



Building Permit Application
Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 8-6-14

Permit No.: 814002850

Building Address: 2042 DROVERS LN.
City: Cooksville State: MD Zip Code: 21723
Suite/Apt. # - SOP/WP/BA #: GP-09-86
Census Tract: _____ Subdivision: VISTA RIDGE
Section: _____ Area: _____ Lot: 12
Tax Map: 8 Parcel: 176 Grid: 23
Zoning: _____ Map Coordinates: 4692-H9 Lot Size: _____

Property Owner's Name: DR HORTON INC.
Address: 1356 BEVERLY RD.
City: McLEAN State: VA Zip Code: 22101
Phone: 571-723-0813 Fax: 800-551-5015
Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: Vicky Meyer
Address: 1602 PINNACLE RD
City: TOWSON State: MD Zip Code: 21286
Phone: 410-296-6900 Fax: _____
Email: MDBldgPermits@comcast.net

Contractor Company: DR HORTON INC.
Contact Person: MELANIE COOKE
Address: 1356 BEVERLY RD.
City: McLEAN State: VA Zip Code: 22101
License No.: 535
Phone: 571-723-0813 Fax: 800-551-5015
Email: ML.COOKE@DR.HORTON.COM

Engineer/Architect Company: BENCHMARK ENGINEERING
Responsible Design Prof.: JOHN CARNEY
Address: 8480 BALTO. N'L PIKE
City: ELLSWORTH State: MD Zip Code: 21043
Phone: 410-465-6105 Fax: _____
Email: _____

Existing Use: VACANT LOT
Proposed Use: NEW SFD
Estimated Construction Cost: \$ 300,000
Description of Work: CHRISTOPHER WREN - ELEV
FI, W/ REAL SUNROOM 4' SIDE
EXTENSION, 2 STORY FULL BSMT,
OCCUPANT OR TENANT: 1 BR, 3 FB, 2 HB, FP,
Was tenant space previously occupied? Yes No
Contact Name: M/D 3 CALGAMAR (4BR)
Address: FIN 4L REC RM DEN
City: _____ State: FULL BATH Zip Code: _____
Phone: _____ Fax: HOMO THEATRE
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: _____ 2 nd floor: _____
Area of construction (sq. ft.): _____	Basement: _____
Use group: _____	<input checked="" type="checkbox"/> Finished Basement <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Crawl Space <input type="checkbox"/> Slab on Grade
Construction type:	No. of Bedrooms: _____
<input type="checkbox"/> Reinforced Concrete	<u>Multi-family Dwelling</u>
<input type="checkbox"/> Structural Steel	No. of efficiency units: _____
<input type="checkbox"/> Masonry	No. of 1 BR units: _____
<input checked="" type="checkbox"/> Wood Frame	No. of 2 BR units: _____
<input type="checkbox"/> State Certified Modular	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
	Footings: _____
	Roof: _____
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewer Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other: _____	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>G12000277</u>	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature] Print Name: Vicky Meyer
Email Address: mdBldgPermits@comcast.net Date: 8/6/14
Agent: _____ Title/Company: _____
502388

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY

AGENCY	DATE	SIGNATURE OF APPROVAL	DPZ SETBACK INFORMATION	Filing Fee
State Highways			Front: _____	\$ 100
Building Officials			Rear: _____	Permit Fee \$
PSZA (Zoning)			Side: _____	Tech Fee \$
PSZA (Engineering)			Side St: _____	Excise Tax \$
Health			All minimum setbacks met? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	PSFS \$
Is Sediment Control approval required for issuance? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			Is Entrance Permit Required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Guaranty Fund \$ 50
<input type="checkbox"/> CONTINGENCY CONSTRUCTION START			Historic District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Add'l per Fee \$
			Lot Coverage for New Town Zone: _____	Total Fees \$
			SDP/Red-line approval date: _____	Sub-Total Paid \$
				Balance Due \$
				Check # 502388

D.R. HORTON CAPITAL DIVISION

5175 - CHRISTOPHER WREN

Lot 12
2042 Doves Lane

1 Bedroom in Basement
4 Bedrooms on 2nd floor
5 Bedrooms total

GENERAL REQUIREMENTS

BUILDER, CONTRACTOR, SUB-CONTRACTOR RESPONSIBILITIES
The term Work as used in construction documents shall include all provisions as drawn or specified in these documents as well as other provisions specifically included by the Architect in the form of drawings, specifications, written and other instructions issued by the Architect.

1. Contractor/Builder understands that drawings graphically depict design intent of the project. Locations and dimensions shown on drawings are diagrammatic. Builder/Contractor understands that drawings show the general arrangement, design and extent of Work and are not intended to be scaled for measurements or serve as shop drawings.

2. Contractor/Builder shall properly fabricate, transport, fabricate, install, erect, construct and test, furnish and supply all labor, materials, labor, equipment, apparatus, appliances, and all other items and expenses necessary to properly complete the Work in place and ready for operation or use as intended for by the Architect.

3. Contractor/Builder shall be familiar with provisions of all applicable codes, shall ensure compliance with same and shall be responsible for and be required to discover, through exercising care, skill and diligence in reviewing the Construction Drawings, any omissions, and discrepancies and shall bring same to the attention of the Architect prior to construction.

4. By executing the Contract, the Contractor/Builder warrants that he has closely inspected the site and it's environs, and has determined to his satisfaction the physical condition of such, familiarized himself with the local conditions under which the Work is to be performed, correlated his observations with the requirements of the Construction Drawings, and knows of no other information required to complete the Work as intended for by the Architect, and as per local jurisdiction requirements.

5. If any item or material is not shown or omitted on the drawings, but is otherwise reasonably inferable therefrom, the Contractor shall inform Architect, and be required to furnish and install such item or material which conforms to the type and quality of similar items otherwise established in the Construction Drawings and Specifications.

6. Where a typical detail is shown or indicated on the drawings, that condition shall be representative of and shall constitute the standard for workmanship, materials, and performance for conditions and materials and workmanship throughout corresponding and similar conditions throughout the Work.

7. The Contractor/Builder are responsible for thoroughly examining all drawings, specifications and applicable codes, as well as making all actual measurements and establishing all actual dimensions for each particular type of Work, and for co-ordinating the Work described, and also responsible for determining the exact scope of Work for each section, as well as checking cross references of Work, and any Work excluded from any section.

8. By making substitution of products or procedures in the Work, the Contractor/Builder represents that he has personally investigated the proposed substitute and determined that it is equal or superior in all respects to that specified; represents that he will provide equal or better warranty for the substitution; represents that he will co-ordinate the installation of the approved substitute, making all changes as may be required.

9. Where reference is made in these documents to Builder/Contractor, it shall refer to Builder, General Contractor, and all Sub-Contractors and their employees.

10. Nothing hereunder shall create any contractual relationship between the Architect and any sub-contractor.

11. These documents do not include the necessary components for construction safety, care of adjacent properties during construction, compliance with state and federal regulations regarding safety. Compliance with all safety requirements shall be the Contractor's responsibility. Contractor/Builder shall supervise and direct the Work and be solely responsible for all construction means, methods, techniques and safety procedures, and for coordinating all portions of the Work.

OWNER

D.R. HORTON CAPITAL DIVISION
1356 BEVERLY RD., SUITE 300
MCLEAN, VA 22101
703.385.8001
703.385.8002 - FAX

ARCHITECT

KTGY GROUP, INC.
8605 WESTWOOD CENTER DR., SUITE #300
TYSON CORNER, VA 22062
703.922.6786
703.922.6428 - FAX

STRUCTURAL ENGINEER

ALLIANCE STRUCTURAL ENGINEERS, Inc.
12355 SUNRISE VALLEY DRIVE, SUITE 220
RESTON, VA 20191
703.749.7941
703.749.7942 - FAX

CODE INFORMATION

CONVENING CODE BOOK: IRC 2006 AS AMENDED BY LOCAL JURISDICTION


SQUARE FOOTAGE

AS PER NRS STANDARDS
STANDARD FIRST FLOOR: 2583 SF.
STANDARD SECOND FLOOR: 2282 SF.
TOTAL: 5995 SF.

FIRST FLOOR OPTIONS:
REAR SUNROOM: 372 SF.
ULTRA SIZE SUNROOM 27' X 11': 352 SF.
SIDE SUNROOM 27' X 11': 340 SF.

LIST OF DRAWINGS

COVER SHEET	SPECIFICATIONS
SP.1	SPECIFICATIONS
SP.2	SPECIFICATIONS
A.1	BASEMENT PLAN @ ELEV. A
A.2	FIRST FLOOR PLAN @ ELEV. A
A.3	SECOND FLOOR PLAN @ ELEV. A
A.3.1	PARTIAL FLOOR PLAN @ ELEV. B
A.3.2	PARTIAL FLOOR PLAN @ ELEV. C
A.3.3	PARTIAL FLOOR PLAN @ SUNROOM EXT.
A.4	FRONT ELEVATION A/A1
A.4.1	FRONT ELEVATION D/DV/G
A.4.2	FRONT ELEVATION B/B1
A.4.3	FRONT ELEVATION E/EV/H
A.4.4	FRONT ELEVATION C/C1
A.4.5	FRONT ELEVATION F/FV1
A.4.6	FRONT ELEVATION J
A.4.7	FRONT ELEVATION K
A.4.8	FRONT ELEVATION L
A.5	REAR ELEVATION
A.6	RIGHT SIDES ELEVATION
A.6.1	LEFT SIDES ELEVATION
A.6.2	PARTIAL ELEVATION
A.7	SECTIONS
SR-1	12'X20' SIDE SUNROOM
SR-2	14'X20' SIDE SUNROOM
S-001	GENERAL NOTES
S-002	SCHEDULES
S-100	FOUNDATION PLAN
S-100A	FOUNDATION PLAN
S-101	FOUNDATION PLAN
S-102	FOUNDATION PLAN
S-10	FIRST FLOOR FRAMING PLAN
S-100	SECOND FLOOR FRAMING PLAN
S-100A	ROOF FRAMING PLAN
S-140	PART. FRAMING PLAN
S-140A	PART. FRAMING PLAN
S-141	PART. FRAMING PLAN
S-141A	PART. FRAMING PLAN
S-150	PART. FRAMING PLAN
S-151	PART. FRAMING PLAN
S-151A	PART. FRAMING PLAN
S-201	FOUNDATION DETAILS
S-202	FOUNDATION DETAILS
S-301	FRAMING DETAILS
S-302	FRAMING DETAILS
S-303	FRAMING DETAILS
S-401	WALL BRACING DETAILS
S-402	WALL BRACING DETAILS
S-403	WALL BRACING DETAILS
S-404	WALL BRACING DETAILS
S-405	WALL BRACING DETAILS
S-406	WALL BRACING DETAILS
E.1	BASEMENT ELECTRICAL PLAN
E.2	FIRST FLOOR ELECTRICAL PLAN
E.3	SECOND FLOOR ELECTRICAL PLAN
D.1	DETAILS
D.2	DETAILS



D.R. HORTON
CAPITAL DIVISION
1356 Beverly Rd., Suite #300
McLean, VA 22101
P: 703-385-8001

#5175 - THE CHRISTOPHER WREN

CLIENT: D.R. HORTON CAPITAL DIVISION

DESIGN DELIVERABLE: ISSUE TYPE
ISSUE DATE:

PROJECT NUMBER: 20120016.00
DRAWN BY:
CHECKED BY: SA
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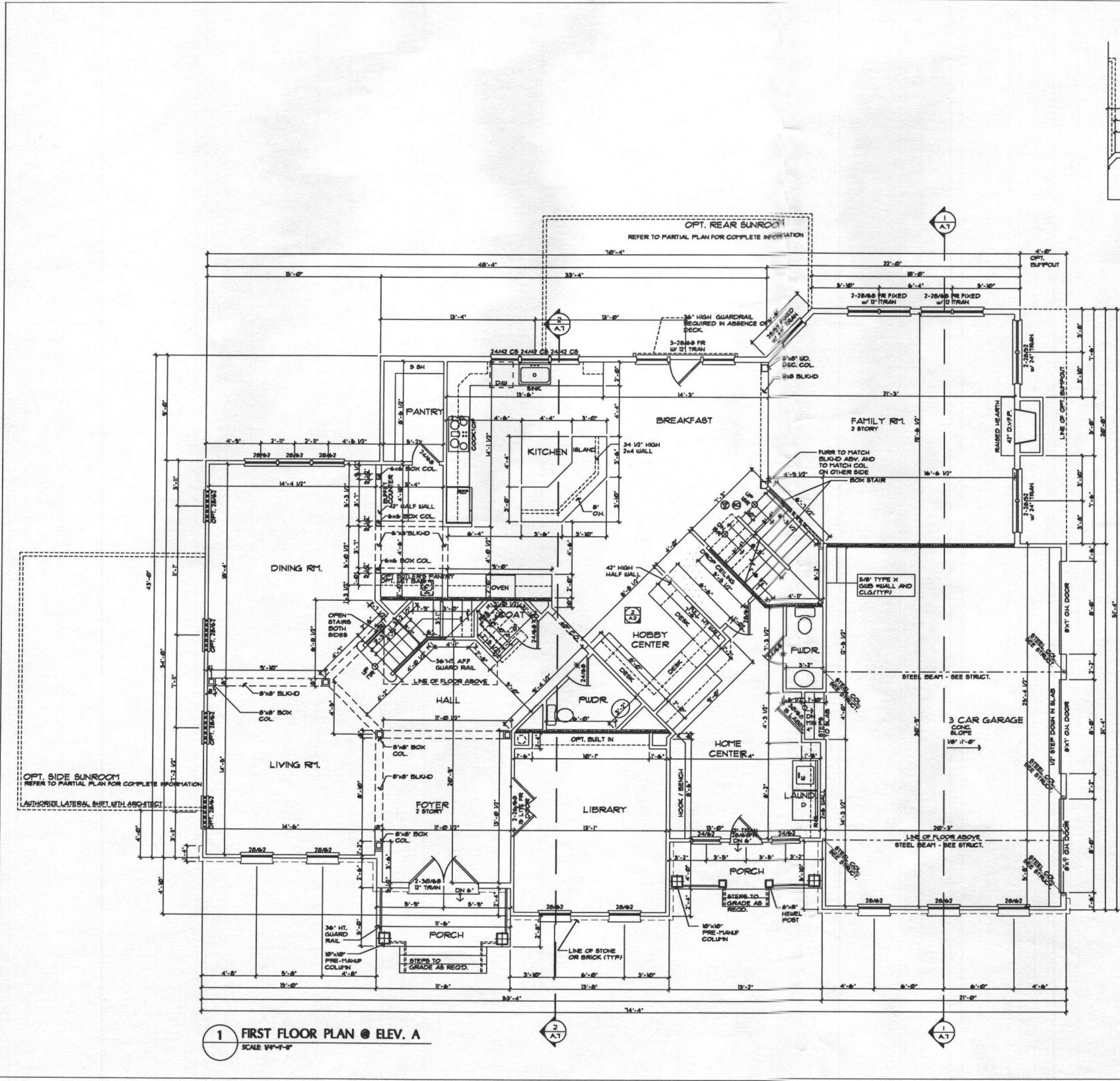
COVER SHEET

SHEET NUMBER:
CS

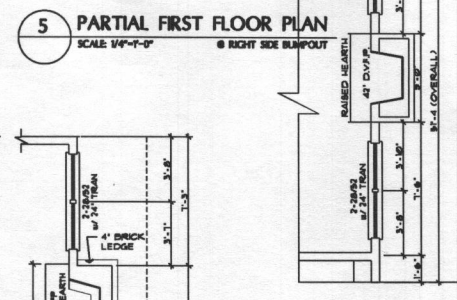
A:\2014 - Capital Division\Christopher Wren\Contracting 7/12/2013 4:08:41 PM

Professional certification certifies that these documents were prepared by a professional architect registered in the State of Maryland, license number 8558. Expiration Date: 05/23/2015.

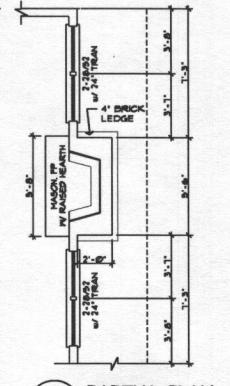
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 LAUTHORIZED LATERAL SHEET ARCHITECT



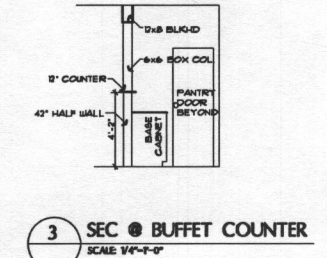
1 FIRST FLOOR PLAN @ ELEV. A
SCALE 1/4"=1'-0"



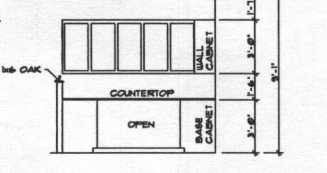
5 PARTIAL FIRST FLOOR PLAN
SCALE 1/4"=1'-0" @ RIGHT SIDE BUMP OUT



4 PARTIAL PLAN
SCALE 1/4"=1'-0"



3 SEC @ BUFFET COUNTER
SCALE 1/4"=1'-0"



2 ELEV. @ HOBBY CENTER
SCALE 1/4"=1'-0"

Professional certification: I certify that these documents were prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Maryland, license number: 18595. Expiration Date: 09/29/2015.



