



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 01/13/15

Permit No.: B15000114

Building Address: 6781 Norris Lane
 City: Elkridge State: MD Zip Code: 21075
 Suite/Apt. # 9 SDP/WP/BA #: 0000
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: PAR 3
 Tax Map: 71 Parcel: 142 Grid: 12
 Zoning: R-ED Map Coordinates: _____ Lot Size: 12.7124 AC

Existing Use: Single Family Residence
 Proposed Use: Single Family Residence
 Estimated Construction Cost: \$ 295,000
 Description of Work: Former back hall & porch to be renovated into back hall w/ coat closet. Former kitchen to be renovated into laundry/laun. informal dining room to be renovated into kitchen. Addition to include gallery, family room, & breakfast room.
 Occupant or Tenant: Greisman/Gosnell family (owners)
 Was tenant space previously occupied? Yes No
 Contact Name: Muse Architects - Mary-Margaret Stacy
 Address: 7401 Wisconsin Ave. Suite 500 William Kirwan
 City: Bethesda State: MD Zip Code: 20814
 Phone: 301.718.8118 Fax: 301.718.8112
 Email: mmstacy@musearchitects.com or wkirwan@musearchitects.com

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor: <u>47'-6"</u> <u>49'-6"</u>
Area of construction (sq. ft.):	2 nd floor: <u>not included in additional renovation</u>
Use group:	Basement: <u>renovation</u>
Construction type:	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input checked="" type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input type="checkbox"/> Slab on Grade
<input checked="" type="checkbox"/> Wood Frame	No. of Bedrooms: <u>none in addition</u>
<input type="checkbox"/> State Certified Modular	<u>Multi-family Dwelling renovation</u>
	No. of efficiency units:
	No. of 1 BR units:
	No. of 2 BR units:
	No. of 3 BR units:
	Other Structure:
	Dimensions:
<input checked="" type="checkbox"/> Roadside Tree Project Permit:	Footings:
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:
<input checked="" type="checkbox"/> Roadside Tree Project Permit #:	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Property Owner's Name: Lisa Greisman & Mark Gosnell
 Address: 6781 Norris Lane
 City: Elkridge State: MD Zip Code: 21075
 Phone: 410.947.2495 Fax: _____
 Email: msgosnell@aol.com docgoz@aol.com

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: Muse Architects
 Address: 7401 Wisconsin Ave. Suite 500
 City: Bethesda State: MD Zip Code: 20814
 Phone: 301.718.8118 Fax: 301.718.8112
 Email: mmstacy@musearchitects.com wkirwan@musearchitects.com

Contractor Company: TBD
 Contact Person: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 License No.: _____
 Phone: _____ Fax: _____
 Email: _____

Engineer/Architect Company: Muse Architects
 Responsible Design Prof.: William Kirwan
 Address: 7401 Wisconsin Ave.
 City: Bethesda State: MD Zip Code: 20814
 Phone: 301.718.8118 Fax: 301.718.8112
 Email: wkirwan@musearchitects.com

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THE APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: William Kirwan
 Print Name: WILLIAM KIRWAN, AIA
 Email Address: wkirwan@musearchitects.com
 Date: 1.12.15
 Title/Company: MUSE ARCHITECTS, P.C.

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 Approved: 4/6/15, H. Oswald

MUSE ARCHITECTS
Architecture and Interior Design

RECEIVED

AUG 04 2015

LICENSES & PERMITS
DIVISION

Principals

Stephen Muse FAIA
William Kirwan AIA

Associates

Kuk-Ja C. Kim AIA
R. Warren Short AIA
Joshua O. Hill AIA

INV #411926
*WILL PAY PRIOR TO
REV-ISSUANCE

04 August 2015

Howard County, Maryland
Department of Inspections, Licenses and Permits
George Howard Building
3430 Courthouse Drive
Ellicott City, MD 21043

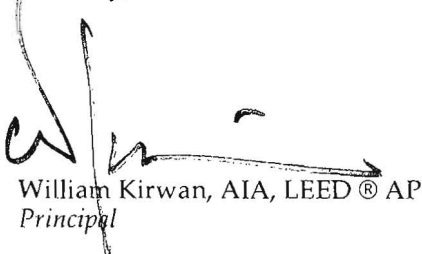
Re: Revision to Building Permit No. B15000114 / 6781 Norris Lane, Elkridge, MD 21075

To Whom It May Concern,

Attached please find three copies of drawing sheet A 1.1.1 for approved building permit number B15000114. We request that the attached drawing be submitted as a revision to the original sheet in the approved permit set. The revised drawing represents an alternative layout to the second and attic floors of the single family residence that limit the number of bedrooms to 5, which meets the capacity of the existing septic system. The Health Department has previewed this layout and agrees that the modifications proposed meet their criteria for distinguishing bedrooms from other spaces. The Health Department reviewer directed us to submit the floor plan revisions as a permit revision so they could officially approve this layout for construction.

Please let me know if there are any questions.

Sincerely,



William Kirwan, AIA, LEED® AP
Principal

MUSE ARCHITECTS, PC

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 8/4/15

To: ~~WILLIAM E. KIRWAN~~ HANK OSWALD / HEALTH DEPT
(Person's Name and Division)

From: MUSE ARCHITECTS (301) 718-8118
(Your Name, Company Name and Telephone Number)

Subject: Project name GREISMAN / GOSNELL RESIDENCE
Project site address 6781 NORRIS LANE ELKRIODGE, MD
Permit # B-1500014 SDP # _____
Other information pertinent to this project _____

- Please check the attachments below that you are submitting with this transmittal:
- Letter of response to address plan review comment letter
 - Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
 - Letter Summarizing Changes
 - Energy conservation calculations
 - Copies of _____ (be specific).
 - Health Department Request DPZ/ DED Request Applicant's Request
 - Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
 - Other _____

Contact Person Information: (Required)

WILLIAM KIRWAN
Please Print Name

Telephone No: 301-718-8118

E-Mail Address: wkirwan@
musearchitects.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by AKH

White-Plan Review / Yellow-Applicant / Pink-Permit Division
t:\forms\transmit.frm - Rev. 04/2014

PERMIT ISSUED
(AMENDMENT)
INV # 411926 *WILL PAY
PRIOR TO
REV-ISSUANCE

Oswald, Hank

From: Mary-Margaret Stacy <mmstacy@musearchitects.com>
Sent: Friday, February 06, 2015 2:30 PM
To: Oswald, Hank
Cc: William Kirwan
Subject: Re: B15000114_6781 Norris Lane
Attachments: plat.pdf; PermitSet.pdf

Hank-

Please find attached the permit set for building permit #B15000114. Please note that the addition is over conditioned crawl and the existing house is over an unfinished basement. We do not have drawings for the upper two floors of the existing house as there is no new work but the extent of the plumbing is one full bath at the second and one full bath at the third floor. Also, attached is what information we were able to find on the septic- we have circled the 6781 Norris Lane property for clarity. Hopefully the dates on this drawing might help you to locate the septic records. Please let us know what other information you might need.

Best,

Mary-Margaret
Mary-Margaret Stacy AIA, LEED Green Assoc.

M U S E A R C H I T E C T S

7401 Wisconsin Ave, Suite 500
Bethesda, MD 20814
T. 301.718.8118
F. 301.718.8112

WWW.MUSEARCHITECTS.COM

From: "Oswald, Hank" <hoswald@howardcountymd.gov>
Date: Wednesday, January 28, 2015 3:26 PM
To: Mary-Margaret Stacy <mmstacy@musearchitects.com>
Subject: B15000114_6781 Norris Lane

Ms. Mary-Margaret:

This email is in response to building permit # **B15000114**. Upon review the submittal, the building permit did not include a copy of the floor plans of the existing house, and proposed changes. In addition, please forward any information that you may have about the septic system (including the 'As Built' drawing detailing the septic specs, septic tank, and trench locations and/or signed perc cert plan). I cannot locate the septic record for this property at this time.

Could you have any questions, please don't hesitate to ask.

Sincerely,

<

Oswald, L.E.H.S.
Howard County Health Department

Oswald, Hank

From: William Kirwan <wkirwan@musearchitects.com>
Sent: Wednesday, July 08, 2015 6:45 PM
To: Oswald, Hank
Subject: Re: Permit Revision filed for 6781 Norris Lane - B 15000114
Attachments: A1_1_1_Permit_Approved.pdf; A1_1_1_Prop_Permit_Rev.pdf

Hank,

The owner at 6781 Norris Lane was curious about an alternative approach to limiting the number of bedrooms in their home to the required 5 bedrooms due to the size of the septic system's capacity. I have attached the originally approved modifications for the building permit, and a proposed permit revision that they would like your feed back on.

The changes are focused to the second floor and attic levels. On the second floor, they propose blocking off one of the originally designated bedrooms over the new Kitchen from its direct access to the second floor hall bath. The doorway would be filled in and the passageway would be converted into a closet accessed from the bathroom only. This former bedroom would now not have direct access to a bathroom on the second floor. We are calling this former bedroom a den in the proposed plan revision.

On the attic level, the owner proposes removing the flooring that bridges over the stair going down to the second floor so that the room we had called an office in the permit set would now be isolated from having access to the attic bathroom. This turns the room we called a playroom in the permit set back to a bedroom with its access to the attic bath.

Please let us know if these revisions would be acceptable to the Health Department.

Thanks,

Bill

William Kirwan, AIA, LEED® AP
Principal

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On Apr 2, 2015, at 11:42 AM, Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Bill:

Can you forward a pdf copy of the floor plans submitted to Permits office this morning ?

Thanks,

Hank

From: William Kirwan [<mailto:wkirwan@musearchitects.com>]
Sent: Thursday, April 02, 2015 11:13 AM
To: Oswald, Hank
Subject: Permit Revision filed for 6781 Norris Lane - B 15000114

Hank,

I filed the drawing sheet at the Permit office this morning that shows all the floor plans for the house on it and identifies the five bedrooms on the second floor and the two attic rooms with the door removed and openings widened to 4 feet. Please let me know if any additional information is needed. We would greatly appreciate a quick review and hopeful approval.

All best,

Bill

William Kirwan, AIA, LEED® AP
Principal

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Bethesda, MD 20814
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WWW.MUSEARCHITECTS.COM

THE GREISMAN/GOSNELL RESIDENCE

6781 NORRIS LANE

ELKRIDGE, MD

MUSE ARCHITECTS, P.C.
Bethesda, MD 20814
7401 Wisconsin Avenue, Suite 500
Phone 301.718.8118 Fax 301.718.8112

KEY TO MATERIALS AND SYMBOLS

	GRAVEL		RIGID INSULATION
	CONCRETE		CONTINUOUS WOOD FRAMING
	BRICK		WOOD BLOCKING
	CONCRETE MASONRY UNIT		FINISH WOOD
	WOOD FRAMED WALL		GYPSUM WALL BOARD
	BATT/ SPRAYFOAM INSULATION		PLYWOOD
	FERROUS METAL		STONE
	WINDOW TYPE		REVISION NUMBER
	DOOR TYPE		DETAIL
	PLUMBING FIXTURE TYPE		SECTION
	INTERIOR ELEVATION		ELEVATION
	SMOKE DETECTOR (HARDWIRED & INTERCONNECTED w/ BATTERY BACKUP)		

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A-5.3	INTERIOR ELEVATIONS
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S2.1	FOUNDATION SECTIONS
S3.1	SECTIONS

*NOT INCLUDED IN SET

LIST OF ABBREVIATIONS

Abbreviation	Item	Abbreviation	Item	Abbreviation	Item
AL	Above	FLR.	Floor	PLY., PLYWD	Plywood
A.F.F.	Above Finish Floor	FLRG.	Flooring	P.T.	Pressure Treated
ABV.	Above	F.O.	Face of	PTD.	Painted
A.H.U.	Air Handling Unit	F.O.S.	Face of Stud	R.	Riser(s)
APPROX.	Approximate	F.O.M.	Face of Masonry	R.O.	Rough Opening
BD.	Board (or Bead, if applicable)	FRAG.	Framing	REINF.	Reinforcing
BLDG.	Building	FT.	Foot	SHTG.	Sheathing
BLKG.	Blocking	FTG.	Footing	SHL.	Similar
BM.	Beam	GALV.	Galvanized	STD.	Standard
C.	Concrete	GWB.	Gypsum Wall Board	STL.	Steel
CL.	Center Line	HB	Hose Bib	ST. STL.	Stainless Steel
CLG.	Ceiling	HT.	Height / Heat	STOR.	Storage
C.J.	Ceiling Joist	H.W.	Hot Water	STRUC.	Structure
CMU	Concrete Masonry Unit	IN.	Inch	SW.	Switch
COL.	Column	JST.	Joist	T	Tread(s)
CONC.	Concrete	JT.	Joint	T&G	Tongue and Groove
CONT.	Continuous	M., MAS.	Masonry	TJI	Truss Joists
CPR.	Copper	MDO	Medium Density Overlay	T.O.	Top of
DS.	Downspout	MDF	Medium Density Fiberboard	T.O. ARCH	Top of Arch
DWG.	Drawing	MEAL.	Membrane	T.O.W.	Top of Wall
EQ.	Equal	M.O.	Masonry Opening	U.N.O.	Unless Noted Otherwise
EX.	Existing	MECH.	Mechanical	W/	With
EXT.	Exterior	MIL.	1/1000 Inch	WD.	Wood
F.D.	Floor Drain	MIN.	Minimum	WIN., WDW.	Window
FIN.	Finish	O.C.	On Center	WPG	Waterproofing
FLASHG	Flashing	O.W.T.	Open Web Truss	WWF	Welded Wire Fabric

PROJECT NARRATIVE

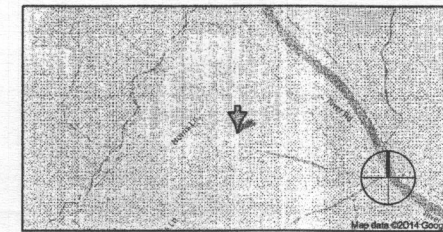
Former back hall and porch to be renovated into an expanded backhall with coat closet. Former kitchen to be renovated into full bath and laundry room. Former informal dining room to be renovated into kitchen. Floor of this space to be dropped 7' to gain headroom. Addition to include a gallery, family room, and breakfast room.

GENERAL NOTES

The following notes shall apply to all drawings made as part of the Contract for construction for this project, including those drawings listed in the INDEX on this sheet:

- Contractor to field verify all dimensions.
- DO NOT SCALE DRAWINGS to obtain dimensions.
- Dimensions shown are to face of structure (i.e. face of stud, masonry, or existing construction) unless noted otherwise on drawings.
- All construction resulting from execution of this work shall conform to the current Howard County building code, in cooperation with 2012 International Residential Code & any supplements.
- All work represented in the drawings for this project shall be considered part of the work required by the Contract Documents for the project and shall be executed in a manner consistent with the provisions described in the Specifications and General Notes.
- The construction work described in these drawings is applicable only to this project. The Architect accepts no liability whatsoever for any construction work performed on the basis of these drawings if such work is not executed under a general Contract.
- Contractor shall comply with current requirements of Howard County for radon mitigation.

