

05 360 323

PUB. SEWER STATUS VERIFIED BY NA

ISSUE DATE: 10/17/03

TAX ID # 05-360323

PERMIT

P 519638

APPROVAL DATE: _____

INDEXED

A REPAIR

ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

Hatfields Equipment IS PERMITTED TO INSTALL ALTER

ADDRESS: 13785 Burntwoods Road, Glenelg PHONE NUMBER: 301-854-6172

SUBDIVISION: Hopkins Mead LOT NUMBER: 30

ADDRESS: 7409 Oakcrest Lane PROPERTY OWNER: Randall Jewell

SEPTIC TANK CAPACITY (GALLONS): 2000 COMPARTMENTED

PUMP CHAMBER CAPACITY (GALLONS): _____

NUMBER OF BEDROOMS: 3-existing PROPOSE 6 bdrms total

SQUARE FEET PER BEDROOM: _____

LINEAR FEET OF TRENCH REQUIRED: _____

TRENCHES:	Trench to be _____ feet wide. Inlet _____ feet below original grade. Bottom maximum depth _____ feet below original grade. Effective area begins at _____ feet below original grade. _____ feet of stone below distribution pipe.
LOCATION:	
PURPOSE:	Existing septic system is being upgraded in support of building permit. Call for inspection when the ground has been opened so sanitarian can recommend repair.

PLANS APPROVED: _____ DATE: _____

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTED. PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT AND RETURNED

BUILDING PERMIT SIGNED

CALL 410-313-2640 FOR INSPECTION OF SEPTIC SYSTEM

11/30/04 800151274-Modular Home + GARAGE

9519638

NOT TO SCALE

TRENCH/DRAINFIELD DATA

WIDTH _____ INLET _____ BOTTOM _____

NUMBER OF TRENCHES _____

TOTAL LENGTH _____

ABSORPTION AREA _____

DISTRIBUTION BOX LEVEL _____

DISTRIBUTION BOX BAFFLE _____

DISTRIBUTION BOX PORT _____

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL _____

CAPACITY _____ GAL

SEAM LOC _____

TANK LID DEPTH _____

BAFFLES _____

BAFFLE FILTER _____

MANHOLE LOC _____

6" PORT LOC _____

WATERTIGHT TEST _____

SEPTIC TANK 2 LEVEL _____

CAPACITY _____ GAL

SEAM LOC _____

TANK LID DEPTH _____

BAFFLES _____

BAFFLE FILTER _____

MANHOLE LOC _____

6" PORT LOC _____

WATERTIGHT TEST _____

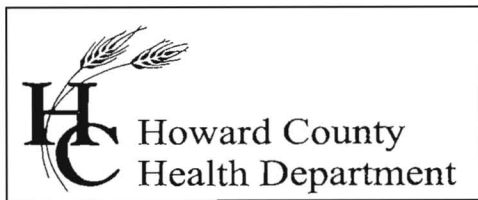
ROAD

PRE-CONSTRUCTION _____

INSTALLATION _____

FINAL INSPECTOR _____ DATE OF APPROVAL _____

BUILDING AND PLANNING DEPARTMENT



Bureau of Environmental Health
7178 Columbia Gateway Drive, Columbia, MD 21046
(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Penny E. Borenstein, M.D., M.P.H., Health Officer

April 1, 2005

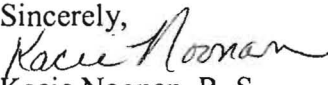
Maryland Custom Builders, Inc.
Attn: Mautaz Ezzat
P.O. Box 42
Clarksville, MD 21029

Re: Septic Recalculation
7409 Oakcrest Lane
Tax Map: 41 Parcel: 196

Dear Mr. Ezzat,

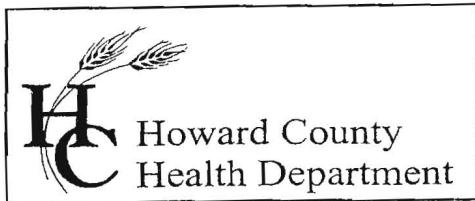
Our office received the revised site plan on March 30, 2005 showing the swale graded into the septic easement. Recalculation of the remaining septic area available now supports approximately 525 linear feet of trench. The total area necessary for the four bedroom house needs to support a total of 560 linear feet of trench, however, the existing dry wells are not subtracted from this total. Currently, this lot only supports a four bedroom house. As a note, any future additions with bedrooms will not be permitted in the near future.