CLIENT:
D.R. HORTON
 CAPITAL DIVISION
 1356 Beverly Rd., Suite #300
 McLean, VA 22101
 P: 703-385-8001

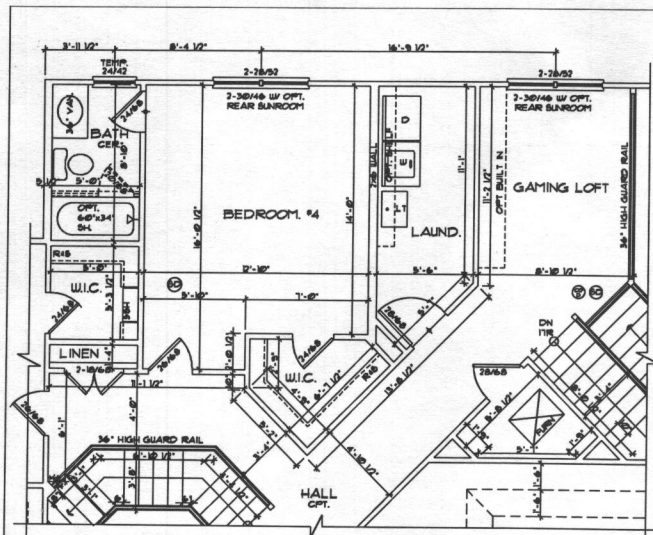
#5175 - THE CHRISTOPHER WREN

CLIENT: D.R. HORTON CAPITAL DIVISION

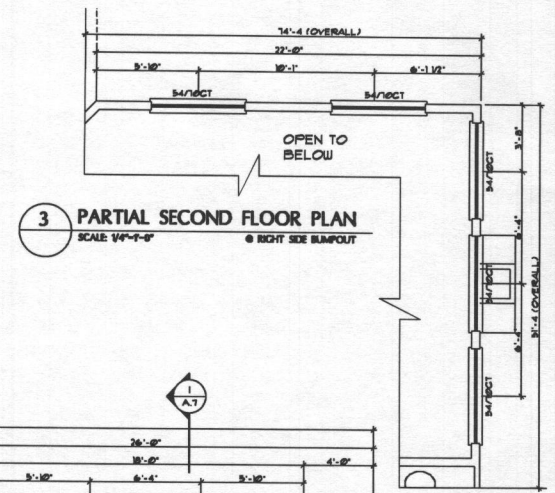
DESIGN DELIVERABLE: ISSUE TYPE
 ISSUE DATE:
 PROJECT NUMBER: 20120016.00
 DRAWN BY:
 CHECKED BY: SA
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FIRST FLOOR PLAN

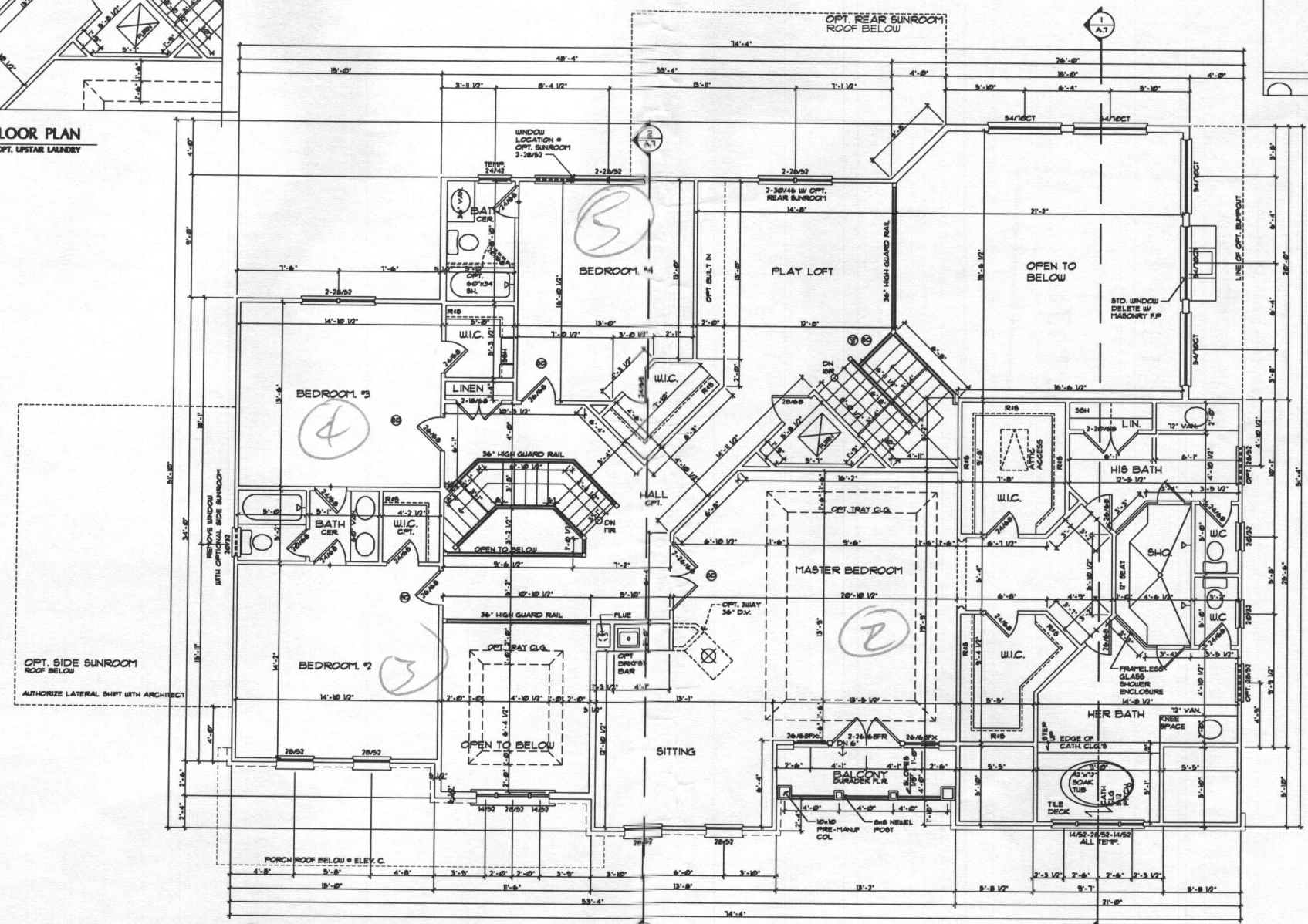
SHEET NUMBER:
A.2



2 PARTIAL SECOND FLOOR PLAN
SCALE 1/4"=1'-0"
OPT. UPSTAR LAUNDRY



3 PARTIAL SECOND FLOOR PLAN
SCALE 1/4"=1'-0"
RIGHT SIDE SUNROOM



1 SECOND FLOOR PLAN @ ELEV. A
SCALE 1/4"=1'-0"

Professional certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 8698. Expiration Date: 08/28/2018.



CLIENT:
D.R. HORTON
CAPITAL DIVISION
1356 Beverly Rd, Suite #300
McLean, VA 22101
P: 703-385-8001

CONSULTANT:

#5175 - THE CHRISTOPHER WREN

CLIENT: D.R. HORTON CAPITAL DIVISION

DESIGN DELIVERABLE: ISSUE TYPE
ISSUE DATE:
PROJECT NUMBER: 20120016.00
DRAWN BY: SA
CHECKED BY: SA
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SHEET TITLE:
SECOND FLOOR PLAN

SHEET NUMBER:
A.3

K:\0041 - Capital Division\Christopher Wren\5175.dwg 7/12/2011 4:18:50 PM

HIGHLAND PARK -C- Right

NORTH REGION PLAN ID: 4177

DATE:	REVISION:
10/28/2015	INITIAL DRAWING SET UP OF HIGHLAND PARK FROM HAMPTON CAD
11/06/2015	UPDATED BASEMENT OPTIONS PER CLIENT COMMENTS
11/18/2015	ADDED SECOND WATER HEATER, SUMP, & OPTIONAL GRINDER TO BASEMENTS AND CHANGED LOCATION OF BASEMENT EGRESS WINDOW ON SHEETS, REMOVED BRICK ON SIDE & REAR OF HOME, REMOVED FIRST FLOOR OPTIONS
11/25/2015	UPDATED FRONT DOORS TO EMERALD STANDARDS
01/21/2016	REVISE DRAWINGS FROM S.O.G. TO IN-GROUND BASEMENT. CORRECT ELEVATION DIMENSIONS. SHOW FOUNDATION AS POURED CONCRETE.
02/23/2016	STRETCH GARAGE 10'-0" FOR 3 CAR GARAGE OPTION, REDESIGN GARAGE DOOR ENTRANCE FROM ONE 16'-0" TO THREE 8'-0" WIDTH DOORS, UPDATE THE FIRST FLOOR PLAN, SECOND FLOOR PLAN, ROOF PLAN AND EXTERIOR ELEVATIONS. ADD SEASONAL STORAGE ROOM ABOVE THE 10'-0" STRETCH TO GARAGE FOR INCORPORATION OF THIRD CAR BAY. UPDATE ELECTRICAL PLANS TO REFLECT DESIGN CHANGES.

RE-ISSUE FULL PLAN-SET

SHEET INDEX:

CS	COVER SHEET
CS-MID	CODE SHEET
0	QUICK VIEW
1	FRONT ELEVATION WITH ROOF PLANS
2	SIDE AND REAR ELEVATION
3	FOUNDATIONS
4	FIRST FLOOR PLAN
5	SECOND FLOOR PLAN
6	WALK-UP ATTIC - FINISHED OR UNFINISHED
7	FIRST FLOOR ELECTRICAL
8	SECOND FLOOR ELECTRICAL
9	WALK-UP ATTIC ELECTRICAL
10	FLOOR BREAK (OR OPEN)
DA1	ARCHITECTURAL DETAIL SHEETS
DS1	STRUCTURAL DETAIL SHEETS

REVIEWERS STAMP LOCATION

HIGHLAND PARK - SQUARE FOOTAGE CHART						
HEATED SQ. FT.	ELEVATION "A"	ELEVATION "B"	ELEVATION "C"	ELEVATION "D"	ELEVATION "E"	ELEVATION "G"
FIRST FLOOR	2200	2200	2200	2206	2200	2200
SECOND FLOOR	1996	1996	1996	1996	1996	1996
TOTAL HEATED SQ. FT.	4196	4196	4196	4202	4196	4196
HEATED OPTIONS						
SUNROOM	182	182	182	182	182	182
WALK-UP	674	670	819	670	670	670
WALK-OUT BASEMENT	1582	1582	1582	1582	1582	1582
BURIED BASEMENT	1532	1532	1532	1532	1532	1532
BASMT SUNROOM	182	182	182	182	182	182
UNHEATED SQ. FT.						
2 CAR GARAGE	492	492	492	492	492	492
FRONT PORCH	139	139	137	139	42	130
UNHEATED OPTIONS						
BSMNT UNFINISHED STORAGE / MECH. AREA	486	486	486	491	486	486
SCREENED PORCH	182	182	182	182	182	182
COVERED PORCH	182	182	182	182	182	182
HIGHLAND PARK - ROOF HEIGHT CHART						
ROOF HEIGHT	37'-0"	37'-0"	33'-11 1/4"	37'-0"	37'-0"	37'-0"
MEAN ROOF HEIGHT	28'-4"	28'-4"	22'-4"	28'-4"	28'-4"	28'-4"



NORTH REGION

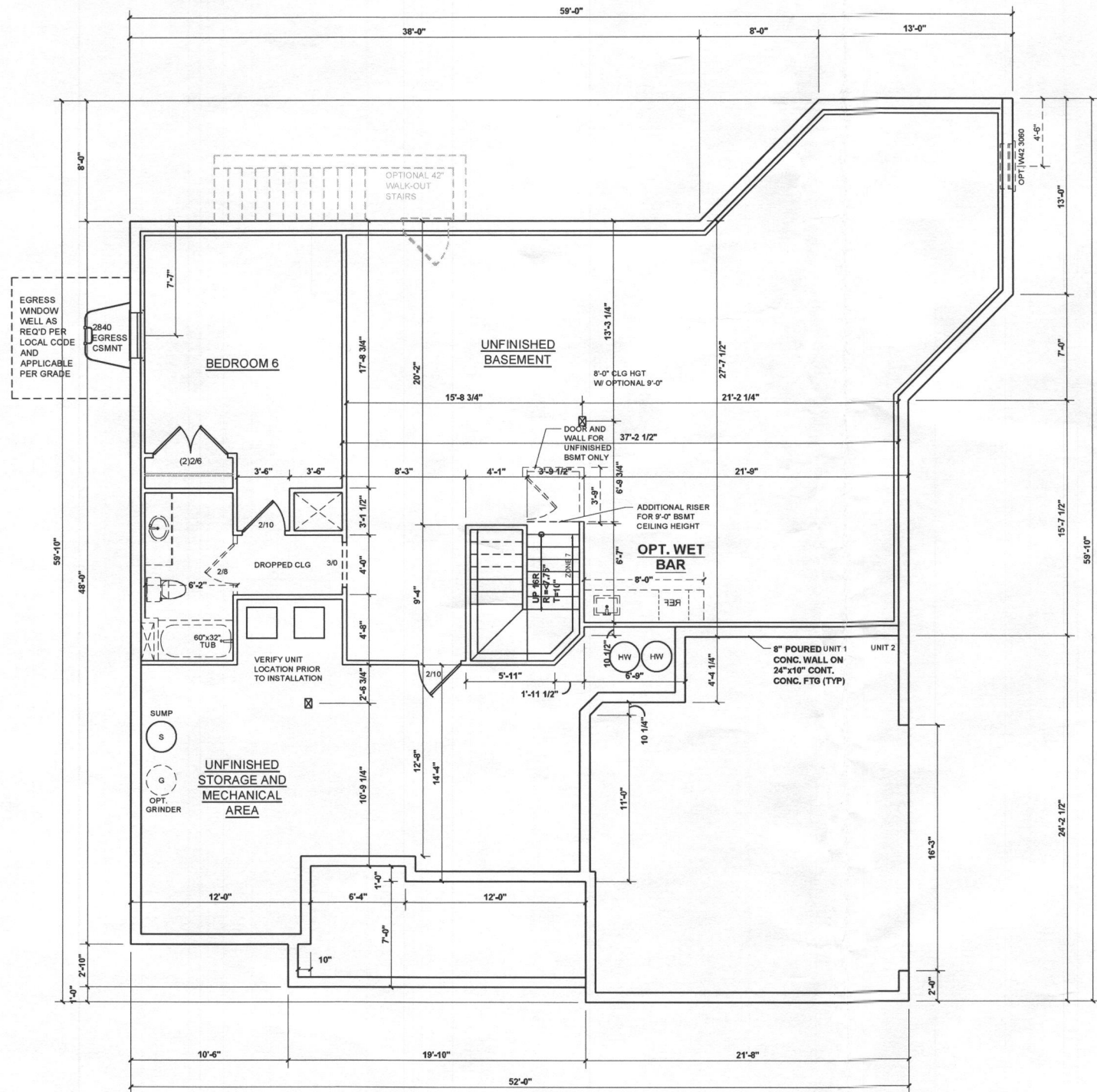
Coversheet
HIGHLAND PARK - A

*Vista Ridge
Cot 5/23/16*

DESIGNER:
THIS DOCUMENT IS THE PROPERTY OF D.R. HORTON AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
PROJECT #: 16800176

PLAN REV DATE
02/23/2016

SHEET NUMBER
CS



FULL BURIED BASEMENT FLOOR PLAN - C

SCALE: 1/8"=1'-0"

D.R. HORTON PHI
MYSE
America's Builder
 8001 Arrowridge Blvd.
 Charlotte, NC 28276
 TEL: (704) 577-8000