VICINITY MAP



SYMBOL KEY

- SMOKE DETECTOR, HARDWIRED & INTERCONNECTED w/ BATTERY BACKUP
- SMOKE/CARBON MONOXIDE DETECTOR, HARDWIRED & INTERCONNECTED w/ BATTERY BACKUP

ZONING SUMMARY

LOT DESCRIPTION:	Map 31, Grid 12, Parcel 142, Lot PAR3 6781 Norris Lane ElkrIDGE, MD 21075
ZONE:	R-ED
BUILDING HEIGHT:	
ALLOWABLE:	34 feet
ACTUAL:	+/-33'-0" (to ridge) existing to remain, no change proposed.
LOT OCCUPANCY:	
ALLOWABLE:	60% maximum; 321,734 sf (12.31AC)
ACTUAL:	Less than 1%, 4,351sf, existing Less than 1% 5,022sf., proposed.
REAR YARD SETBACK:	
ALLOWABLE:	25ft minimum.
ACTUAL:	+/-121' Existing, +/- 121' Proposed
SIDE YARD SETBACK:	
ALLOWABLE:	7.5ft
ACTUAL:	One side +/- 7.5', One side +/- +/-250'

GREISMAN/GOSNELL RESIDENCE

6781 NORRIS LANE ELKRIDGE, MARYLAND 21075

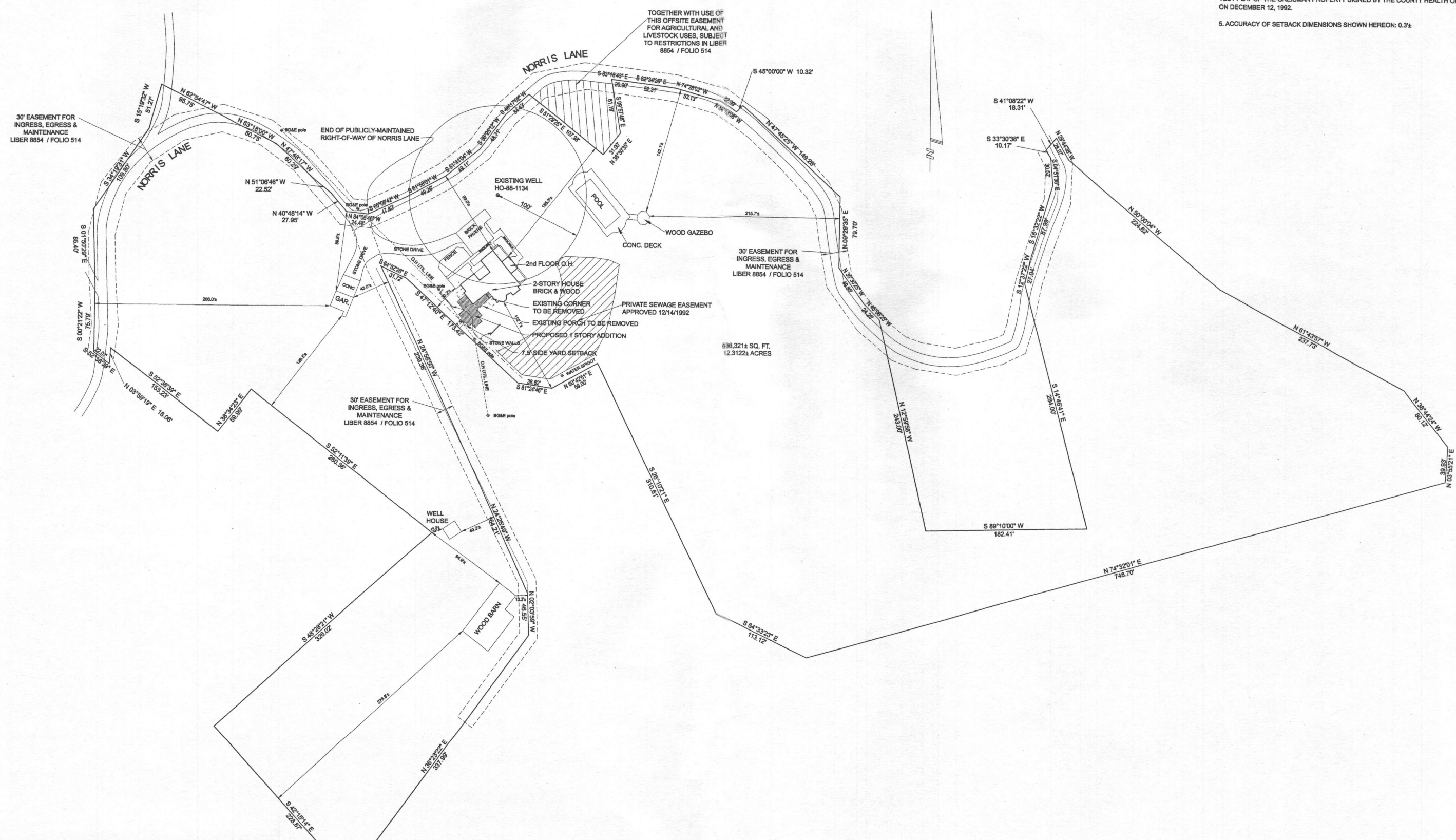
JAN. 13, 2013
PROJECT MEET

TITLE, SYMBOLS, INDEX, LOCATION MAP, & SITE PLAN

SCALE: AS NOTED



- NOTES**
- BOUNDARY SURVEY SHOWN HEREON WAS FIELD-RUN BY SHANABERGER & LANE IN 1992. BEARINGS AND DISTANCES ARE ON THE NAD '27 SYSTEM.
 - IMPROVEMENTS SHOWN HEREON WERE FIELD-LOCATED BY SHANABERGER & LANE IN 1992. IMPROVEMENTS IN THE AREA OF THE EXISTING 2-STORY HOUSE WERE LOCATED AGAIN IN 2014 BY SHANABERGER & LANE.
 - EXISTING WELL WAS FIELD-LOCATED BY SHANABERGER & LANE IN 2014.
 - PRIVATE SEWAGE EASEMENT SHOWN HEREON IS FROM A FIELD-LOCATED PERC TEST PLAT OF THE GREISMAN PROPERTY SIGNED BY THE COUNTY HEALTH OFFICER ON DECEMBER 12, 1992.
 - ACCURACY OF SETBACK DIMENSIONS SHOWN HEREON: 0.3%



SHANABERGER & LANE
 8728 TOWN & COUNTRY BLVD.
 SUITE 201
 ELLICOTT CITY, MD. 21043
 (410) 461-9563
 (410) 461-9693 FAX

THIS SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION AND REVIEW, AND COMPLIES WITH SECTIONS 09.13.06.03 AND 09.13.06.06 OF THE MD. MINIMUM STANDARDS FOR SURVEYORS.

G. SCOTT SHANABERGER DATE
 PROFESSIONAL L.S. #10849

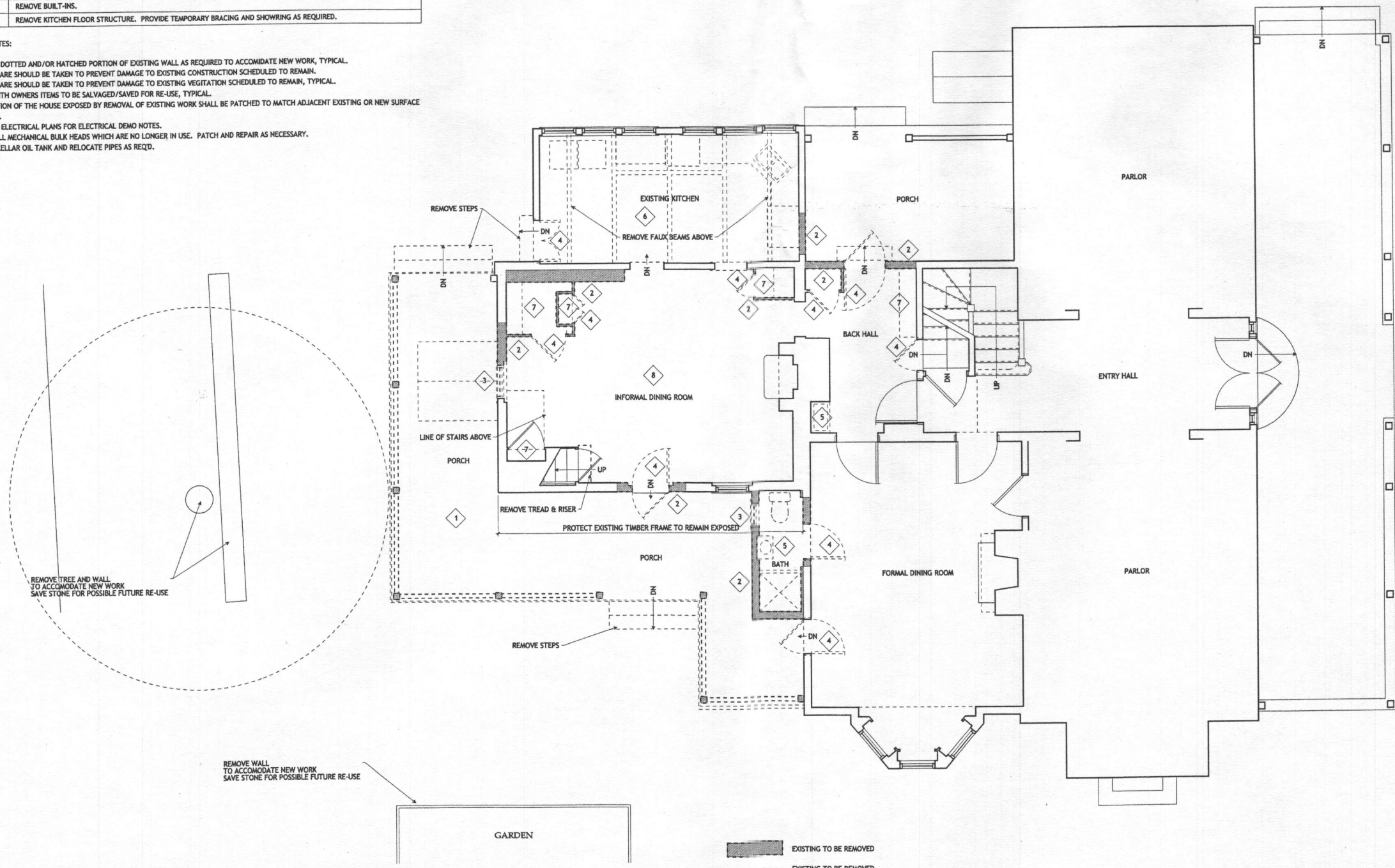
BOUNDARY AND LOCATION DRAWING
 6781 NORRIS LANE
 TAX MAP 31, GRID 12, PARCEL 142
 1ST ELECTION DISTRICT HOWARD COUNTY, MD.
 SCALE: 1" = 50' DATE: AUGUST 4, 2014

DEMOLITION NOTES

MARK	REMARK
1	REMOVE EXISTING PORCH AND CELLAR SCUTTLE. SAVE AND PROTECT ANY STONE FOR POSSIBLE FUTURE RE-USE. PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED.
2	REMOVE WALL AS NECESSARY TO ACCOMMODATE NEW WORK. PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED.
3	REMOVE WINDOW, ASSOCIATED ACCESSORIES, AND TRIM.
4	REMOVE DOOR, JAMB, CASING, AND ASSOCIATED ACCESSORIES. SAVE AND PROTECT FOR POSSIBLE RE-USE.
5	REMOVE BATH FIXTURES, FITTINGS, FINISHES, AND ACCESSORIES. VERIFY WITH CLIENTS ANY ITEMS TO BE SAVED FOR FUTURE RE-USE.
6	REMOVE KITCHEN CABINETS, COUNTERTOPS, FITTINGS, FINISHES, APPLIANCES, FALX BEAMS, & ACCESSORIES. VERIFY WITH CLIENTS ANY ITEMS TO BE SAVED FOR FUTURE RE-USE (WASHER & DRYER TO BE RE-USED).
7	REMOVE BUILT-INS.
8	REMOVE KITCHEN FLOOR STRUCTURE. PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED.

GENERAL NOTES:

1. REMOVED DOTTED AND/OR HATCHED PORTION OF EXISTING WALL AS REQUIRED TO ACCOMMODATE NEW WORK, TYPICAL.
2. SPECIAL CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO EXISTING CONSTRUCTION SCHEDULED TO REMAIN.
3. SPECIAL CARE SHOULD BE TAKEN TO PREVENT DAMAGE TO EXISTING VEGETATION SCHEDULED TO REMAIN, TYPICAL.
4. VERIFY WITH OWNERS ITEMS TO BE SALVAGED/SAVED FOR RE-USE, TYPICAL.
5. ANY PORTION OF THE HOUSE EXPOSED BY REMOVAL OF EXISTING WORK SHALL BE PATCHED TO MATCH ADJACENT EXISTING OR NEW SURFACE AS REQUIRED.
6. REFER TO ELECTRICAL PLANS FOR ELECTRICAL DEMO NOTES.
7. REMOVE ALL MECHANICAL BULK HEADS WHICH ARE NO LONGER IN USE. PATCH AND REPAIR AS NECESSARY.
8. REMOVE CELLAR OIL TANK AND RELOCATE PIPES AS REQD.



1 **FIRST FLOOR DEMO PLAN**
D-1.1 SCALE: 1/4" = 1'-0"

MUSE ARCHITECTS, PC
Bethesda, MD 20814
7401 Wisconsin Avenue, Suite 500
Phone 301.718.8118
Fax 301.718.8112

GREISMAN/GOSNELL RESIDENCE
6781 NORRIS LANE
ELK RIDGE, MARYLAND 21075

JAN. 15, 2013
PERMIT SET

FIRST FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"



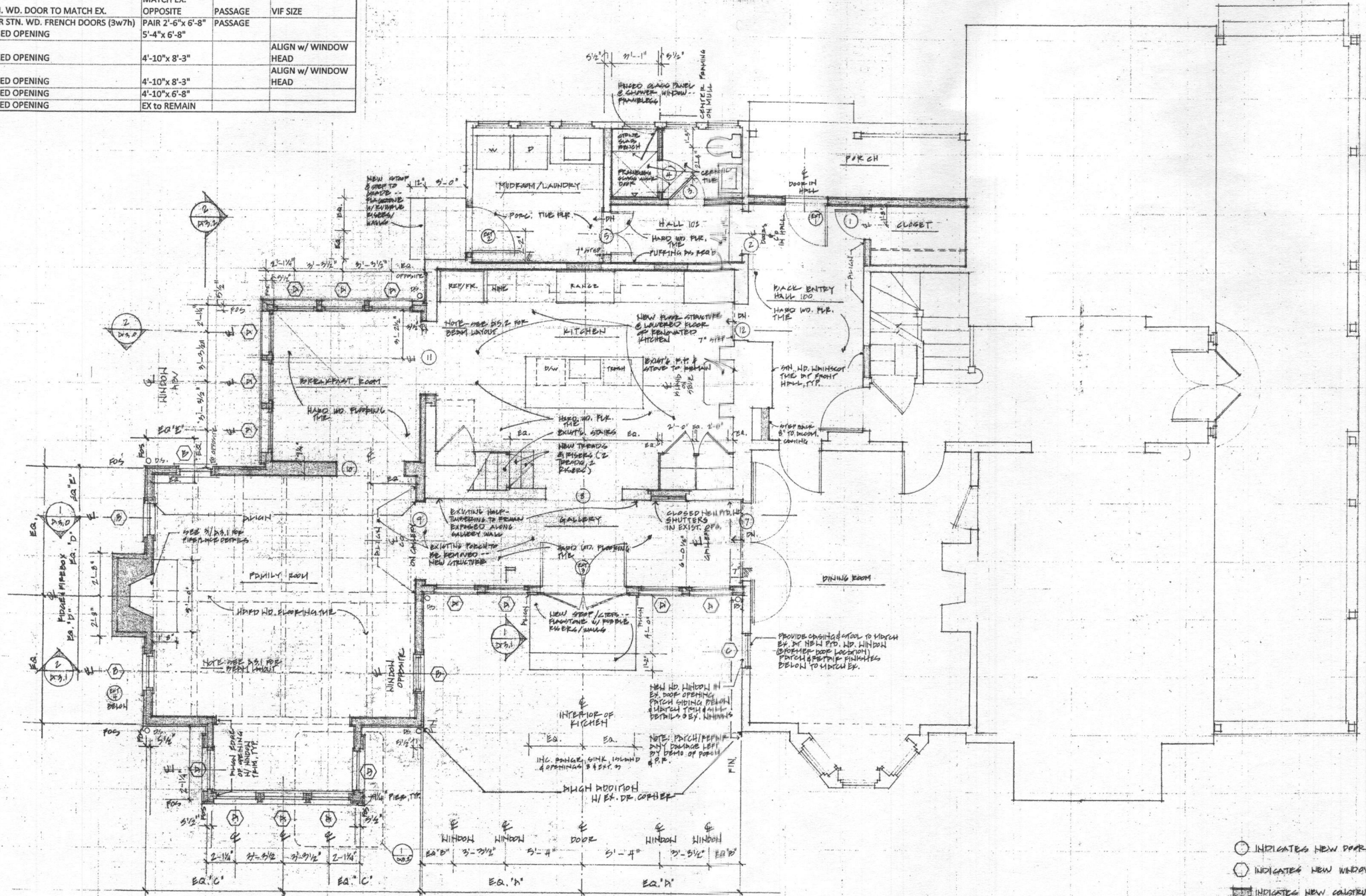
D-1.1

DOOR SCHEDULE					
DOOR #	LOCATION	DESCRIPTION	SIZE	HARDWARE	REMARKS
EXTERIOR					
EXT 1	BACK ENTRY HALL	RE-USE EXISTING HALF LITE DOOR	3'-0"x6'-8" VIF	ENTRY	
EXT 2	MUDROOM/LAUNDRY	PTD. WD. DOOR w/ 9 LITE ABV. & 2 PANELS BELOW	3'-0"x6'-8"	ENTRY	
EXT 3	GALLERY	PAIR PTD. WD. FRENCH DOORS (3w9h)	PAIR 3'-0"x8'-0"	ENTRY	PROVIDE CUSTOM PAIR OF PTD. WD. SCREEN DOORS.
EXT 4	CRAWL ACCESS	PTD. WD. V-GROOVE ACCESS DOOR	2'-6"x2'-6"	ENTRY	VIF SIZE
INTERIOR					
1	CLOSET	STD. WD. PANEL DOOR TO MATCH EX.	2'-0"x6'-8"	PASSAGE	
2	HALL	CASED OPENING	3'-0"x6'-8"		
3	BATH	STN. WD. PANEL DOOR TO MATCH EX.	2'-6"x6'-8"	PRIVACY	RE USE DOOR FROM DR POWDER ROOM IF POSSIBLE
4	SHOWER	FRAMELESS GLASS SHOWER DOOR	2'-2"x6'-8"	SHOWER DOOR	
5	MUDROOM/LAUNDRY	RE-USE EXISTING REAR KITCHEN DOORS	PAIR 1'-6"x6'-8"	PASSAGE	
6	DINING ROOM	STN. WD. DOOR TO MATCH EX.	MATCH EX. OPPOSITE	PASSAGE	VIF SIZE
7	DINING ROOM	PAIR STN. WD. FRENCH DOORS (3w7h)	PAIR 2'-6"x6'-8"	PASSAGE	
8	GALLERY	CASED OPENING	5'-4"x6'-8"		
9	FAMILY ROOM	CASED OPENING	4'-10"x8'-3"		ALIGN w/ WINDOW HEAD
10	FAMILY ROOM	CASED OPENING	4'-10"x8'-3"		ALIGN w/ WINDOW HEAD
11	BREAKFAST ROOM	CASED OPENING	4'-10"x6'-8"		
12	KITCHEN	CASED OPENING	EX TO REMAIN		