I wanted to thank you for your cooperation in resubmitting a plan with the changes to the grading. If you have any questions or concerns, I may be reached directly at 410-313-1775.

Sincerely,

Kacie Noonan, R. S.
Well and Septic Program

KN

Cc: file




7178 Columbia Gateway Drive, Columbia, MD 21046
(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Penny E. Borenstein, M.D., M.P.H., Health Officer

January 3, 2005

MEMORANDUM

TO: MD Custom Builders
P.O. Box 42
Clarksville, MD 21029

FROM: Kacie Noonan, R.S. 
Well and Septic Program
Bureau of Environmental Health

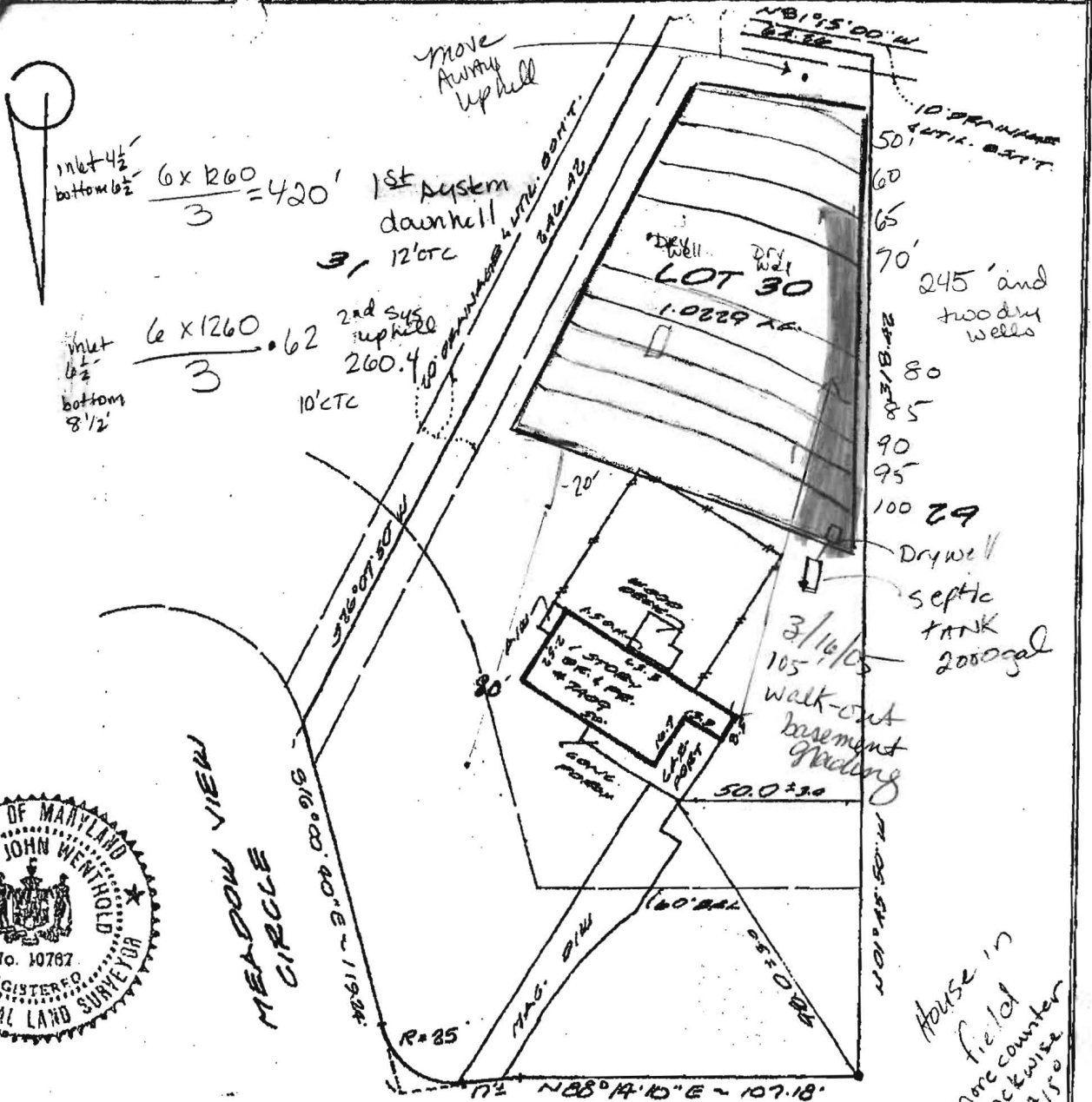
RE: 7409 Oakcrest Lane
Hopkins Meade, Lot 30
Tax Map 41, Grid 15, Parcel 196