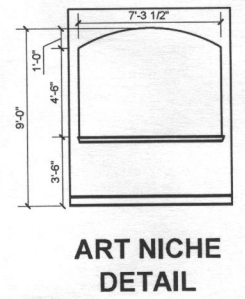
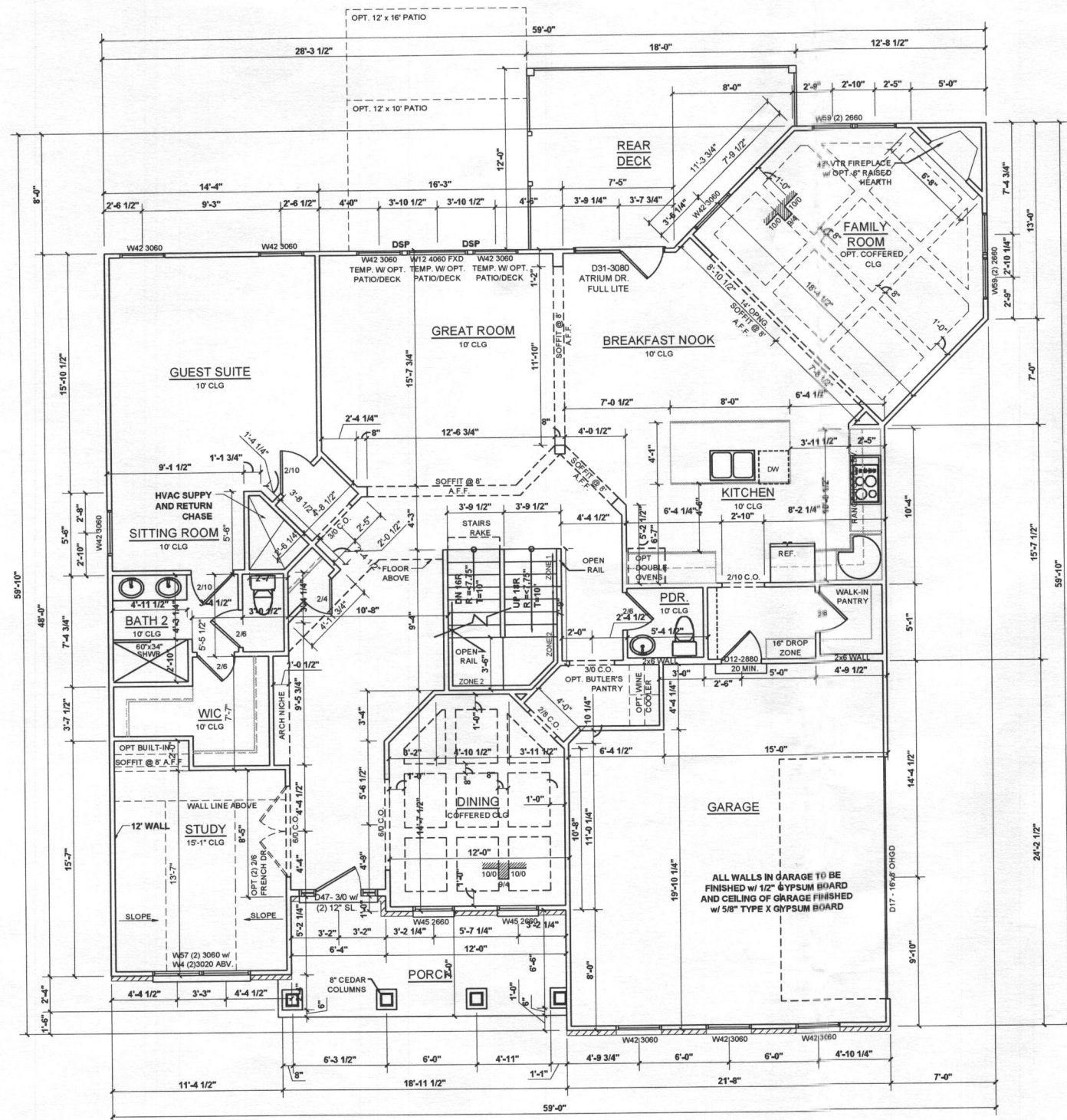
NORTH REGION
 Full Buried Basement Plan
 HIGHLAND PARK - A

DESIGNER:

 JAMES E. HENSHAW
 PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 LICENSE NO. 42112
 PROJECT #: 16001776

PLAN REV DATE
 02/23/2016

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 THE DESIGN FIRM TO BE
 INDICATED
 SHEET NUMBER
 3



FIRST FLOOR PLAN - C

SCALE: 1/8"=1'-0" ALL FIRST FLOOR DOOR AND ALL CASED OPENINGS HEAD HEIGHTS ARE 6'-0" UNLESS OTHERWISE NOTED.

D.R. HORTON PHI MSSE
America's Builder
 8001 Arrowridge Blvd.
 Charlotte, NC 28226
 TEL: (704) 377-8000

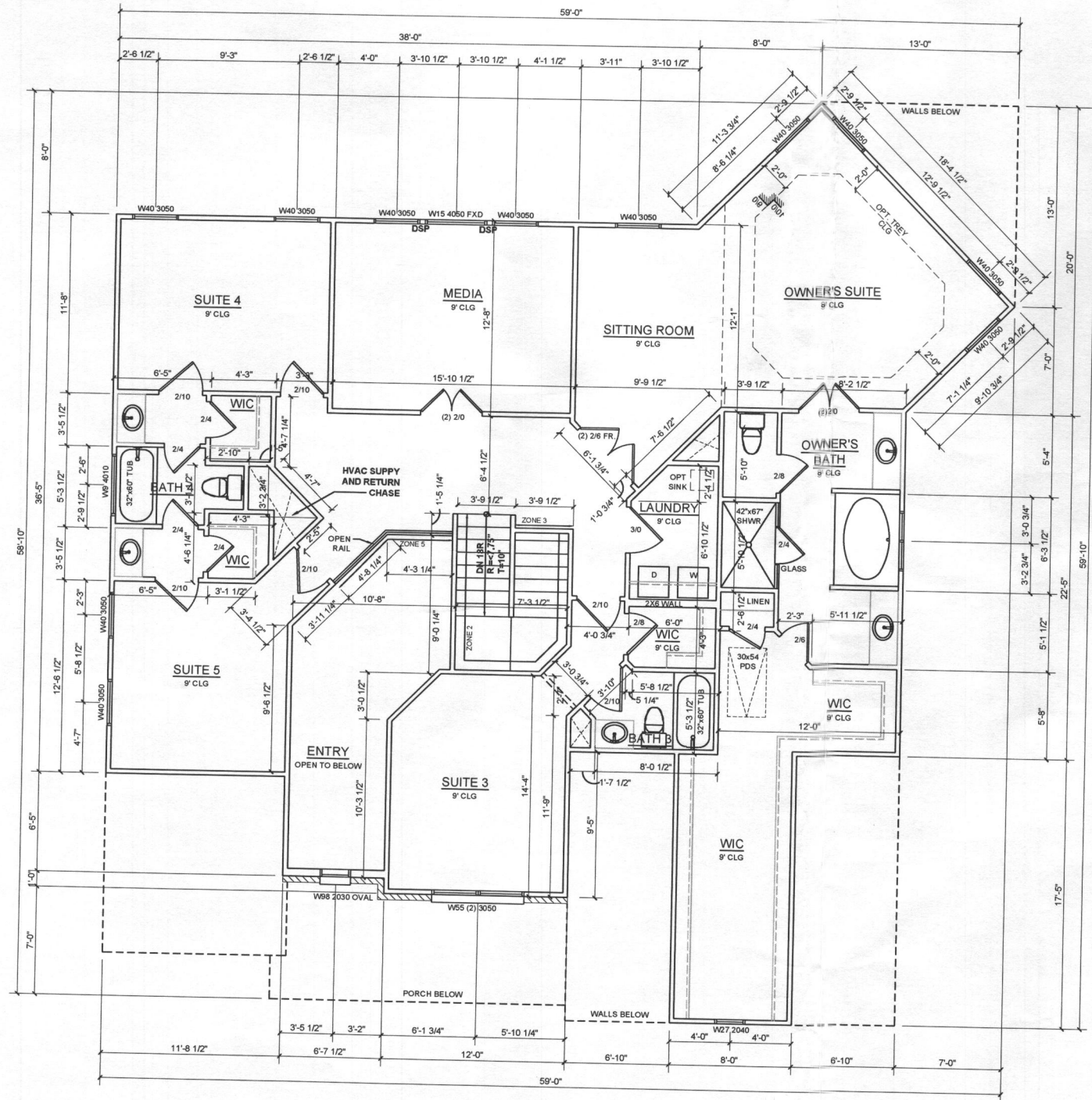
NORTH REGION
 First Floor Plan
 HIGHLAND PARK - A

DESIGNER:

 WILLIAM J. SMITH
 LICENSE NO. 34197
 STATE OF NORTH CAROLINA
 PROJECT #: 16900176

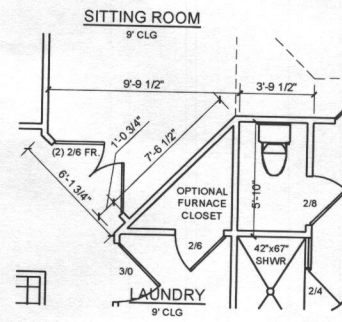
PLAN REV DATE
 02/23/2016

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 SHEET NUMBER
 4



2ND FLOOR PLAN - C

SCALE: 1/8"=1'-0"

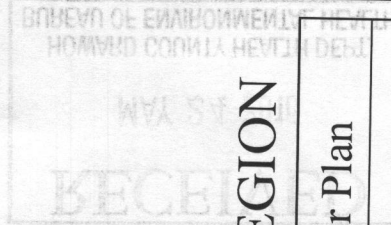


**FURNACE CLOSET
OPTION - C**

SCALE: 1/8"=1'-0"

D.R. HORTON
America's Builder

8001 Arrowridge Blvd.
Charlotte, NC 28276
TEL: (704) 877-8008



NORTH REGION
Second Floor Plan
HIGHLAND PARK - A

DESIGNER:

THE STATE OF NORTH CAROLINA
DAVID R. HORTON
LICENSE NO. 14287
PROFESSIONAL ENGINEER
PROJECT #: 1690176

PLAN REV DATE	02/23/2016
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SHEET NUMBER	5
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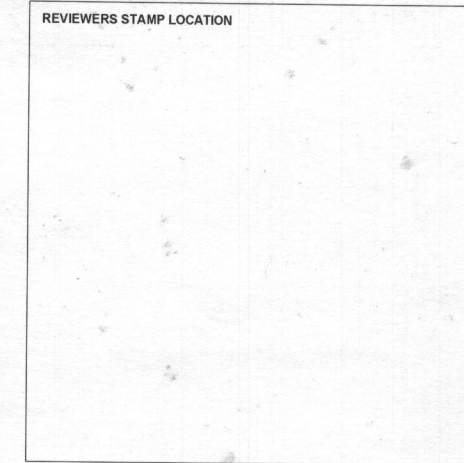
DETACHED GAR. -A- Left

PLAN ID: _____

DATE:	REVISION:
11/05/2015	INITIAL DRAWING SET UP
11/12/2015	DESIGNED DETACHED GARAGE ELEVATIONS TO MATCH PLAN SPECIFIC ELEVATIONS
11/20/2015	UPDATED PLAN PER CLIENT COMMENTS

SHEET INDEX:

CS	COVERSHEET
CS-NC/SC	CODE SHEET
0	QUICK VIEW
1	FRONT ELEVATION WITH ROOF PLANS
2	SIDE AND REAR ELEVATION
3	FOUNDATIONS
4	FIRST FLOOR PLAN
5	SECOND FLOOR PLAN
6	Walk-Up - FINISHED OR UNFINISHED
7	FIRST FLOOR ELECTRICAL
8	SECOND FLOOR ELECTRICAL
9	Walk-Up ELECTRICAL
10	FLOOR BREAK (OR OPEN)
DA1	ARCHITECTURAL DETAIL SHEETS
DS1	STRUCTURAL DETAIL SHEETS



DETACHED GARAGE - SQUARE FOOTAGE CHART						
HEATED SQ. FT.	ELEVATION "A"	ELEVATION "B"	ELEVATION "C"	ELEVATION "D"	ELEVATION "E"	ELEVATION "G"
FIRST FLOOR	79	79	79	79	79	79
SECOND FLOOR	378	378	378	378	378	378
TOTAL HEATED SQ. FT.	457	457	457	457	457	457
UNHEATED SQ. FT.						
DETACHED GARAGE	641	641	641	641	641	641
DETACHED GARAGE - ROOF HEIGHT CHART						
ROOF HEIGHT	22'-7 1/4"	22'-7 1/4"	22'-7 1/4"	22'-7 1/4"	22'-7 1/4"	22'-7 1/4"
MEAN ROOF HEIGHT	18'-3 1/2"	18'-3 1/2"	18'-3 1/2"	18'-3 1/2"	18'-3 1/2"	18'-3 1/2"

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Coversheet
 DETACHED GARAGE - A

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PLAN REV DATE
 11/20/2015

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 REPRODUCED
 SHEET NUMBER
CS



FRONT ELEVATION - A

SCALE: 1/8"=1'-0"



FRONT ELEVATION - B

SCALE: 1/8"=1'-0"



FRONT ELEVATION - C

SCALE: 1/8"=1'-0"



FRONT ELEVATION - D

SCALE: 1/8"=1'-0"



FRONT ELEVATION - E

SCALE: 1/8"=1'-0"



FRONT ELEVATION - G

SCALE: 1/8"=1'-0"

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Quick View

DETACHED GARAGE - A

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PLAN REV DATE

11/20/2015

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SHEET NUMBER

0.1

GENERAL NOTES - ARCH:

10'-0" PLATE W/ 8'-0" WINDOW HEADER HEIGHT U.N.O ON ELEVATIONS
 9'-0" PLATE W/ 8'-0" WINDOW HEADER HEIGHT U.N.O ON ELEVATIONS
 8'-0" PLATE W/ 7'-0" WINDOW HEADER HEIGHT U.N.O ON ELEVATIONS

***ALL WINDOWS ARE LOW EMISSIVITY

FIRE PROTECTION:

- HOUSE TO GARAGE FIRE SEPARATION, GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES SHALL BE PROTECTED WITH ONE (1) 1/2" GYPSUM BOARD. (PER LOCAL CODES)
- GARAGE/HOUSE SEPARATION AT HORIZONTAL SURFACES SHALL BE PROTECTED WITH ONE (1) LAYER 1/2" GYPSUM BOARD. (PER LOCAL CODES)
- HOUSE TO GARAGE DOOR SEPARATION, PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR. (PER LOCAL CODES)
- BENEATH STAIRS AND LANDINGS, 1/2" GYPSUM BOARD ON WALLS AND CEILING ENCLOSED ACCESSIBLE AREAS. (PER LOCAL CODES)

MEPS:

- GAS WATER HEATER ON 18" HIGH PLATFORM. (PER LOCAL CODES)
- FAU 8"x8" PLATFORM, VERIFY WITH TRUSS MANUFACTURER.
- A/C CONDENSOR PAD, VERIFY SIZE AND LOCATION.
- PRE-FABRICATED METAL FIREPLACE. INSTALL PER MANUFACTURERS WRITTEN INSTRUCTIONS.
- ATTIC ACCESS LARGE ENOUGH FOR REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x22". FIRE RATED ACCESS AS NOTED. (PER LOCAL CODES) ATTIC ACCESS LADDER, VERIFY LOCATION AND SIZE WITH TRUSSES. (25 1/2" x 54" SIZE) RIGID MATERIAL OR AIR BARRIER TO BE INSTALLED UNDER THE STAIRCASE TO ENCLOSE THE INSULATION IN THE CAVITIES. SEAL BETWEEN MATERIAL OR AIR BARRIER TO CREATE A CONTINUOUS AIR SEAL.

TYPICALS:

- TEMPERED SAFETY GLASS. (PER LOCAL CODES)
- PLYWOOD SHELF ABOVE WITH DRYWALL FINISH OVER. HEIGHT AS NOTED.
- HALF WALL, HEIGHT AS NOTED.
- INTERIOR SOFFITS, FIRST FLOOR = 8'-1" U.N.O., SECOND FLOOR = 7'-6" U.N.O.

BATHS:

- SHOWER, TEMPERED GLASS ENCLOSURE.
- TUB/SHOWER COMBO, TEMPERED GLASS ENCLOSURE.
- CERAMIC TILE SHOWER AND FLOOR, TEMPERED GLASS ENCLOSURE.
- 42"x60" ACRYLIC TUB W/ CERAMIC PLATFORM.
- RIGID MATERIAL OR AIR BARRIER TO ENCLOSE CAVITY INSULATION BEHIND TUB.

KITCHEN:

- 30" SLIDE-IN ELECTRICAL RANGE W/ HOOD AND MICRO ABV. VENT PER MANUFACTURERS WRITTEN INSTRUCTIONS.
- 30" GAS COOKTOP AND HOOD, VENT PER MANUFACTURERS WRITTEN INSTRUCTIONS.
- ELECTRIC OVEN WITH MICROWAVE ABOVE.