WINDOW SCHEDULE					
SYMBOL	LOCATION	DESCRIPTION	FRAME SIZE	LITE CUT	REMARKS
A	BREAKFAST RM/FAMILY RM/GALLERY	MARVIN INTEGRITY ITDH3864 OVER ITDHP38/CUSTOM F.S. HT OF 2'-7 3/4"	3'-1 1/2"x7'-11 1/2"	12 lite/1lite/1 lite	
B	FAMILY ROOM	MARVIN INTEGRITY ITDH3064	2'-8 1/2"x5'-3 3/4"	9 lite/1lite	
C	DINING ROOM	MARVIN ULTIMATE WOOD DOUBLE HUNG WUDH2422	2'-8 3/8"x4'-5"	12 lite/1 lite	

Notes:

- Contractor to verify all dimensions prior to placing order.
- All windows to be glazed with manufacturer's Low-E II and argon insulated glass.
- All windows to have simulated divided lights- 7/8" muntin bar w/ internal spacer bar.
- All wood units to be clear pine with factory primed interior and exterior.
- All clad units to be clear pine with factory primed interior and fiberglass clad exterior to be field painted.
- Provide all operable windows with manufacturer's factory finish screen frames in color to match selected paint color.
- Provide all units with manufacturer's oil rubbed bronze hardware.
- Provide tempered glass glazing where required by code.

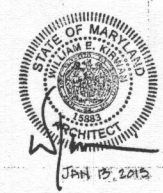


- INDICATES NEW DOOR LOCATION
- INDICATES NEW WINDOW LOCATION
- INDICATES NEW CONSTRUCTION

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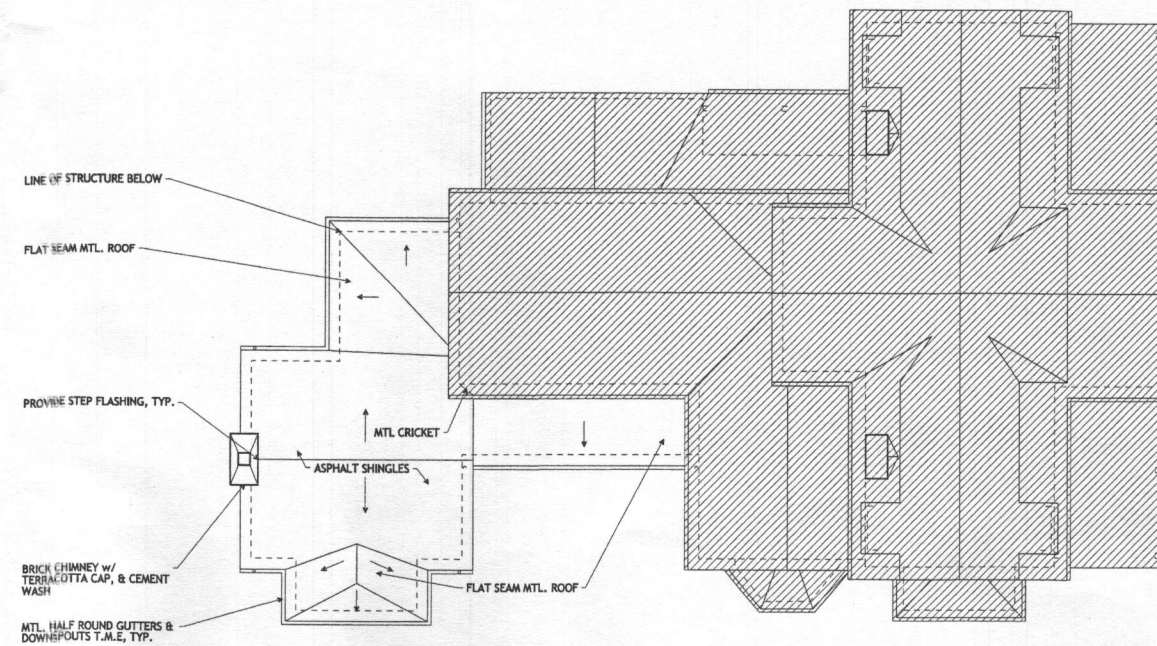
GREISMAN/GOSNELL RESIDENCE
 6781 NORRIS LANE
 ELK RIDGE, MARYLAND 21075

PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



PRE-BUDGET MEETING
 21 NOVEMBER 2012
 FOR REVIEW
 30 MAY 2014
 JULY 8 2014
 27 AUGUST 2014
 DEC. 31, 2014

FINISH SCHEDULE								
FLOOR	LOCATION	FLOOR	WALL	CEILING	CL. HT.	TRIM	CABINWORK	REMARKS
FIRST FLOOR	BACK ENTRY HALL	WD. T.A.E.	EX. PTD. PLASTER/ PTD. GYP. w/ STN. WD. WAINSCOT T.A.E. AT FRONT HALL	EX. PTD. PLASTER/ PTD. GYP.	+/- 8'-0" F.V.	STN. WD. BASE & CASE T.A.E.	STN. WD. WAINSCOT T.A.E. AT FRONT HALL	
	COAT CLOSET	WD. T.A.E.	PTD. GYP.	PTD. GYP.	VARIES TO +/- 8'-0" F.V.	PTD. WD. BASE & CASE T.A.E.	PTD. WD. CLOSET DIVIDERS & ADJ. SHELVES	
	HALL	WD. T.A.E.	PTD. GYP.	PTD. GYP.	8'-0"	PTD. WD. BASE & CASE T.A.E.		
	BATH	TILE	PTD. WP. GYP./TILE AT SHOWER	PTD. WP. GYP./TILE AT SHOWER	VARIES +/- 8'-0" (CORD. w/ WINDOW HEAD)	PTD. WD. BASE & CASE T.A.E.		STONE SILL, JAMB, & HEAD AT SHOWER DOOR & WINDOW IN SHOWER. SLOPED STONE SHOWER BENCH
	LAUNDRY	TILE	PTD. GYP.	PTD. GYP.	VARIES +/- 7'-4" (CORD. w/ WINDOW HEAD)	PTD. WD. BASE & CASE T.A.E.	PTD. WD. SINK BASE w/ STONE TOP & SPLASHES	
	KITCHEN	WD. T.A.E.	EX. PTD. WD. PANELING/ PTD. WD. PANELING T.A.E. FULL HGT. STONE SPLASH	EX. PTD. PLASTER/ PTD. GYP. w/ ROUGH HEIM TIMBER BEAMS	+/- 7'-4" F.V.	PTD. WD. BASE, CASE, & PANELING T.A.E. CROWN AS NOTED	PTD. WD. CABINETS w/ STONE TOPS & FULL HGT. SPLASH. PTD. WD. CLOSETS w/ ADJ. SHELVES	
	GALLERY	WD. T.A.E.	PTD. GYP./ EXPOSED EX. CABIN WALL	PTD. GYP.	9'-0"	PTD. WD. BASE & CASE T.A.E.	PROVIDE PAIR OF PTD. WD. SHUTTERS AT EX. CABIN WINDOWS	REPAIR AREAS OF WALL AT REMOVED POWDER ROOM AS REQD
	FAMILY ROOM	WD. T.A.E.	PTD. GYP.	PTD. GYP. w/ ROUGH HEIM TIMBER BEAMS	VARIES 9'-9" - 13'-4 1/2"	PTD. WD. BASE & CASE T.A.E.	REPLACE w/ PTD. WD. MANTLE & BRICK HEARTH & SURROUND	
	BREAKFAST ROOM	WD. T.A.E.	PTD. GYP.	PTD. GYP.	9'-0"	PTD. WD. BASE & CASE T.A.E.		
	DINING ROOM	EX. TO REMAIN- PATCH & REPAIR AS NEEDED AT FORMER DOORS	EX. PAPERED PLASTER PATCH & REPAIR AS REQD	EX. TO REMAIN	7'-0" EXISTING	STN. WD. BASE & CASE T.A.E.		



1 ROOF PLAN
A-1.2 SCALE: 1/8" = 1'-0"

Plumbing Schedule

Room	Mark	Fixture	Color	Fittings	Finish	Remarks
First Floor						
Bath	L1	Pedestal Sink St. Thomas Creations Petite Pedestal Lavatory 5125.080	White/ Polished Chrome	Widespread Faucet Newport Brass Astor 920	Polished Nickel	Provide supplies, stops, and p-trap in finish to match.
	SH1	Tile		Pressure Balance Shower Set Newport Brass 3-924BP w/ rough-in 1-594	Polished Nickel	
	WC3	Elongated Toilet Toto Elongated Eco Promenade C424EFG01/ST424E01 w/ SS15401 Seat	Cotton	Trip Lever	Polished Nickel	Provide supplies and stops in finish to match.
Kitchen	S1	Rohl Shaws Original Fire Clay Apron Sink RC3018	White	Rohl Perin and Rowe Kitchen bridge Faucet w/ Sidespray U.4719L-2	Polished Nickel	
Laundry	S2	Undermount Stainless Steel Sink Blanco Stellar 28x18 441024	Stainless	Re-use wall mount faucet from existing bar sink.	Existing	

APPLIANCE SCHEDULE

DESCRIPTION	MANUFACTURER	MODEL NUMBER	REMARKS
KITCHEN			
Refrigerator Liebherr -HCB 2061	Liebherr	HCB 2061	Full Overlay Panel
Wine Captain -24" Under Counter	Sub Zero	424C/O	Overlay Panel
Range Wolfe -48" Dual Fuel Range	Wolfe		Configuration and knob color TBD PROVIDE CONVERSION KIT FOR PROPANE
Hood -Wolfe Professional 22" Hood Liner	Wolfe	PL462212 w/ 1200 CFM Remote Blower	
Dishwasher -Bosch 24" Panel Ready Dishwasher	Bosch	SHV68T3UC	Full Overlay Panel
Microwave -GE Profile Series	GE	PEM31SP	Stainless Steel
Disposal -3/4 HP Continuous Feed Disposer	InSinkErator	Evolution Essential	Disposal -3/4 HP Continuous Feed Disposer
LAUNDRY			
Washer			White
Re-use Existing			
Dryer			White
Re-use Existing			

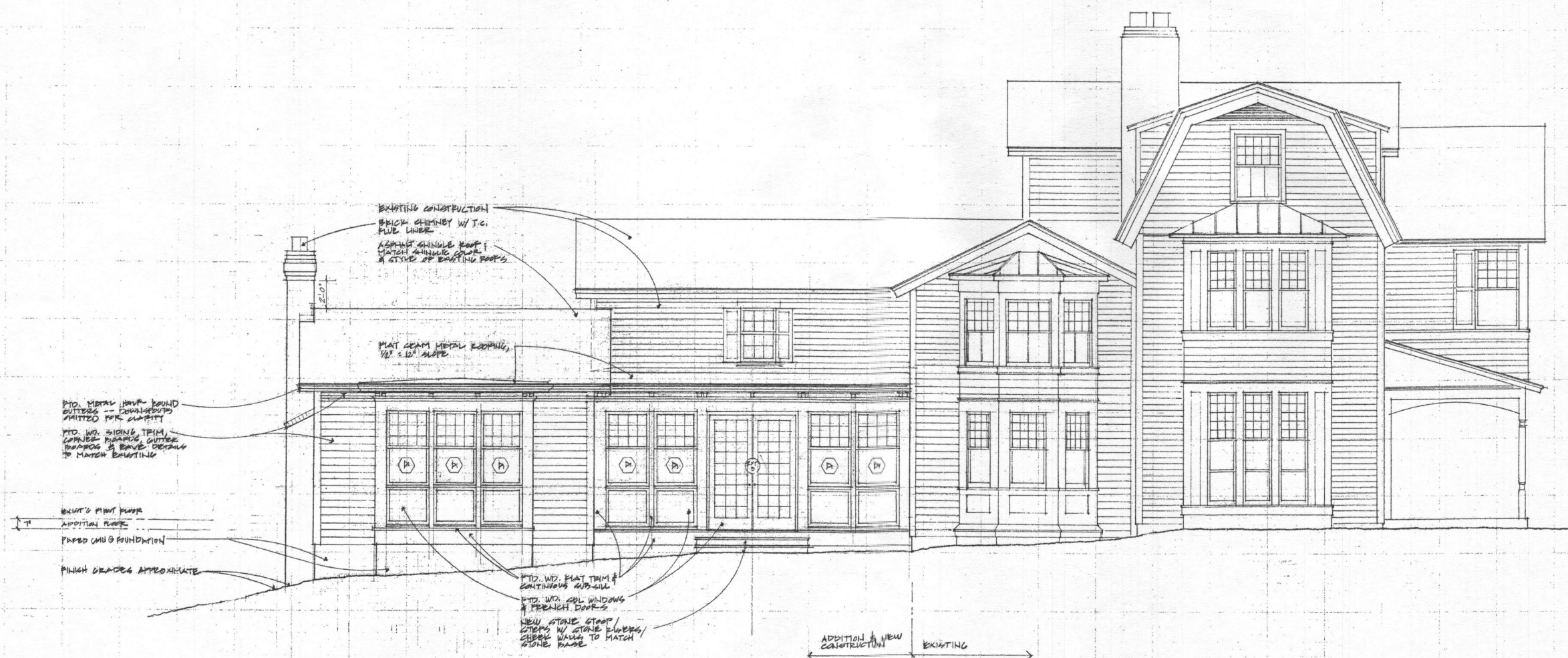
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ELKRIDGE, MARYLAND 21075
6781 NORRIS LANE

JAN. 13, 2010
PERMIT SET

ROOF PLAN & SCHEDULES
SCALE: AS NOTED





PTD. METAL HANG BOUND
GUTTERS - DOWNSPOUTS
WHITTED FOR SAFETY

PTD. W/1. SIDING TRIM,
CORNER PLANKS, GUTTER
BRACKETS & RAVE DETAILS
TO MATCH EXISTING.

EXIST. 1ST FLOOR
ADDITIONAL FLOOR

PAVED CMU FOUNDATION

FINISH GRADES APPROXIMATE

PTD. W/1. PLAT TRIM &
CONTINUOUS SUB-SILL

PTD. W/1. SOL WINDOWS
& FRENCH DOORS

NEW STONE STOOP
STEPS W/ STONE FUNDERS/
SUBSILL W/1. TO MATCH
STONE PLAGE

ADDITION & NEW
CONSTRUCTION

EXISTING

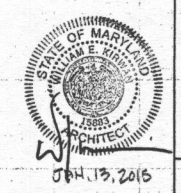
EXISTING FIRST
FLOOR, FIN. ELEV.

