

Permits: 410-313-2455
 Inspections: 410-313-1810
 Automated Line: 410-313-3800

Howard County Building/Fire Permit Application
 Department of Inspections, Licenses & Permits
 3430 Court House Drive
 Ellicott City, MD 21043

Permit Number:

Walk thru

Building Address: 8429 OLD FREDERICK RD
ELLICOTT CITY MD 21043-1915

Suite/Apt. # _____ SDP/WP/BA #: _____

Census Tract: _____ Subdivision: _____

Section: _____ Area: _____ Lot: _____

Tax Map: _____ Parcel: _____ Grid: _____

Zoning: _____ Map Coordinates: _____ Lot Size: _____

Property Owner's Name: SEFF/CARL KLESSIG
 Address: 8429 OLD FREDERICK RD.
 City: ELLICOTT CITY State: MD Zip Code: 21043-1915
 Home Phone: 410-696-2019 Work Phone: _____
 Applicant's Name & Mailing Address, (If other than stated herein): _____
 Phone: _____ Fax: _____
 Email: _____

Existing Use: 0
 Proposed Use: OPEN DECK W/STAIRS TO GARAGE
 Estimated Construction Cost: \$ 14,200
 Description of Work: CONSTRUCT 14'x18' W/3x8' BUMP OUT AND STAIRS TO DECK GRADE ON S.F.D PERMIT

Contractor Company: ELITE DECKS
 Contact Person: BRAD BOWLING
 Address: 448 BARNETS CT.
 City: WESHTHURST State: MD Zip Code: 21157
 License No.: 128703
 Phone: 413-324-5328 Fax: _____
 Email: _____

Occupant or Tenant: _____

Was tenant space previously occupied? Yes No

Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

BUILDING DESCRIPTION - COMMERCIAL	
Building Characteristics	Utilities
Height:	<u>Water Supply</u>
No. of stories:	<input type="checkbox"/> Public
Gross area, sq. ft./floor:	<input type="checkbox"/> Private
	<u>Sewage Disposal</u>
Area of construction (sq. ft.):	<input type="checkbox"/> Public
	<input type="checkbox"/> Private
Use group:	Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<u>Construction type:</u>	<u>Heating System</u>
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Electric <input type="checkbox"/> Oil
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas
<input type="checkbox"/> Masonry	<u>Sprinkler System:</u>
<input type="checkbox"/> Wood Frame	<input type="checkbox"/> N/A
<input type="checkbox"/> State Certified Modular	<input type="checkbox"/> Full
<input checked="" type="checkbox"/> <u>Roadside Tree Project Permit</u>	<input type="checkbox"/> Partial
<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Other Suppression
<u>Roadside Tree Project Permit #</u>	No. of Heads:

BUILDING DESCRIPTION - RESIDENTIAL	
Building Characteristics	Utilities
<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	<u>Water Supply</u>
<u>Depth</u> <u>Width</u>	<input type="checkbox"/> Public
1 st floor:	<input checked="" type="checkbox"/> Private
2 nd floor:	<u>Sewage Disposal</u>
Basement:	<input type="checkbox"/> Public
<input type="checkbox"/> Finished Basement	<input checked="" type="checkbox"/> Private
<input type="checkbox"/> Unfinished Basement	Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Crawl Space	Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Slab on Grade	<u>Heating System</u>
No. of Bedrooms:	<input type="checkbox"/> Electric
<u>Multi-family Dwelling</u>	<input type="checkbox"/> Oil
No. of efficiency units:	<input type="checkbox"/> Natural Gas
No. of 1 BR units:	<input type="checkbox"/> Propane Gas
No. of 2 BR units:	
No. of 3 BR units:	
Other Structure:	
Dimensions:	
Footings:	<input checked="" type="checkbox"/> <u>Roadside Tree Project Permit</u>
Roof:	<input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> State Certified Modular	<u>Roadside Tree Project Permit #</u>
<input type="checkbox"/> Manufactured Home	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature]
 Email Address: BRAD@ELITEDECKSONLINE.COM
 Title/Company: OWNER/ELITE DECKS

Print Name: BRAD BOWLING
 Date: 8/29/12

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>8/29/12</u>	<u>[Signature]</u>
Fire Protection		

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START
 ONE STOP SHOP

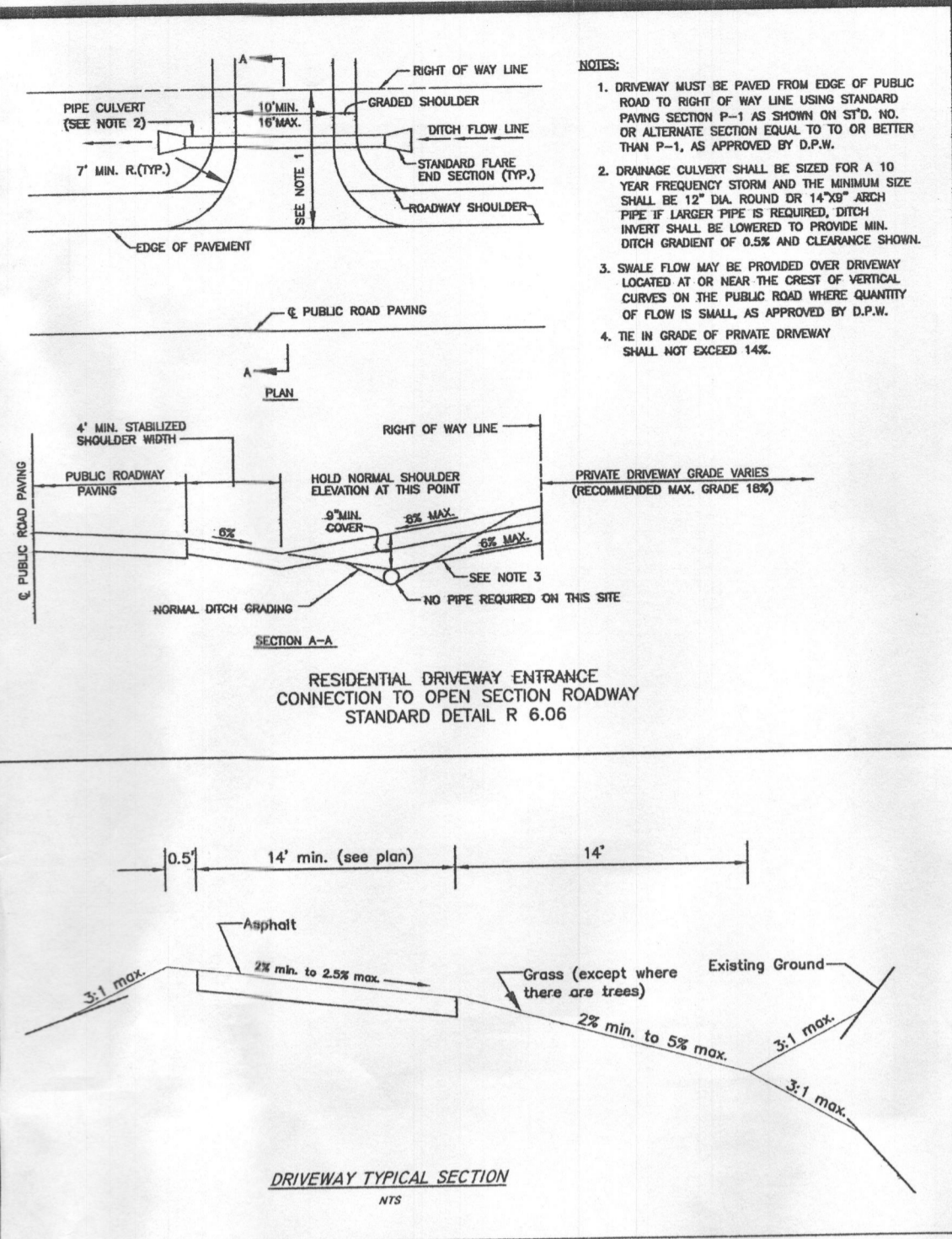
DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$

GENERAL NOTES

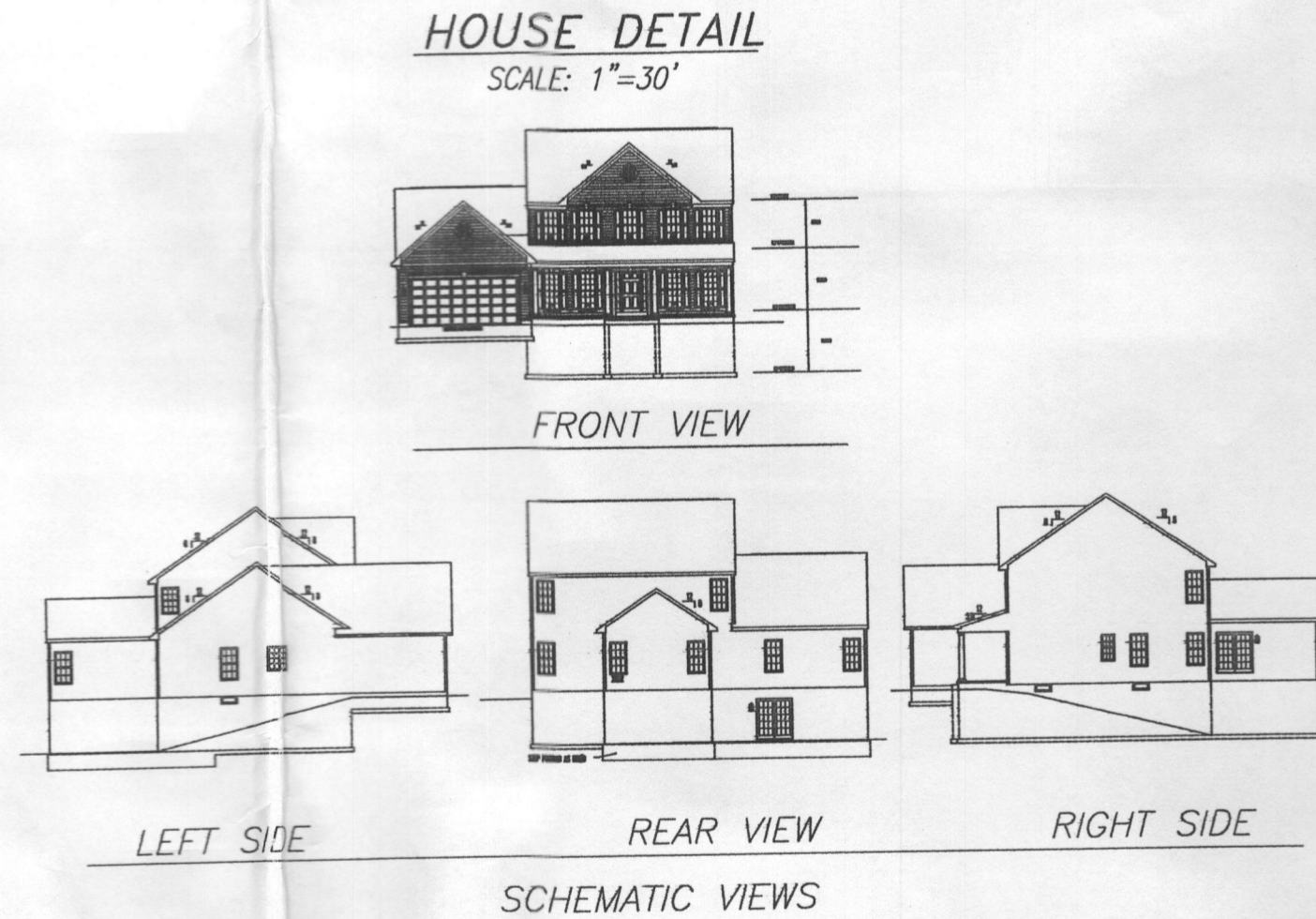
- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 2/2/2004 COMPREHENSIVE ZONING PLAN.
- IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS; PORCHES OR DECKS, OPEN OR ENCLOSED, MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- THERE ARE NO STEEP SLOPES, BUFFERS OR FOREST CONSERVATION EASEMENT AREAS ON THIS PROPERTY.
- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12 FEET (14 FEET IF SERVING MORE THAN 1 RESIDENCE)
 - SURFACE - SIX (6) INCHES OF COMPACTED "CRUSHER RUN" BASE WITH TAR AND CHIP COATING
 - GEOMETRY - MAX. 15% GRADE, MAX 10% GRADE CHANGE AND MINIMUM OF 45' TURNING RADIUS.
 - STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
 - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1-FOOT DEPTH OVER DRIVEWAY SURFACE.
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- LANDSCAPE SURETY IN THE AMOUNT OF \$ 1500.00 (4 SHADE TREES, 3 EVERGREEN TREES) SHALL BE POSTED WITH THE GRADING PERMIT FOR LOT 4.
- FOREST CONSERVATION REQUIREMENT OF 0.47 AC. (20,473 sq.ft.) AFFORESTATION WILL BE SATISFIED WITH A FEE-IN-LIEU PAYMENT OF \$10,236.50 TO BE PAID TO THE HOWARD COUNTY FOREST CONSERVATION FUND.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREETS AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE EXISTING TOPOGRAPHY SHOWN IS BASED ON A FIELD-RUN SURVEY BY SHANBERGER & LANE IN DECEMBER 2005 TIED TO HOWARD COUNTY CONTROL STATIONS:

HORIZONTAL: WAB3	VERTICAL: NGVD29
HOWARD COUNTY MONUMENT NO. 177A	EL: 476.79
N 594948.366	E 136426.79
HOWARD COUNTY MONUMENT NO. 177F	EL: 469.47
N 595829.824	E 1363086.37
- BEARINGS AND DISTANCES SHOWN HEREON ARE FROM A BOUNDARY SURVEY PERFORMED BY SHANBERGER & LANE IN DECEMBER OF 2005.
- WATER IS PUBLIC (CONTRACT # 14-3799-D)
- SEWER IS PRIVATE
- STORMWATER MANAGEMENT FOR WOV AND REV HAS BEEN PROVIDED WITH ROOFTOP AND NON-ROOFTOP DISCONNECTION CREDITS. CPV IS NOT REQUIRED BECAUSE THERE IS NO INCREASE IN THE 1-YEAR STORM PEAK DISCHARGE AFTER THE CREDITS HAVE BEEN APPLIED. PLEASE REFER TO THE SWM REPORT AND SUPPLEMENTAL SWM PLAN PREPARED BY CIVIL DESIGN SERVICES, LC DATED MAY 10, 2006 FOR MORE INFORMATION.
- EXISTING UTILITIES SHOWN HEREON WERE FIELD-LOCATED WHERE POSSIBLE, AND SHOWN PER AVAILABLE PLANS OF RECORD IN OTHER CASES.
- THERE ARE NO WETLANDS, STREAMS, FLOODPLAINS, OR A FORESTED AREA ON THIS SITE PER A SITE INSPECTION PERFORMED BY EXPLORATION RESEARCH ON MAY 6, 2006.
- EXISTING PAVED DRIVEWAY ENTRANCE TO BE REMOVED AND RELOCATED AS SHOWN.
- A DESIGN MANUAL WALKER, VOLUME III, SECTION 2.5.2.H.2., FOR SIGHT DISTANCE REQUIREMENTS WAS APPROVED ON SEPTEMBER 29, 2005. THE EXISTING DRIVEWAY ENTRANCE MUST BE CLOSED AND RELOCATED.
- PREVIOUS FILE NUMBERS: BA-87-11E, WP-92-207, F-93-11, F-06-236.
- THE EXISTING ANTIQUE SHOP CURRENTLY UTILIZES THE SEPTIC AREA ON LOT 4. THE ANTIQUE SHOP WILL BE REQUIRED TO CONNECT TO THE SEWAGE DISPOSAL AREA LOCATED ON LOT 3 WHEN A BUILDING PERMIT FOR LOT 4 IS ISSUED.
- PUBLIC WATER SERVICE TO THESE LOTS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
- PUBLIC WATER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE GRANTED UNDER OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
- THIS AREA DESIGNATES A PROPOSED PRIVATE SEWAGE RESERVE AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THIS RESERVE AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS INTO THE PRIVATE SEWAGE RESERVE AREA.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.



SITE ANALYSIS DATA CHART

- TOTAL PROJECT AREA: 51,412 S.F.±
- AREA OF PLAN SUBMISSION: 51,412 S.F.±
- LIMIT OF DISTURBED AREA: 24,143 S.F.±
- PRESENT ZONING DESIGNATION: R-20
- EXISTING/PROPOSED USE: VACANT/SINGLE FAMILY RESIDENTIAL
- FLOOR SPACE: (2095 x 2) + (2596) = 6786 SQ. FT.
- TOTAL NUMBER OF UNITS ALLOWED: 1
- TOTAL NUMBER OF UNITS PROPOSED ON SUBMISSION: 1
- NUMBER OF EMPLOYEES: N/A
- NUMBER OF PARKING SPACE REQUIRED: 2
- NUMBER OF PARKING SPACE PROVIDED: 2 IN GARAGE
- OPEN SPACE: NONE
- AREA OF RECREATIONAL OPEN SPACE: NONE
- BUILDING COVERAGE: 2596 SQ.FT.± OR 5.05% OF GROSS AREA
- DPZ FILE REFERENCES: BA-87-11E, WP-92-207, F-93-11, F-06-236.
- N/A



INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1	PLAN VIEW
2	GRADING, EROSION & SEDIMENT CONTROL PLAN & DETAILS
3	LANDSCAPING PLAN/SOILS MAP
4	STORMWATER MANAGEMENT PLAN

ADDRESS CHART

LOT NO.	STREET ADDRESS
4	OLD FREDERICK RD.

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER _____ DATE _____

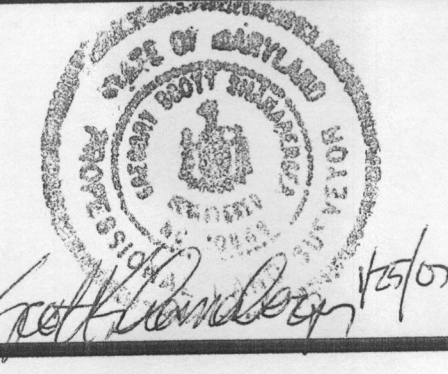
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION _____ DATE _____

CHIEF, DIVISION OF LAND DEVELOPMENT _____ DATE _____

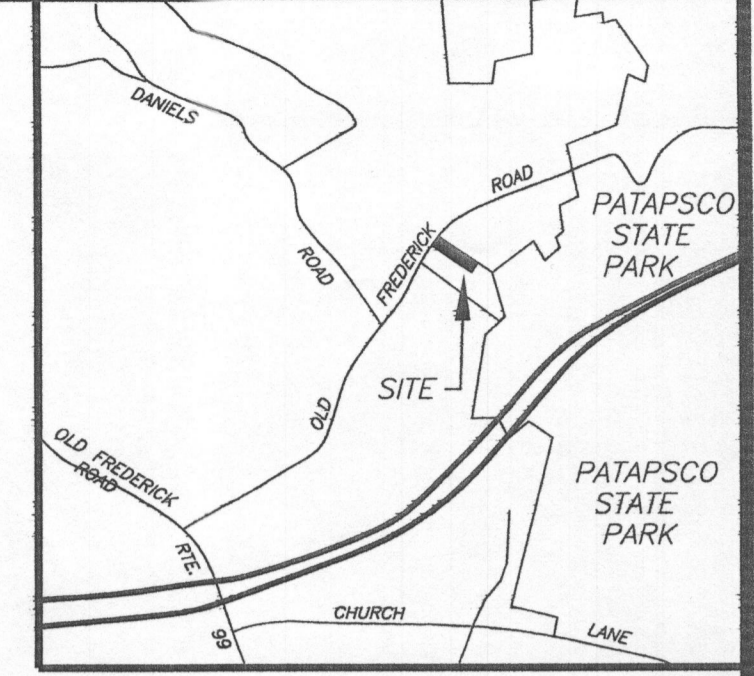
DIRECTOR _____ DATE _____

SHANBERGER & LANE
8726 TOWN & COUNTRY BLVD.
SUITE 201
ELLCOTT CITY, MD., 21043
(410)-461-9563



BY	NO.	REVISION	DATE

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
P-1	PARKING BAYS APARTMENTS AND COMMERCIAL- INDUSTRIAL ZONES WITH NO HEAVY TRUCKS TRAVELWAYS FOR APARTMENTS AND COMMERCIAL INDUSTRIAL ZONES WITH NO HEAVY TRUCKS		



SEPTIC SYSTEM DATA

INV. AT HOUSE	439.5
SEPTIC TANK	
EX. GRADE	442.4
FIN. GRADE	440.9
INV. IN	439.1
INV. OUT	438.8
DISTRIBUTION BOX	
EX. GRADE	439.1
FIN. GRADE	439.1
INV. IN	437.1
INV. OUT	436.8
TRENCHES	
INLET DEPTH	4.5'
BOTTOM DEPTH	
WIDTH	

NOTE: TRENCH LENGTH AND ORIENTATION TO BE DETERMINED BY HEALTH DEPT. AT TIME OF SEPTIC SYSTEM LAYOUT INSPECTION.

LEGEND:

- DESIGNATES 10,000 SEPTIC EASEMENT
- B.R.L. DESIGNATES BUILDING RESTRICTION LINE
- DESIGNATES SPOT ELEVATION
- DESIGNATES SILT FENCE
- DESIGNATES TREE TO REMAIN
- DESIGNATES TREE TO BE REMOVED
- DESIGNATES EXISTING CONTOUR
- DESIGNATES PROPOSED CONTOUR
- DESIGNATES LIMIT OF DISTURBANCE

PERMIT INFORMATION CHART

SUBDIVISION NAME	PLAT #	SECTION/AREA	LOT/PARCEL
SAUTER PROPERTY	#10741	N/A	4/ 313
L/F	GRID #	TAX/ ZONE MAP <td>ELECT. DISTRICT</td>	ELECT. DISTRICT
1355/633	1	R-20	2
WATER CODE:		SEWER CODE:	
			6069.01

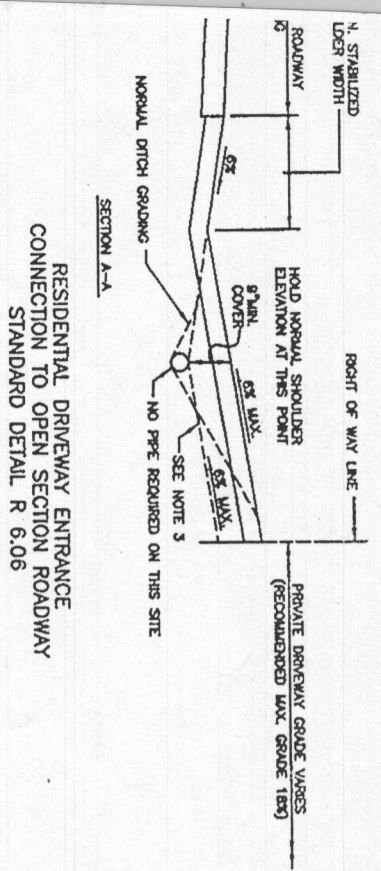
OWNERS:
MAURICE E. SAUTER
ELIZABETH SAUTER
8431 OLD FREDERICK RD.
ELLCOTT CITY, MD. 21043

DEVELOPERS:
JEFFREY KLESSIG
CAROL KLESSIG
9741 SOFTWATER WAY
COLUMBIA, MD 21045

DESIGNED	GSS
DRAWN	GSS
CHECKED	GSS
DATE	12/27/2006

SITE DEVELOPMENT PLAN
LOT 4, SAUTER PROPERTY
"SAUTER PROPERTY, LOTS 3 & 4" F-06-236
LIBER 1355/FOLIO 633
TAX MAP 18 GRID 1 PARCEL 313
2nd ELECTION DIST. HOWARD COUNTY MARYLAND
SCALE: 1"=50' DECEMBER 27, 2006

SCALE	1"=50'	SHEET
DRAWING	9231SDP1	
JOB NO.	03-42	1 OF 4
COUNTY FILE NO.'S	BA-87-11E WP-92-207 F-93-11 F-06-236	



GENERAL NOTES (cont.)

PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND OTHER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, OR PETITION APPLICATION, OR BUILDING/GRADING PERMIT.

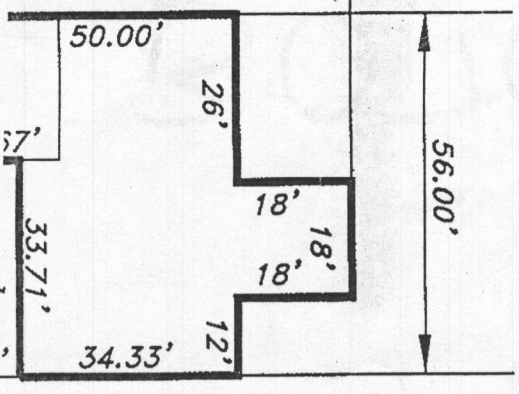
FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL, AND ROAD MAINTENANCE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY AND NOT TO PIPESTEM LOT DRIVEWAY.

SE-IN-COMMON DRIVEWAY MAINTENANCE AGREEMENT WAS RECORDED IN THE LAND RECORDS IN HOWARD COUNTY FOR THE SHARED DRIVEWAY SERVING LOTS 2, 3, & 4. IT WAS RECORDED IN R 10745, FOLIO 001 ON JUNE 19, 2007.