STAIR RISER CALCULATIONS

CEILING HEIGHT	FLOOR SYSTEM HEIGHT	TOTAL RISE	NO. OF RISERS	RISE PER STEP	NO. OF TREADS	TREAD DEPTH
8' - 1"	12"	109"	15	7-1/4"	14	10"
	14 3/4"	111 3/4"	15	7-7/16"	14	
	16 3/4"	113 3/4"	16	7-1/8"	15	
9' - 1"	12"	121"	16	7-9/16"	15	10"
	14 3/4"	123 3/4"	16	7-3/4"	15	
	16 3/4"	125 3/4"	17	7-3/8"	16	
10' - 1"	12"	133"	18	7-3/8"	17	10"
	14 3/4"	135 3/4"	18	7-9/16"	17	
	16 3/4"	137 3/4"	18	7-5/8"	17	

CLIMATE ZONES	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b,e}	CEILING ^k R-VALUE	WOOD FRAMED WALL R-VALUE
3	0.35	0.55	0.25	38	20 OR 13+5 ^h
4	0.35	0.55	0.40	49	20 OR 13+5 ^h
5	0.32	0.55	NR	49	20 OR 13+5 ^h

MASS WALL R-VALUE ¹	FLOOR R-VALUE	BASEMENT ^c WALL R-VALUE	SLAB ^d AND DEPTH	CRAWL SPACE ^c WALL R-VALUE
8/13	19	5/13	0	5/13
8/13	19	10/13	10 ^d , 2 R	10/13
13/17	30 ^g	15/19	10 ^d , 2 R	15/19

- R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS.
- THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION.
- "10/13" MEANS R-10 CONT. INSULATED SHEATHING ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL OR CRAWL SPACE WALL.
- FOR MONOLITHIC SLABS, INSULATION SHALL BE APPLIED FROM THE INSPECTION GAP DOWNWARD TO THE BOTTOM OF THE FOOTING OR A MAXIMUM OF 18 INCHES BELOW GRADE, WHICHEVER IS LESS. FOR FLOATING SLABS, INSULATION SHALL EXTEND TO THE BOTTOM OF THE FOUNDATION WALL OR 24 INCHES, WHICHEVER IS LESS. R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUE FOR HEATED SLABS.
- R-19 FIBERGLASS BATTS COMPRESSED AND INSTALLED IN A NOMINAL 2X6 CAVITY IS DEEMED TO COMPLY. FIBERGLASS BATTS RATED R-19 OR HIGHER COMPRESSED AND INSTALLED IN A 2X4 WALL IS NOT DEEMED TO COMPLY.
- OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM.
- "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 INSULATED SHEATHING. "5+3" MEANS R-15 CAVITY INSULATION PLUS R-3 INSULATED SHEATHING. IF STRUCTURAL SHEATHING COVERS 25 PERCENT OR LESS OF THE EXTERIOR, INSULATING SHEATHING IS NOT REQUIRED WHERE THE STRUCTURAL SHEATHING IS USED. IF THE STRUCTURAL SHEATHING COVERS MORE THAN 25 PERCENT OF THE EXTERIOR, STRUCTURAL SHEATHING SHALL BE SUPPLEMENTED WITH INSULATED SHEATHING OF AT LEAST R-2, "3+2.5" MEANS R-13 CAVITY INSULATION PLUS R-2.5 SHEATHING.
- FOR MASS WALLS, THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.
- R-30 SHALL BE DEEMED TO SATISFY THE CEILING INSULATION REQUIREMENT WHEREVER THE FULL HEIGHT OF THE UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. OTHERWISE R-38 INSULATION IS REQUIRED WHERE ADEQUATE CLEARANCE EXISTS OR INSULATION MUST EXTEND TO EITHER THE INSULATION BAFFLE OR WITHIN 1" OF THE ATTIC ROOF DECK.

GENERAL NOTES - ENG:

- ENGINEER'S SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY. ENGINEER'S SEAL DOES NOT CERTIFY DIMENSIONAL ACCURACY OR ARCHITECTURAL LAYOUT INCLUDING ROOF GEOMETRY. JDS CONSULTING & DESIGN, PLLC ASSUMES NO LIABILITY FOR CHANGES MADE TO THESE PLANS BY OTHERS, OR FOR CONSTRUCTION METHODS, OR FOR ANY DEVIATION FROM THE PLANS. ENGINEER TO BE NOTIFIED PRIOR TO CONSTRUCTION IF ANY DISCREPANCIES ARE NOTED ON THE PLANS.
- ALL CONSTRUCTION, WORKMANSHIP, MATERIAL QUALITY AND SELECTION SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) WITH 2015 MARYLAND DHCD MODIFICATIONS. DIMENSIONS SHALL GOVERN OVER SCALE AND CODE SHALL GOVERN OVER DIMENSIONS.
- UNLESS USED AS A MASTER SET, THESE PLANS ARE ISSUED FOR A CONDITIONAL ONE TIME USE FOR THE LOT OR ADDRESS SPECIFIED ON THE TITLE BLOCK. PLANS MUST HAVE SIGNED SEAL AND BE CONSTRUCTED ON SPECIFIED LOT OR ADDRESS TO BE VALID.

CONSTRUCTION

- ALL FRAMING TO BE #2 SPF MINIMUM.
- ALL BEARING HEADERS TO BE (2) 2"x6" SUPPORTED W/ MIN. (1) JACK AND (1) KING EACH END U.N.O.
- ALL NON BEARING HEADERS TO BE (2) 2"x4" U.N.O.
- PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
- ALL HANGERS AND CONNECTORS SPEC'D ARE TO BE SIMPSON STRONG TIE OR EQUIVALENT.
- ALL BEAMS SPEC'D ARE MINIMUM SIZES ONLY. LARGER MEMBERS MAY SUBSTITUTED AS NEEDED FOR EASE OF CONSTRUCTION.
- ALL EXTERIOR WALLS TO BE FULLY SHEATHED WITH 7/16" OSB
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. FURTHERMORE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND SAFETY ON SITE. NOTIFY JDS CONSULTING & DESIGN, PLLC IMMEDIATELY IF DISCREPANCIES ON PLAN EXIST.
- ALL ENGINEERED WOOD PRODUCTS (LVL, PSL, LSL, ETC.) SHALL BE INSTALLED WITH CONNECTIONS PER MANUFACTURER SPECIFICATIONS.
- ALL STEEL BEAMS TO BE SUPPORTED AT EACH END WITH A MIN. BEARING LENGTH OF 3 1/2" AND FULL FLANGE WIDTH. BEAMS MUST BE ATTACHED AT EACH END WITH A MINIMUM OF FOUR 16d NAILS OR TWO 1/2" x 4" LAG SCREWS U.N.O.
- ALL BEAMS TO BE CONTINUOUSLY SUPPORTED LATERALLY AND SHALL BEAR FULL WIDTH ON THE SUPPORTING WALLS OR COLUMNS INDICATED WITH A MINIMUM OF THREE STUDS U.N.O.
- SOLID BLOCKING TO BE PROVIDED AT ALL POINT LOADS THROUGH FLOOR LEVELS TO THE FOUNDATION OR TO OTHER STRUCTURAL COMPONENTS.
- ENGINEERED WOOD FLOOR SYSTEMS AND ROOF TRUSS SYSTEMS TO BE PROVIDED FOR REVIEW AND COORDINATED WITH THE ENGINEER OF RECORD. INSTALLATION TO BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ROOF TRUSS DRAWINGS TO BE SIGNED AND SEALED BY THE MANUFACTURER AND REVIEWED BY THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
- STEEL FLITCH BEAMS TO BE BOLTED TOGETHER USING (2) ROWS OF 1/2" DIAM. BOLTS (ASTM 307) WITH WASHERS PLACED UNDER THE THREADED END OF THE BOLT. BOLTS TO BE SPACED AT 24" O.C. (MAX), AND STAGGERED TOP AND BOTTOM OF BEAM (2" EDGE TO EDGE), WITH TWO BOLTS TO BE LOCATED AT 6" FROM EACH END OF FLITCH BEAM. DISTANCE), WITH TWO BOLTS TO BE LOCATED AT 6" FROM EACH END OF FLITCH BEAM. WHEN A 4 PLY LVL IS USED ATTACH WITH (1) 1/2" Ø BOLT 12" O.C. STAGGERED TOP AND BOTTOM. 1 1/2" MIN. FROM ENDS OR (3) ROWS OF TRUSSLOK MTL634 EWP SCREWS @ 16" O.C.
- BRICK LINTELS TO BE 3 1/2 x 3 1/2 x 1/4 STEEL ANGLE FOR UP TO 6'-0" SPAN AND 6 x 4 x 5/16 STEEL ANGLE FOR SPANS GREATER THAN 6'-0" AND UP TO 10'-0" U.N.O.
- BRICK LINTELS AT SLOPED AREAS TO BE 4 x 3 1/2 x 1/4 STEEL ANGLE WITH 16d NAILS IN 3/16" HOLES IN 4" ANGLE LEG AT 12" O.C. TO TRIPLE RAFTER. WHEN THE SLOPE EXCEEDS 4:12 A MINIMUM OF 3 x 3 x 1/4 PLATES SHALL BE WELDED AT 24" O.C. ALONG THE STEEL ANGLE.
- ATTACH PORCH COLUMNS TO SLAB/FDN WALL USING ABA, ABU, ABW -OR- CPT SIMPSON POST BASES TO FIT COLUMN SIZES CALLED ON PLAN -OR- ANY OTHER COLUMN CONNECTION WITH 500# UPLIFT.
- ATTACH PORCH COLUMNS TO UPPER PORCH BANDS USING AC -OR- BC SIMPSON POST CAPS TO FIT COLUMN SIZES CALLED ON PLAN -OR- ANY OTHER COLUMN CONNECTION WITH 500# UPLIFT. FRONT PORCH COLUMNS TO BE MIN. 4X4 PT ATTACHED AT TOP AND WITH BOTTOM USING SIMPSON (OR EQUIV) COLUMN BASE OR SST A24 BRACKETS. TRIM OUT PER BUILDER. REAR PORCH COLUMNS TO BE MIN. 4X4 PT ATTACHED AT BOTTOM USING SIMPSON (OR EQUIV) ABA44 AND AT TOP USING CS 16 STRAPPING (12" MIN.) TO PORCH HEADER/BAND
- ALL METAL HANGERS, STRAPS, AND HOLD-DOWNS TO BE SIMPSON STRONG-TIE OR EQUIV.
- ALL BI-FOLD DOORS TO BE CASED BI-FOLDS @ 82" HIGH

MATERIALS

- INTERIOR / TRIMMED FRAMING LUMBER SHALL BE #2 SPRUCE PINE FIR (SPF) WITH THE FOLLOWING DESIGN PROPERTIES:
 $F_b = 875 \text{ PSI}$ $F_v = 135 \text{ PSI}$ $E = 1.4E6 \text{ PSI}$
- FRAMING LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND, CONCRETE, OR MASONRY SHALL BE PRESSURE TREATED #2 SOUTHERN YELLOW PINE (SYP) WITH THE FOLLOWING DESIGN PROPERTIES:
 $F_b = 680 \text{ PSI}$ $F_v = 170 \text{ PSI}$ $E = 1.26E6 \text{ PSI}$
- LVL STRUCTURAL MEMBERS TO BE LAMINATED VENEER LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:
 $F_b = 2600 \text{ PSI}$ $F_v = 285 \text{ PSI}$ $E = 1.9E6 \text{ PSI}$
- PSL STRUCTURAL MEMBERS TO BE PARALELL STRAND LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:
 $F_b = 2900 \text{ PSI}$ $F_v = 290 \text{ PSI}$ $E = 2.0E6 \text{ PSI}$
- LSL STRUCTURAL MEMBERS TO BE LAMINATED STRAND LUMBER WITH THE FOLLOWING MINIMUM DESIGN PROPERTIES:
 $F_b = 2325 \text{ PSI}$ $F_v = 310 \text{ PSI}$ $E = 1.55E6 \text{ PSI}$
- STRUCTURAL STEEL WIDE FLANGE BEAMS SHALL CONFORM TO ASTM A36. $F_y = 50 \text{ KSI}$
- REBAR SHALL BE DEFORMED STEEL CONFORMING TO ASTM A615 GRADE 60.
- SEE **TABLE R602.3(1)** FOR STRUCTURAL MEMBER FASTENING REQUIREMENTS.
- POURED CONCRETE TO BE MINIMUM 3000 PSI AT 28 DAYS. MATERIALS USED TO PRODUCE CONCRETE SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN ACI 318 OR ASTM C 1157.
- CONCRETE LOCATED PER **TABLE R301.2(3)** SHALL BE AIR ENTRAINED PER **TABLE R402.2**
- MASONRY UNITS SHALL CONFORM TO ACI 530/ASCE 5/TMS 402 AND MORTAR SHALL COMPLY WITH ASTM C 270.

ENGINEERING DESIGN LOADS

CODE:	2015 IRC	LIVE LOAD	
ASSUMED SOIL BEARING	2000 PSF	(PSF)	40
WIND	100 MPH EXPOSURE B	TABLE R301.5	
		DWELLING UNITS	40
		SLEEPING ROOMS	30
		ATTIC WITH STORAGE	20
		ATTIC WITHOUT STORAGE	10
		ROOF SNOW	25
		STAIRS	40

TABLE R301.2(4) - DESIGN POSITIVE AND NEGATIVE PRESSURE FOR DOORS AND WINDOW FOR A MEAN ROOF HEIGHT OF 35 FEET OR LESS SHALL BE 25 PSF

TABLE R301.2(2) - COMPONENT AND CLADDING LOADS FOR A BUILDING LOCATED IN EXPOSURE B

ROOF VALUES BOTH POSITIVE AND NEGATIVE SHALL BE DESIGNED BASED ON ROOF PITCHES AND MEAN ROOF HEIGHT AS FOLLOWS:

ROOF PITCH	0-30 FT	35 FT	40 FT
0:12 TO 2.25:12	45.4 PSF	47.7 PSF	49.5 PSF
2.25:12 TO 7:12	34.8 PSF	36.5 PSF	37.9 PSF
7:12 TO 12:12	21.0 PSF	22.1 PSF	22.9 PSF

WALL CLADDING SHALL BE DESIGNED FOR A 24.1 PSF POSITIVE AND NEGATIVE PRESSURE

FOUNDATION

- MINIMUM ALLOWABLE SOIL BEARING CAPACITY IS ASSUMED TO BE 2000 PSF. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY SOIL BEARING CAPACITY IF UNSATISFACTORY CONDITIONS EXIST.
 - CONCRETE AND MASONRY FOUNDATION WALLS TO BE SELECTED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF **SECTION R404** OR IN ACCORDANCE WITH ACI 318, NCMATR68-A, OR ACI 530/ASCE 5/TMS 402.
 - MASONRY AND POURED CONCRETE WALL REINFORCEMENT TO BE IN ACCORDANCE WITH **TABLES R404.1.1 (1 THROUGH 4)** OF THE NORTH CAROLINA RESIDENTIAL CODE.
 - TABLES ASSUME THAT WALLS HAVE PERMANENT LATERAL SUPPORT AT THE TOP AND BOTTOM.
 - WALL REINFORCING SHALL BE PLACED ACCORDING TO FOOTNOTE (c) OF THE TABLES (REINFORCING IS NOT CENTERED IN WALL).
 - FOUNDATION DRAINS ARE ASSUMED AT ALL WALLS PER **R405**.
 - WOOD SILL PLATES TO BE ANCHORED TO THE FOUNDATION WITH 1/2" ANCHOR BOLTS WITH MINIMUM 7" EMBEDMENT SPACED A MAXIMUM OF 6'-0" O.C. (3'-0" FOR BASEMENT WALLS) AND WITHIN 12" FROM THE ENDS OF EACH PLATE SECTION. INSTALL MIN. (2) ANCHOR BOLTS PER SECTION.
 - THE UNSUPPORTED HEIGHT OF SOLID MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION. UNFILLED HOLLOW PIERS MAY BE USED IF THE UNSUPPORTED HEIGHT IS NOT MORE THAN FOUR TIMES THEIR LEAST DIMENSION.
 - CENTERS OF PIERS TO BEAR IN THE MIDDLE THIRD OF THE FOOTINGS, AND GIRDERS SHALL CENTER IN THE MIDDLE THIRD OF THE PIERS.
 - ALL FOOTINGS TO HAVE MINIMUM 2" PROJECTION ON EACH SIDE OF FOUNDATION WALLS
 - SHEATHING TO BE FLUSH WITH FOUNDATION WALLS. HOLD BACK PT PLATE 1/2" FROM FOUNDATION WALLS SO THAT SHEATHING WILL BE FLUSH.
 - WITH CLASS 1 SOILS, VAPOR BARRIER AND CRUSHED STONE MAY BE OMITTED.
- NOTE:
 1/SCCS - CONTINUOUS FOOTING AT ALL GARAGE DOOR OPENINGS PER RICHLAND COUNTY
 **REFER TO JOIST EQUIVALENCE CHART ON I-JOIST DETAIL SHEET FOR SUBSTITUTION OF MANUFACTURER SERIES

BRICK VENEER LINTEL SCHEDULE

SPAN	STEEL ANGLE SIZE	END BEARING LENGTH
UP TO 42"	L3-1/2"x3-1/2"x1/4"	8" (MIN. @ EACH END)
UP TO 72"	L6"x4"x5/16" (LLV)	8" (MIN. @ EACH END)
OVER 72"	L6"x4"x5/16" (LLV) ATTACH LINTEL w/ 1/2" THRU BOLT @ 12" O.C. 3" FROM EACH END	

