL CHANGE WITHOUT NOTICE.

Date	2-21-03
<b>BIO-MICROBICS</b>	
1-800-753-FAST(3278)	
MicroFAST® 0.75 L	
Drawn by BMI	

# Specifications For MicroFAST 0.75 Wastewater Treatment System

## 1. GENERAL

The contractor shall furnish and install (1) MicroFAST 0.75 treatment system as manufactured by Bio-Microbics, Inc. The treatment system shall be complete with all needed equipment as shown on the drawings and specified herein.

The principal items of equipment shall include FAST System Insert, Insert Unit (or leg extensions if that option is chosen), blower assembly, blower controls and alarms. The MicroFAST 0.75 unit shall be situated within a 750 gallon minimum compartment in a two compartment tank as shown on the plans, or in a 1250 gallon one compartment tank. Tank(s) must conform to local, state, and all other applicable codes. The contractor shall provide coordination between the FAST system and tank supplier with regard to fabrication of the tank, installation of the FAST unit and delivery to the job site.

## 2. OPERATING CONDITIONS

The MicroFAST 0.75 treatment system shall be capable of treating the wastewater produced by typical family activities (bath, laundry, kitchen, etc.) ranging from (1) one to (11) eleven persons and not to exceed 750 US Gallons per day (2642.5 LPD).

## 3. MEDIA

The FAST media shall be manufactured of rigid PVC, polyethylene or polypropylene and it shall be supported by the polyethylene insert. The media shall be fixed in position and contain no moving or wearing parts and shall not corrode. The media shall be designed and installed to ensure that sloughed solids immediately descend through the media to the bottom of the septic tank.

## 4. BLOWER

The MicroFAST 0.75 unit shall come equipped with a regenerative type blower capable of delivering 17-25 CFM. The blower assembly shall include an inlet filter with metal filter element.

## 5. REMOTE MOUNTED BLOWER

The blower shall be mounted remote, up to 100 feet (30.5 M) maximum with no more than four elbows, from the MicroFAST unit on a contractor supplied concrete base. The blower must not sit in standing water and its elevation must be higher than the normal flood level. A two-piece, rectangular housing shall be provided with tamper-proof screws. The discharge air line from the blower to the MicroFAST shall be provided and installed by the contractor.

## 6. ELECTRICAL

The electrical source should be within 150 feet of the blower. Consult local code for longer wiring distances. All wiring must conform to code. The input power required for the blower is 115/230 Volts, Single Phase, 60/50 Hertz, 3.8/1.9 Full Load Amps, minimum wire size is 16 A.W.G. Locked Rotor Amps are 18.6/9.3. All conduit and wiring between the electrical control panel (optional), the power supply, and the blower shall be furnished and installed by the contractor.

## 7. ALARMS

The alarm system shall consist of a visual and audible alarm to indicate loss of power to the blower and/or high water level. A manual silence switch is included.

## 8. INSTALLATION AND OPERATING INSTRUCTIONS

All work must be done in accordance with local codes and regulations. Installation of the MicroFAST 0.75 shall be done in accordance with the written instructions provided by the manufacturer. Operation manuals shall be furnished which will include a description of installation, operation, and system maintenance procedures. There shall be a separate manual for the installer, service provider, and owner, tailored to each.

## 9. WARRANTY

The manufacturer of the MicroFAST 0.75 treatment system shall warrant for three years from the date of shipment or two years from the date of start-up, whichever occurs first, that the equipment they provide will be free from defects in material and workmanship.

In the event a mechanical component fails to perform as specified or is proven defective in service during the warranty period, the manufacturer shall repair or replace such defective parts. (Cost of labor on repair/replacement is not covered, under this warranty.) The replacement or repair of those items normally consumed in service such as air filter, etc., shall be considered as part of routine maintenance and upkeep.

It is not intended that the manufacturer assume responsibility for contingent liabilities or consequential damages of any nature resulting from defects in design, material or workmanship or delays in delivery, replacement or otherwise.