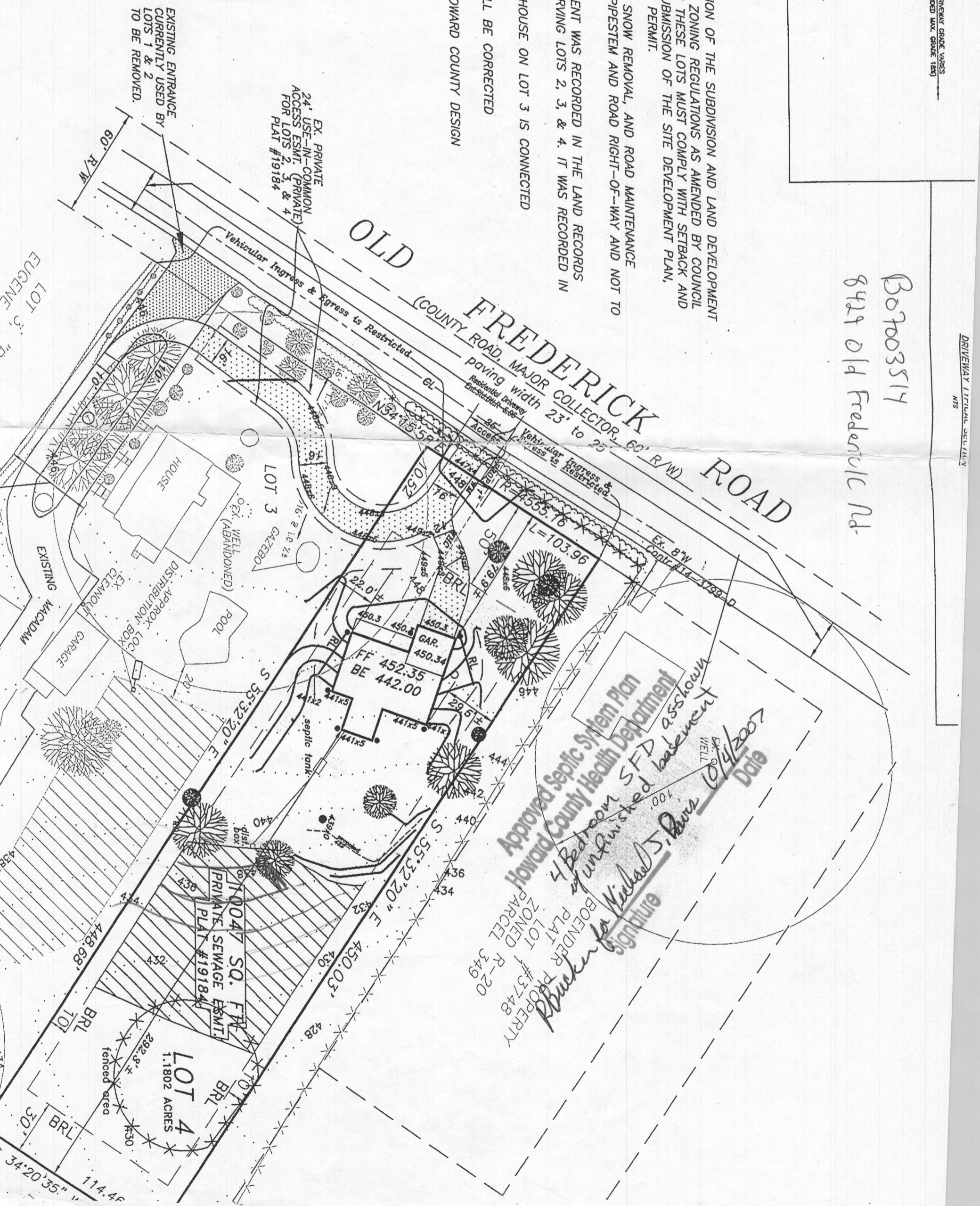
EXISTING WELL ON LOT 3 IS ABANDONED. THE HOUSE ON LOT 3 IS CONNECTED TO PUBLIC WATER.

DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED BY THE DEVELOPER'S EXPENSE.

DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOL. IV, STANDARD DETAIL R-6.06.



Bo7003514
8429 Old Frederick Rd.



Approved Septic System Plan
Howard County Health Department
Bedroom SFD assessment
Boender Property Plat #3748
Placed for Michael J. Davis 10/4/2008
Date

LOT 3, EUGENE

DRIVEWAY LITIGATION SECTION

DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS HOWARD COUNTY PERMIT APPLICATION		PERMIT NUMBER B0700, 3514
Building Address 8429 Old Frederick Rd. Bellicott City Md. 21042 Suite/Apt #: _____ SDP/NFP/Petition # 07-074 Census Tract 6021 Subdivision Sauter Property Section N/A Area _____ Lot 4 Tax Map 18 Parcel 313 Grid 1 Zoning R20 Map Coordinates _____ Lot size 1.018		Property Owner's Name Carrigan Homes Address 9812 Caitlins Ct. City Bellicott City State Md Zip Code 21042 Home Phone _____ Work Phone 465-7785 Applicant's Name & Mailing Address, (if other than stated hereon): Same as Contractor Phone 977-8927 Fax 465-5808
Existing Use Empty lot Proposed Use New home Estimated Construction Cost \$ 270,000 Description of Work To build new single family home with integral garage Unfinished Basement		Contractor Company Carrigan Homes Inc. Contact Person Owen Kelly Address 9812 Caitlins Ct. City Bellicott City State Md. Zip Code 21042 License No. 358 Phone 977-8927 Fax 465-5808
Occupant or Tenant _____ Contact Name _____ Address _____ City _____ State _____ Zip Code _____ Phone _____ Fax _____		Engineer or Architect Company _____ Contact Person _____ Address _____ City _____ State _____ Zip Code _____ Phone _____ Fax _____

BUILDING DESCRIPTION - COMMERCIAL		BUILDING DESCRIPTION - RESIDENTIAL	
Building Characteristics Height: _____ No. of stories: _____ Gross area, sq. ft. per floor: _____ Use group: _____ Construction type: <input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Structural Steel <input type="checkbox"/> Masonry <input type="checkbox"/> Wood Frame <input type="checkbox"/> State Certified Modular	Utilities Water Supply: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private Electric Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Gas Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Heating System: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil <input type="checkbox"/> <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas <input type="checkbox"/> Sprinkler system: N/A <input checked="" type="checkbox"/> <input type="checkbox"/> Full <input type="checkbox"/> Partial <input type="checkbox"/> Other Suppression <input type="checkbox"/> # of Heads _____	Building Characteristics SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> <input checked="" type="checkbox"/> Depth <input type="checkbox"/> Width 1st floor: _____ 2nd floor: _____ Basement: _____ Finished Basement <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> <input type="checkbox"/> Crawlspace <input type="checkbox"/> Slab on Grade <input type="checkbox"/> No. of Bedrooms: _____ Height: _____ Multi-family dwellings: No. of efficiency units: _____ No. of 1 BR units: _____ No. of 2 BR units: _____ No. of 3 BR units: _____ Other Structure: _____ Dimensions: _____ Footings: _____ Roof Height: _____ <input type="checkbox"/> State Certified Modular <input type="checkbox"/> Manufactured Home	Utilities Water Supply: <input checked="" type="checkbox"/> Public <input type="checkbox"/> Private Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private Electric Yes <input type="checkbox"/> No <input type="checkbox"/> Gas Yes <input type="checkbox"/> No <input type="checkbox"/> Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Oil <input type="checkbox"/> <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas <input type="checkbox"/> Sprinkler system: N/A <input type="checkbox"/> <input type="checkbox"/> NFPA #13D <input type="checkbox"/> NFPA #13R <input type="checkbox"/> Other: _____

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERE TO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Owen Kelly Print Name: Owen Kelly
 Title/Company: Pres/Carrigan Homes Inc. Date: 8-24-07

Checks payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 ** PLEASE WRITE NEATLY AND LEGIBLY **

Sub Max 5902.35

AGENCY: Land Development DPZ DATE: 8/24/07 SIGNATURE APPROVAL: <i>[Signature]</i> DPZ SETBACK INFORMATION: Front: _____ Rear: _____ Side: _____ Side St: _____ All minimum setbacks met? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> Is Entrance Permit required? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> Historic District? YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> Lot Coverage for New Town Zone: _____ SDP/Red-line approval date: _____	Filing fee: \$100.00 Permit fee: \$1022.22 Excise tax: \$4768.20 Add'l per. fee: \$103.22 TOTAL FEES: \$6503.64 Sub-total paid: \$ _____ Balance due: \$3659 Check: \$3659 Validation: \$ _____	PROPERTY ID: _____ CONTINGENCY CONSTRUCTION START: <input type="checkbox"/> ONE/STOP SHOP: <input type="checkbox"/> Distribution of Copies: _____ Written: Building Official _____ Green: LOD, DPZ _____ Yellow: DED, DPZ _____ Pink: Health _____ Gold: SHA _____ Accepted by: _____ Rev. 11/4/04
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October 3, 2007

Hello I am faxing over a copy of this building permit it was an over site, if someone in the health department could spare me a little mercy by reviewing this application I would be very appreciative. Please find the plot plan scanned in the system. Permit number B07003514