ABBREVIATIONS


- | | | |
|-----------------------------|----------------------------|---------------------------|
| ACC = ACCESS | DISP = DISPOSAL | FV = FALSE VENT |
| AFF = ABOVE FINISHED FLOOR | DJ = DOUBLE JOIST | GB = GLASS BLOCK |
| BIF = BIFOLD DOOR | DO = DOUBLE OVENS | GL = GLASS |
| BOT = BOTTOM | DR = DOOR OR DOUBLE RAFTER | GT = GARDEN TUB |
| BRG = BEARING | DSP = DOUBLE STUD POCKET | HB = HOSE BIBB |
| BSMT = BASEMENT | DT = DOUBLE TRUSS | HC = HANDICAPPED |
| CAB = CABINET | DV = DIRECT VENT | HGR = HANGER |
| CANT = CANTILEVER | DW = DISHWASHER | HGT = HEIGHT |
| CATH = CATHEDRAL CEILING | DWG = DRAWING | HWD = HARDWOODS |
| CJ = CEILING JOIST | E/E = EACH END | INS = INSULATION/INSULATE |
| CLG = CEILING | EA = EACH | J = JOIST |
| CMU = CONCRETE MASONRY UNIT | EJ = EXTRA JOIST | JS = JACK STUD COLUMN |
| CO = CASSED OPENING | ELEC = ELECTRICAL | KS = KNEE SPACE |
| COL = COLUMN | EXT = EXTERIOR | KSC = KING STUD COLUMN |
| CONC = CONCRETE | F/F = FRAMING TO FRAMING | KW = KNEE WALL |
| CONT = CONTINUOUS | FDN = FOUNDATION | LAV = LAVATORY |
| COV = COVERED | FIN = FINISHED | LC = LAUNDRY CHUTE |
| CSMT = CASEMENT | FIX = FIXED | LIN = LINEN CLOSET |
| CT = COOK TOP | FJ = FLOOR JOIST | LT = LAUNDRY TUB |
| CTR = COUNTER | FL PT = FLAT PLATE | MAX = MAXIMUM |
| D = DRYER | FLR = FLOOR | MFR = MANUFACTURER |
| DBL = DOUBLE | FLV = FLOOD FEET | MIN = MINIMUM |
| DIAM = DIAMETER | FT = FOOT (FEET) | MISC = MISCELLANEOUS |
| DIM(S) = DIMENSION(S) | FTG = FOOTING | NTS = NOT TO SCALE |


BALLOON WALL FRAMING SCHEDULE: 100 MPH

FRAMING MEMBER SIZE	MAX HEIGHT (PLATE TO PLATE)
2x4 @ 16" o.c.	10' - 0"
2x4 @ 12" o.c.	12' - 0"
2x6 @ 16" o.c.	15' - 0"
2x6 @ 12" o.c.	17' - 9"
2x8 @ 16" o.c.	19' - 0"
2x8 @ 12" o.c.	22' - 0"
(2) 2x4 @ 16" o.c.	14' - 6"
(2) 2x4 @ 12" o.c.	17' - 0"
(2) 2x6 @ 16" o.c.	21' - 6"
(2) 2x6 @ 12" o.c.	25' - 0"
(2) 2x8 @ 16" o.c.	27' - 0"
(2) 2x8 @ 12" o.c.	31' - 0"

- **ALL HEIGHTS ARE MEASURED SUBFLOOR TO TOP OF WALL PLATE.
- **WHEN SPLIT FRAMED WALLS ARE USED FOR HEIGHTS OVER 12' THE CONTRACTOR SHALL ADD MIN. 6" OF CS16 COIL STRAPPING (FULLY NAILED) CENTERED OVER THE WALL BREAK.
- **FINGER JOINTED MEMBERS MAY BE USED FOR CONTINUOUS HEIGHTS WHERE TRADITIONALLY MILLED LUMBER LENGTHS ARE LIMITED.

ROOF SYSTEM

- STRUCTURAL ROOF NOTES**
- FRAMING SHALL BE #2 SPF OR BETTER U.N.O.
 - PROVIDE 2x4 COLLAR TIES AT 48" O.C. AT UPPER THIRD OF RAFTERS U.N.O. ON PLAN.
 - FUR RIDGES FOR FULL RAFTER CONTACT
 - PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
 -  DENOTES OVERFRAMED AREA
 - MIN. 7/16" OSB ROOF SHEATHING
- PROVIDE 2x4 RAFTER TIES AT 16" O.C. AT 45° BETWEEN RAFTERS AND CEILING JOISTS. USE (4) 16d NAILS AT EACH CONNECTION. RAFTER TIES MAY BE SPACED AT 48" O.C. AT LOCATIONS WHERE NO KNEE WALLS ARE INSTALLED.

- STRUCTURAL ROOF TRUSS NOTES**
- FRAMING SHALL BE #2 SPF OR BETTER U.N.O.
 - PROVIDE CONTINUOUS BLOCKING THROUGH STRUCTURE FOR ALL POINT LOADS.
 -  DENOTES OVERFRAMED AREA
 - MIN. 7/16" OSB ROOF SHEATHING
 - TRUSS LAYOUT AND PLACEMENT BY MANUFACTURER TO COINCIDE WITH THE SUPPORT LOCATIONS SHOWN. TRUSS PROFILES SHALL BE SEALED BY THE TRUSS MANUFACTURER. TRUSS PLANS SHALL BE PROVIDED FOR REVIEW AND COORDINATED WITH THE ENGINEER OF RECORD AS REQUIRED BY THE BUILDING CODE OFFICIALS. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- UPLIFT NOTE:**
- MFR TO PROVIDE REQUIRED TRUSS UPLIFT CONNECTION.
 - PROVIDE H2.5A OR EQUIVALENT AT EACH RAFTER/TRUSS TO TOP PLATE CONNECTION (UNO) AT OVER-FRAMED AREAS.
 - UPLIFT CONNECTION TO BE CARRIED THRU TO FLOOR SYSTEM.

- BEAM & POINT LOAD LEGEND:**
- ROOF RAFTER SUPPORT
 - DOUBLE RAFTER / DOUBLE JOIST
 - STRUCTURAL BEAM / GIRDER
 - WINDOW / DOOR HEADER
 - POINT LOAD TRANSFER
 - POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

- | | | |
|-----------------------------|------------------------------|--------------------------|
| O/B = OUTSIDE TO BRICK | SJ = SINGLE JOIST | WD = WOOD |
| OC = ON CENTER | SL = SIDE LIGHT | WPT = WHIRLPOOL TUB |
| OSB = ORIENTED STRAND BOARD | SQ = SQUARE | WP = WATER PROOF |
| OP = OPERABLE | SQ. FT. = SQUARE FOOTAGE | XJ = EXTRA JOIST |
| OPG = OPENING | SP = STUD POCKET | YD = YARD(S) |
| PAN = PANTRY | T = TREAD | 1/2 RND = ONE HALF ROUND |
| PD = POCKET DOOR | TC = TRASH COMPACTOR | = DIAMETER |
| PED = PEDESTAL | TEL = TELEPHONE | < = CENTERLINE |
| PLT = PLANTER | TEMP = TEMPERED GLASS | |
| PT = PRESSURE TREATED | TJ = TRIPLE JOIST | |
| R = RISER | TR = TRIPLE RAFTER | |
| RAD = RADIUS | TRANS = TRANSOM | |
| REF = REFRIGERATOR | TSP = TRIPLE STUD POCKET | |
| RM = ROOM | TYP = TYPICAL | |
| RND = ROUND | UNO = UNLESS NOTED OTHERWISE | |
| RNG = RANGE | V = VENT | |
| RS = RAFTER SUPPORT | VIN = VINYL | |
| RV = RIDGE VENT | VT = VINYL TILE | |
| SC = STUD COLUMN | W/O = WITHOUT | |
| SCRN = SCREEN | W/ = WITH | |
| | W = WASHER | |

D.R. HORTON PHI
REGISTERED PROFESSIONAL ENGINEER

America's Builder

8001 Arrowridge Blvd.
 Charlotte, NC 28273


TEL: (704) 577-2000

APPLIES TO COUNTIES: BALTIMORE, HARBOR, CECIL, MONTGOMERY, HOWARD, ANNE ARUNDEL, KENT, QUEEN ANNES, PRINCE GEORGE'S, TALBOT, CAROLINE, CHARLES, CALVERT, DORCHESTER, ST. MARY'S, WICOMICO, SOMERSET, WORCESTER.

Maryland Code Sheet

DETACHED GARAGE - A

ENGINEER:



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 PO BOX 8035
 RALEIGH, NC 27613
 919.480.1075
 INFO@JDSDESIGNONLINE.COM
 WWW.JDSDESIGNONLINE.COM
 PROJECT #: 15901308

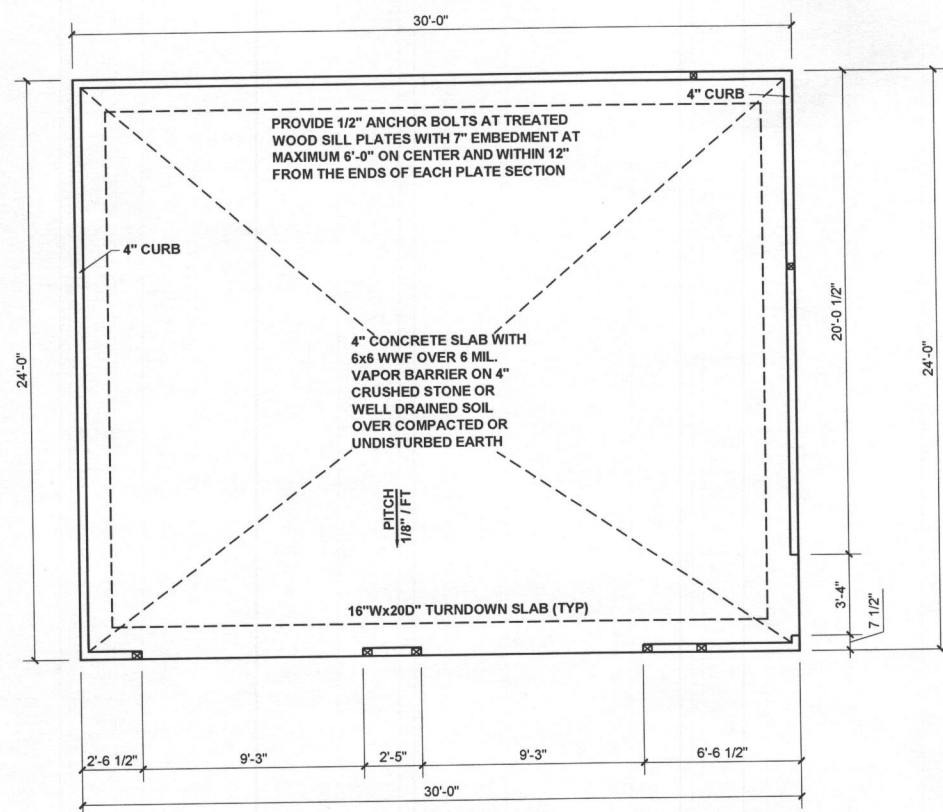
PLAN REV DATE

11/20/2015

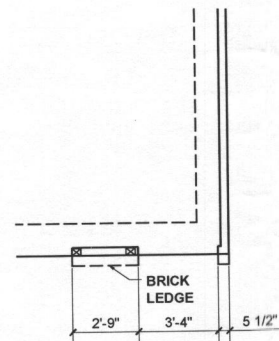
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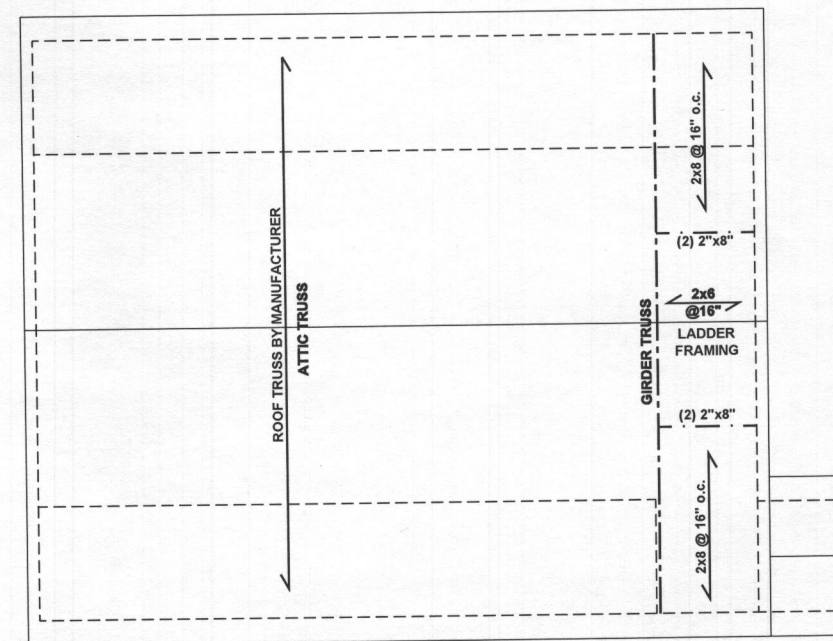
CSMD



SLAB FOUNDATION - A
SCALE: 1/8"=1'-0"



FRONT ENTRY FOUNDATION - A
SCALE: 1/8"=1'-0"



ROOF PLAN - A
SCALE: 1/16"=1'-0"

BEAM & POINT LOAD LEGEND:

—	INTERIOR LOAD BEARING WALL
- - -	ROOF RAFTER/TRUSS SUPPORT
- · - · -	DOUBLE RAFTER / DOUBLE JOIST
—	STRUCTURAL BEAM / GIRDER
—	WINDOW / DOOR HEADER
⊠	POINT LOAD TRANSFER
■	POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER

ATTIC VENTILATION

THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE ATTIC SPACE TO BE VENTILATED. THE TOTAL VENTILATION MAY BE REDUCED TO 1/300 PROVIDED AT LEAST 50% BUT NOT MORE THAN 80% OF THE REQUIRED VENTILATION BE LOCATED IN THE UPPER PORTION OF THE AREA TO BE VENTILATED, OR AT LEAST 3' ABOVE THE SOFFIT VENTILATION INTAKE.

806 SQUARE FEET OF TOTAL ATTIC / 150 =

5.37 SQUARE FEET OF NET FREE VENTILATION REQUIRED

D·R·HORTON PHI
REGISTERED
IN **NYSE**

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Charlotte, NC 28273

TEL: (704) 877-2006

Detached Gar Slab Fdn & Roof
DETACHED GARAGE - A

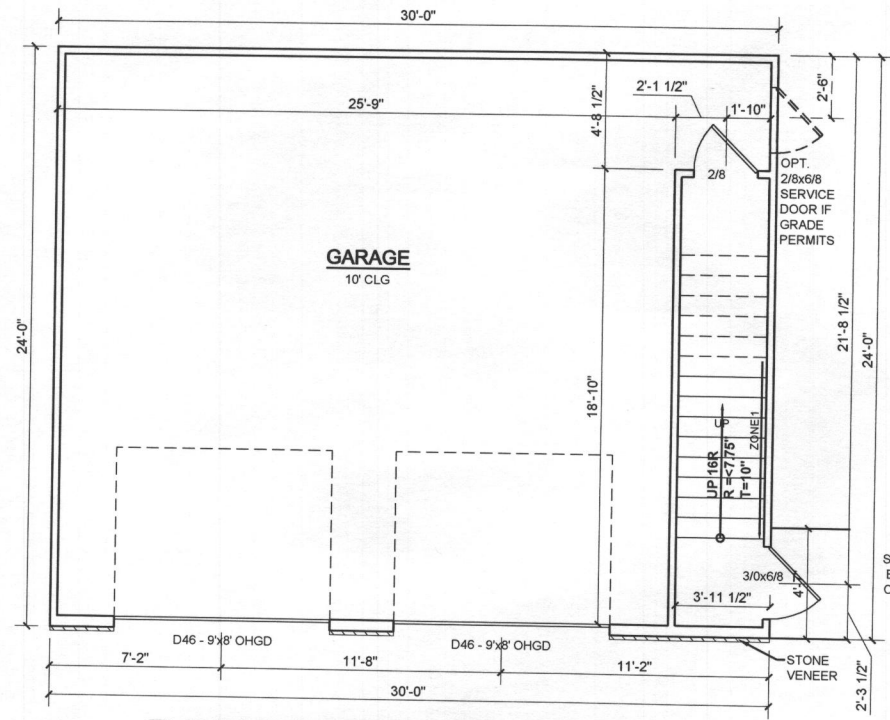
ENGINEER:

J.S. DESIGN & DESIGN, PLLC
PO BOX 80755
RALEIGH, NC 27613
919.480.1875
INFO@JSDDESIGNONLINE.COM
WWW.JSDDESIGNONLINE.COM
PROJECT #: 15901309

PLAN REV DATE	11/20/2015
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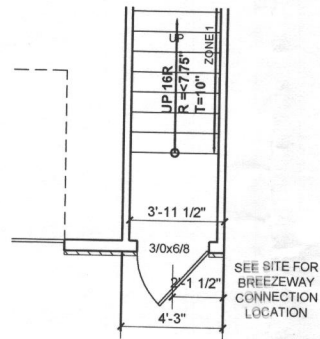
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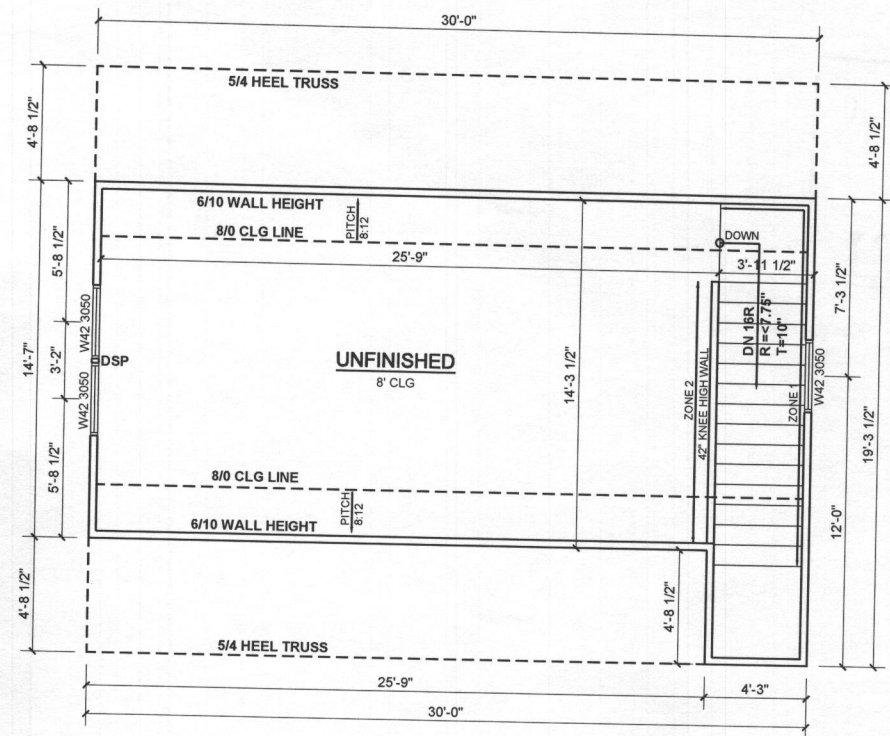
DETACHED GARAGE & SUITE FLOOR PLAN - A