## 9. FLOW AND DOSING

Wastewater treatment systems work best when influent flow is delivered as consistently as possible. FAST systems have been successfully designed, tested and certified receiving gravity, demand-based influent flow. However when influent flow is controlled (either by pump or other means) to the FAST system to help with highly variable flow conditions, then multiple feeding events should be used to help assure even flow, optimum performance, and reliability.

IN THE INTEREST OF TECHNOLOGICAL PROGRESS, ALL PRODUCTS ARE SUBJECT TO DESIGN AND/OR MATERIAL CHANGE WITHOUT NOTICE.

Date	2-21-03
<b>BIO-MICROBICS</b>	<b>MicroFAST® 0.75 S</b>
1-800-753-FAST (3278)	
DNL BMT	

Maryland Title Group, Inc.  
108 East Main Street  
Westminster, Maryland 21157

LIBER 9020 FOLIO 657

LOC-790

FOR CONVEYANCING ONLY,  
NO CONSIDERATION,  
NO TITLE EXAMINATION 237

THIS DEED, made this 21st day of December in the year Two Thousand Four by and between EDNA MAE COOK and THOMAS L. COOK, SR., his wife, parties of the first part, and JAMES BEAL and TAMARA BEAL, his wife, parties of the second part.

WITNESSETH, there being no consideration, the total payment is zero, the "Total Payment" for income tax withholding purposes is zero and the total payment per Section 10-912(b) of the Tax-General Article of the Annotated Code of Maryland is zero for the transfer of the hereinafter described property, the said parties of the first part do hereby grant and convey unto the said parties of the second part, as tenants by the entireties, in fee simple, all that lot of ground situate lying in the Howard County, State of Maryland, and described as follows, that is to say:

Lot No. 5:

Beginning for the same at the Southeast corner of Lot No. 4, and said point being the fifth line of the whole tract, 421 feet from the beginning of the said fifth line, and running thence and binding thereon, (1) S. 86 ¼ deg. E. 71 feet, thence running by a line of division now made, (2) N. 17 ¾ deg. E. 616 feet to a point in the Old Frederick Road, and running with said road, (3) N. 61 ½ deg. W. 71 feet to the Northeast of Lot No. 4, and binding thereon, (4) S. 17 ¾ deg. W. 636 feet to the place of beginning. Containing one acre of land.

20  
20  
D.A.

BEING one of two lots conveyed in fee simple and described in a deed from Edna Mae Cook f/k/a Edna Mae Costley, to Edna Mae Cook and Thomas L. Cook, Sr., her husband, dated August 26, 1997 and recorded among the Land Records of Howard County, Maryland in Liber 4054, Page 547.

This transaction is from a husband and wife to their daughter and son-in-law and is therefore exempt from transfer and recordation taxes pursuant to the Tax-Property Article of the Annotated Code of Maryland (2001), Section 12-108(c)(2) and Section 13-207(a)(2).

TOGETHER with the buildings thereupon, and the rights, alleys, ways, waters, privileges, appurtenances and advantages thereto belonging, or in anywise appertaining.

TO HAVE AND TO HOLD the said described lot of ground and premises to the said parties of the second part as tenants by the entireties, in fee simple.

AND THE said parties of the first part hereby covenant that they have not done or suffered to be done any act, matter or thing whatsoever, to encumber the property hereby conveyed; that they will warrant specifically the property hereby granted; and that they will execute such further assurances of the same as may be requisite.

All Taxes on Assessments certified to the Collector of Taxes for Howard County, Md. by 3/22/05 K6 have been paid. This statement is for the purpose of permitting recordation and is not assurance against further taxation even for prior periods, nor does it guarantee satisfaction of outstanding tax sales. CB-284328

LIBER 9020 FOLIO 658

WITNESS the hands and seals of said Grantors

Candy Gibson  
Witness

Edna Mae Cook (Seal)  
EDNA MAE COOK

Doreen Sennet  
Witness

Thomas L. Cook, Sr. (Seal)  
THOMAS L. COOK, SR.