Thank you,

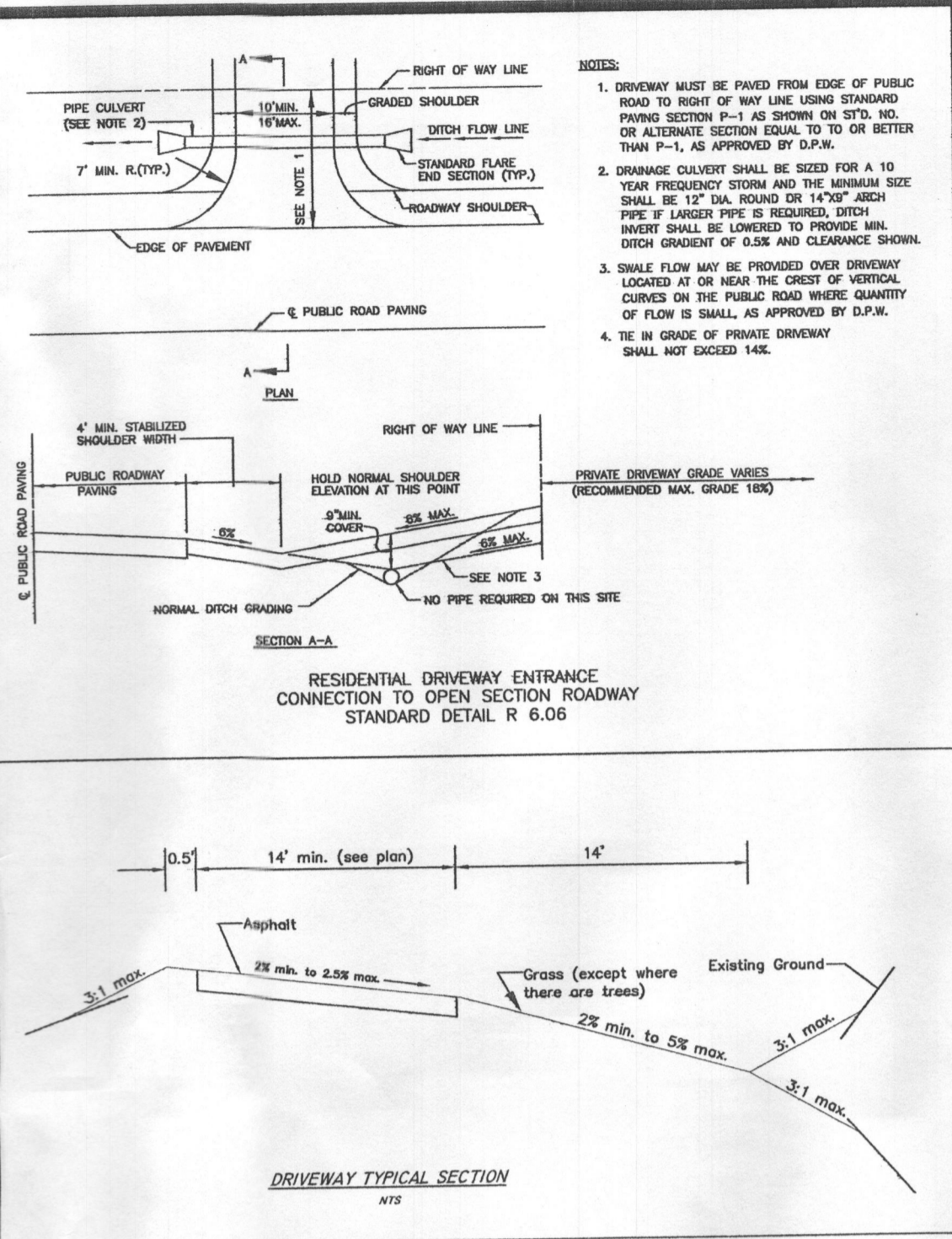
Valerie Rceves

410-313-2455

GENERAL NOTES

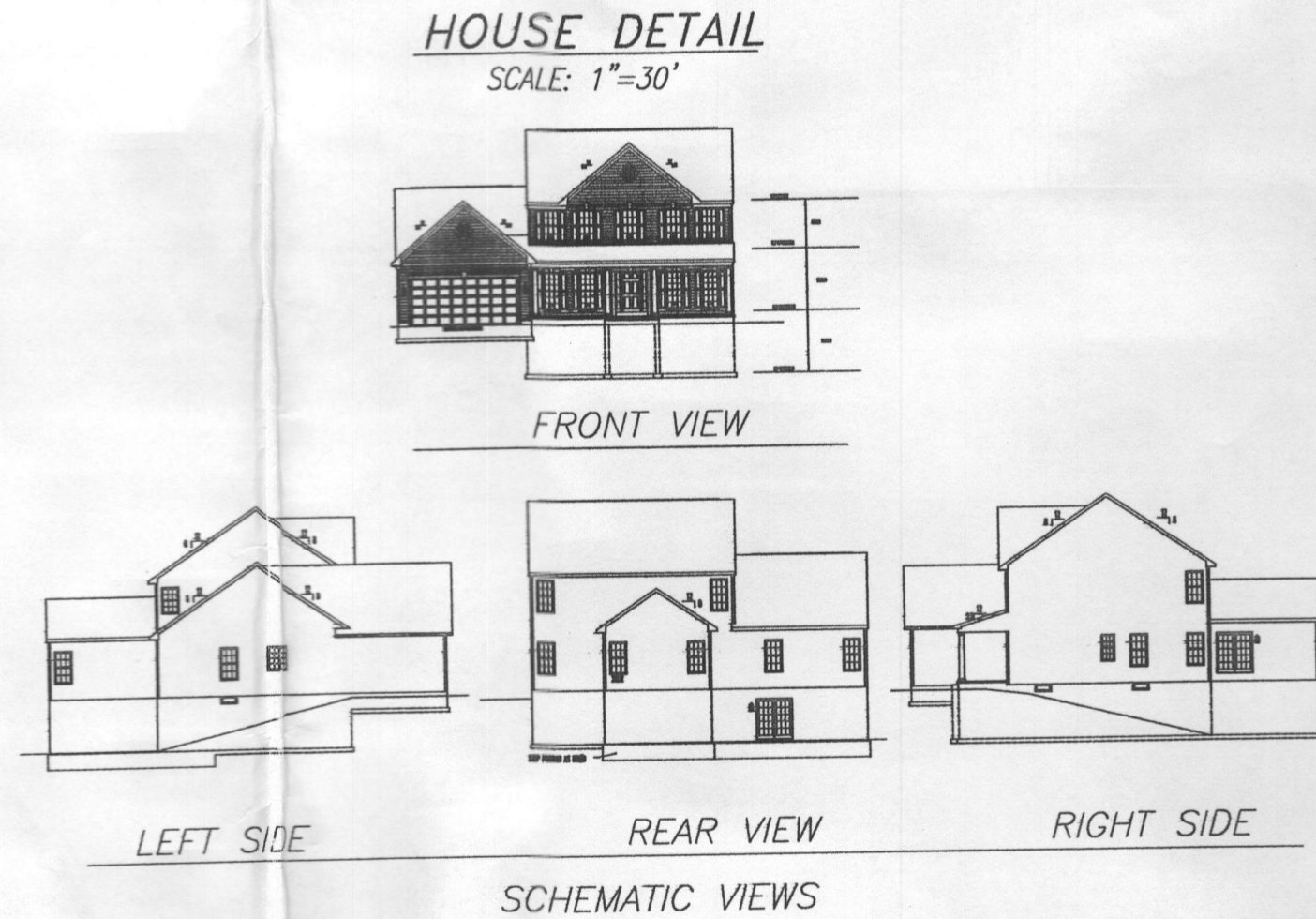
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- THERE ARE NO STEEP SLOPES, BUFFERS OR FOREST CONSERVATION EASEMENT AREAS ON THIS PROPERTY.
- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
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 - SURFACE - SIX (6) INCHES OF COMPACTED "CRUSHER RUN" BASE WITH TAR AND CHIP COATING
 - GEOMETRY - MAX. 15% GRADE, MAX 10% GRADE CHANGE AND MINIMUM OF 45' TURNING RADIUS.
 - STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
 - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1-FOOT DEPTH OVER DRIVEWAY SURFACE.
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- LANDSCAPE SURETY IN THE AMOUNT OF \$ 1500.00 (4 SHADE TREES, 3 EVERGREEN TREES) SHALL BE POSTED WITH THE GRADING PERMIT FOR LOT 4.
- FOREST CONSERVATION REQUIREMENT OF 0.47 AC. (20,473 sq.ft.) AFFORESTATION WILL BE SATISFIED WITH A FEE-IN-LIEU PAYMENT OF \$10,236.50 TO BE PAID TO THE HOWARD COUNTY FOREST CONSERVATION FUND.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREETS AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE EXISTING TOPOGRAPHY SHOWN IS BASED ON A FIELD-RUN SURVEY BY SHANBERGER & LANE IN DECEMBER 2005 TIED TO HOWARD COUNTY CONTROL STATIONS:

HORIZONTAL: WAB33 VERTICAL: NGVD29	EL: 476.79	N 594948.366
HOWARD COUNTY MONUMENT NO. 177A	EL: 476.79	E 136426.79
HOWARD COUNTY MONUMENT NO. 177F	EL: 469.47	N 595829.824
		E 1363086.37
- BEARINGS AND DISTANCES SHOWN HEREON ARE FROM A BOUNDARY SURVEY PERFORMED BY SHANBERGER & LANE IN DECEMBER OF 2005.
- WATER IS PUBLIC (CONTRACT # 14-3799-D)
- SEWER IS PRIVATE
- STORMWATER MANAGEMENT FOR WOV AND REV HAS BEEN PROVIDED WITH ROOFTOP AND NON-ROOFTOP DISCONNECTION CREDITS. CPV IS NOT REQUIRED BECAUSE THERE IS NO INCREASE IN THE 1-YEAR STORM PEAK DISCHARGE AFTER THE CREDITS HAVE BEEN APPLIED. PLEASE REFER TO THE SWM REPORT AND SUPPLEMENTAL SWM PLAN PREPARED BY CIVIL DESIGN SERVICES, LC DATED MAY 10, 2006 FOR MORE INFORMATION.
- EXISTING UTILITIES SHOWN HEREON WERE FIELD-LOCATED WHERE POSSIBLE, AND SHOWN PER AVAILABLE PLANS OF RECORD IN OTHER CASES.
- THERE ARE NO WETLANDS, STREAMS, FLOODPLAINS, OR A FORESTED AREA ON THIS SITE PER A SITE INSPECTION PERFORMED BY EXPLORATION RESEARCH ON MAY 6, 2006.
- EXISTING PAVED DRIVEWAY ENTRANCE TO BE REMOVED AND RELOCATED AS SHOWN.
- A DESIGN MANUAL WALKER, VOLUME III, SECTION 2.5.2.H.2., FOR SIGHT DISTANCE REQUIREMENTS WAS APPROVED ON SEPTEMBER 29, 2005. THE EXISTING DRIVEWAY ENTRANCE MUST BE CLOSED AND RELOCATED.
- PREVIOUS FILE NUMBERS: BA-87-11E, WP-92-207, F-93-11, F-06-236.
- THE EXISTING ANTIQUE SHOP CURRENTLY UTILIZES THE SEPTIC AREA ON LOT 4. THE ANTIQUE SHOP WILL BE REQUIRED TO CONNECT TO THE SEWAGE DISPOSAL AREA LOCATED ON LOT 3 UNDER A BUILDING PERMIT FOR LOT 4 IS ISSUED.
- PUBLIC WATER SERVICE TO THESE LOTS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
- PUBLIC WATER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE GRANTED UNDER OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
- THIS AREA DESIGNATES A PROPOSED PRIVATE SEWAGE RESERVE AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THIS RESERVE AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS INTO THE PRIVATE SEWAGE RESERVE AREA.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.



SITE ANALYSIS DATA CHART

- TOTAL PROJECT AREA: 51,412 S.F.±
- AREA OF PLAN SUBMISSION: 51,412 S.F.±
- LIMIT OF DISTURBED AREA: 24,143 S.F.±
- PRESENT ZONING DESIGNATION: R-20
- EXISTING/PROPOSED USE: VACANT/SINGLE FAMILY RESIDENTIAL
- FLOOR SPACE: (2095 x 2) + (2596) = 6786 SQ. FT.
- TOTAL NUMBER OF UNITS ALLOWED: 1
- TOTAL NUMBER OF UNITS PROPOSED ON SUBMISSION: 1
- NUMBER OF EMPLOYEES: N/A
- NUMBER OF PARKING SPACE REQUIRED: 2
- NUMBER OF PARKING SPACE PROVIDED: 2 IN GARAGE
- OPEN SPACE: NONE
- AREA OF RECREATIONAL OPEN SPACE: NONE
- BUILDING COVERAGE: 2596 SQ.FT.± OR 5.05% OF GROSS AREA
- DPZ FILE REFERENCES: BA-87-11E, WP-92-207, F-93-11, F-06-236.
- N/A



INDEX OF SHEETS

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3	LANDSCAPING PLAN/SOILS MAP
4	STORMWATER MANAGEMENT PLAN

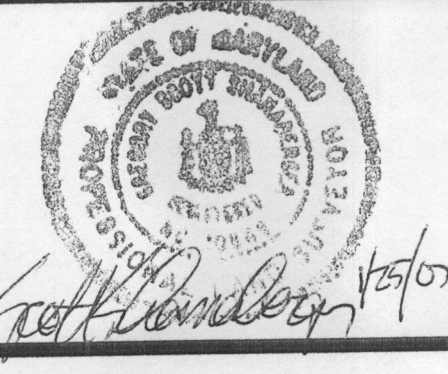
ADDRESS CHART

LOT NO.	STREET ADDRESS
4	OLD FREDERICK RD.

APPROVED: FOR PUBLIC WATER AND PRIVATE SEWAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT

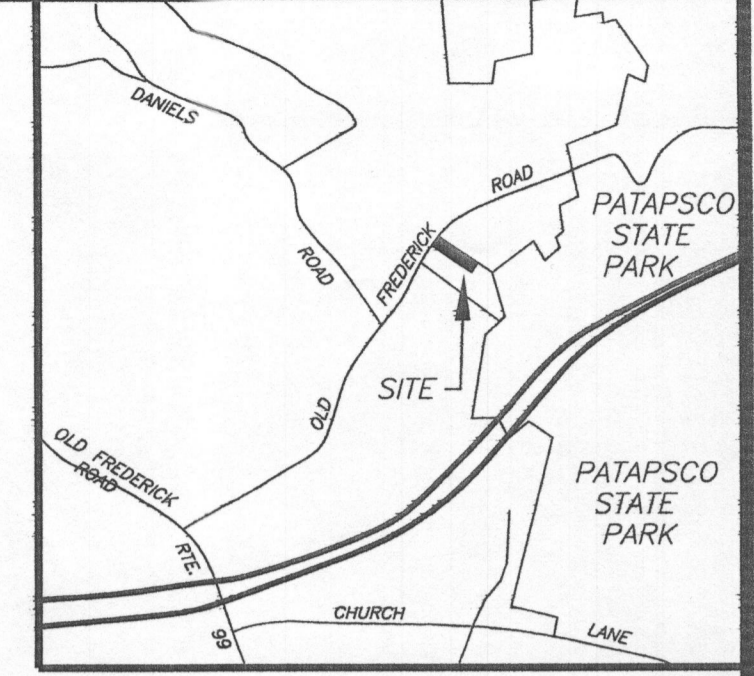
COUNTY HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DIRECTOR	DATE

SHANBERGER & LANE
8726 TOWN & COUNTRY BLVD.
SUITE 201
ELLCOTT CITY, MD., 21043
(410)-461-9563



BY	NO.	REVISION	DATE

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
P-1	PARKING BAYS APARTMENTS AND COMMERCIAL- INDUSTRIAL ZONES WITH NO HEAVY TRUCKS TRAVELWAYS FOR APARTMENTS AND COMMERCIAL INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 2" BIT. CONC. SURFACE 4" GRADED AGREGATE BASE (GAB)



SEPTIC SYSTEM DATA

INV. AT HOUSE	439.5
SEPTIC TANK	
EX. GRADE	442.4
FIN. GRADE	440.9
INV. IN	439.1
INV. OUT	438.8
DISTRIBUTION BOX	
EX. GRADE	439.1
FIN. GRADE	439.1
INV. IN	437.1
INV. OUT	436.8
TRENCHES	
INLET DEPTH	4.5'
BOTTOM DEPTH	
WIDTH	

NOTE: TRENCH LENGTH AND ORIENTATION TO BE DETERMINED BY HEALTH DEPT. AT TIME OF SEPTIC SYSTEM LAYOUT INSPECTION.