SCALE: 1/8"=1'-0"



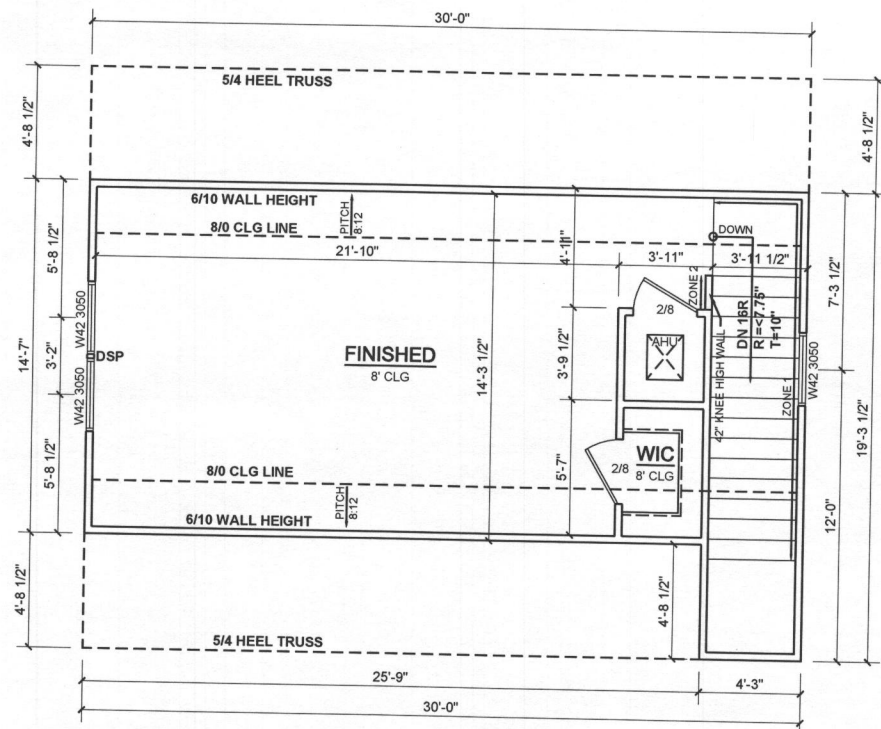
DETACHED GARAGE - FRONT ENTRY - A

SCALE: 1/8"=1'-0"



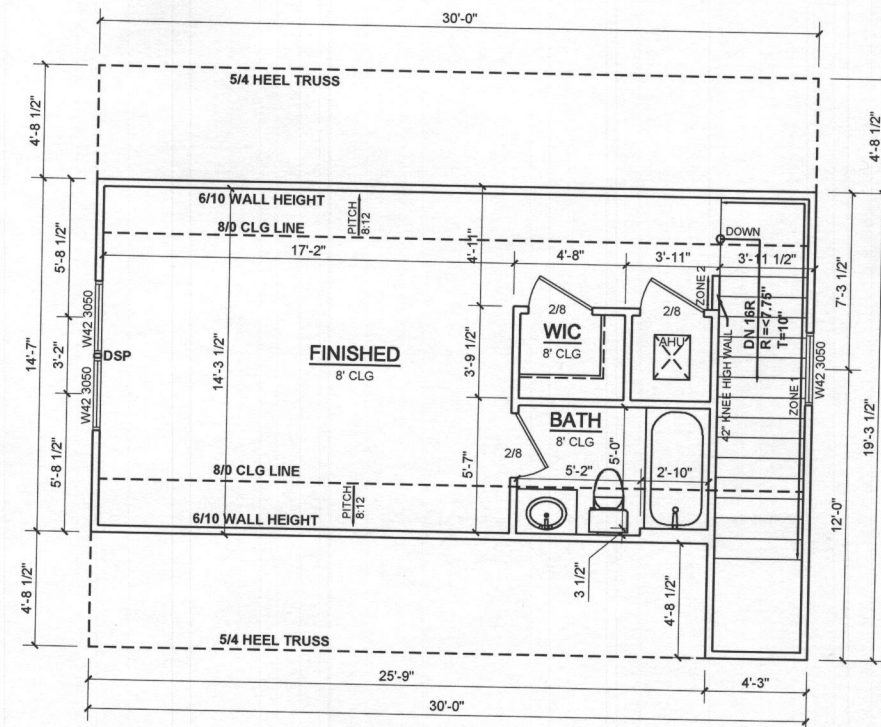
DETACHED GARAGE 2ND FLOOR PLAN - UNFINISHED - A

SCALE: 1/8"=1'-0"



DETACHED GARAGE 2ND FLOOR PLAN - FINISHED - A

SCALE: 1/8"=1'-0"



DETACHED GARAGE 2ND FLOOR PLAN - FINISHED W/ BATH - A

SCALE: 1/8"=1'-0"

D.R. HORTON RHI
MYSE
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TEL: (704) 577-3006

8001 Arrowridge Blvd.
Charlotte, NC 28275

Detached Garage Floor Plan

DETACHED GARAGE - A

DESIGNER:

JRW CONSULTING & DESIGN, P.L.C.
30 BOX 8053
RALEIGH, NC 27613
919.488.1075
INFO@JRWDESIGNONLINE.COM
WWW.JRWDESIGNONLINE.COM
PROJECT #: 15901309

PLAN REV DATE

11/20/2015

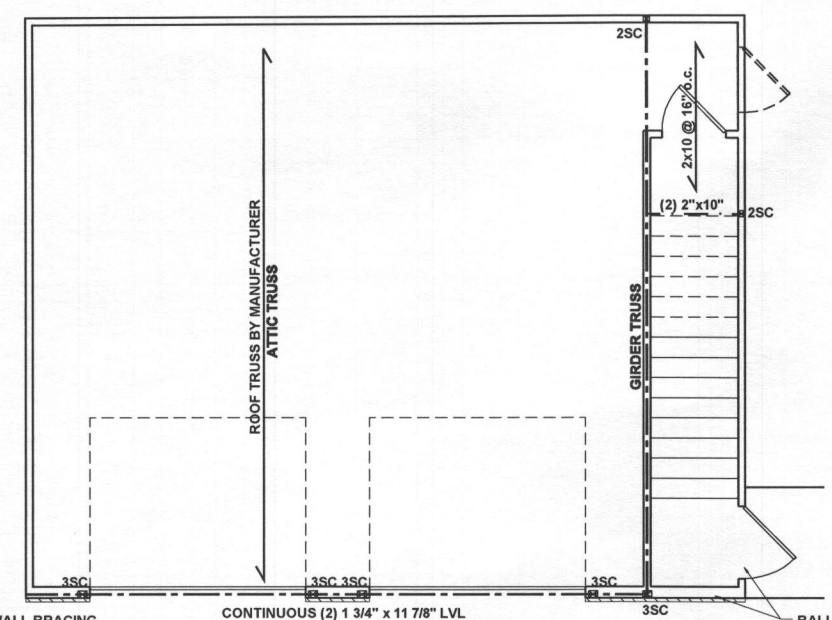
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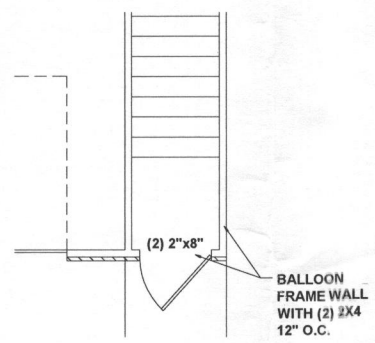
BEAM & POINT LOAD LEGEND:

- INTERIOR LOAD BEARING WALL
- - - ROOF RAFTER/TRUSS SUPPORT
- - - DOUBLE RAFTER / DOUBLE JOIST
- STRUCTURAL BEAM / GIRDER
- WINDOW / DOOR HEADER
- ⊠ POINT LOAD TRANSFER
- POINT LOAD FROM ABOVE BEARING ON BEAM / GIRDER



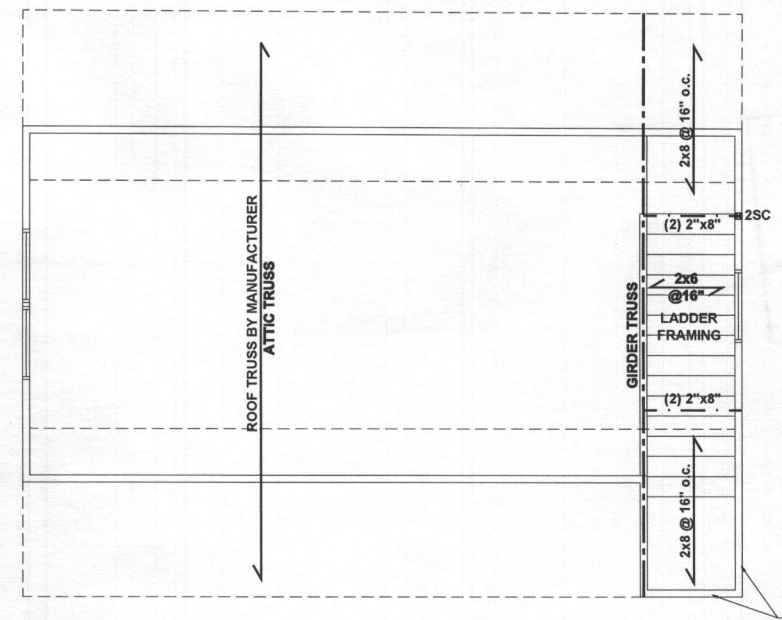
FIRST FLOOR FRAMING PLAN - A

SCALE: 1/8"=1'-0"



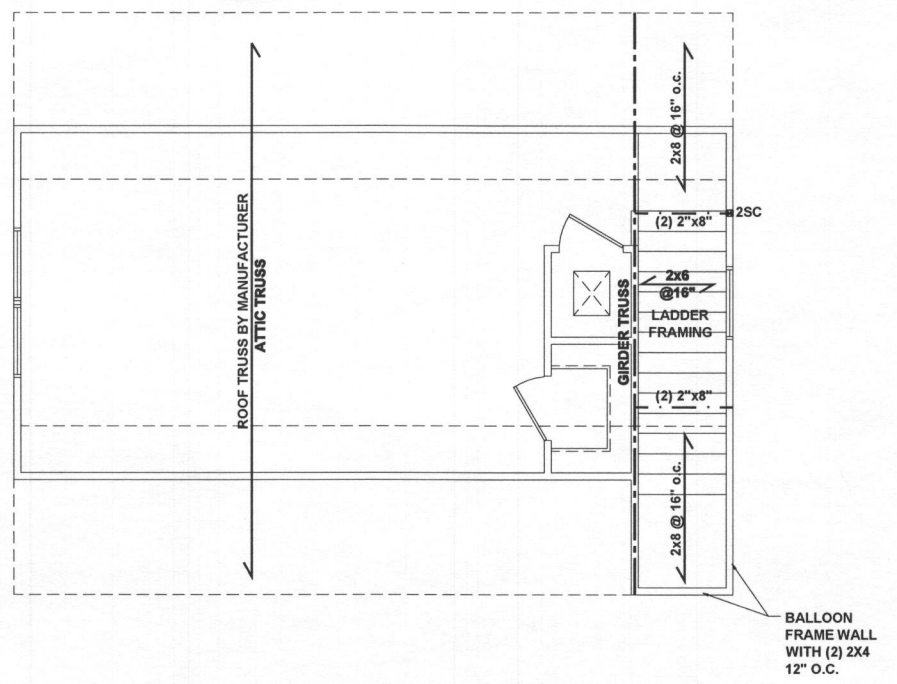
FRONT ENTRY FRAMING - A

SCALE: 1/8"=1'-0"



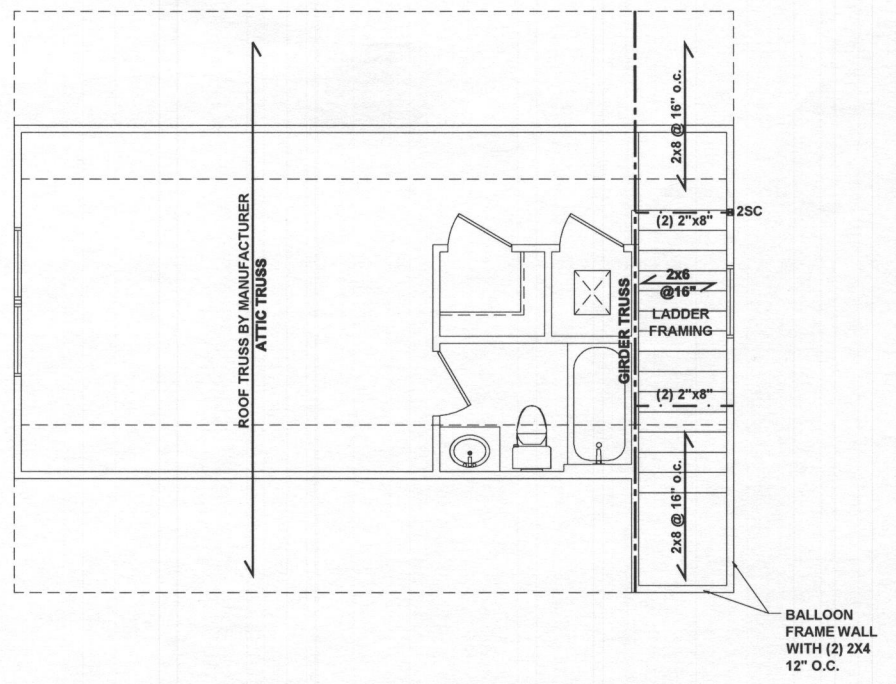
SECOND FLOOR FRAMING - UNFINISHED - A

SCALE: 1/8"=1'-0"



SECOND FLOOR FRAMING - FINISHED - A

SCALE: 1/8"=1'-0"



SECOND FLOOR FRAMING - FINISHED W/ BATH - A

SCALE: 1/8"=1'-0"

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Detached Gar. Clg Framing
DETACHED GARAGE - A

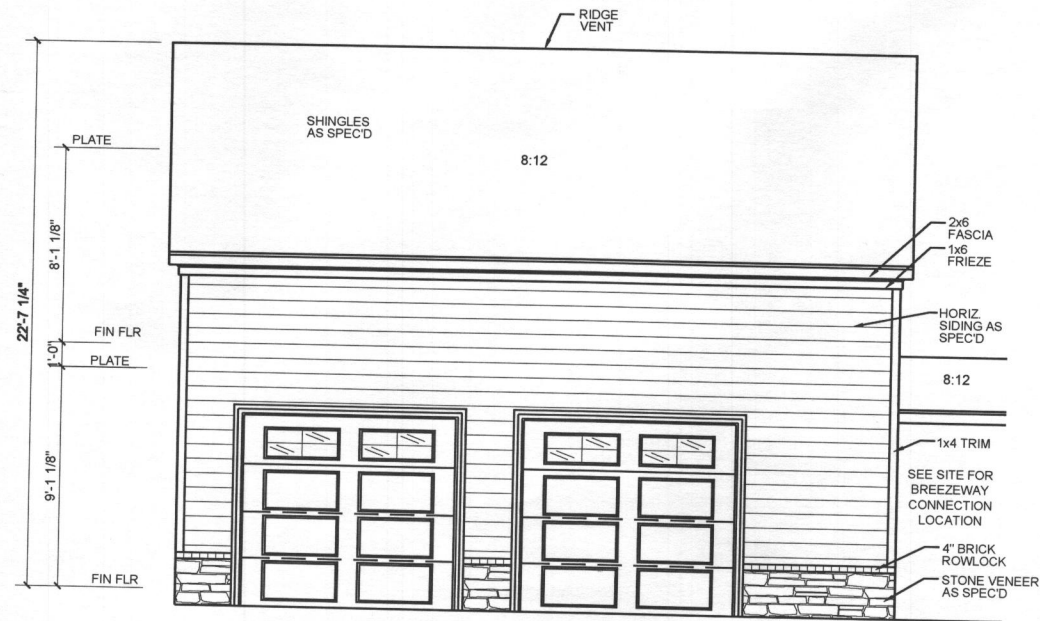
ENGINEER:

JDS CONSULTING & DESIGN, PLLC
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 RALEIGH, NC 27613
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 WWW.JDSDESIGNONLINE.COM
 PROJECT #: 15901309