STATE OF MARYLAND, CITY/COUNTY OF Balt.; to wit:

I HEREBY CERTIFY, that on this 21<sup>st</sup> day of December, in the year two thousand four, before me, the subscriber, a Notary Public of the State aforesaid, personally appeared EDNA MAE COOK known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged the foregoing Deed to be their act, and in my presence signed and sealed the same.

In Witness Whereof, I hereunto set my hand and official seal.



Alan J. Van Luven, Notary Public  
Baltimore County  
State of Maryland  
My Commission Expires: \_\_\_\_\_

Alan J. Van Luven  
Notary Public  
My Commission Expires: 12.1.07

STATE OF MARYLAND, CITY/COUNTY OF Carroll; to wit:

I HEREBY CERTIFY, that on this 22<sup>nd</sup> day of December, in the year two thousand four, before me, the subscriber, a Notary Public of the State aforesaid, personally appeared THOMAS L. COOK, SR. known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged the foregoing Deed to be their act, and in my presence signed and sealed the same.

In Witness Whereof, I hereunto set my hand and official seal.

Doreen Sennet  
Notary Public  
My Commission Expires: June 2007

LIBER 9020 FOLIO 659

ATTORNEY CERTIFICATION

This is to certify that the within instrument has been prepared by or under the supervision of the undersigned Maryland attorney.



Mark T. Willen, Esquire  
Summerfield, Willen, Silverberg  
& Linsky, P.A.  
10019 Reisterstown Road  
Suite 301  
Owings Mills, Maryland 21117  
(410) 363-4444

IMP FD SURE \$ 20.00  
RECORDING FEE 20.00  
TOTAL 40.00  
Rec'd CHBE Rpt # 25412  
MAR PJR Blk # 566  
Mar 03, 2005 01:12 PM

LIBER 09816 FOLIO 443

000145

AGREEMENT AND EASEMENT FOR  
INSTALLATION OF AN INNOVATIVE AND ALTERNATIVE  
ON-SITE SEWAGE DISPOSAL SYSTEM

THIS AGREEMENT is made this 30 day of June 05, among James Beal, hereinafter referred to as "Owner", the Howard County Health Department hereinafter collectively referred to as the "County", and the Department of the Environment, hereinafter referred to as the "Department".

WHEREAS, Owner owns a tract of land located on 11277 Old Frederick, in the 3<sup>rd</sup> Election District of Howard County, Maryland, and the deed to same is recorded among the Land Records of Howard County, Maryland, in Liber 9070 Folio 657

WHEREAS, Owner's land is improved and the existing means of sewage disposal has been found to be prejudicial to the environment and/or public health.

WHEREAS, Owner's land is unsuitable for the installation of a conventional on-site sewage disposal system and owner has requested the Department's approval to install an innovative/alternative system of sewage disposal.

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NOW, THEREFORE, the parties hereto agree as follows:

- A. Owner must install and maintain a water meter on the incoming side of the water system or an event counter on the sewage pumping system.
- B. Owner hereby grants to the Department and the County the right to enter upon the property at any reasonable time for access to the system to make periodic inspections and the Owner agrees to provide any information and data requested and needed by the Department to develop accurate and thorough test results.
- C. Owner acknowledges and agrees that the proposed innovative/alternative system is experimental and that his or her participation is voluntary. Owner agrees that there shall be no liability on the part of the County or Department to Owner if this innovative/alternative systems fails, and that the

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County and the Department do not warrant or guarantee that the system will adequately or properly function.

D. Owner acknowledges and agrees that neither the County nor the Department nor any of its agents or employees, either officially or individually, underwrites the operation of any system approved by them.

E. The Owner will devote such care and effort to the maintenance of the system so that a system malfunction is not the result of poor maintenance, faulty operation, or neglect.