LEGEND:

- DESIGNATES 10,000 SEPTIC EASEMENT
- B.R.L. DESIGNATES BUILDING RESTRICTION LINE
- DESIGNATES SPOT ELEVATION
- DESIGNATES SILT FENCE
- DESIGNATES TREE TO REMAIN
- DESIGNATES TREE TO BE REMOVED
- DESIGNATES EXISTING CONTOUR
- DESIGNATES PROPOSED CONTOUR
- DESIGNATES LIMIT OF DISTURBANCE

PERMIT INFORMATION CHART

SUBDIVISION NAME	PLAT #	SECTION/AREA	LOT/PARCEL
SAUTER PROPERTY	#10741	N/A	4/ 313
L/F	GRID #	TAX/ ZONE MAP	ELECT. DISTRICT
1355/633	1	R-20	2
WATER CODE:		SEWER CODE:	
			6069.01

OWNERS:
MAURICE E. SAUTER
ELIZABETH SAUTER
8431 OLD FREDERICK RD.
ELLCOTT CITY, MD. 21043

DEVELOPERS:
JEFFREY KLESSIG
CAROL KLESSIG
9741 SOFTWATER WAY
COLUMBIA, MD 21045

SITE DEVELOPMENT PLAN
LOT 4, SAUTER PROPERTY
"SAUTER PROPERTY, LOTS 3 & 4" F-06-236
LIBER 1355/FOLIO 633
TAX MAP 18 GRID 1 PARCEL 313
2nd ELECTION DIST. HOWARD COUNTY MARYLAND
SCALE: 1"=50' DECEMBER 27, 2006

DESIGNED	GSS
DRAWN	GSS
CHECKED	GSS
DATE	12/27/2006

SCALE: 1"=50'

DRAWING: 9231SDP1

JOB NO.: 03-42

COUNTY FILE NO.'S: BA-87-11E, WP-92-207, F-93-11, F-06-236

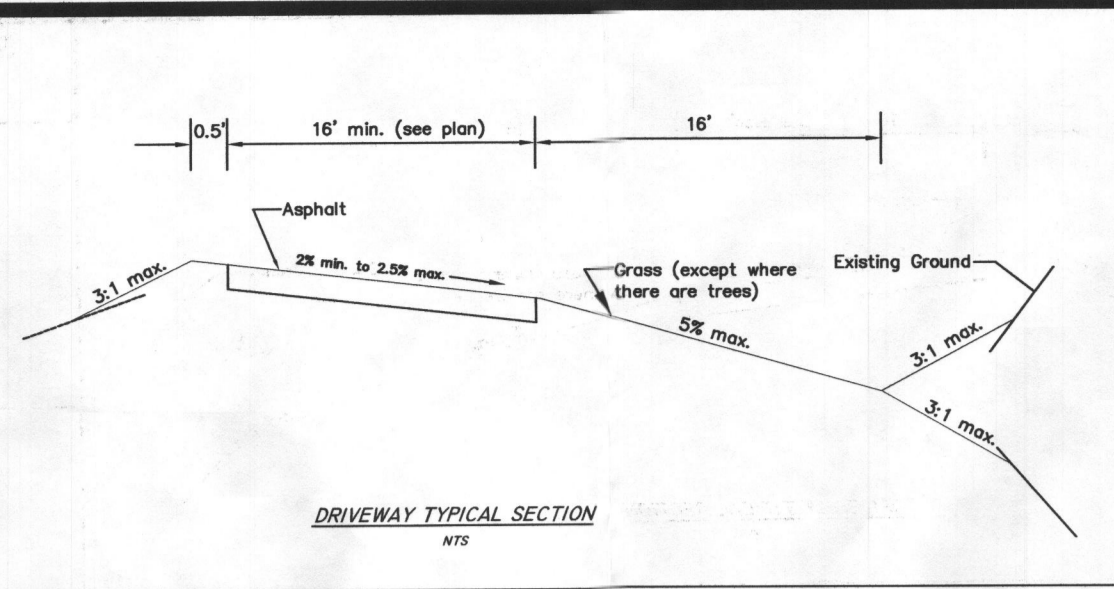
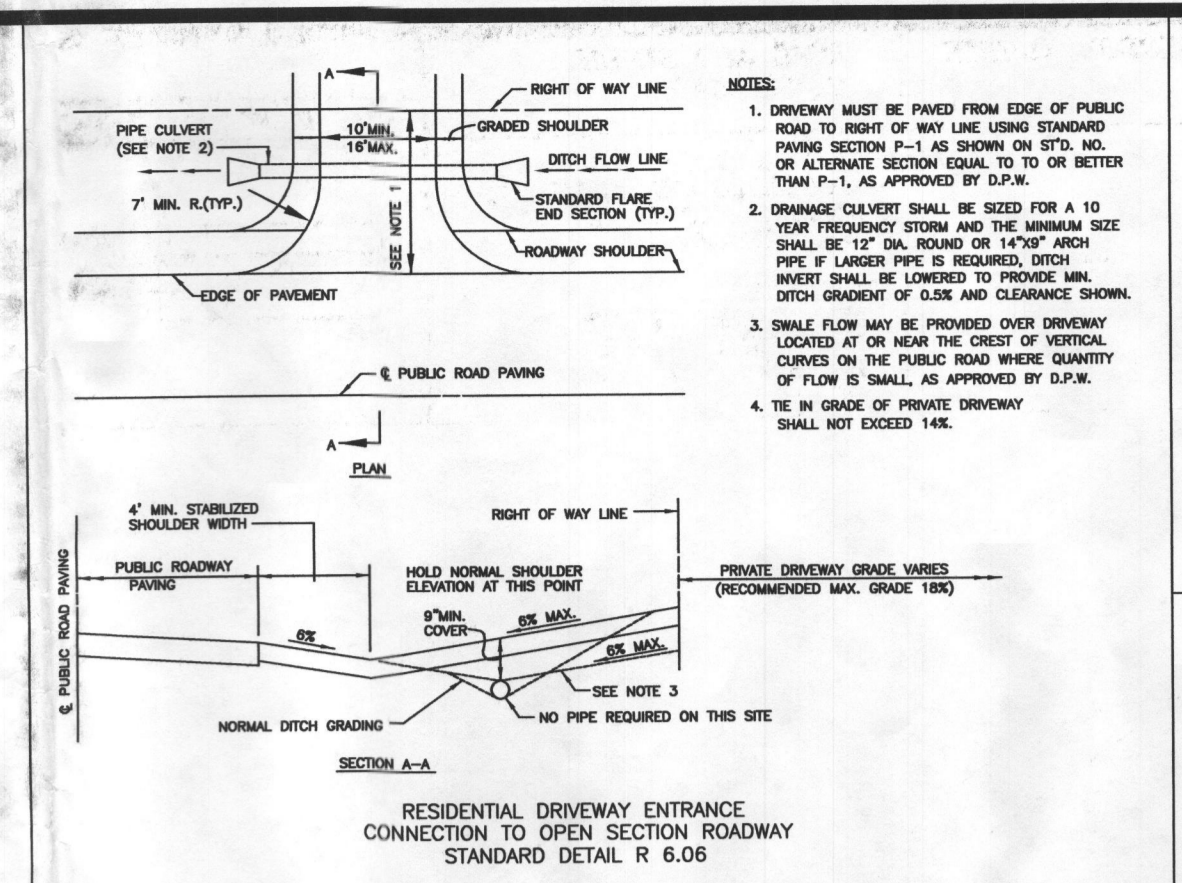
SHEET 1 OF 4

GENERAL NOTES

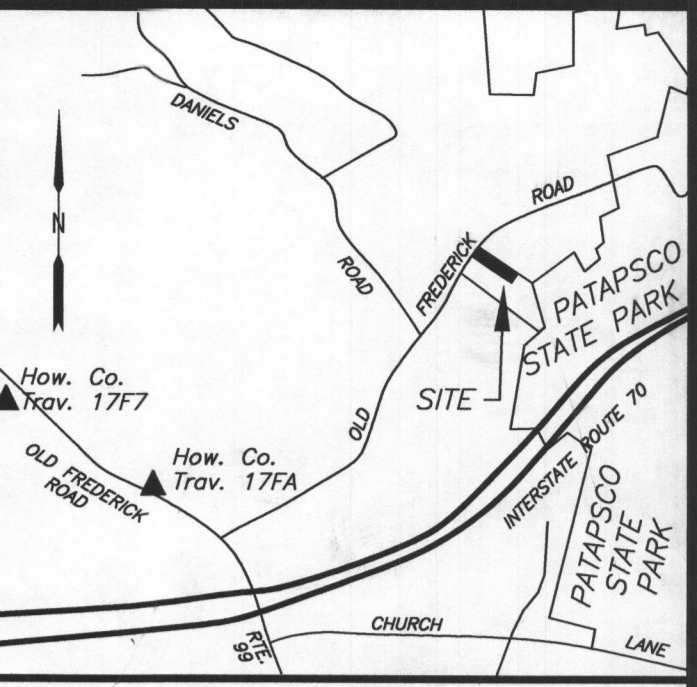
- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 2/2/2004 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 7/28/06.
- IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS; PORCHES OR DECKS, OPEN OR ENCLOSED, MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- THERE ARE NO STEEP SLOPES, BUFFERS OR FOREST CONSERVATION EASEMENT AREAS ON THIS PROPERTY.
- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN 1 RESIDENCE)
 - SURFACE - SIX (6) INCHES OF COMPACTED "CRUSHER RUN" BASE WITH TAR AND CHIP COATING
 - GEOMETRY - MAX. 15% GRADE, MAX 10% GRADE CHANGE AND MINIMUM OF 45' TURNING RADIUS.
 - STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);
 - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1-FEET DEPTH OVER DRIVEWAY SURFACE.
 - MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- LANDSCAPE SURETY IN THE AMOUNT OF \$1500.00 (3 shade and 4 evergreen) WILL BE POSTED FOR LOT 4 WITH THE GRADING PERMIT APPLICATION FOR LOT 4.
- FOREST CONSERVATION REQUIREMENT OF 0.47 AC. (20,473 sq.ft.) AFFORESTATION HAS BEEN SATISFIED UNDER F-06-236.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MESS UTILITIES" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREETS AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- THE EXISTING TOPOGRAPHY SHOWN IS BASED ON A FIELD-RUN SURVEY BY SHANABERGER & LANE IN DECEMBER 2005 TIED TO HOWARD COUNTY CONTROL STATIONS: HORIZONTAL: NAD83, VERTICAL: NAVD29
 HOWARD COUNTY MONUMENT NO. 177A EL:476.79 N 594948.366 E 1364826.79
 HOWARD COUNTY MONUMENT NO. 177F EL:469.47 N 595829.624 E 1363088.37
 BENCHMARK: REBAR SET TRVERSE NO. 1 EL. 446.47
 BENCHMARK: REBAR SET TRVERSE NO. 10 EL. 436.47
- BEARINGS AND DISTANCES SHOWN HEREON ARE FROM A BOUNDARY SURVEY PERFORMED BY SHANABERGER & LANE IN DECEMBER OF 2005.
- WATER IS PUBLIC (CONTRACT # 14-3799-D)
- SEWER IS PRIVATE
- STORMWATER MANAGEMENT FOR WOV AND Rev HAS BEEN PROVIDED WITH ROOFTOP AND NON-ROOFTOP DISCONNECTION CREDITS. CREDIT IS NOT REQUIRED BECAUSE THERE IS NO INCREASE IN THE 1-YEAR STORM PEAK DISCHARGE AFTER THE CREDITS HAVE BEEN APPLIED. PLEASE REFER TO THE SWM REPORT AND SUPPLEMENTAL SWM PLAN PREPARED BY CIVIL DESIGN SERVICES, LC DATED MAY 10, 2006 FOR MORE INFORMATION.
- EXISTING UTILITIES SHOWN HEREON WERE FIELD-LOCATED WHERE POSSIBLE, AND SHOWN PER AVAILABLE PLANS OF RECORD IN OTHER CASES.
- THERE ARE NO WETLANDS, STREAMS, FLOODPLAINS, OR A FORESTED AREA ON THIS SITE PER A SITE INSPECTION PERFORMED BY EXPLORATION RESEARCH ON MAY 6, 2006.
- EXISTING PAVED DRIVEWAY ENTRANCE TO BE REMOVED AND RELOCATED AS SHOWN IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION NOTES ON SHEET 2 OF 4.
- A DESIGN MANUAL WAIVER, VOLUME III, SECTION 2.5.2.H.2., FOR SIGHT DISTANCE REQUIREMENTS WAS APPROVED ON SEPTEMBER 29, 2005. THE EXISTING DRIVEWAY ENTRANCE MUST BE CLOSED AND RELOCATED.
- PREVIOUS FILE NUMBERS: BA-87-11E, WP-92-207, F-93-11, F-06-236.
- THE EXISTING ANTIQUE SHOP CURRENTLY UTILIZES THE SEPTIC AREA ON LOT 4. THE ANTIQUE SHOP MUST BE REMOVED TO CONNECT TO THE SEWAGE DISPOSAL AREA LOCATED ON LOT 3 WHEN A BUILDING PERMIT FOR LOT 4 IS ISSUED.
- PUBLIC WATER SERVICE TO THESE LOTS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
- PUBLIC WATER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE GRANTED UNDER OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
- THIS AREA DESIGNATES A PROPOSED PRIVATE SEWAGE EASEMENT OF AT LEAST 10,000 SQ. FT. REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THIS RESERVE AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS INTO THE PRIVATE SEWAGE RESERVE AREA.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.

GENERAL NOTES (cont.)

- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL 45-2003 AND THE ZONING REGULATIONS AS AMENDED BY COUNCIL BILL 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING/GRADING PERMIT.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL, AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY AND NOT TO THE PIPESTEM LOT DRIVEWAY.
- A USE-IN-COMMON DRIVEWAY MAINTENANCE AGREEMENT HAS BEEN RECORDED IN THE LAND RECORDS OF HOWARD COUNTY FOR THE SHARED DRIVEWAY SERVING LOTS 2, 3, & 4 AND IS RECORDED IN LIBER FOLIO
- THE EXISTING WELL ON LOT 3 MUST BE ABANDONED AND SEALED PRIOR TO FINAL PLAT RECORDATION.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOL. IV, STANDARD DETAIL R-6.06.