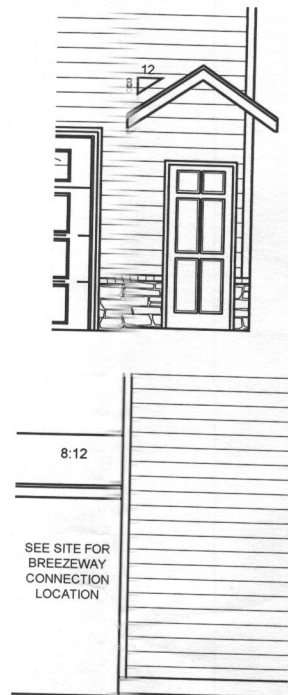
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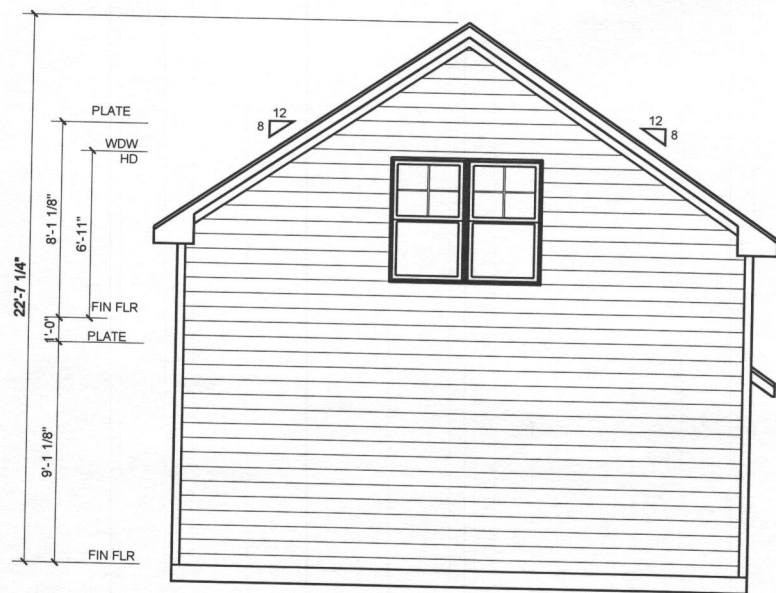
**FRONT ELEVATION -
DETACHED GARAGE - A**
SCALE: 1/8"=1'-0"



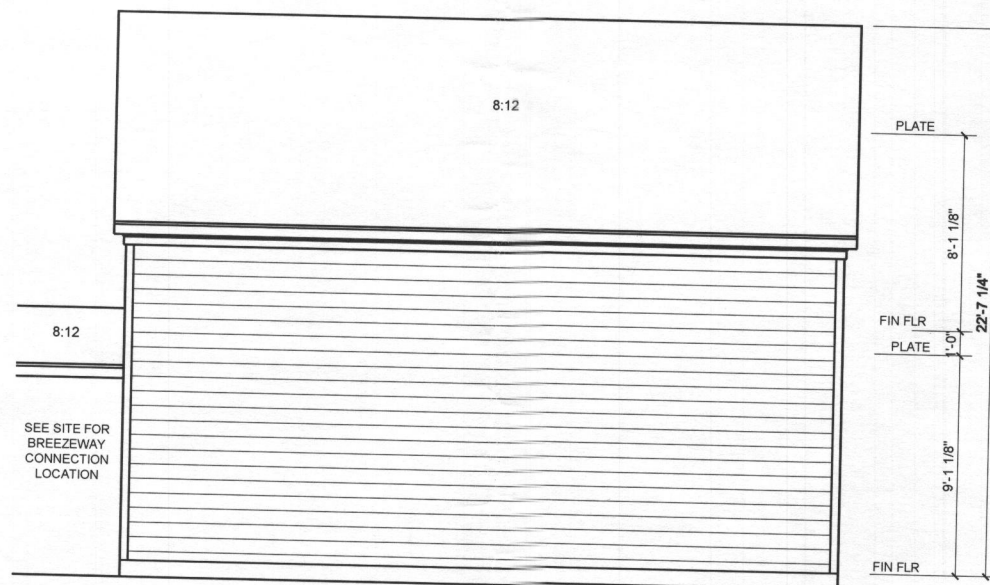
**FRONT & RIGHT
ELEVATION - FRONT
ENTRY - A**
SCALE: 1/8"=1'-0"



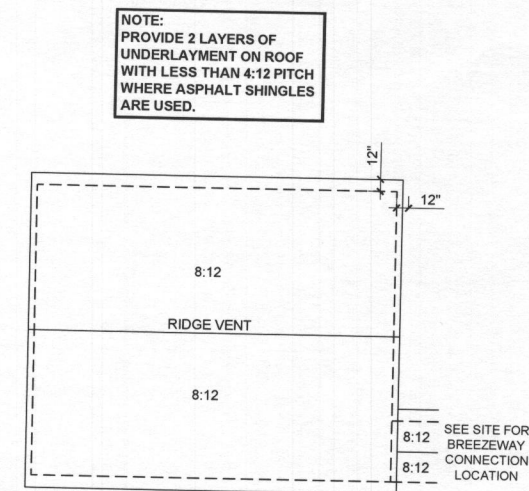
**RIGHT SIDE ELEVATION -
DETACHED GARAGE - A**
SCALE: 1/8"=1'-0"



**LEFT SIDE ELEVATION -
DETACHED GARAGE - A**
SCALE: 1/8"=1'-0"



**REAR ELEVATION -
DETACHED GARAGE - A**
SCALE: 1/8"=1'-0"



**ROOF PLAN - DETACHED
GARAGE - A**
SCALE: 1/16"=1'-0"

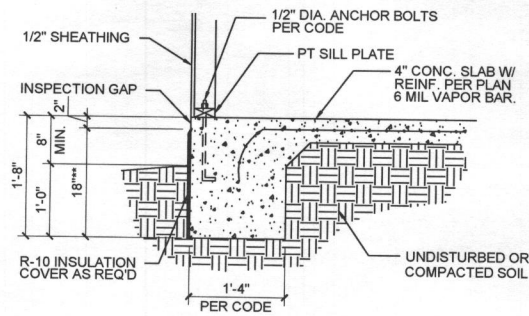
D.R.HORTON
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9001 Arrowridge Blvd.
Charlotte, NC 28278
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Detached Garage Elevations
DETACHED GARAGE - A

DESIGNER:
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PROJECT #: 15901300

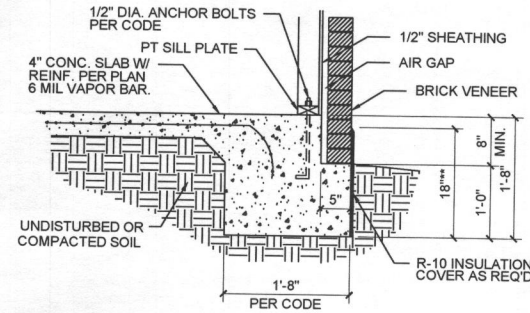
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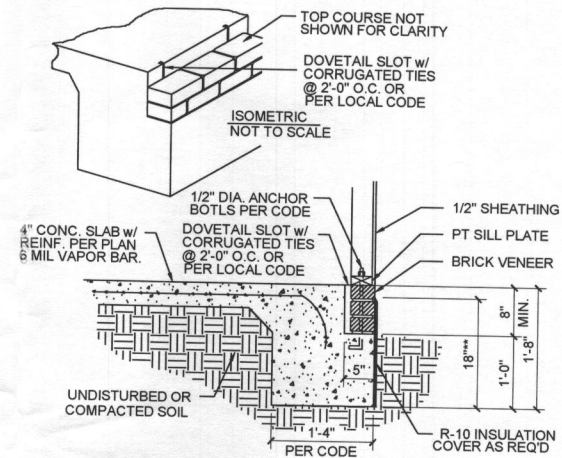
**TO BOTTOM OF FOOTING OR A MAXIMUM OF 18" BELOW GRADE, WHICHEVER IS LESS

1 TYPICAL SLAB SECTION
DSMS SCALE: 3/4" = 1'-0"



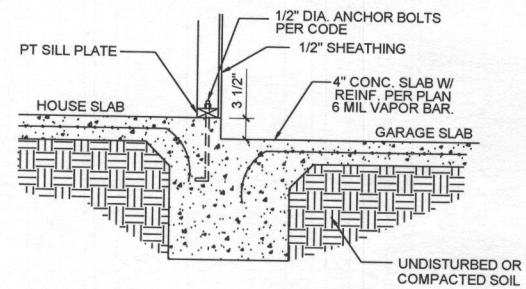
**TO BOTTOM OF FOOTING OR A MAXIMUM OF 18" BELOW GRADE, WHICHEVER IS LESS

2 BRICK LEDGE SECTION
DSMS SCALE: 3/4" = 1'-0"

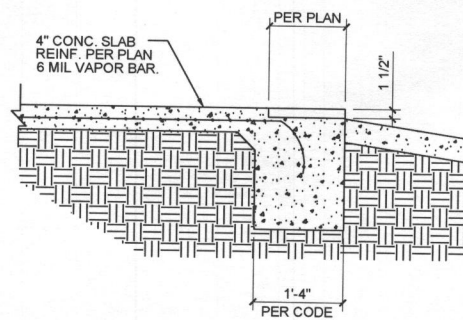


**TO BOTTOM OF FOOTING OR A MAXIMUM OF 18" BELOW GRADE, WHICHEVER IS LESS

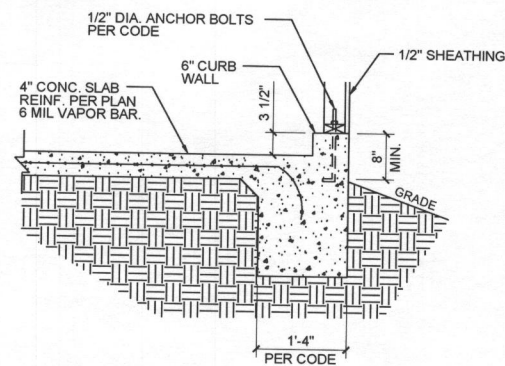
3 VENEER SLAB BRICK LEDGE SECTION
DSMS SCALE: 3/4" = 1'-0"



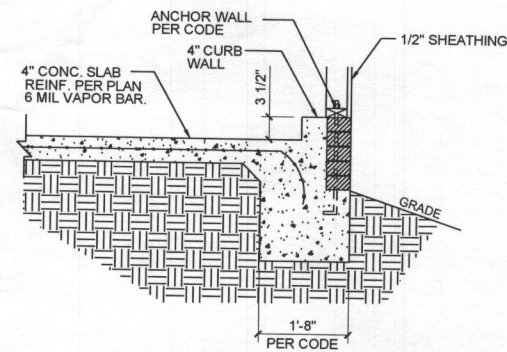
4 STEP-DOWN BETWEEN HOUSE & GARAGE
DSMS SCALE: 3/4" = 1'-0"



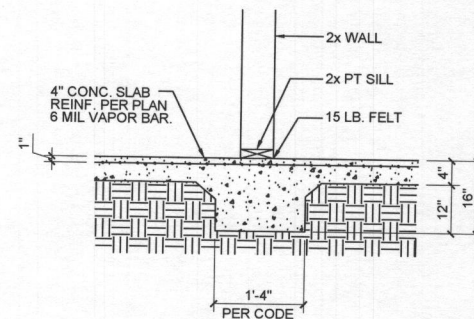
5 GARAGE ENTRY SECTION
DSMS SCALE: 3/4" = 1'-0"



6 GARAGE CURB SECTION
DSMS SCALE: 3/4" = 1'-0"

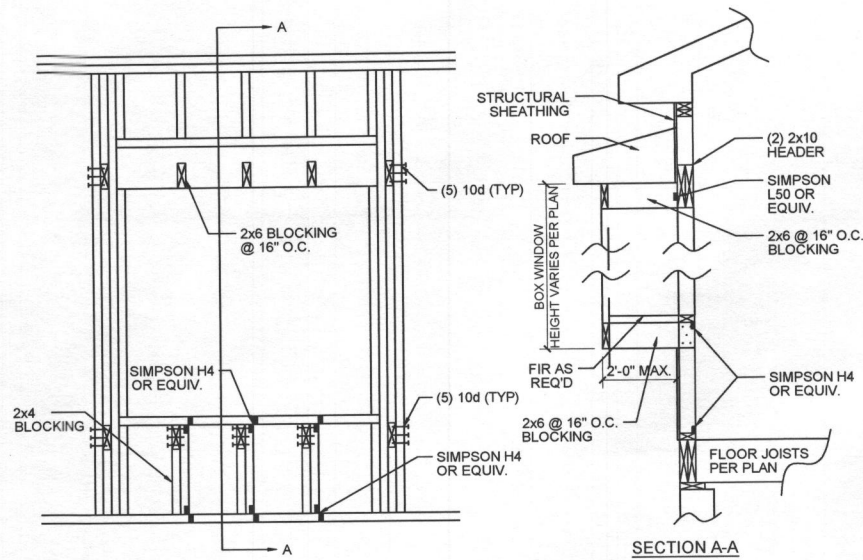


7 GARAGE CURB W/ BRICK VENEER
DSMS SCALE: 3/4" = 1'-0"

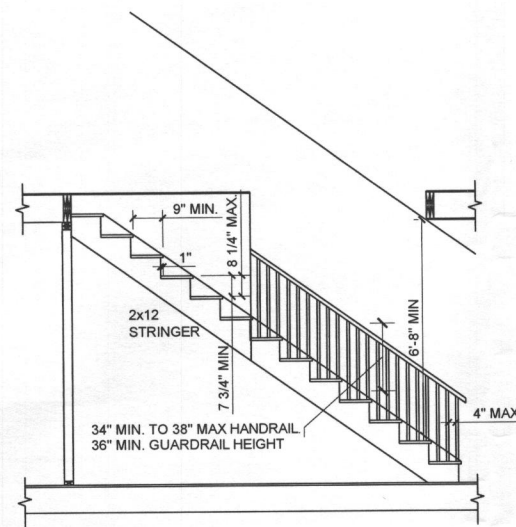


8 INTERIOR FOOTING SECTION
DSMS SCALE: 3/4" = 1'-0"

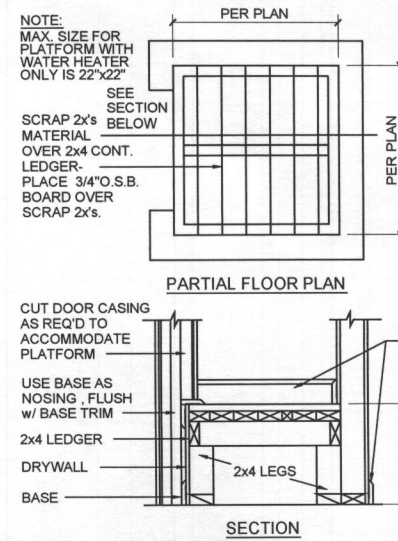




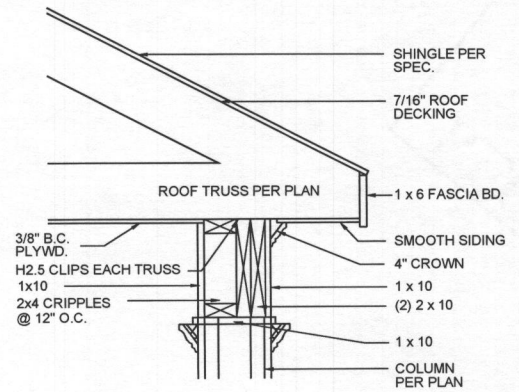
1 BOX WINDOW DETAIL
DSFR SCALE: 1/2" = 1'-0"



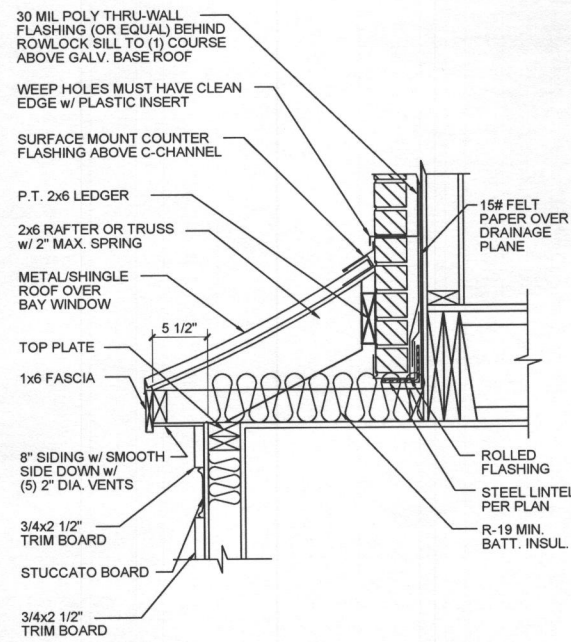
2 STAIR DETAIL
DSFR SCALE: N.T.S.