FIN. FLOOR ELEV.
& ADDITION

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PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



FOR BOOBY PRICING
21 JANUARY 2012

FOR REVIEW
30 MAY 2014
6.17.14

JULY 8, 2014
27 AUGUST 2014
DEC 31, 2014

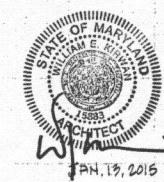


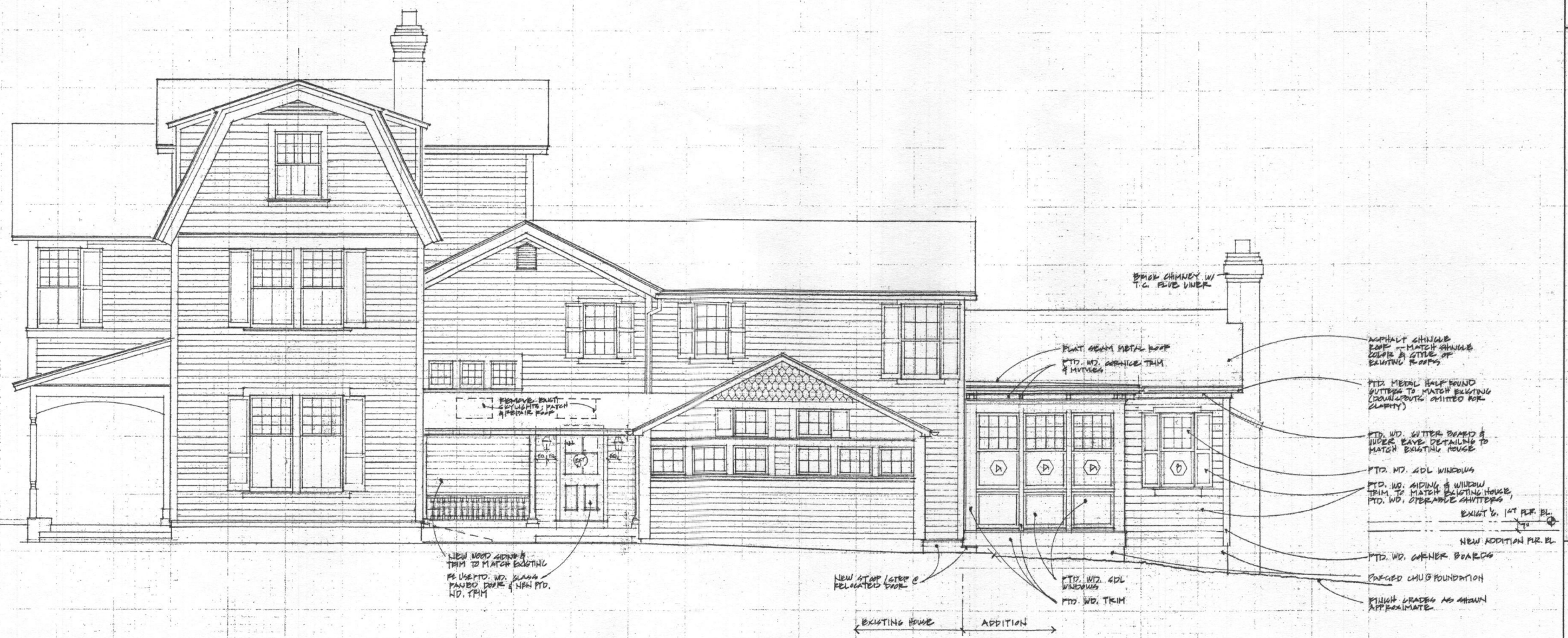
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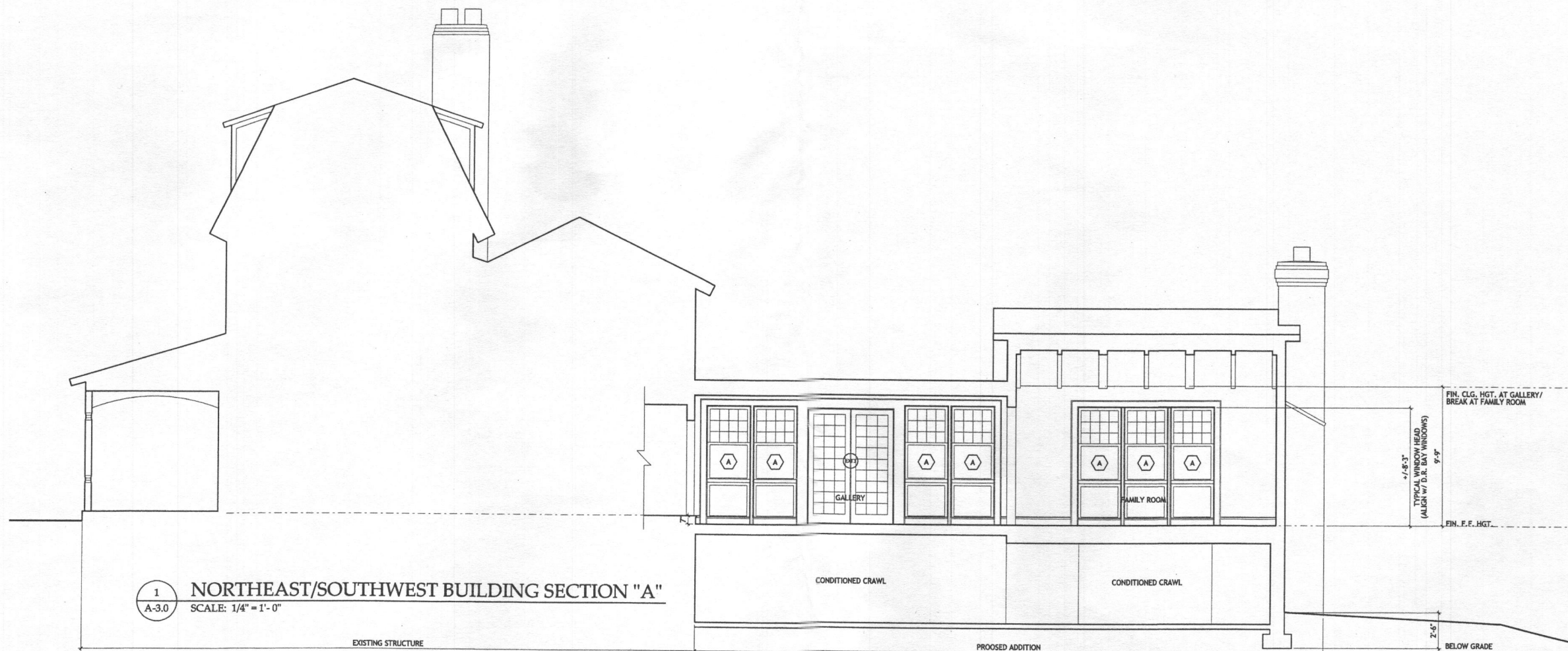
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PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

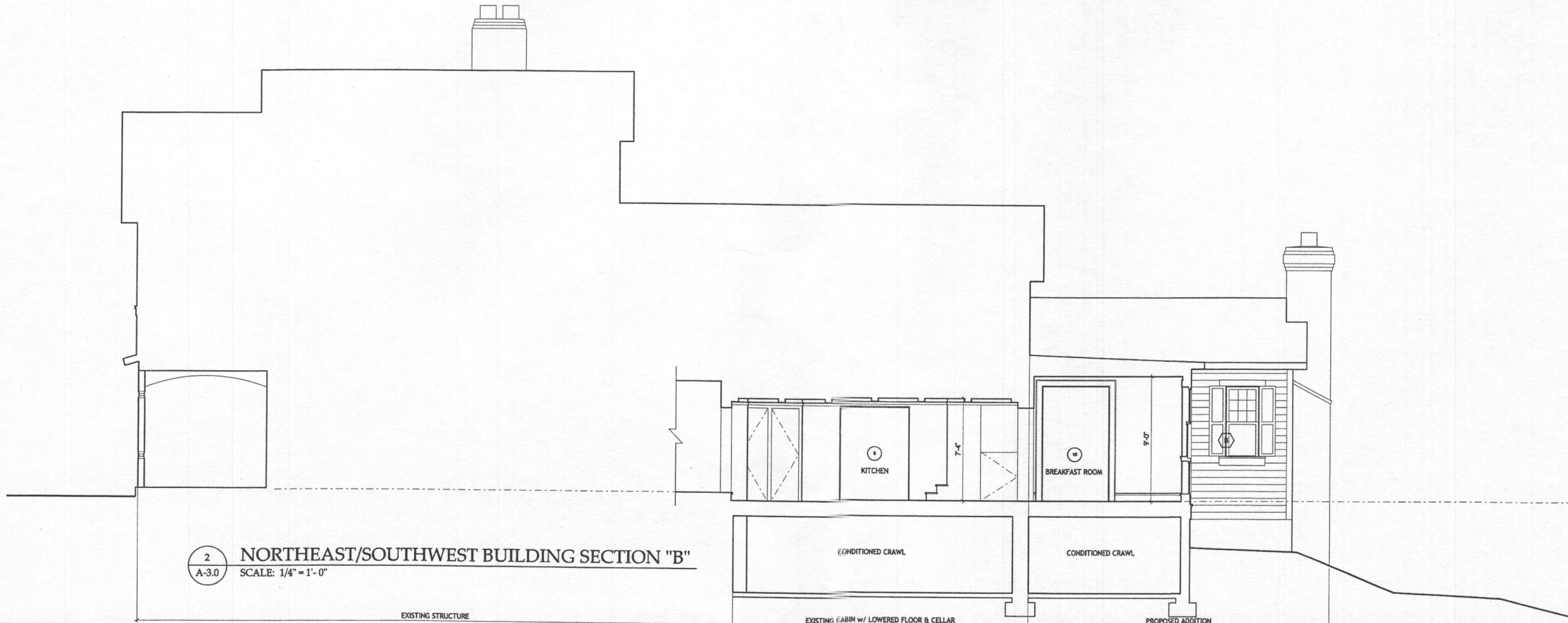
PRE-BUDGET PERIOD
 21 NOVEMBER 2012
 FOR REVIEW
 30 MAY 2014
 6.17.14
 JULY 8, 2014
 27 AUGUST 2014
 DEC 21, 2014







1
A-3.0 NORTHEAST/SOUTHWEST BUILDING SECTION "A"
SCALE: 1/4" = 1'-0"



2
A-3.0 NORTHEAST/SOUTHWEST BUILDING SECTION "B"
SCALE: 1/4" = 1'-0"

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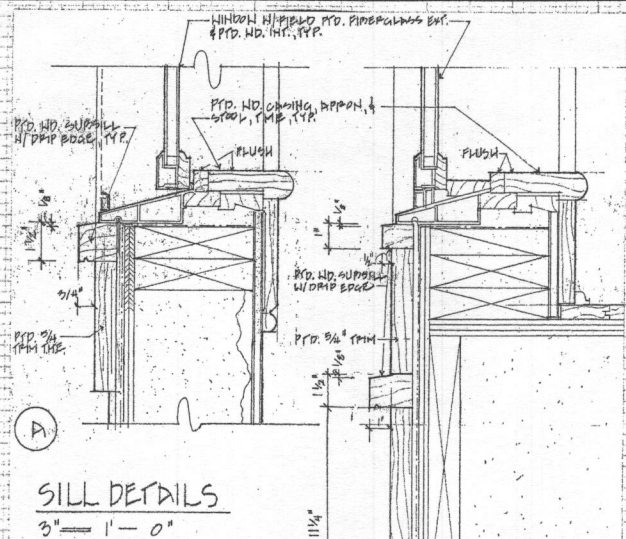
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6781 NORRIS LANE

JAN 11, 2018
PERMIT SET

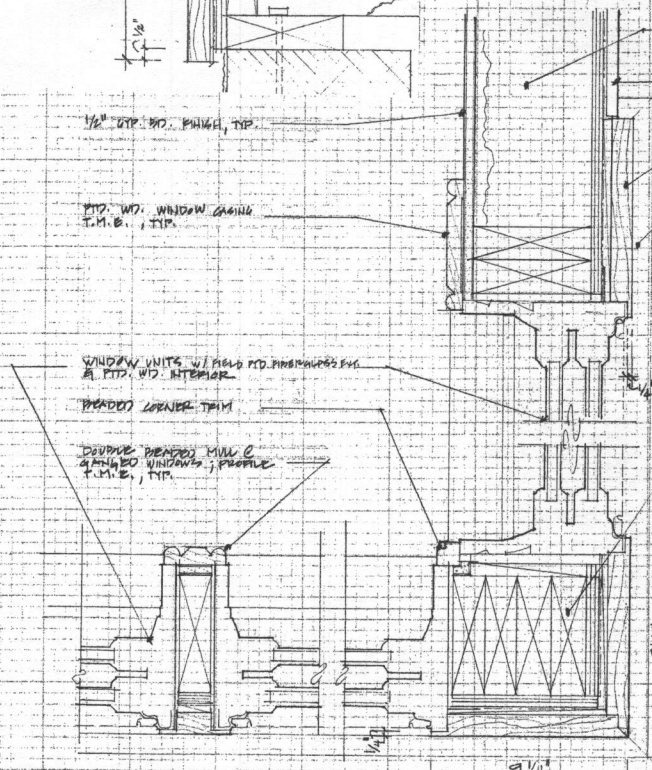
BUILDING SECTION
SCALE: 1/4" = 1'-0"