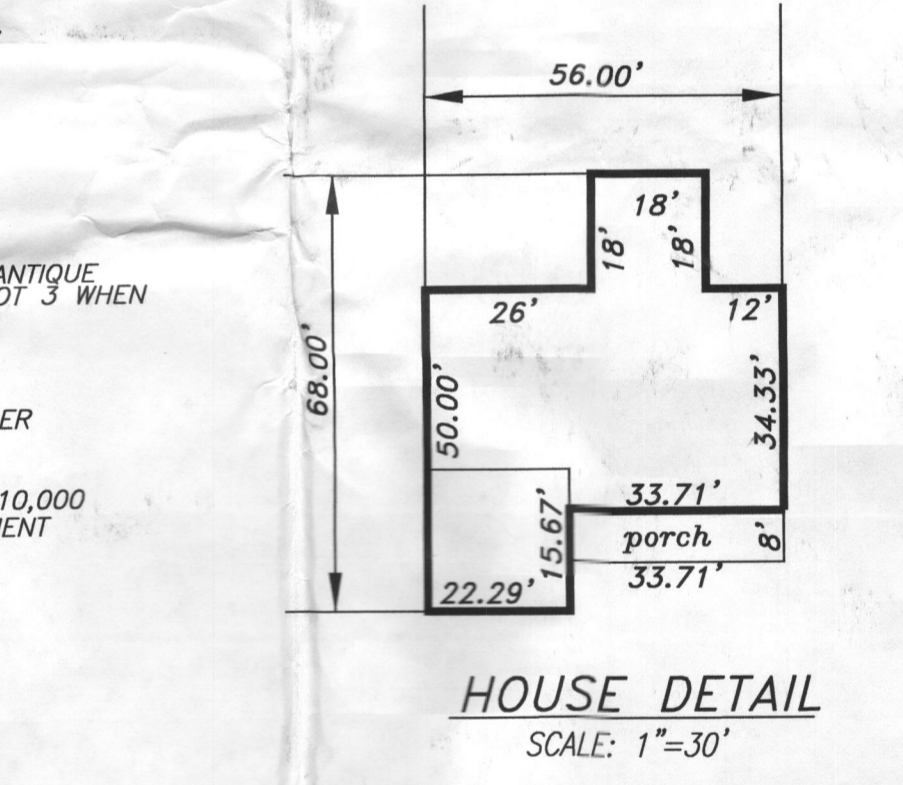


SECTION NUMBER	ROAD AND STREET CLASSIFICATION	PAVEMENT MATERIALS	
		FULL DEPTH BIT. CONC. ALTERNATE	GRANULAR BASE ALTERNATES
P-1	PARKING BAYS AND COMMERCIAL-INDUSTRIAL ZONES WITH NO HEAVY TRUCKS TRAVELWAYS FOR APARTMENTS AND COMMERCIAL INDUSTRIAL ZONES WITH NO HEAVY TRUCKS	1" BIT. CONC. SURFACE 4" BIT. CONC. BASE	1" BIT. CONC. SURFACE 2" BIT. CONC. SURFACE 4" GRADED AGGREGATE BASE (GAB)



SITE ANALYSIS DATA CHART

- TOTAL PROJECT AREA: 51,412 S.F.±
- AREA OF PLAN SUBMISSION: 51,412 S.F.±
- LIMIT OF DISTURBED AREA: 24,143 S.F.±
- PRESENT ZONING DESIGNATION: R-20
- EXISTING/PROPOSED USE: VACANT/SINGLE FAMILY RESIDENTIAL
- FLOOR SPACE: (2095 x 2) + (2596) = 6786 SQ. FT.
- TOTAL NUMBER OF UNITS ALLOWED: 1
- TOTAL NUMBER OF UNITS PROPOSED ON SUBMISSION: 1
- NUMBER OF EMPLOYEES: N/A
- NUMBER OF PARKING SPACE REQUIRED: 2
- NUMBER OF PARKING SPACE PROVIDED: 2 IN GARAGE
- OPEN SPACE: NONE
- AREA OF RECREATIONAL OPEN SPACE: NONE
- BUILDING COVERAGE: 2596 SQ.FT.± OR 5.05% OF GROSS AREA
- DPZ FILE REFERENCES: BA-87-11E, WP-92-207, F-93-11, F-06-236.
- N/A



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3	LANDSCAPING PLAN/SOILS MAP
4	STORMWATER MANAGEMENT PLAN

ADDRESS CHART

LOT NO.	STREET ADDRESS
4	8425 OLD FREDERICK RD.

OWNERS:
 MAURICE E. SAUTER
 ELIZABETH SAUTER
 8431 OLD FREDERICK RD.
 ELLICOTT CITY, MD. 21043

DEVELOPERS:
 JEFFREY KLESSIG
 CAROL KLESSIG
 9741 SOFTWATER WAY
 COLUMBIA, MD 21045

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL
SAUTER PROPERTY, PLAT #10741	N/A	4, 313
L/F 1355/633	GRID # 1 R-20	TAX/ ZONE MAP 18
WATER CODE: 1-H02	ELECT. DISTRICT 2	CENSUS TRACT 6021.00
SEWER CODE: N/A		

SITE DEVELOPMENT PLAN
LOT 4, SAUTER PROPERTY AND USE-IN-COMMON DRIVEWAY IMPROVEMENTS ONTO LOT 3
 "SAUTER PROPERTY, LOTS 3 & 4" F-06-236

LIBER 1355/FOLIO 633
 TAX MAP 18 GRID 1 PARCEL 313
 2nd ELECTION DIST. HOWARD COUNTY MARYLAND
 SCALE: 1"=50' APRIL 4, 2007

DESIGNED: GSS
DRAWN: GSS
CHECKED: GSS
DATE: 4/4/2007

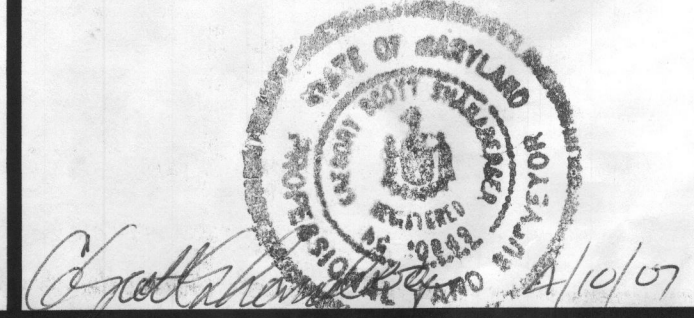
SCALE: 1"=50'
DRAWING: 9231SDP1
JOB NO.: 03-42
COUNTY FILE NO.: BA-87-11E WP-92-207 F-93-11 F-06-236

SHEET 1 OF 4

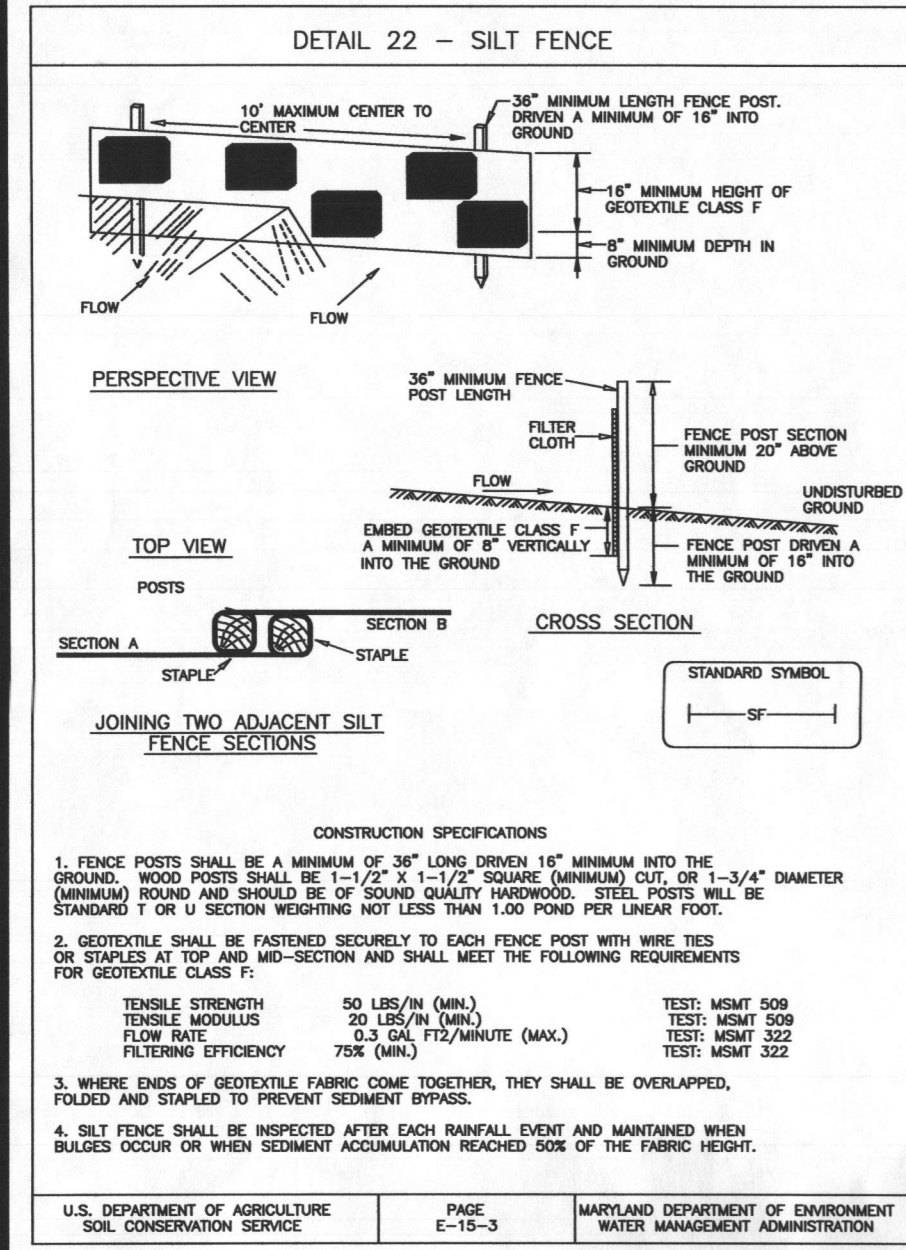
APPROVED: FOR PUBLIC WATER AND PRIVATE SEWAGE SYSTEMS. HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER	DATE
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING	
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE
DIRECTOR	DATE