F. The Owner agrees, that, should the system be determined by the Department to pose a threat to the public health, safety or comfort, the Department may order any necessary changes or corrections and the Owner agrees to pay for all such changes or corrections. System modifications may include requirements for holding of sewage waste in tanks and regular pumping from the holding tanks. Upon the Department's request, the Owner agrees to enter into a contract acceptable to the Department to allow and pay either Howard County, Maryland, its agents or a private entity to pump on a regularly scheduled basis an approved holding tank system.

G. The Owner agrees to contact both the Water Management Administration, Groundwater Permits Program and the County at least forty-eight (48) hours prior to system installation, so that the Department may lay out the system in the field with the contractor. The Owner must install this system according to the plans and specifications approved by the Department and any changes required by the Department as a result of the field layout. If installation deviates substantially from the approved plans or changes such that experimental data will be compromised or reduced, the Owner agrees to pay for all necessary corrections.

H. This agreement shall run with the land and binds the Owner, his heirs, successors, assigns except that the provisions of paragraph A & B shall be binding for a period of 5 years only after installation of the system and occupation of the home. Owner further agrees that he shall inform in writing

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any purchaser or lessee of the property that the system may require maintenance or other attention. The Owner agrees to record this agreement in the land records of Howard County.

I. This agreement shall not be construed to limit any authority of the Department to protect the public health, safety or comfort or to issue any other orders to take any other action which is now or may hereafter be within its authority.

J. This agreement may be voided at the discretion of the Department if the system construction is not completed within six (6) months of the effective date of this agreement.

K. This agreement contains the entire agreement and understanding between the County and the Owner and the Department. There are no additional terms other than as contained in this agreement. This agreement may not be modified except in writing signed by each of the parties or by their authorized representatives.


L. The laws of the State of Maryland govern the provisions of all transactions pursuant to this agreement.

IN WITNESS WHEREOF, the parties have signed and sealed this agreement on the date indicated above.

DATE: 6/30/2005

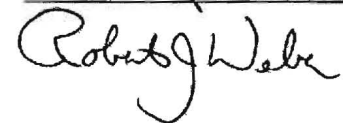
  
Owner James T. BEAL

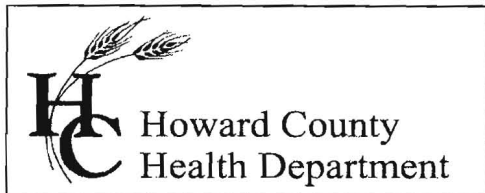
DATE: 7/13/05

  
Department of the Environment  
Jay Prager  
Water Management Administration

IMP. FD. SURE \$ 28.00  
RECORDING FEE 28.00  
TOTAL 49.00  
Reg# H092 Rcpt # 8448  
HDR PJR Bk # 1217  
Feb 18, 2006 11:37 am

DATE: 7/19/05

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Howard County Health Department  




7178 Columbia Gateway Drive, Columbia, MD 21046  
(410) 313-1771 Fax (410) 313-2648  
TDD (410) 313-2323 Toll Free 1-866-313-6300  
website: www.hchealth.org

Penny E. Borenstein, M.D., M.P.H., Health Officer

February 17, 2006

James Beal  
11285 Old Frederick Road  
Marriottsville, MD 21104

**SENT VIA FAX TO 410-848-1601**

RE: Edna Mae Cook S/D, Lot 5  
11277 Old Frederick Road  
Marriottsville, MD 21104  
BP# B00153786  
**PUBLIC WATER**

Dear Sir/Madam:

This is to advise you that the septic system for the above referenced property has been installed and inspected. **Final approval of the septic system was granted on 02/10/2006.**

The property is served by public water and is therefore exempt from the Health Department water sampling requirements.

By issuance of this letter, this office recommends release of the Use and Occupancy permit for the referenced property.

Approving Authority,

Brian Baker, R. S.  
Well & Septic Program

mlb  
cc: Building Inspector's Office  
File