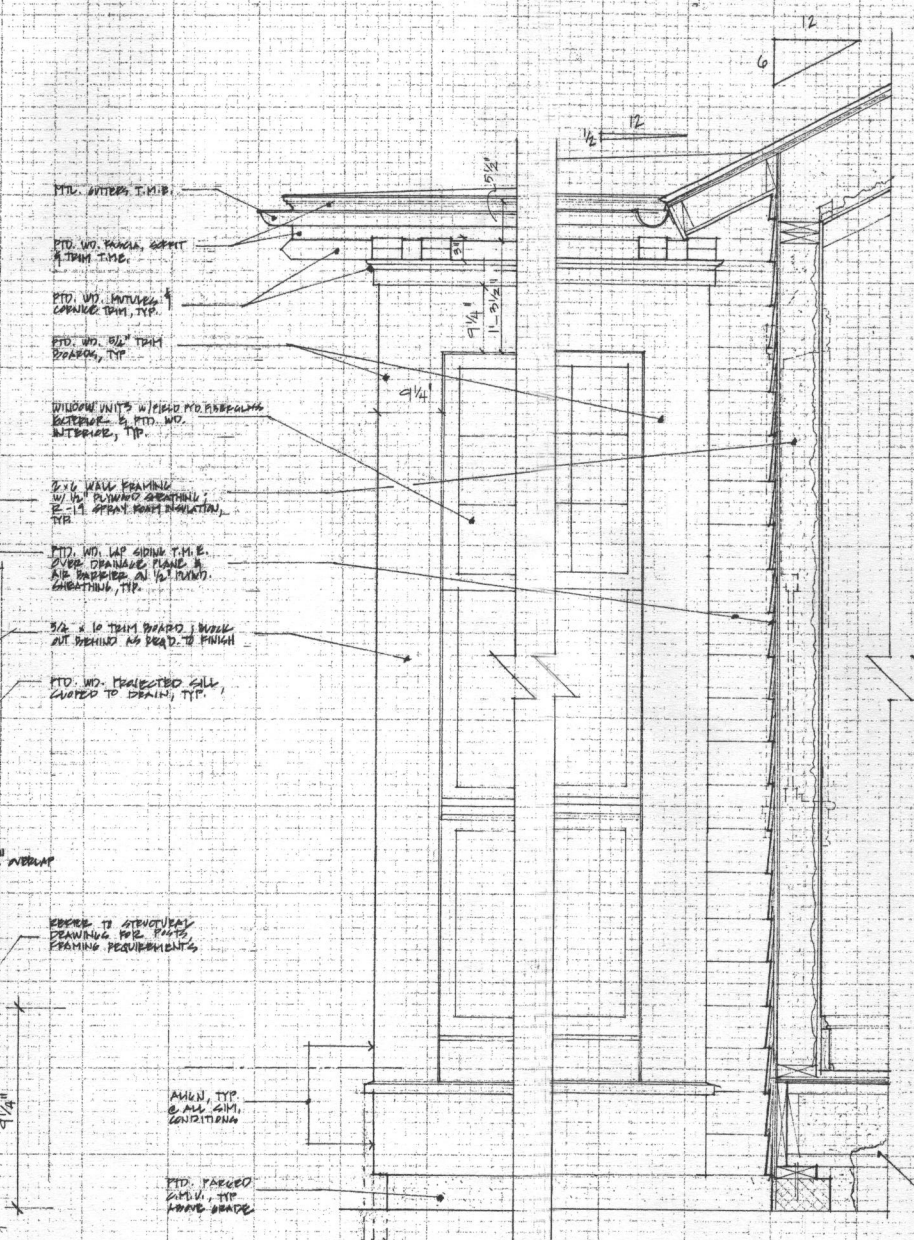
A-3.0



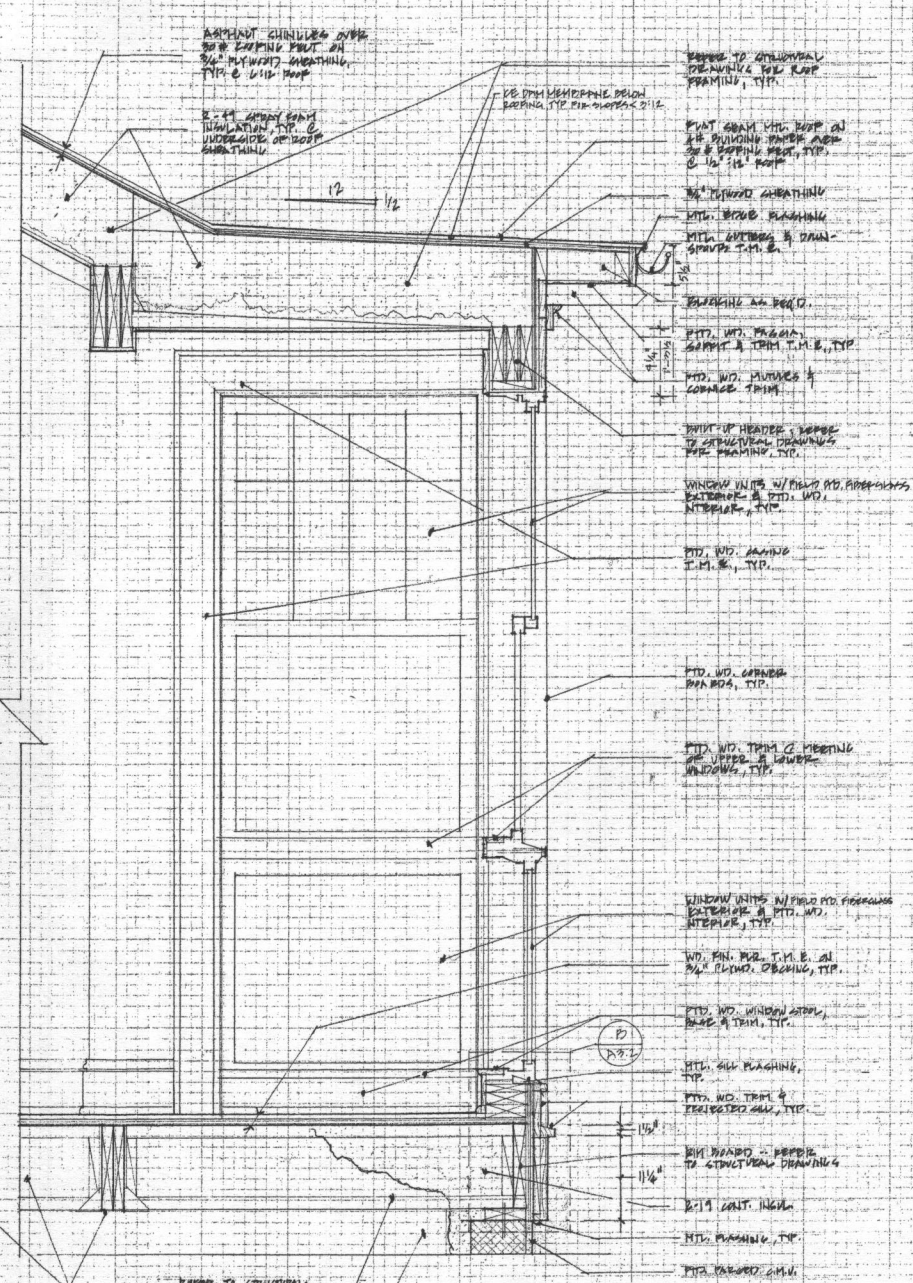
SILL DETAILS
3" = 1'-0"



PLAN DETAIL AT BAY
3/8" = 1'-0"



WALL SECTION AT FAMILY RM.
1" = 1'-0"



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WALL SECTIONS/DETAILS
SCALE: AS NOTED

27 AUGUST 2014
DEC 31, 2014
JAN 15, 2015



STRUCTURAL NOTES

1 GENERAL

A. THE STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

LIVING AREAS	40 PSF
SLEEPING ROOMS	40 PSF
ATTICS W/ STORAGE	10 PSF
ATTICS W/ STORAGE	20 PSF
EXTERIOR DECK	40 PSF
EXTERIOR BALCONY	60 PSF

SNOW LOAD (GROUND SNOW)	30 PSF
WIND LOAD	90 MPH

SEISMIC DESIGN CATEGORY	B
TERMITE HAZARD	MODERATE TO SEVERE
DAMAGE FROM WEATHERING	SEVERE

A MINIMUM OF 12 PSF DEAD LOAD WAS ADDED IN THE DESIGN.

B. MECHANICAL UNITS AND ANY OTHER EQUIPMENT WITH WEIGHTS SHOWN IN PLAN AND SUPPORTED BY THE STRUCTURE WERE CONSIDERED IN THE DESIGN OF THE STRUCTURE. ANY ADDITIONAL EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

C. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS & ROOF ACTING TOGETHER. CONTRACTOR TO PROVIDE ALL GUYS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.

D. BASEMENT AND FOUNDATION WALLS ARE DEPENDENT UPON THE COMPLETED INSTALLATION OF FLOORS FOR THEIR STABILITY. CONTRACTOR SHALL NOT PLACE BACKFILL UNTIL THESE ELEMENTS ARE COMPLETELY INSTALLED, OR CONTRACTOR HAS PROVIDED SHORING AND BRACING TO ADEQUATELY RESTRAIN WALL.

2 EARTHWORK

A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 1500 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.

B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.

C. COMPACTED BACKFILL BELOW BUILDING SLABS - ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. MATERIALS TO BE FREE FROM ORGANIC MATERIAL, TRASH, MUCK, CONCRETE, ASPHALT OR OTHER DELETERIOUS SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO MIN. 95% OF THE DRY MAX. DENSITY AS DETERMINED BY ASTM D998.

D. STEP NEW FOOTINGS UP OR DOWN SUCH THAT BOTTOM OF FOOTING MATCHES THE EXISTING AT INTERSECTIONS BETWEEN NEW AND EXISTING WALLS. DRILL AND GROUT 2#5 BARS X 2'-0" LONG INTO EXISTING FOOTING. PROVIDE MINIMUM 6" EMBEDMENT.

E. RESTRAINED FOUNDATION WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 60 PCF AND RETAINING WALLS FOR A LATERAL EARTH PRESSURE OF 45 PCF, ASSUMING A PERIMETER DRAINAGE SYSTEM WITH FREE DRAINING SOIL MATERIAL OR DRAINAGE BOARD BEHIND WALL. NOTIFY ENGINEER IF SOIL CONDITIONS DIFFER.

3 CONCRETE

A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (F_c) = 3000 PSI IN 28 DAYS. EXTERIOR AND GARAGE SLABS SHALL HAVE A MINIMUM STRENGTH OF 3500 PSI. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATIONS. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.

B. ALL REINFORCING STEEL TO MEET ASTM-A615 GRADE 60. PLACING PLANS AND SHOP FABRICATED DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". FURNISH SUPPORT BARS AND ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH C.R.S.I. STANDARDS. ALL REINFORCING TO BE SPLICED A MINIMUM OF 30 BAR DIAMETERS.

C. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:

FOOTINGS (BOTTOM)	3"
WALLS	1-1/2"

D. PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING IN WALLS AND FOOTINGS. PROVIDE REINFORCING DOWELS BETWEEN FOOTINGS AND WALLS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.

4 MASONRY

A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC. C-90 FOR LOADBEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING @ 18" O.C. HORIZONTALLY. MORTAR TO BE ASTM C-270 TYPE S.

B. LINTELS FOR MASONRY WALLS SHALL BE AS FOLLOWS: PROVIDE 1 ANGLE FOR EACH 4" OF WALL THICKNESS AS FOLLOWS:

OPENINGS TO 3'-0":	4" X 3-1/2" X 1/4" - LLV
3'-1" TO 5'-0":	4" X 3-1/2" X 5/16" - LLV
5'-1" TO 6'-0":	5" X 3-1/2" X 5/16" - LLV
OPENINGS GREATER THAN 6'-0":	CONSULT ARCHITECT (LLV - LONG LEG VERTICAL)

C. ALL VERTICAL REINFORCING SHALL BE GROUTED IN PLACE WITH TYPE S MORTAR OR PEA GRAVEL CONCRETE.

D. ALL EXPANSION BOLTS OR SLEEVE ANCHORS IN MASONRY WALLS SHALL BE PLACED IN SOLID GROUTED MASONRY.

E. PROVIDE REINFORCING DOWELS FROM ALL FOOTINGS INTO MASONRY WALLS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.

5 STEEL

A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A-992 GRADE 50. PIPE TO BE AS53. TUBE TO BE AS50 OR AS51. DETAILING TO BE IN ACCORDANCE WITH AISC STRUCTURAL STEEL DETAILING MANUAL. BOLTED FIELD CONNECTION SHALL BE 3/4" DIAMETER HIGH STRENGTH BOLTS MEETING ASTM SPEC. A-325.

B. SUBMIT COMPLETE SHOP AND ERECTION DRAWINGS FOR APPROVAL PRIOR TO FABRICATION OR ERECTION.

C. ALL WELDERS SHALL BE CERTIFIED IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY. ALL WELDING ELECTRODES, MACHINES, ETC. SHALL BE COMPATIBLE WITH STEEL BEING WELDED.

6 WOOD

A. ALL FRAMING LUMBER SHALL BE HEM-FIR, GRADE #2, OR SPRUCE-PINE-FIR, GRADE #1 / #2, OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2x12 MEMBERS):

- BENDING STRESS "F_b" = 850 PSI FOR SINGLE MEMBER USE
- HORIZONTAL SHEAR "F_v" = 135 PSI
- COMPRESSION PERPENDICULAR TO GRAIN "F_c" = 405 PSI
- COMPRESSION PARALLEL TO GRAIN "F_{c11}" = 1,150 PSI
- MODULUS OF ELASTICITY "E" = 1,300,000 PSI

NOTE: SPRUCE-PINE-FIR (SOUTH) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY N.L.G.A.

B. ALL EXPOSED EXTERIOR FRAMING AND FRAMING IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUAT (ACQ) OR COPPER AZOLE (CBA-A AND CA-B), NOT SODIUM BORATE (SBX). LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE #2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2x12 LUMBER):

- BENDING STRESS "F_b" = 975 PSI FOR SINGLE MEMBER USE
- HORIZONTAL SHEAR "F_v" = 175 PSI
- COMPRESSION PERPENDICULAR TO GRAIN "F_c" = 565 PSI
- COMPRESSION PARALLEL TO GRAIN "F_{c11}" = 1,450 PSI
- MODULUS OF ELASTICITY "E" = 1,800,000 PSI

C. PLYWOOD LAMINATED VENEER LUMBER (LVL) BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

- BENDING STRESS "F_b" = 2400 PSI
- HORIZONTAL SHEAR "F_v" = 285 PSI
- MODULUS OF ELASTICITY "E" = 1,900,000 PSI

D. ALL WALL STUDS SHALL BE SPF STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2x6 MEMBERS):

- COMPRESSION PARALLEL TO GRAIN "F_{c11}" = 725 PSI
- BENDING STRESS "F_b" = 675 PSI FOR SINGLE USE MEMBERS
- MODULUS OF ELASTICITY "E" = 1,200,000 PSI

E. UNLESS NOTED OTHERWISE, FASTENING FOR STRUCTURAL MEMBERS SHALL FOLLOW INTERNATIONAL RESIDENTIAL CODE TABLE R602.3(1).

F. CUTTING AND NOTCHING OF CONVENTIONAL FLOOR JOISTS SHALL CONFORM TO THE FOLLOWING:

-NOTCH DEPTH IN THE TOP OR BOTTOM OF THE JOISTS AND BEAMS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE MEMBERS AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN (INCLUDING BIRDS MOUTH CUTS).

-NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER.

-THE TENSION SIDE OF BEAMS, JOISTS AND RAFTERS SHALL NOT BE NOTCHED, EXCEPT AT ENDS OF MEMBERS.

-HOLES BORED OR CUT INTO JOISTS SHALL NOT BE CLOSER THAN TWO INCHES TO THE TOP OR BOTTOM OF THE JOISTS. THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOISTS.

G. PROVIDE SOLID BLOCKING AT 4 FEET ON CENTER BETWEEN BAND JOIST AND FIRST INTERIOR PARALLEL JOIST.

H. PREFABRICATED JOIST HANGERS, BEAM HANGERS, POST CAPS AND POST BASES SHALL BE SIZED AND ATTACHED PER MANUFACTURER'S RECOMMENDATION. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED MEMBERS SHALL MEET G185 HOT-DIPPED GALVANIZING.

I. PREFABRICATED STEEL HANGERS SHALL BE INSTALLED AS FOLLOWS:

1. ALL JOISTS, RAFTERS, AND BEAMS FLUSH-SUPPORTED TO OTHER FRAMING SYSTEMS SHALL HAVE PREFABRICATED JOIST/BEAM HANGERS.
2. HANGERS SHALL BE SIZED IN ACCORDANCE WITH MANUFACTURER'S CATALOGUE FOR THE JOIST/BEAM TYPE, NUMBER OF PLIES, DEPTH, AND WIDTH.
3. WHERE HANGER LOADS ARE NOTED ON THE DRAWINGS, HANGERS SHALL BE SIZED TO CARRY THE LOAD VALUE.
4. PROVIDE SPECIAL SLOPED AND/OR SKEWED HANGERS FOR SLOPED AND SKEWED MEMBERS.

J. ANCHOR BOLTS CONNECTING PRESSURE-TREATED WOOD PLATES TO MASONRY OR CONCRETE SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.

K. HOLES THROUGH WOOD IS SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS. NO CUTS OR HOLES ARE ALLOWED IN TOP OR BOTTOM CHORDS.

L. PROVIDE 1x12 BAND BOARD IN WOOD JOIST OR WOOD FLOOR TRUSS SYSTEMS AT ALL PERIMETER BEARING WALLS. PROVIDE SQUASH BLOCKS AND STIFFENERS TO DISTRIBUTE LOADINGS AND AS REQUIRED BY MANUFACTURER. PROVIDE SOLID BLOCKING AT INTERIOR JOIST SUPPORTS WITH BEARING WALLS ABOVE.

M. ALL HEADERS SHALL HAVE A MINIMUM OF TWO STUDS AT EACH END UNLESS NOTED. BUILT-UP STUD COLUMNS SHALL HAVE ONE JACK STUD AND THE REMAINING STUDS SHALL BE KING STUDS. MULTIPLE STUDS SHALL BE NAILED WITH 12d NAILS AT 8" O.C. PROVIDE SOLID BLOCKING OR CRIPPLE STUDS IN FLOOR SYSTEM AT ALL POINT LOADS ABOVE.

N. ALL FREESTANDING POSTS SHALL HAVE PREFAB POSTCAP AND BASE. POSTS WITHIN WALLS SHALL HAVE PREFAB CAP ATTACHED TO BEAM. POSTS BEARING ON MASONRY OR CONCRETE SHALL HAVE PREFAB BASE.

O. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED 1/3 OF STUD WIDTH.

P. ALL STUD BEARING WALLS TO BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.

Q. ALL ROOF RAFTERS AND TRUSSES SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE 18 GAGE MINIMUM THICK AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# UPLIFT LOADING UNLESS SHOWN OTHERWISE ON DRAWINGS.

7 SHEATHING

A. FLOOR SHEATHING SHALL BE 23/32 (3/4) INCH APA RATED STURD-I-FLOOR, TONGUE AND GROOVE, PLYWOOD. PANELS SHALL HAVE LONG DIMENSION ORIENTED ACROSS THREE OR MORE JOISTS AND SHALL BE FASTENED WITH CONSTRUCTION ADHESIVE AND 10d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.