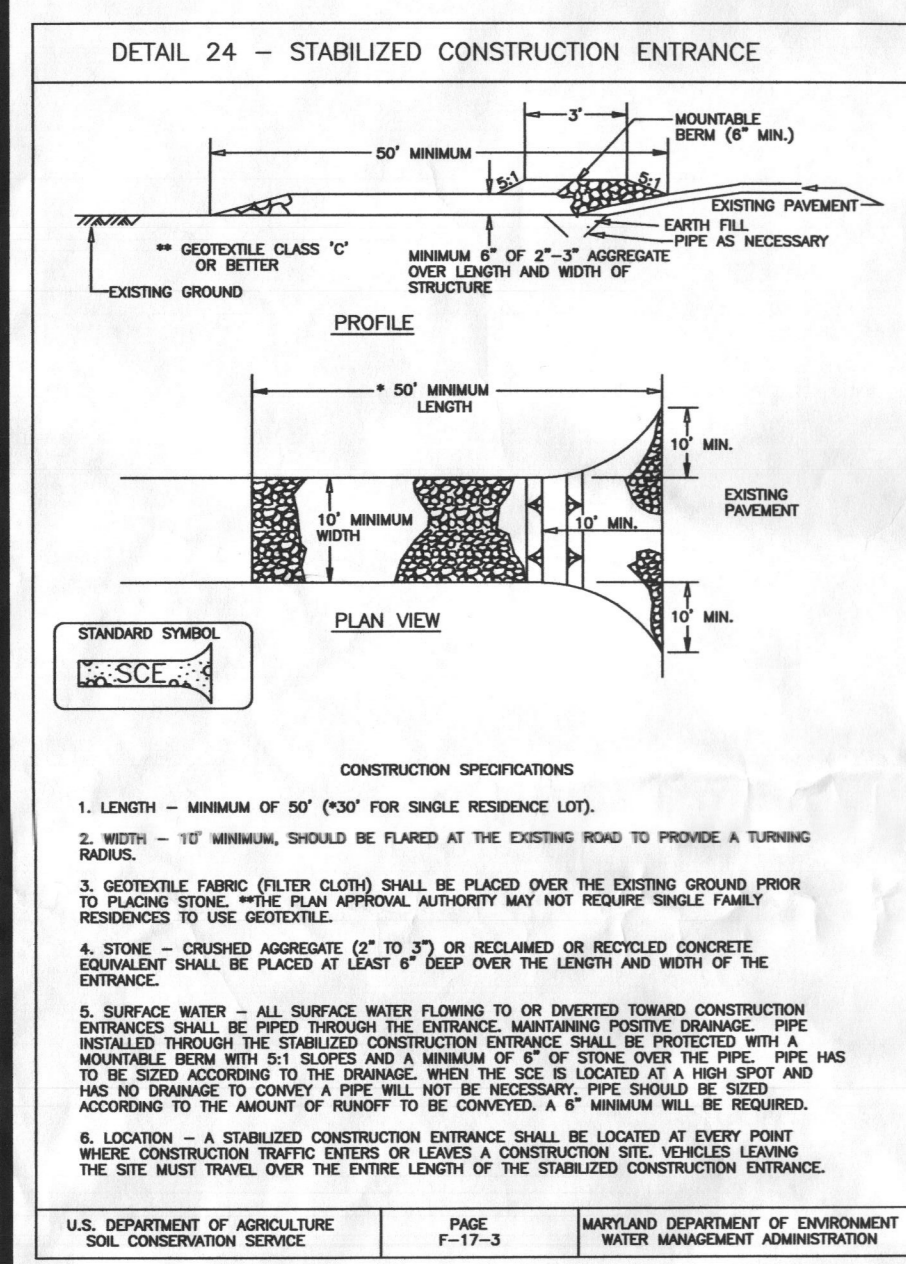
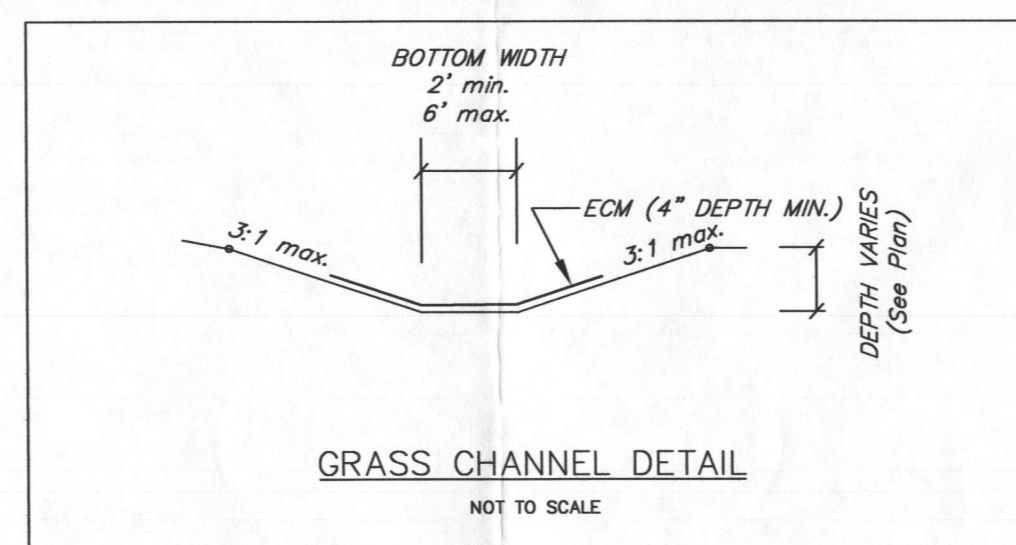
SHANABERGER & LANE
 8726 TOWN & COUNTRY BLVD.
 SUITE 201
 ELLICOTT CITY, MD, 21043
 (410)-461-9563



BY	NO.	REVISION	DATE



TEMPORARY SEEDING NOTES
 APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE RESTORED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.
 SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING IF NOT PREVIOUSLY LOOSENED.
 SOIL AMENDMENTS: APPLY 600 LBS./ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQUARE FEET).
 SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHES PER ACRE OF ANNUAL RYE (32 LBS./1000 SQUARE FEET) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (0.7 LBS./1000 SQUARE FEET) FOR THE PERIOD NOVEMBER 1 THRU FEBRUARY 28. PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.
 MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQUARE FEET) OF UNWROTTEN SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL./1000 SQUARE FEET) OF EMULSIFIED ASPHALT ON FLAT AREAS ON SLOPES 8 FT. OR HIGHER, USE 348 GAL. PER ACRE (6 GAL./1000 SQUARE FEET) FOR ANCHORING.
 PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.
 PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETABLE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNDESIRABLE SOIL GRANULOMETER.
 CONDITIONS WHERE PRACTICE APPLIES:
 1. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
 2. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.
 CONSTRUCTION AND MATERIAL SPECIFICATIONS
 1. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
 2. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 I. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR A SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 1% BY VOLUME OF CONCRETES, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 AND 1/2" IN DIAMETER.
 II. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMOUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 3. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR A SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 1% BY VOLUME OF CONCRETES, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 AND 1/2" IN DIAMETER.
 4. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
 5. TOPSOIL APPLICATION
 I. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
 II. GRADES ON AREAS TO BE TOPSOILED, WHICH HAVE PREVIOUSLY BEEN ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4"-8" HIGHER IN ELEVATION.
 III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 1". SEEDING SHALL BE PERFORMED IN SUCH A MANNER THAT SOODING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE, RESULTING FROM BULGING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
 IV. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.



PERMANENT SEEDING NOTES
 APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
 SEEDBED PREPARATION: LOOSEN UPPER 3 INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.
 SOIL AMENDMENTS: USE ONE OF THE FOLLOWING SCHEDULES:
 1. PREPARED - APPLY 1 TON PER ACRE VOLCANIC LIMESTONE (92 LBS./SQUARE FEET) AND 800 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQUARE FEET) BEFORE SEEDING. WARMUP OR DISC INTO DEEPER TIERES OF SOIL. AT THE TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREA-FERTILIZER (91 LBS./1000 SQUARE FEET).
 2. FERTILIZER - APPLY 2 TONS PER ACRE VOLCANIC LIMESTONE (92 LBS./1000 SQUARE FEET) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQUARE FEET) BEFORE SEEDING. WARMUP OR DISC INTO DEEPER TIERES OF SOIL.
 SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU NOVEMBER 15, SEED WITH 2 1/2 BUSHES PER ACRE OF ANNUAL RYE (32 LBS./1000 SQUARE FEET) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (0.7 LBS./1000 SQUARE FEET) FOR THE PERIOD NOVEMBER 1 THRU FEBRUARY 28. PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.
 MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQUARE FEET) OF UNWROTTEN SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL./1000 SQUARE FEET) OF EMULSIFIED ASPHALT ON FLAT AREAS ON SLOPES 8 FT. OR HIGHER, USE 348 GAL. PER ACRE (6 GAL./1000 SQUARE FEET) FOR ANCHORING.
 MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS DISCING OR OTHER RESEEDINGS.
 1. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR A SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 1% BY VOLUME OF CONCRETES, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 AND 1/2" IN DIAMETER.
 2. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
 3. FOR SITES HAVING DISTURBED AREAS UNDER 3 ACRES:
 I. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
 II. TOPSOIL APPLICATION
 I. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
 II. GRADES ON AREAS TO BE TOPSOILED, WHICH HAVE PREVIOUSLY BEEN ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4"-8" HIGHER IN ELEVATION.
 III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 1". SEEDING SHALL BE PERFORMED IN SUCH A MANNER THAT SOODING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE, RESULTING FROM BULGING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
 IV. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

SEEDMENT CONTROL NOTES
 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (31-1-1855).
 2. ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREIN.
 3. FOLLOWING INITIAL SOIL DISTURBANCE OR RESTORATION, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1
 B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETERS IN ACCORDANCE WITH VOL. 1, CHAPTER 2, OF THE HOWARD COUNTY DESIGN MANUAL.
 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE, IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING AND MULCHING (S2-S).
 6. TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GRADING AND ESTABLISHMENT OF GRASSES.
 7. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
 8. SITE ANALYSIS:
 TOTAL AREA OF SITE: 3773 SF ***
 AREA TO BE ROOFED OR PAVED: 2668 SF
 AREA TO BE VEGETATIVELY STABILIZED: 1722 SF
 TOTAL CUT: 794 CY
 TOTAL FILL: 286 CY
 OFFSITE WASTE/BORROW AREA LOCATION: SITE WITH AN APPROVED & ACTIVE GRADING PERMIT
 *** TOTAL AREA OF LOT 4 + LOD ON LOT 3
 9. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
 10. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
 11. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 3 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON THE COMPLETION OF THE INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
 12. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
 13. THE TOTAL AMOUNT OF SILT FENCE = 420 LF.

SEQUENCE OF CONSTRUCTION
 1. OBTAIN GRADING PERMIT.
 2. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
 3. INSTALL SEDIMENT AND EROSION CONTROL DEVICES AND STABILIZE.
 4. EXCAVATE FOR FOUNDATIONS, ROUGH GRADE AND TEMPORARILY STABILIZE.
 5. CONSTRUCT HOUSE, SIDEWALKS AND DRIVEWAYS.
 6. INSTALL TRENCHES FOR SEPTIC SYSTEM PRIOR TO PLACING FILL IN NW CORNER OF SEPTIC AREA.
 7. REMOVE EXISTING CONSTRUCTION ENTRANCE.
 8. FINAL GRADE AND STABILIZE IN ACCORDANCE WITH STDS. & SPECS.
 9. UPON APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT AND EROSION CONTROL DEVICES AND STABILIZE.

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 HOWARD SCD
 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE
 DIRECTOR DATE

SHANABERGER & LANE
 8726 TOWN & COUNTRY BLVD.
 SUITE 201
 ELLICOTT CITY, MD., 21043
 (410)-461-9563

SOIL TYPES			
NAME	HYDRIC	HYDRIC INCLUSIONS	SLOPES < 15% WITH HIGH EROSION POTENTIAL
EnB2	NO		
G1B2	NO		
G1C3	NO		

BY	NO.	REVISION	DATE

DESIGNED	GSS
DRAWN	GSS
CHECKED	GSS
DATE	4/4/2007

EROSION & SEDIMENT CONTROL PLAN
LOT 4, SAUTER PROPERTY
AND USE-IN-COMMON DRIVEWAY
IMPROVEMENTS ONTO LOT 3
 "SAUTER PROPERTY, LOTS 3 & 4" F-06-236
 LIBER 1355/FOLIO 633
 TAX MAP 18 GRID 1 PARCEL 313
 2nd ELECTION DIST. HOWARD COUNTY MARYLAND
 SCALE: 1"=50'
 APRIL 4, 2007

OWNERS:
 MAURICE E. SAUTER
 ELIZABETH SAUTER
 8431 OLD FREDERICK RD.
 ELLICOTT CITY, MD. 21043

DEVELOPERS:
 JEFFREY KLESSIG
 CAROL KLESSIG
 9741 SOFTWARE WAY
 COLUMBIA, MD. 21045

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT"
 G. SCOTT SHANABERGER DATE
 PROFESSIONAL L.S. #10849
 DEVELOPERS CERTIFICATE
 "I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 Carol Klessig Developer 4/11/07 DATE
 NAME AND TITLE

LEGEND:
 --- DESIGNATES 10,000 SEPTIC EASEMENT
 --- B.R.L. DESIGNATES BUILDING RESTRICTION LINE
 436 --- DESIGNATES SPOT ELEVATION
 --- DESIGNATES SILT FENCE
 --- DESIGNATES TREE TO REMAIN
 --- DESIGNATES TREE TO BE REMOVED
 --- DESIGNATES EXISTING CONTOUR
 --- DESIGNATES PROPOSED CONTOUR
 --- DESIGNATES LIMIT OF DISTURBANCE
 --- DESIGNATES SILT FENCE
 --- DESIGNATES LIMIT OF DISTURBANCE