The Howard County Health Department recommends issuance of the requested demolition permit for the existing dwelling at the referenced property. MD Custom Builders has agreed to the following conditions set forth by the Health Department.

Before demolition the well and septic system that served the current house will be properly disconnected and protective devices will be placed around them to prevent any damage to them during the demolition process. The well and septic system for any new residence must meet current regulatory standards before a building permit for the new residence can be issued.

Cc: File

3-16-05 Met w/ Builder - to resubmit plan showing snail, grading, & HADA



No evidence of property corners was found. Apparent occupation is shown.

Date: 9-25-2000 Scale: 1" = 50' Drn: B.O.
 Plat Book: 7
 Plat No.: 85 NO TITLE REPORT FURNISHED
 Work Order: 00-3937
 Address: 7409 OAKCREST LANE
 District: 8
 Jurisdiction: HOWARD COUNTY, MD

LOCATION DRAWING
 LOT 30
 SECTION 2
 HOPKINS MEAD

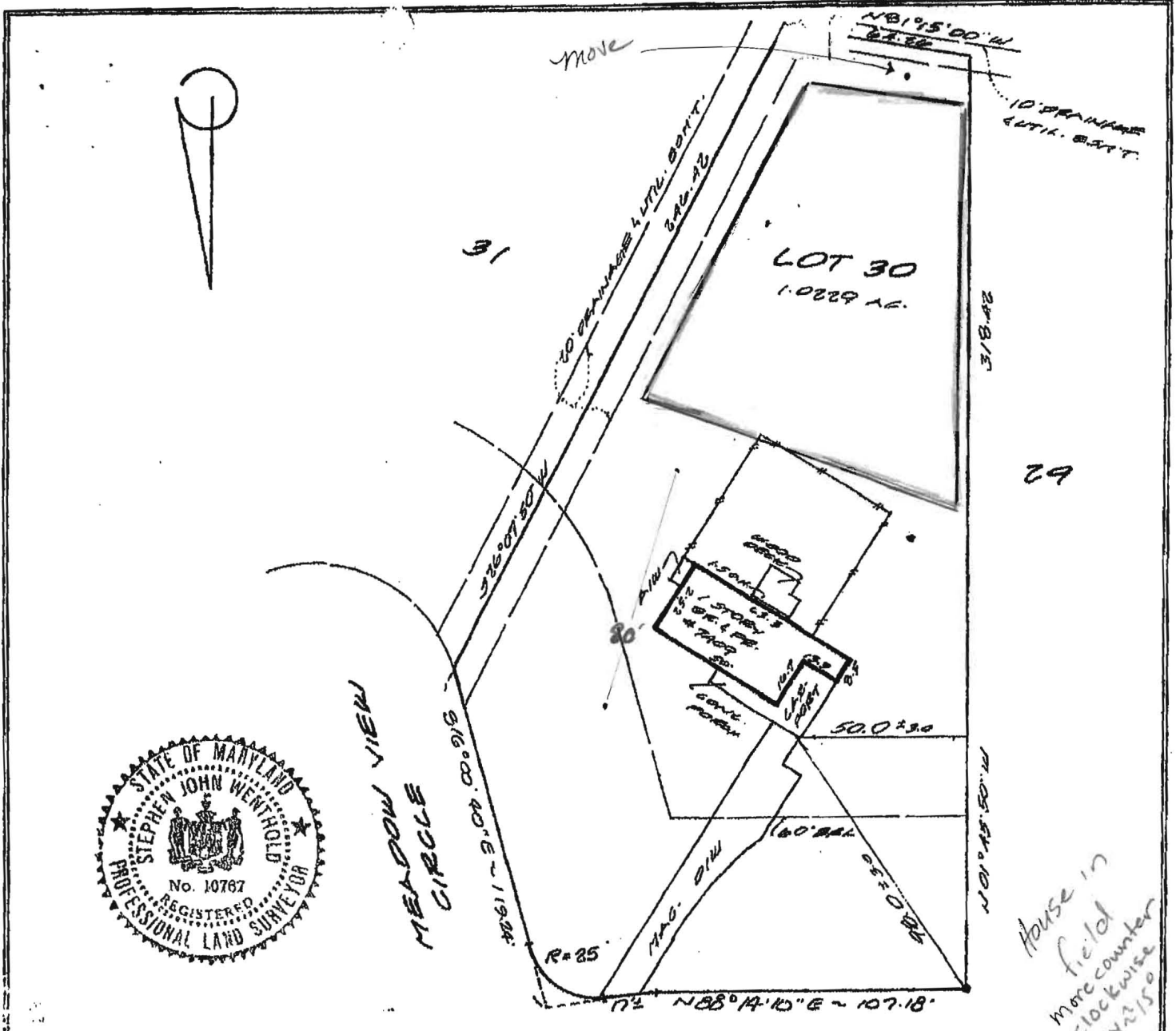
I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100-year flood plain according to FEMA insurance maps as interpreted by the originator unless otherwise shown hereon. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.

Stephen Wenthold

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.



Meridian Surveys, Inc.
 811 Russell Avenue
 Suite #303
 Gaithersburg, MD 20879
 (301) 721-9400



No evidence of property corners was found. Apparent occupation is shown.

OAKCREST LANE

Date: 9-25-2000 Scale: 1"=50' Dm: S.D.
 Plat Book: 7
 Plat No.: 85 NO TITLE REPORT FURNISHED
 Work Order: 00-3937
 Address: 7409 OAKCREST LANE
 District: 6
 Jurisdiction: HOWARD COUNTY, MD

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100-year flood plain according to FEMA insurance maps as interpreted by the originator unless otherwise shown hereon. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.