B. EXTERIOR WALL SHEATHING SHALL BE 7/16 (1/2) INCH THICK APA RATED WOOD STRUCTURAL PANELS. FASTEN PANELS TO STUDS WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.

C. ROOF SHEATHING SHALL BE 19/32 (5/8) INCH APA RATED WOOD PANELS WITH SPAN RATING OF 240 OR BETTER. FASTEN PANELS TO FRAMING WITH 10d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. ORIENT LONG DIMENSION OF PANELS ACROSS THREE OR MORE SUPPORTS. EDGES NEED NOT BE BLOCKED, UNLESS OTHERWISE NOTED.

8 MISCELLANEOUS

A. ALL WOOD BLOCKING, NAILERS, ETC. SHALL BE ATTACHED TO STEEL OR CONCRETE FRAMING WITH POWER ACTUATED FASTENERS OR 1/2" DIAMETER BOLTS UNLESS NOTED OTHERWISE. FASTENERS SHALL BE SPACED AT 24" MAXIMUM O.C. FASTENERS SHALL HAVE A MINIMUM CAPACITY OF 100 POUNDS IN SHEAR AND PULLOUT UNLESS NOTED OTHERWISE.

WARNING: THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS OR ARE SUPERVISED BY THE STRUCTURAL ENGINEERS DURING CONSTRUCTION.

ABBREVIATIONS LEGEND			
A	ANCHOR BOLT	K	KIP
AB	ADDITIONAL ADJACENT ABOVE FINISH FLOOR	KO	KNOCK-OUT KIPS PER SQ. INCH
ADDL	ALTERNATE APPROXIMATELY	LSI	LONG LEG VERTICAL
ADJ	ARCHITECT(U)RAL	LLH	LONG LEG HORIZONTAL
ALT	ARCHITECT(U)RAL	LLV	LONG LEG VERTICAL
APPROX		LL	LIVE LOAD
ARCH		LP	LOW POINT
B	BEAM MARK	LVL	LAMINATED VENEER LUMBER
B	BOTTOM OF FOOTING ELEVATION	M	MANUFACTURER(ED)
BLKG	BLOCKING	MANUF	MASONRY
BLDG	BUILDING	MAS	MAXIMUM
BM	BEAM	MIN	MINIMUM
BOD	BOTTOM OF DECK	MISC	MISCELLANEOUS
BOS	BOTTOM OF STEEL	MO	MASONRY OPENING
BOTT	BOTTOM	MATL	MATERIAL
BP	BEARING PLATE MARK	MTL	METAL
BRG	BEARING	N	NOT TO SCALE
BSMT	BASEMENT	NTS	NEAR SIDE IN CONTRACT
BTWN	BETWEEN	NS	NOT IN CONTRACT
C	COLUMN MARK	O	ON CENTER(S)
C	CAST IN PLACE	OC	OPENING
CIP	CONTROL JOINT	OPNG	OPPOSITE
CJ	CLEAR(ANCE)	OF	OUTSIDE FACE
CLR	CONCRETE MASONRY UNIT	P	PIER MARK
CMU	COLUMN	PC	PRECAST CONCRETE
COM	CENTER OF MASONRY WALL	PDF	POWER DRIVEN FASTENER
COMP	COMPOSITE	PEB	PRE-ENGINEERED BUILDING PERIMETER
CONC	CONCRETE CONNECTION	PERIM	PERIMETER
CONN	CONNECTION	PL	PLATE
CONST	CONTINUOUS	PLF	POUNDS PER LINEAR FOOT
COORD	COORDINATE(TION)	PP	PRECAST PLANK MARK
COS	CENTER OF STUD	PROJ	PROJECTION
D	DEFORMED BAR ANCHORS	PSF	POUNDS PER SQ. FOOT
DBA	DETAIL	PSI	POUNDS PER SQ. INCH
DTL	DIAMETER	PSL	PARALLEL STRAND LUMBER COLUMN
DIAM	DIAGONAL	PT	POST TENSION/PRESSURE TREATED
DIAG	DOWN	Q	QUANTITY
DN	DRAWING	QTY	
DWG	DOUBLE	R	RADIUS
DBL	DEAD LOAD	RD	ROOF DRAIN
DL	EACH	REV	REVISION, REVISE(D)
E	EACH END	REIN	REINFORCE(D), (ING)
EA	EACH FACE	REQD	REQUIRED
EE	ELEVATION	RTU	ROOF TOP UNIT
EL	ELEVATOR	S	SOIL BORING
ELEV	EDGE OF DECK	SB	SLIP CRITICAL
EOD	EDGE OF JOIST	SC	SPECIALTY DESIGN ENGINEER
EDJ	EDGE OF SLAB	SE	SIMILAR
EDS	EQUAL EQUIPMENT	SJ	STEEL JOIST INSTITUTE
EQ	EACH WAY	SOG	SLAB ON GRADE
EQUIP	EXISTING	SQ	SQUARE
ES	EXPANSION	STD	STANDARD
EW	EXTERIOR	STL	STEEL
EXIST.	FOOTING MARK	STRUCT	STRUCTURAL
EXT	FLOOR DRAIN	SPA	SPACES
F	FOUNDATION	SS	SNOW LOAD
F	FACE OF BUILDING	STL	STAINLESS STEEL
FD	FACE OF MASONRY WALL	T	TEMPORARY
FDN	FACE OF STUD	TF	TOP OF FOOTING ELEVATION
FOM	FACE OF STUD	THK	THICKNESS, (ENED)
FOS	FOOTING STEP	TJ	WOOD JOIST THROUGH OUT
FS	FOOTING	TOC	TOP OF CONCRETE
FTG	FUTURE	TOP	TOP OF PIER ELEVATION
FUT		TOS	TOP OF STEEL ELEVATION
G	GAGE, GAUGE	TOW	TOP OF WALL ELEVATION
GA	GALVANIZED	TY	TYPICAL
GALV	GENERAL CONTRACT(OR)	U	UNEXCAVATED
GC	GIRDER TRUSS	UNO	UNLESS NOTED OTHERWISE
GT		UMD	UNDERSIDE METAL DECK ELEVATION
H	HORIZONTAL	V	VERTICAL
HP	HIP TRUSS	VIF	VERIFY IN FIELD
HS	HIGH POINT	W	WITH
HT	HIGH STRENGTH	WF	WIND FRAME
HT	HEIGHT	WP	WORK POINT
HTR	HIP TRUSS	WWF	WELDED WIRE FABRIC
I	INFORMATION		
INFO	INSIDE FACE		
IF			
J	JOIST BEARING ELEVATION		
JBE	JOIST		
JST	JOINT		
JT	JACK TRUSS		
JTR			

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08 SEPTEMBER 2014

STRUCTURAL NOTES AND ABBREVIATIONS

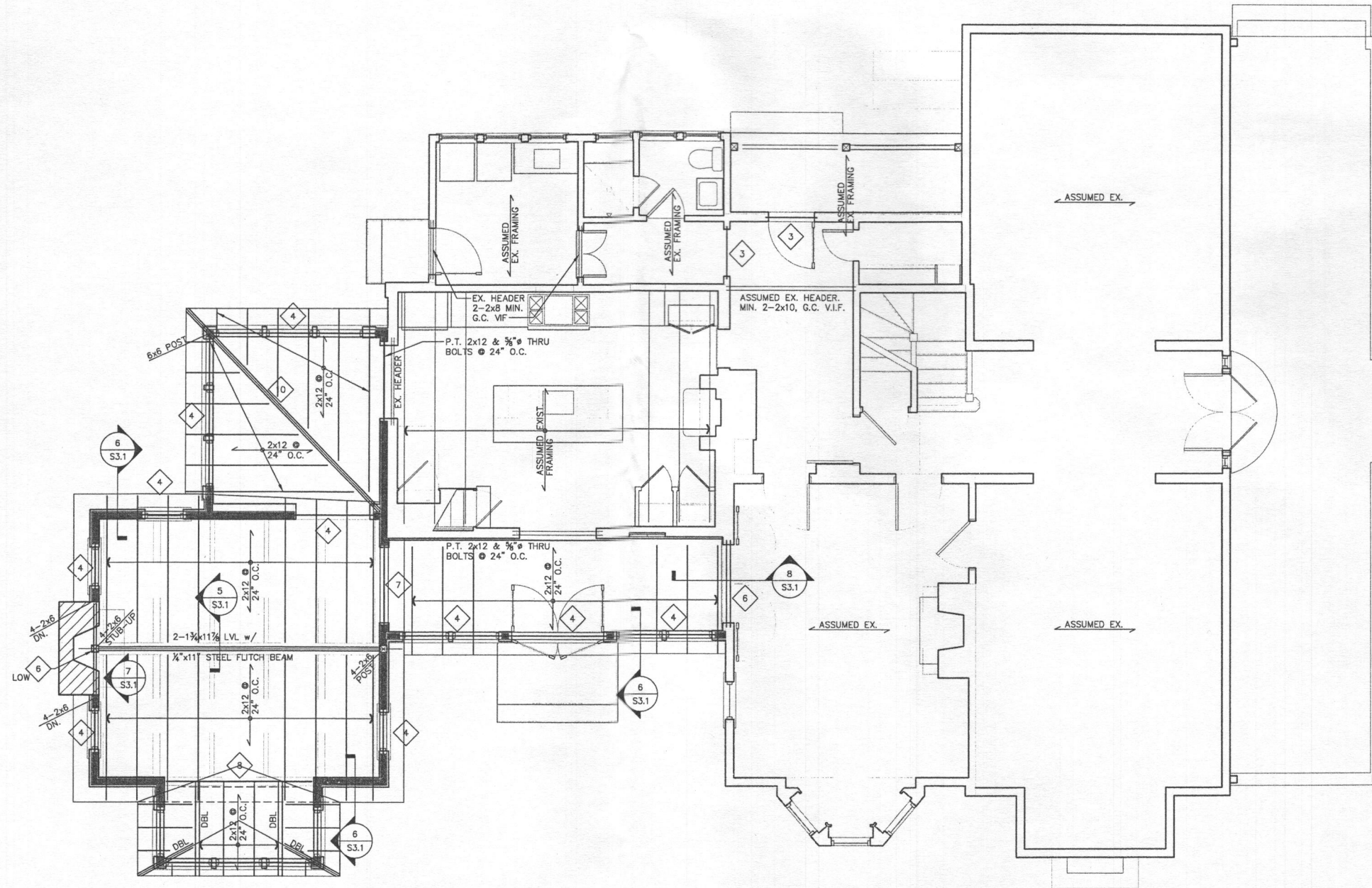
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SHEET NO.

50.1



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. ROOF FRAMING SHALL BE 5/8" STRUCTURAL SHEATHING OVER WOOD FRAMING AS SHOWN.
2. TYPICAL SECTIONS SHOWN ARE APPLICABLE TO SIMILAR CONDITIONS EVEN IF SECTION MARKS ARE NOT SHOWN.
3. SEE S3.1 FOR WOOD FRAMING SECTIONS AND DETAILS
4. SEE S1.4 FOR LATERAL BRACING PLANS AND SECTIONS
5. EXTERIOR BEARING WALLS SHALL BE 2x6 @ 16" O.C. UNO
6. CONTRACTOR SHALL VERIFY THAT THE EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.



J:\83 MUSE ARCHITECT\1463008-00-Corridor-Corridor Residence - Etlidge MD\3-Drafting\03-3.dwg, 1/12/2015 1:58:02 PM

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ROOF FRAMING PLAN

SCALE: AS NOTED

GREISMAN/GOSNELL RESIDENCE

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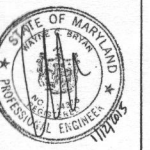
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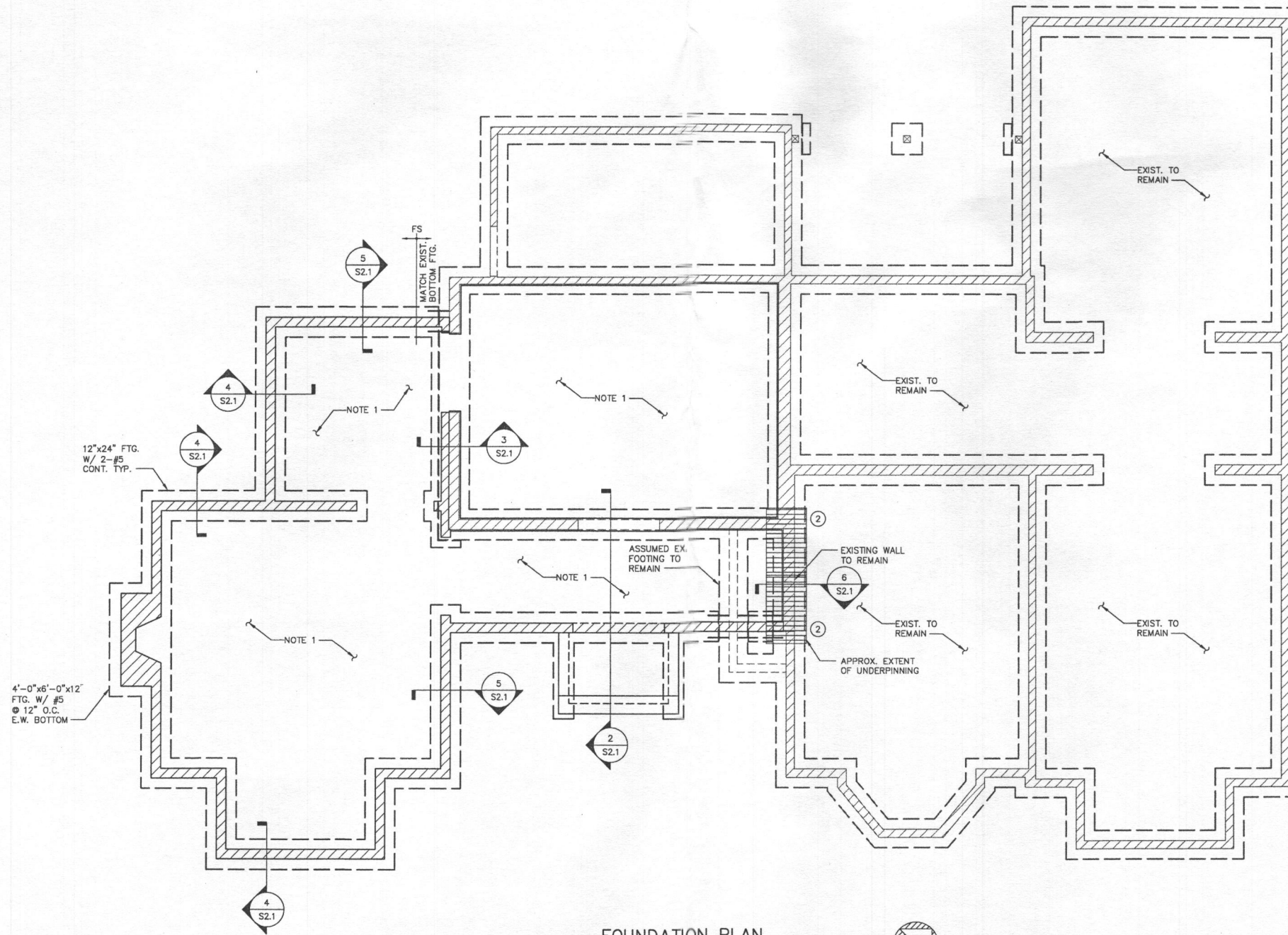
PERMT SET
08 SEPTEMBER 2014

SHEET NO.