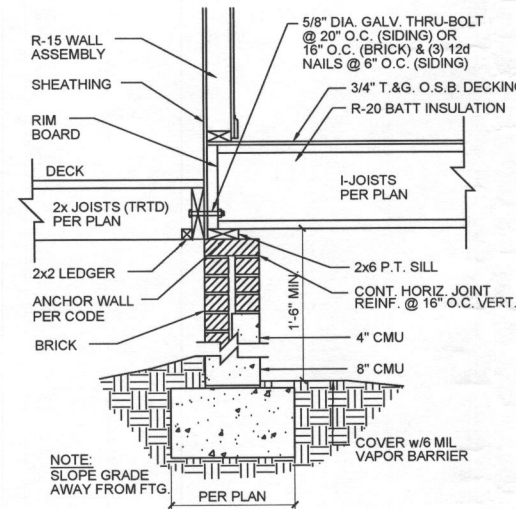
3 WATER HEATER/FURNACE PLATFORM
DSFR SCALE: 3/4" = 1'-0"



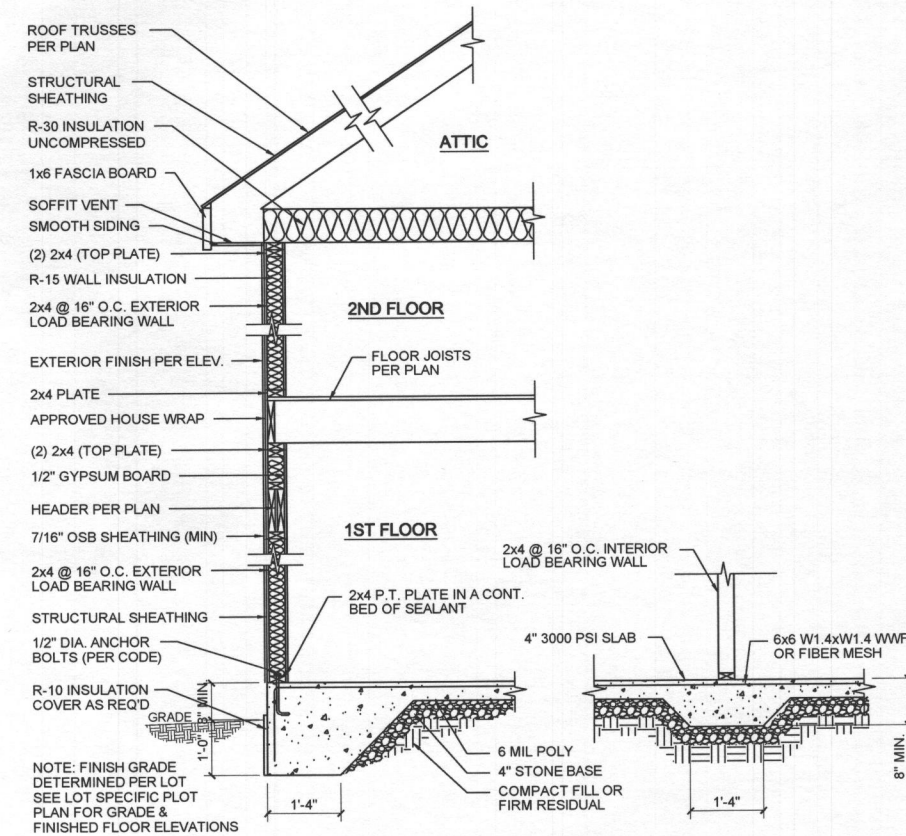
4 PORCH HEADER 'BOX OUT' DETAIL
DSFR SCALE: 1" = 1'-0"



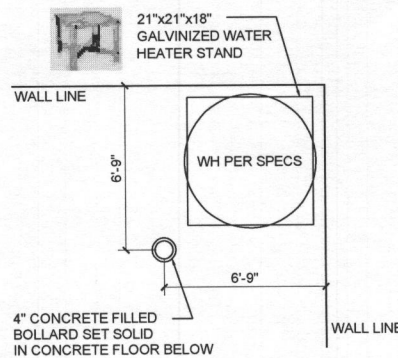
5 BAY ROOFO FLASHING DETAIL
DSFR SCALE: 3/4" = 1'-0"



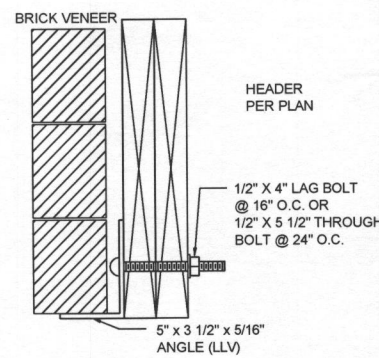
6 DECK ATTACHMENT DETAIL
DSFR SCALE: 3/4" = 1'-0"



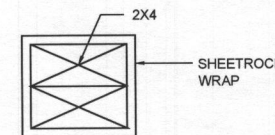
7 TWO-STORY ON SLAB
DSFR SCALE: N.T.S.



8 WATER HEATER PLATFORM GARAGE LOCATION
DSFR SCALE: 3/4" = 1'-0"



9 GARAGE BRICK LINTEL DETAIL
DSFR SCALE: N.T.S.



10 INT. COLUMN DETAIL
DSFR SCALE: 1" = 1'-0"

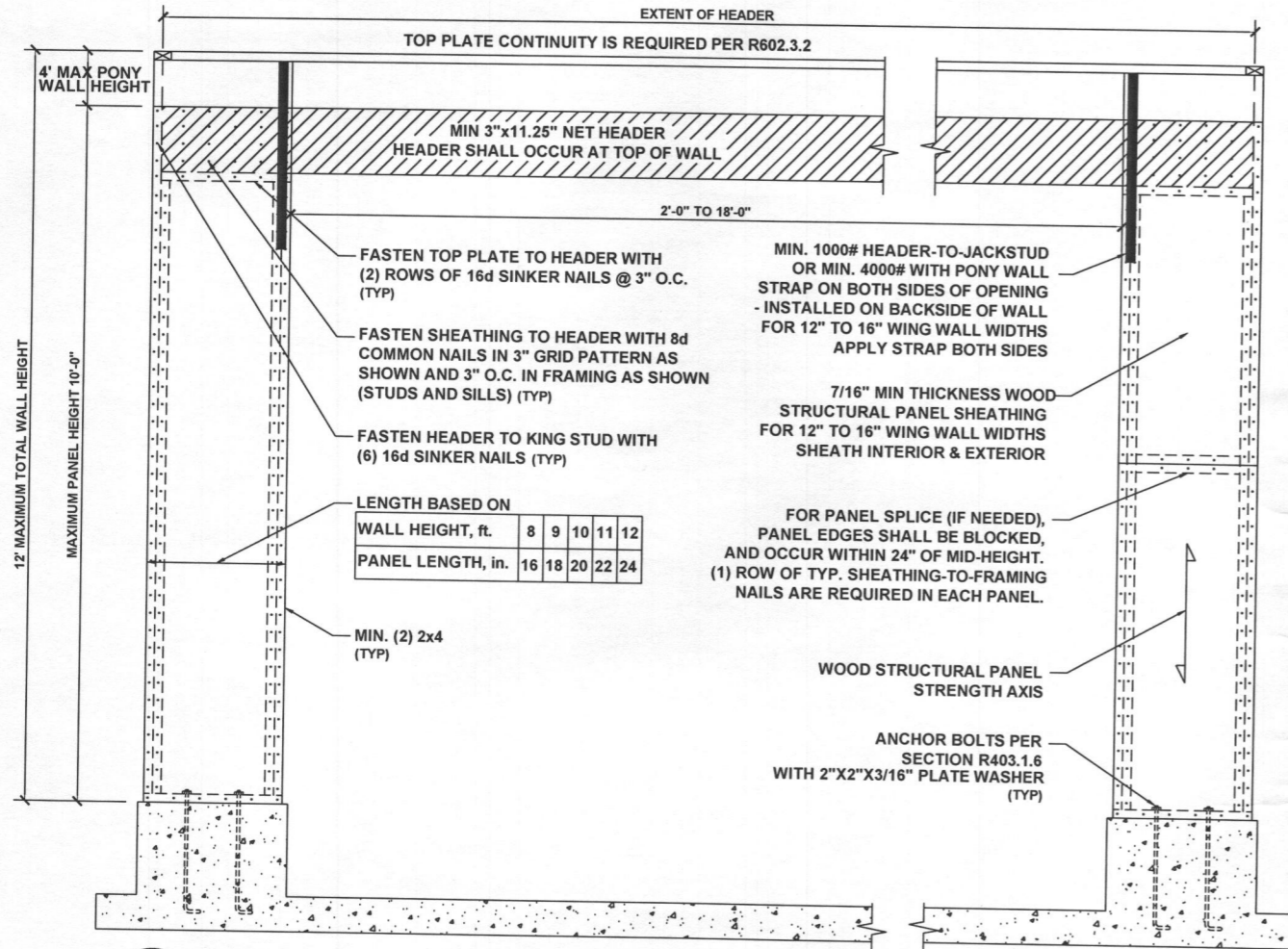
D.R. HORTON RHI NYSE
America's Builder
8001 Arrowridge Blvd.
Charlotte, NC 28278
TEL: (704) 577-5008

Framing Details
DETACHED GARAGE - A

DESIGNER:
JES CONSULTING & DESIGN, PLLC
10000 WOODHOLLOW LANE
RALEIGH, NC 27615
919.486.1075
INFO@JESCONSULTING.COM
WWW.JESCONSULTING.COM
PROJECT #: 15901309

PLAN REV DATE
11/20/2015

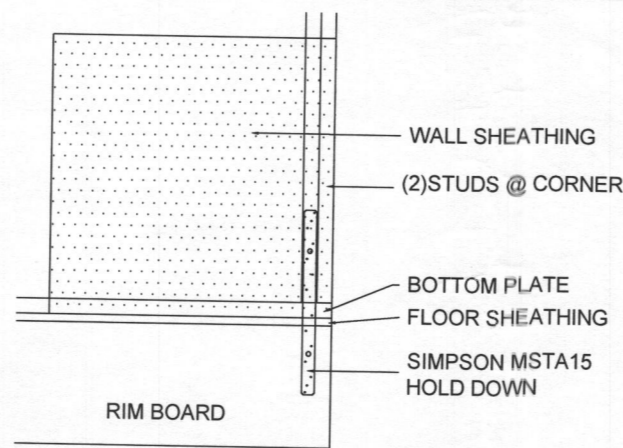
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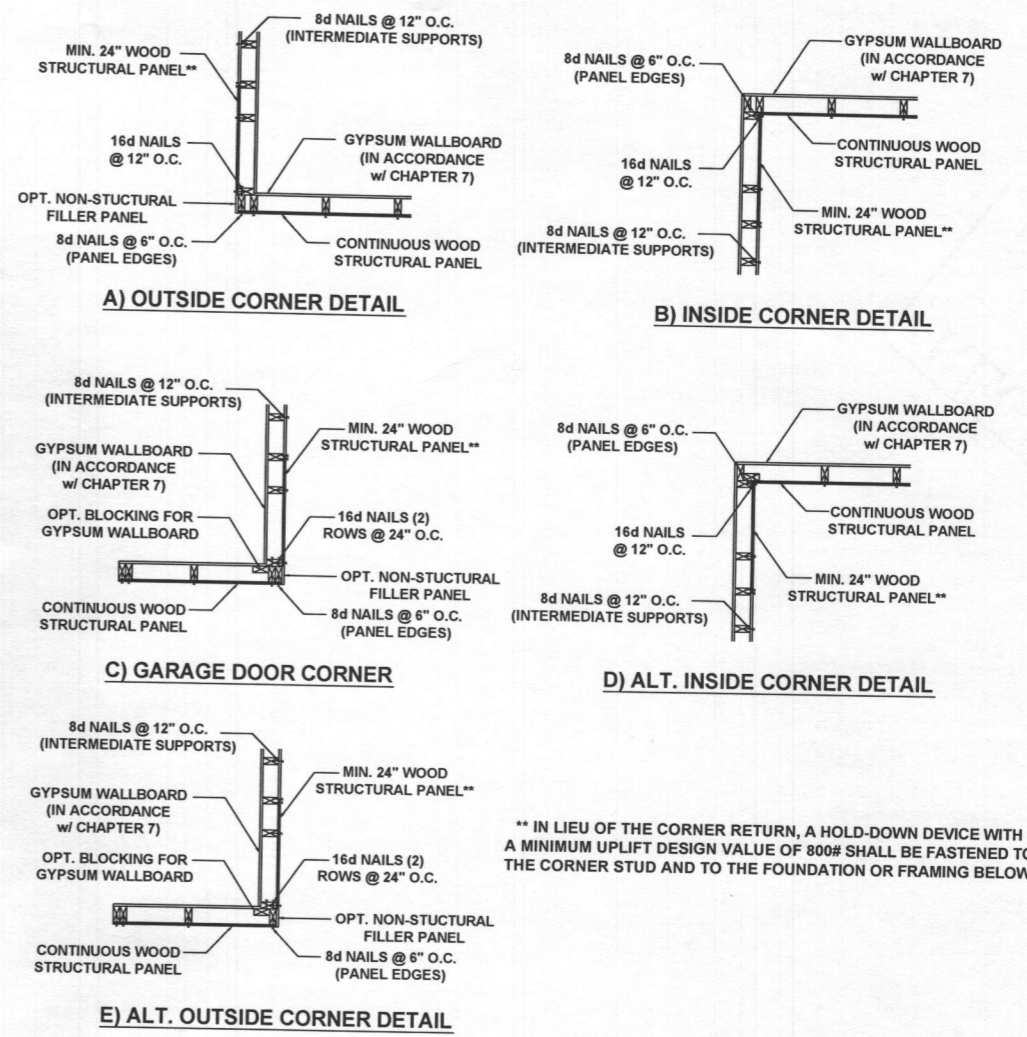
2 DTWB METHOD PF: PORTAL FRAME PANEL CONSTRUCTION NTS

WALL BRACING PERCENTAGE OPENING AND NAILING PATTERN

- BRACE WALLS THAT ARE 51% OR GREATER SHEATHED NEED NOT BE LABELED w/ 6" EDGE AND 12" CENTER NAILING PATTERN ON SHEATHING.
- BRACE WALLS THAT ARE 50% TO 26% SHEATHED REQUIRE A NAILING PATTERN OF 3" EDGE AND 6" CENTER OF SHEATHING.
- BRACE WALLS THAT ARE 25% OR LESS SHEATHED REQUIRE ENGINEERS DESIGN WITH SPECIFIC CONSTRUCTION METHODS AND DETAILS

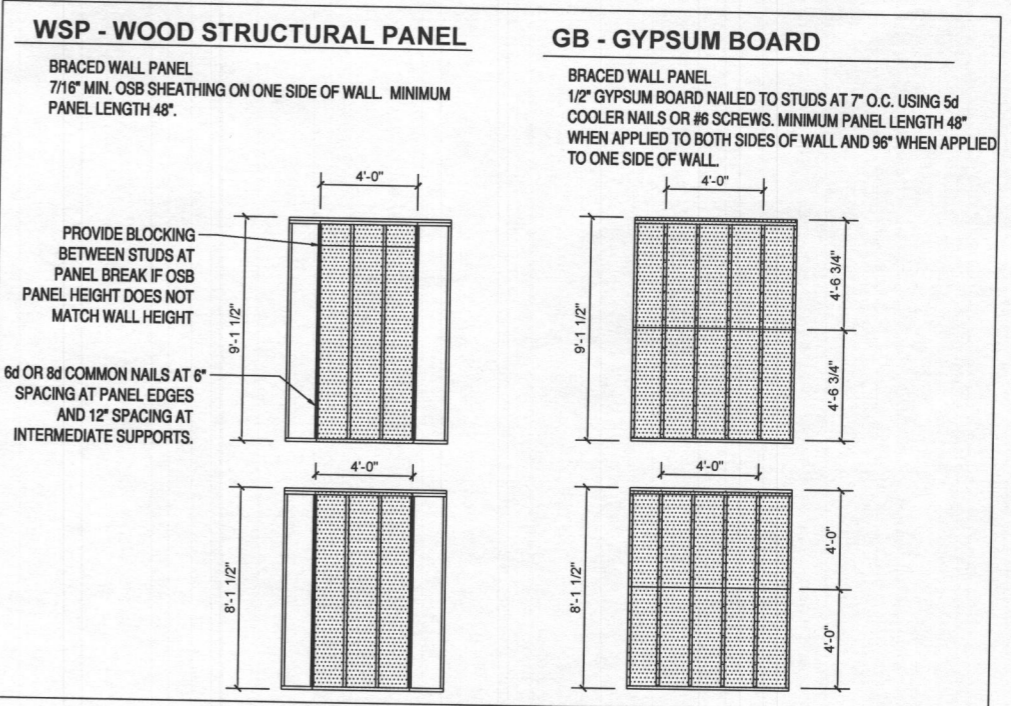


▶ SIMPSON MSTA15 HOLD DOWN CAPACITY OF 970 POUNDS PER ANCHOR WITH (12) 10d NAILS. STRAP TO BE LOCATED AT EDGE OF BRACED WALL PANEL.



1 DTWB TYPICAL EXTERIOR CORNER FRAMING FOR CONTINUOUS SHEATHING 1" = 1'-0"

** IN LIEU OF THE CORNER RETURN, A HOLD-DOWN DEVICE WITH A MINIMUM UPLIFT DESIGN VALUE OF 800# SHALL BE FASTENED TO THE CORNER STUD AND TO THE FOUNDATION OR FRAMING BELOW.



BRACING METHODS