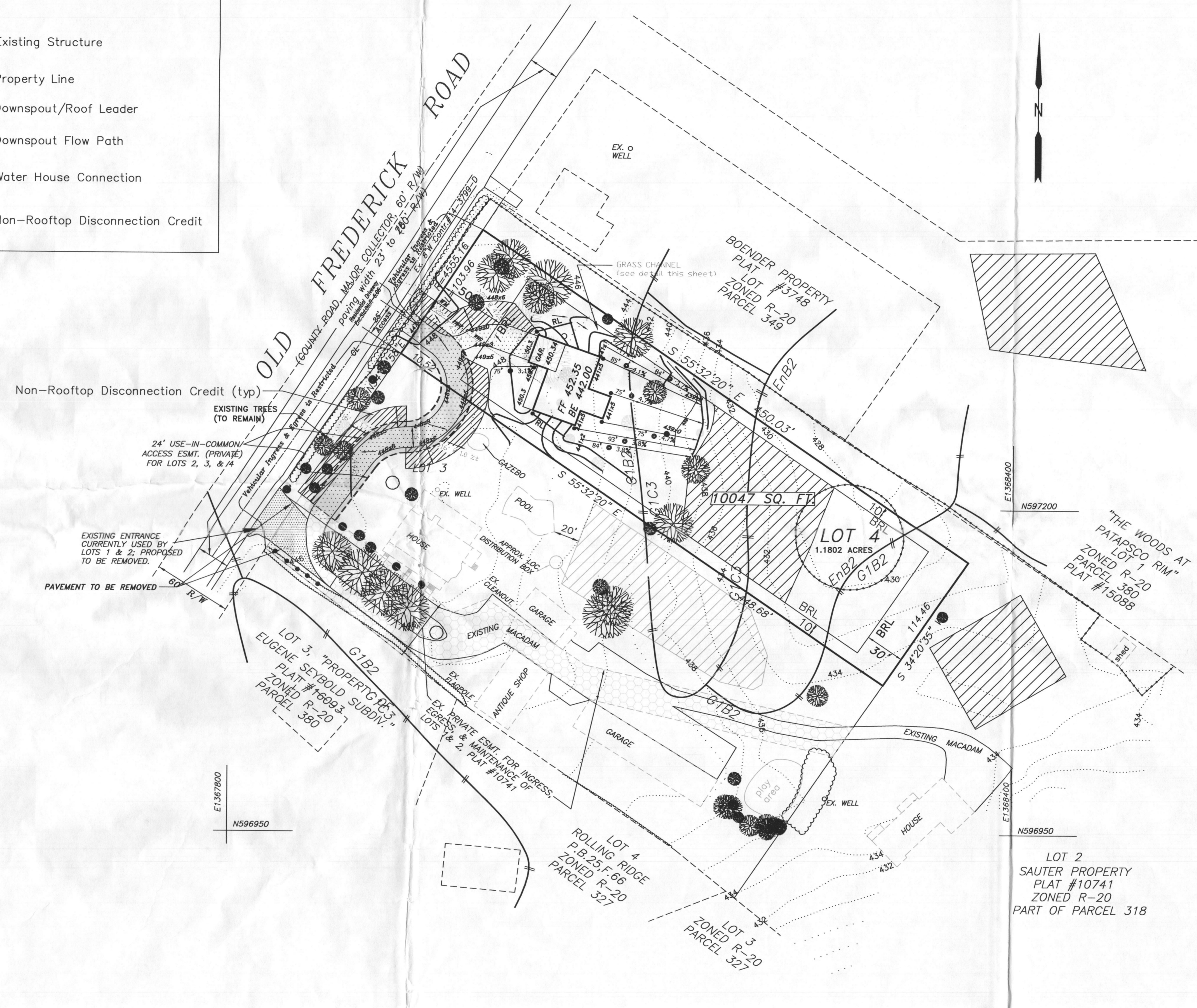
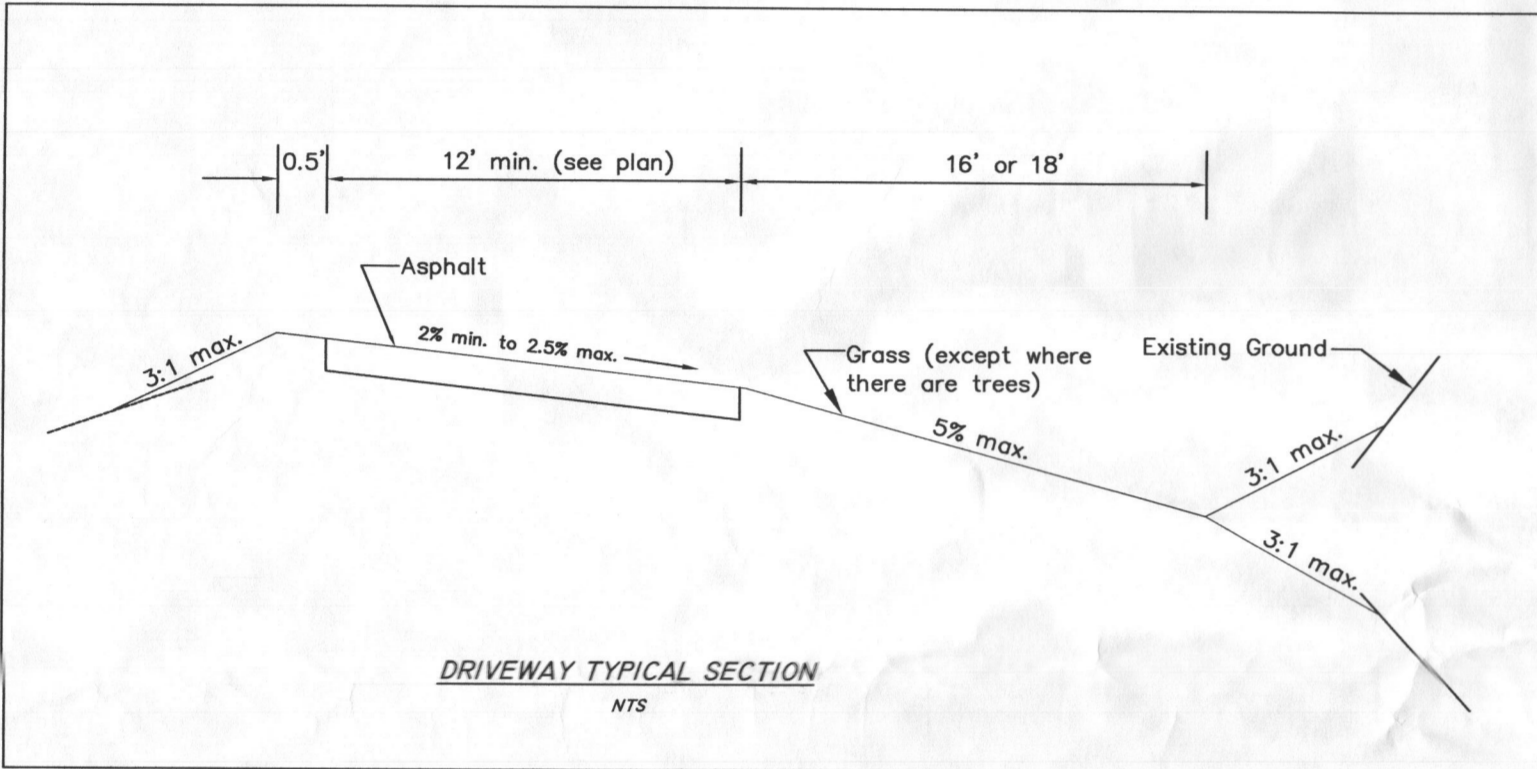
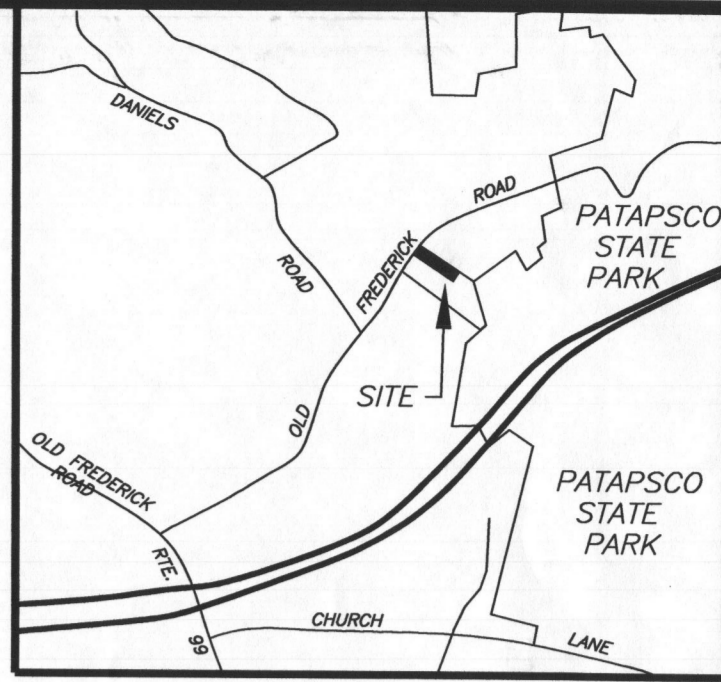
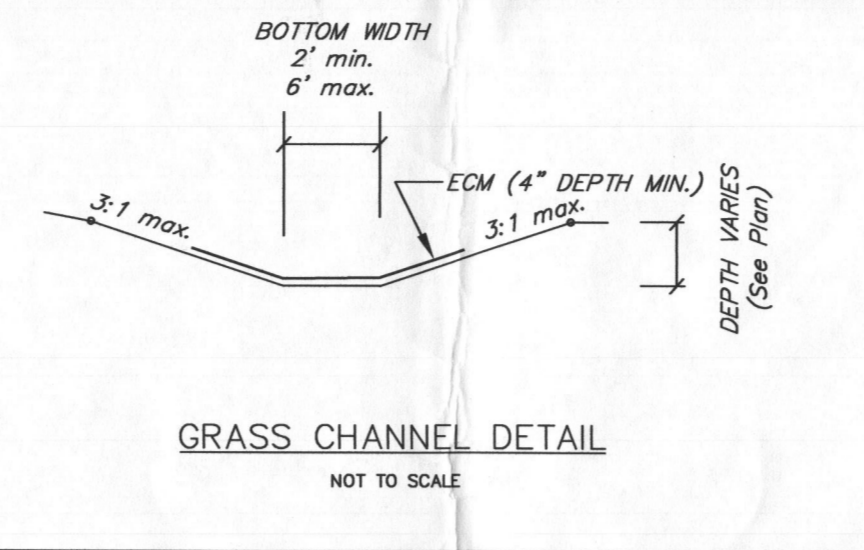
SCALE: 1"=50'
 DRAWING: 9231SDP2
 JOB NO.: 03-42
 COUNTY FILE NO.'S: BA-07-115, W-02-111, F-03-111, F-06-236
SHEET 2 OF 4

GENERAL STORMWATER MANAGEMENT NOTES

- Stormwater management for WQv and Rev has been provided with Rooftop and Non-rooftop run-off credits. Cpv is not required because there is no increase in the 1-yr storm peak discharge after the credits have been applied. Please refer to the SWM Report prepared by CIVIL DESIGN SERVICES, LC dated May 10, 2006 for more information.
- The Boundary and Topography shown on this plan were supplied by SHANABERGER & LANE, Surveyors, Ellicott City. The topography was field-run January, 2006.
- The contractor shall grade the driveways and a strip of land next to the driveway (see plan) to allow water to "sheet" flow through a grass filter strip (except where existing trees will remain). To maintain "sheet" flow, the ground shall be graded uniformly as possible (no dips or swales) with no sudden grade breaks. See typical driveway section this sheet. After driveway grading is complete, the disturbed areas shall be immediately stabilized to prevent formation of erosion channels.
- The roof leaders shall be 4" Ø minimum. Downspouts and leaders shall be constructed so as not to collect more than 500 sf of roof area. Roof leaders shall be installed so as to discharge at the bottom of the slope where intended to flow (see plan).
- All construction shall meet the latest edition of the Howard County Standards and Specifications or as shown on these plans. The contractor shall consult the engineer should there be any discrepancies.
- The utility locations are approximate. Contractor shall test pit all known existing utilities to verify, size, shape, location, and type prior to performing construction. Utility relocations, whether shown or not, are the responsibility of the owner. Any utility damaged due to construction must be repaired immediately by the appropriate and qualified personnel.
- Should the contractor discover discrepancies between the plans and field conditions, the engineer is to be notified immediately to resolve the situation. If the contractor makes field corrections or adjustments without notifying the engineer, then the contractor assumes all responsibility for those changes.
- Contractor shall notify Miss Utility 1-800-257-7777 and the Howard County Department of Inspection Licenses & Permits three (3) working days before beginning construction.
- CIVIL DESIGN SERVICES, LC and Shanabarger & Lane is not responsible for the contractor's utilization of men, materials, equipment, or safety measures in the performance of any work for this project. The contractor assumes all responsibility for performing the work correctly and in conformance with code/specification requirements.

LEGEND

- Proposed Contour
- Existing Contour 2' Interval
- Existing Contour 10' Interval
- Soils Symbol
- Soils Divide
- Existing Structure
- Property Line
- Downspout/Roof Leader
- Downspout Flow Path
- Water House Connection
- Non-Rooftop Disconnection Credit



SOIL TYPES			
NAME	HYDRIC	HYDRIC INCLUSIONS	SLOPES < 15% WITH HIGH EROSION POTENTIAL
EnB2	NO		
G1B2	NO		
G1C3	NO		

OWNERS:
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ELICOTT CITY, MD. 21043

DEVELOPERS:
JEFFREY KLESSIG
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9741 SOFTWATER WAY
COLUMBIA, MD 21045

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DIRECTOR DATE

SHANABERGER & LANE
8726 TOWN & COUNTRY BLVD.
SUITE 201
ELICOTT CITY, MD., 21043
(410)-461-9563

BY	NO.	REVISION	DATE

DESIGNED AAP	STORMWATER MANAGEMENT PLAN LOT 4, SAUTER PROPERTY AND USE-IN-COMMON DRIVEWAY IMPROVEMENTS ONTO LOT 3 "SAUTER PROPERTY, LOTS 3 & 4" F-06-236 LIBER 1355/FOLIO 633 TAX MAP 18 GRID 1 PARCEL 313 2nd ELECTION DIST. HOWARD COUNTY MARYLAND SCALE: 1"=50'	SCALE 1"=50'	SHEET 4 OF 4
DRAWN GSS		DRAWING 9231SDP4	
CHECKED AAP		JOB NO. 03-42	
DATE 1/27/2007		COUNTY FILE NO.'S BA-07-115 WQ-02-207 F-03-11 F-06-236	