S1.3



Muse Architects\1443208.00-Coleman, Conrad Residence - Bridge\03-Drafting\31-1.dwg, 1/17/2015 1:57:48 PM



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTES:

1. TYPICAL FLOOR CONSTRUCTION: MINIMUM 2" THICK CONCRETE MUD MAT OVER COMPACTED/UNDISTURBED SOIL.
2. PROVIDE CONTINUOUS DRAINTILE AROUND PERIMETER OF FOUNDATION WALLS.
3. FS DENOTES FOOTING STEP. SEE 1/S2.1
4. SEE S2.1 FOR FOUNDATION SECTIONS AND DETAILS

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FOUNDATION PLAN

SCALE: AS NOTED

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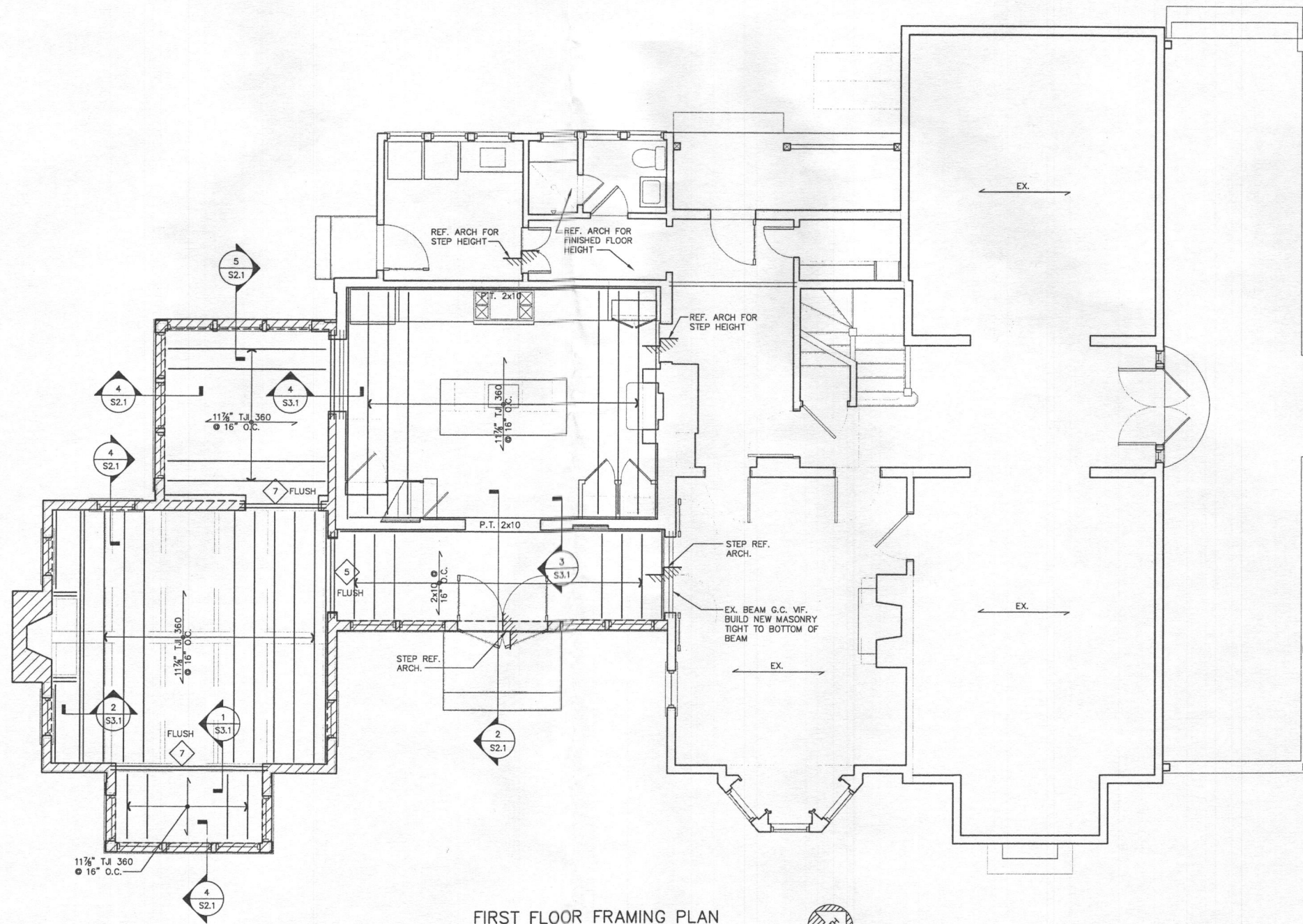


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SHEET NO.

S1.1

3.1.03 Muse Architects\1483008.DWG-Greisman Gosnell Residence - Elkridge MD\3-Construction\S1.2.dwg, 1/17/2015 1:51:55 PM



FIRST FLOOR FRAMING PLAN

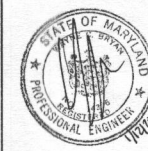
SCALE: 1/4" = 1'-0"

NOTES:

1. FLOOR FRAMING SHALL BE 23/32 (5/8") SBA RATED TONGUE AND GROOVE SHEATHING GLUED AND SCREWED TO WOOD FRAMING AS SHOWN.
2. TYPICAL SECTIONS SHOWN ARE APPLICABLE TO SIMILAR CONDITIONS EVEN IF SECTION MARKS ARE NOT SHOWN.
3. SEE S3.1 FOR WOOD FRAMING SECTIONS AND DETAILS
4. SEE S1.4 FOR LATERAL BRACING PLANS AND SECTIONS
5. EXTERIOR BEARING WALLS SHALL BE 2x6 @ 16" O.C. UNO
6. CONTRACTOR SHALL VERIFY THAT THE EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

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SHEET NO.

S1.2

FIRST FLOOR FRAMING PLAN

SCALE: AS NOTED

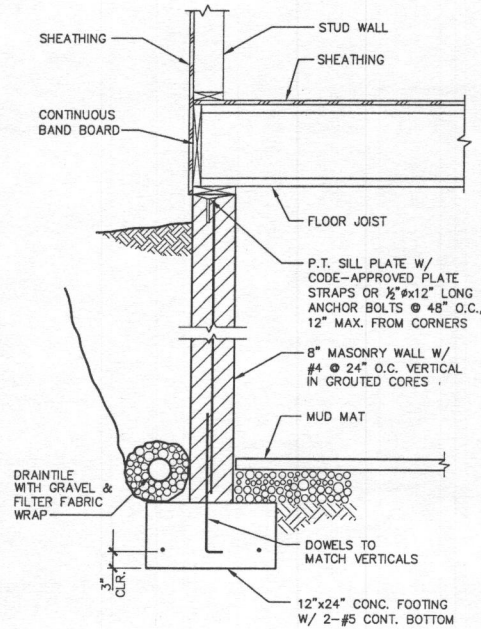
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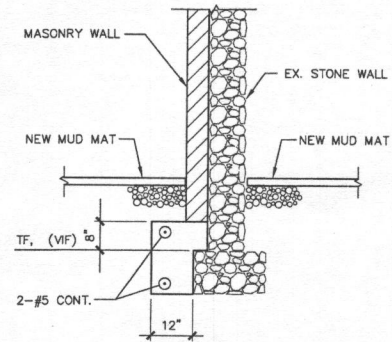
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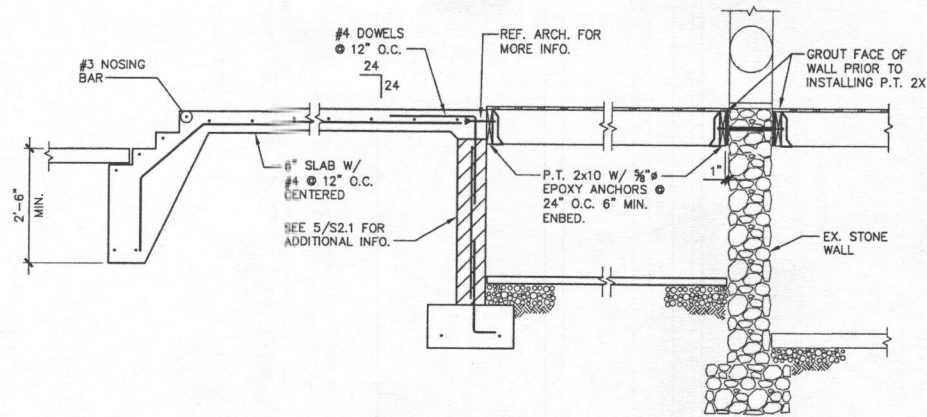
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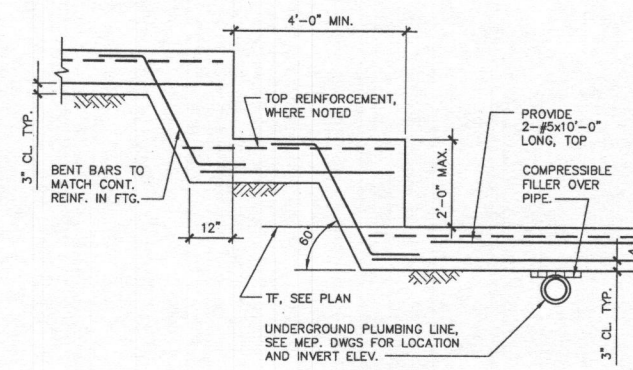
SECTION 4
SCALE: 3/4" = 1'-0"
S2.1



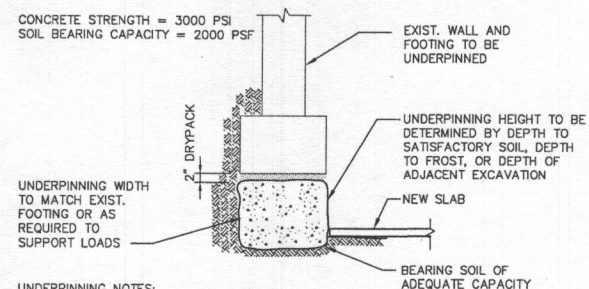
SECTION 3
SCALE: 1/2" = 1'-0"
S2.1



SECTION 2
SCALE: 1/2" = 1'-0"
S2.1



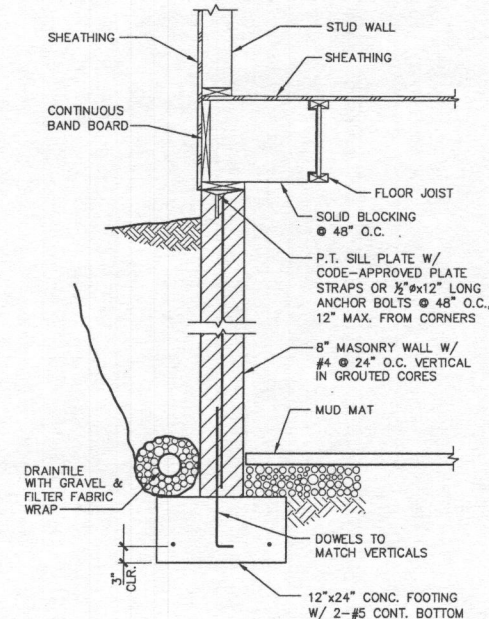
TYPICAL FOOTING STEP (F.S.)



- UNDERPINNING NOTES:**
1. EXCAVATE 4'-0" MAXIMUM WIDE SEGMENT. CENTER TO CENTER OF OPEN EXCAVATIONS SHALL NOT BE LESS THAN 12'-0".
 2. CAST CONCRETE TO WITHIN 2" OF UNDERSIDE OF FOOTING OR WALL. CURE ONE DAY.
 3. DRYPACK WITH MOIST SAND/CEMENT MIXTURE OR NONSHRINK GROUT. FORCE INTO VOID.
 4. REPEAT PROCESS WITH ADJACENT SEGMENT MAINTAINING 12'-0" MINIMUM SPACING.

UNDERPINNING SECTION/NOTES

SECTION 6
NOT TO SCALE
S2.1



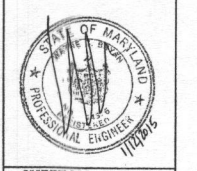
SECTION 5
SCALE: 3/4" = 1'-0"
S2.1

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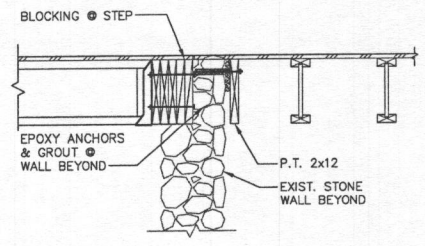
FOUNDATION SECTIONS
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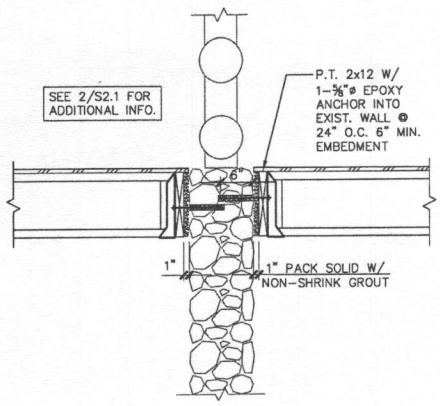
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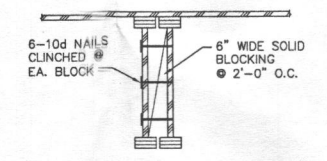
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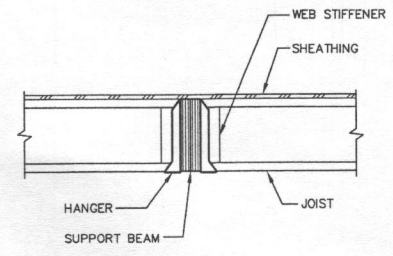
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SCALE: 3/4" = 1'-0"
S3.1



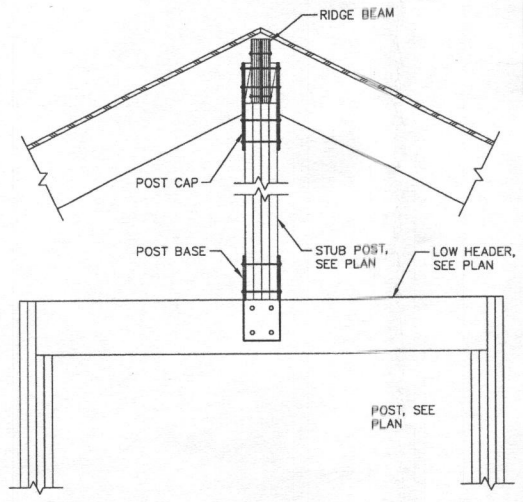
SECTION 3
SCALE: 3/4" = 1'-0"
S3.1



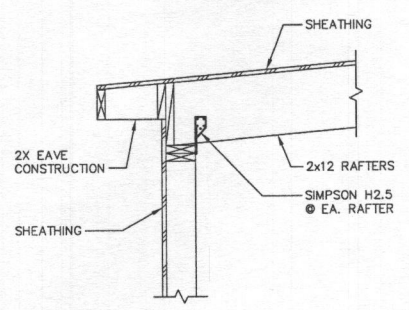
TYPICAL DOUBLE WOOD JOIST BLOCKING



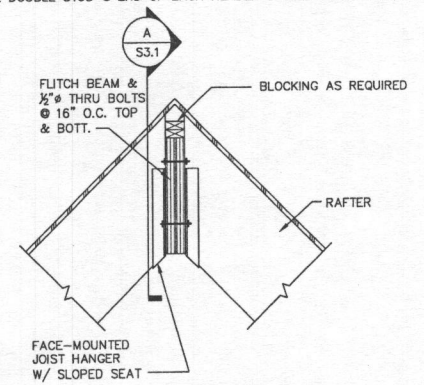
TYPICAL JOIST TO FLUSH BEAM



SECTION 7
SCALE: 1/2" = 1'-0"
S3.1

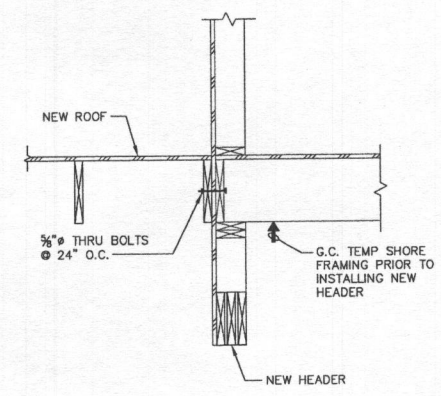


SECTION 6
SCALE: 3/4" = 1'-0"
S3.1

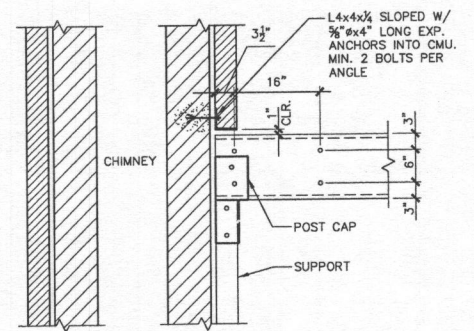


TYPICAL RIDGE BEAM

SECTION 5
SCALE: 3/4" = 1'-0"
S3.1



SECTION 8
SCALE: 3/4" = 1'-0"
S3.1



SECTION A
SCALE: 3/4" = 1'-0"
S3.1

HEADER SCHEDULE	
1	2-2x6
2	3-2x6
3	2-2x8
4	3-2x8
5	2-2x10
6	3-2x10
7	2-2x12
8	3-2x12
9	2-1 3/4"x9 1/2" LVL
10	2-1 3/4"x11 7/8" LVL
11	2-1 3/4"x14" LVL
12	2-1 3/4"x16" LVL
13	2-1 3/4"x18" LVL
14	3-1 3/4"x9 1/2" LVL
15	3-1 3/4"x11 7/8" LVL
16	3-1 3/4"x14" LVL
17	3-1 3/4"x16" LVL
18	2-1 3/4"x9 1/2" LVL w/ 3/8"x9" STL PLATE
19	2-1 3/4"x11 7/8" LVL w/ 5/8"x11" STL PLATE