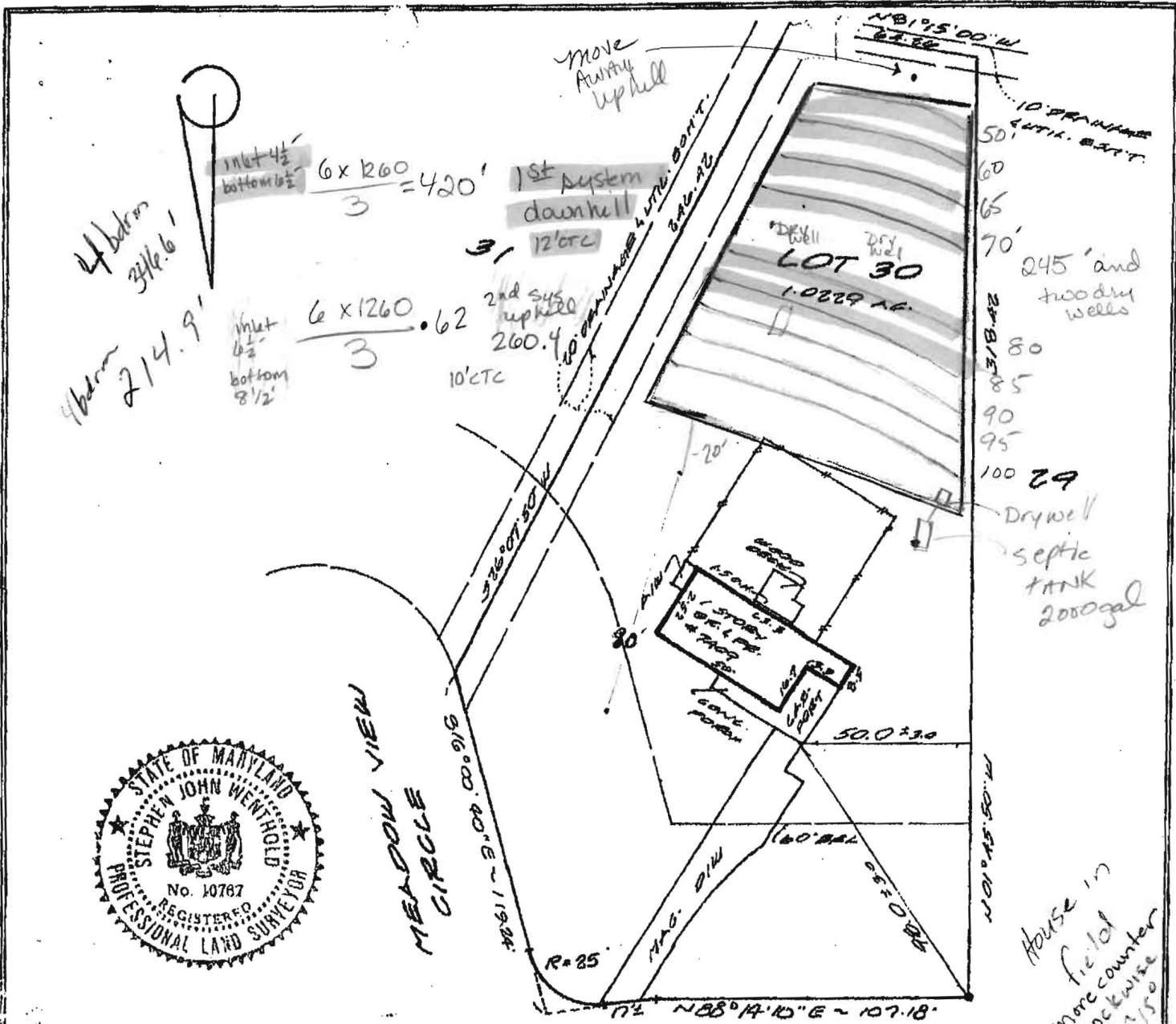
Stephen J. Wentfield

LOCATION DRAWING
 LOT 30
 SECTION 2
 HOPKINS MEAD

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.



Meridian Surveys, Inc.
 811 Russell Avenue
 Suite #303
 Gaithersburg, MD 20879
 (301) 721-9400



No evidence of property corners was found. Apparent occupation is shown.

OAKCREST LANE

Date: 9-25-2000 Scale: 1" = 50' Drn: B.D.
 Plat Book: 7
 Plat No.: 85
 Work Order: 00-3937
 Address: 7409 OAKCREST LANE
 District: 5
 Jurisdiction: HOWARD COUNTY, MD

NO TITLE REPORT FURNISHED

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100-year flood plain according to FEMA insurance maps as interpreted by the originator unless otherwise shown hereon. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.

LOCATION DRAWING
 LOT 30
 SECTION 2
 HOPKINS MEAD

Stephen Werthold

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.



Meridian Surveys, Inc.
 811 Russell Avenue
 Suite #303
 Gaithersburg, MD 20879
 (301) 721-9400