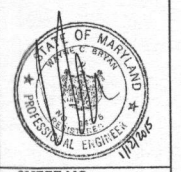
NOTE:
PROVIDE DOUBLE STUD @ END OF EACH HEADER UNLESS NOTED OTHERWISE

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SECTIONS
SCALE: AS NOTED



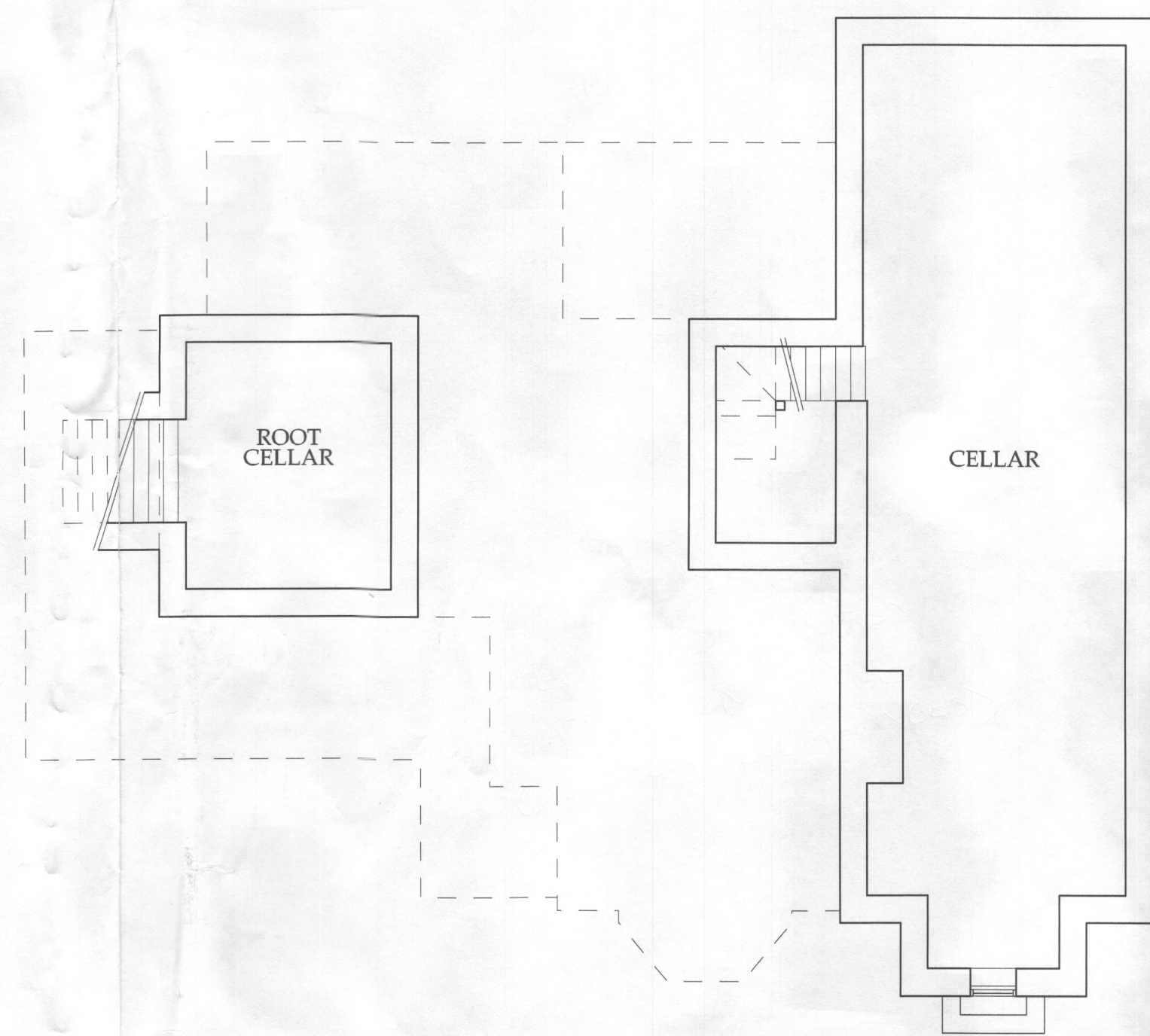
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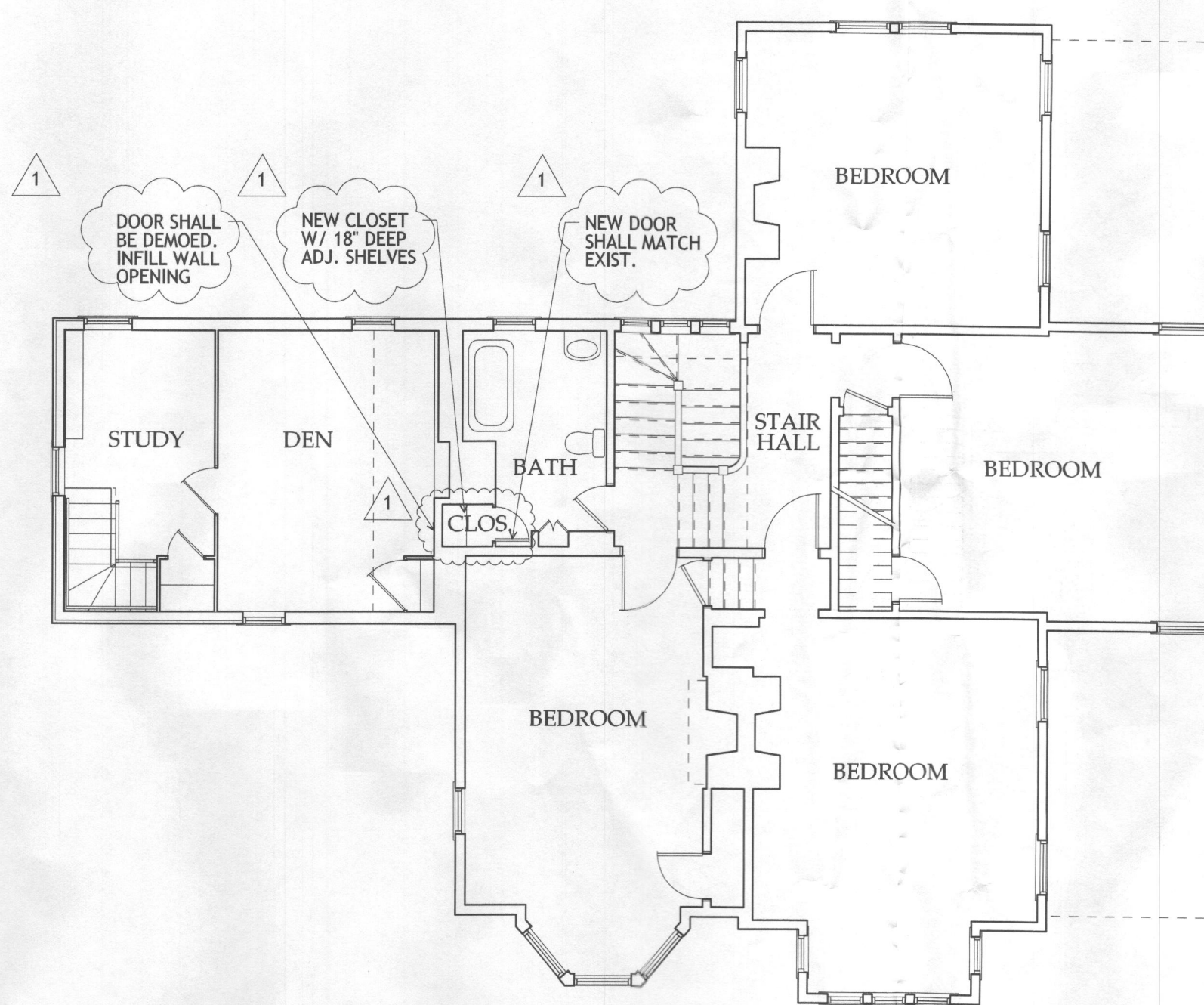
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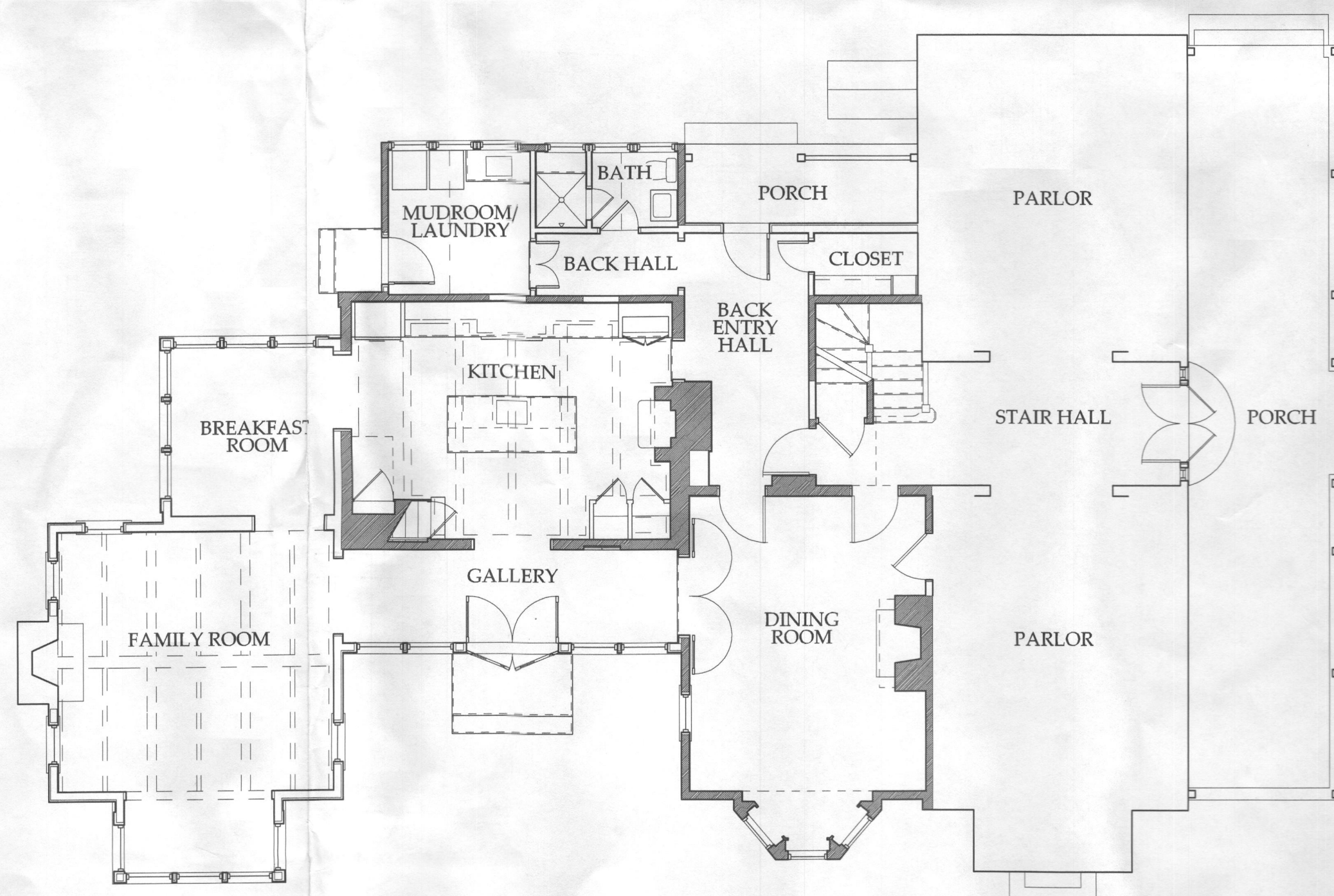
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 TO ATTIC + 2ND FLOOR
 (NO STRUCTURAL CHANGES)



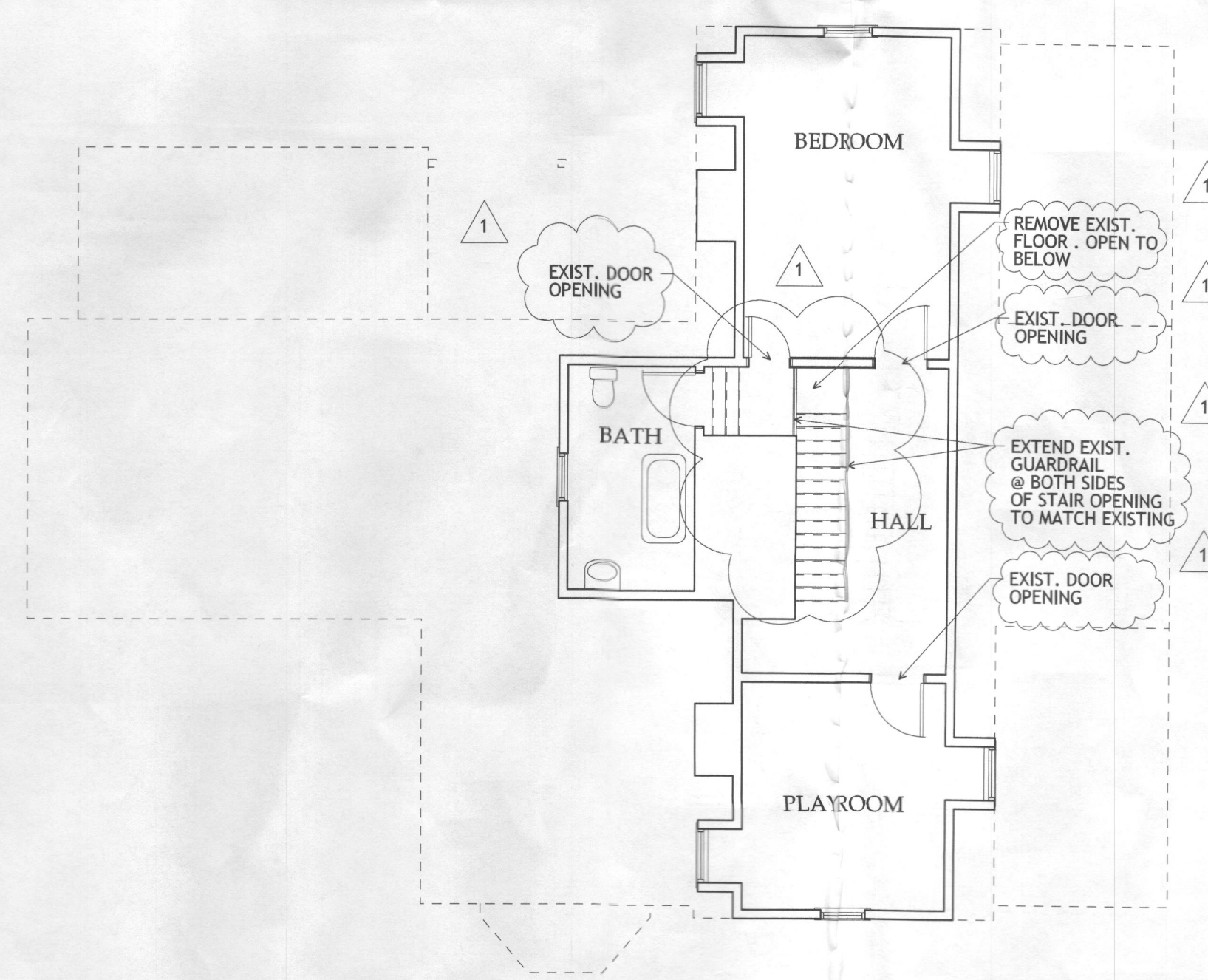
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 A-1.1.1 SCALE: 1/8" = 1'-0"



3 EXISTING SECOND FLOOR PLAN - 4 BEDROOMS
 A-1.1.1 SCALE: 1/8" = 1'-0"



2 PROPOSED FIRST FLOOR PLAN - NO BEDROOMS
 A-1.1.1 SCALE: 1/8" = 1'-0"



4 PROPOSED ATTIC FLOOR PLAN - 1 BEDROOM
 A-1.1.1 SCALE: 1/8" = 1'-0"

