



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 14347 Musgrove Farm Ct.
City: Glenwood State: MD Zip Code: 21138
Suite/Apt. #: _____ SDP/WP/BA #: _____
Census Tract: _____ Subdivision: _____
Section: _____ Area: _____ Lot: _____
Tax Map: _____ Parcel: _____ Grid: _____
Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: Single Family
Proposed Use: Single Family
Estimated Construction Cost: \$ 20,000.00
Description of Work: Finish Basement, included
Recreational Area, Fitness space,
Bathroom & work/Media Room.
Occupant/Tenant Name: James Kwon
Was tenant space previously occupied? Yes No
Contact Name: James Kwon
Address: Same above
City: _____ State: _____ Zip Code: _____
Phone: 443-978-9858 Fax: _____
Email: jkwon156@yahoo.com

Property Owner's Name: James Kwon
Address: 14347 Musgrove Farm Ct
City: Glenwood State: MD Zip Code: 21138
Phone: 443-978-9858 Fax: _____
Email: jkwon156@yahoo.com

Applicant's Name & Mailing Address, (if other than stated herein)
Applicant's Name: Young-ho Yi
Address: 2217 Hermitage Ave
City: Silver Spring State: MD Zip Code: 20902
Phone: 301-614-6629 Fax: _____
Email: youngho.yi.56@gmail.com

Contractor Company: Top Floor 2 Construction Inc
Contact Person: Young-ho Yi
Address: 2217 Hermitage Ave
City: Silver Spring State: MD Zip Code: 20902
License No.: 88240
Phone: 301-614-6629 Fax: _____
Email: youngho.yi.56@gmail.com

Engineer/Architect Company: _____
Responsible Design Prof.: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Phone: _____ Fax: _____
Email: _____

| Commercial Building Characteristics | Residential Building Characteristics | |
|---|---|-------|
| Height: | <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse | |
| No. of stories: | Depth | Width |
| Gross area, sq. ft./floor: | 1 st floor: | |
| | 2 nd floor: | |
| Area of construction (sq. ft.): | Basement: | |
| | <input type="checkbox"/> Finished Basement | |
| Use group: | <input type="checkbox"/> Unfinished Basement | |
| | <input type="checkbox"/> Crawl Space | |
| Construction type: | <input type="checkbox"/> Slab on Grade | |
| <input type="checkbox"/> Reinforced Concrete | No. of Bedrooms: | |
| <input type="checkbox"/> Structural Steel | Multi-family Dwelling | |
| <input type="checkbox"/> Masonry | No. of efficiency units: | |
| <input type="checkbox"/> Wood Frame | No. of 1 BR units: | |
| <input type="checkbox"/> State Certified Modular | No. of 2 BR units: | |
| | No. of 3 BR units: | |
| | Other Structure: | |
| | Dimensions: | |
| ➤ Roadside Tree Project Permit | Footings: | |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Roof: | |
| Roadside Tree Project Permit # | <input type="checkbox"/> State Certified Modular | |
| | <input type="checkbox"/> Manufactured Home | |

| Utilities | |
|---|--|
| Electric: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Gas: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Water Supply | |
| <input type="checkbox"/> Public | |
| <input type="checkbox"/> Private | |
| Sewage Disposal | |
| <input type="checkbox"/> Public | |
| <input type="checkbox"/> Private | |
| Heating System | |
| <input type="checkbox"/> Electric <input type="checkbox"/> Oil | |
| <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas | |
| <input type="checkbox"/> Other: | |
| Sprinkler System: | |
| <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| Grading Permit Number: | |
| Building Shell Permit Number: | |

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Young-ho Yi
Email Address: youngho.yi.56@gmail.com
Title/Company: Top Floor 2 Construction Inc.

Print Name: Young-ho Yi
Date: 10/19/2016

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

PLEASE WRITE NEATLY & LEGIBLY

-FOR OFFICE USE ONLY-

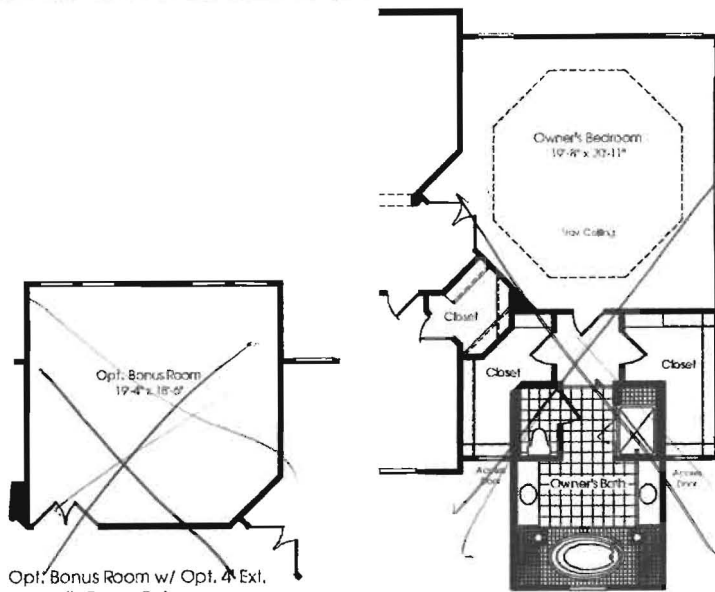
| AGENCY | DATE | SIGNATURE OF APPROVAL |
|----------------------|------|-----------------------------|
| State Highways | | |
| Building Officials | | |
| PSZA (Zoning) | | |
| PSZA (Engineering) | | |
| Health | | <u>10/19/16 [Signature]</u> |

| DPZ SETBACK INFORMATION |
|---|
| Front: |
| Rear: |
| Side: |
| Side St.: |
| All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Lot Coverage for New Town Zone: |
| SDP/Red-line approval date: |

| | |
|-----------------|----|
| Filing Fee | \$ |
| Permit Fee | \$ |
| Tech Fee | \$ |
| Excise Tax | \$ |
| PSFS | \$ |
| Guaranty Fund | \$ |
| Add'l per Fee | \$ |
| Total Fees | \$ |
| Sub- Total Paid | \$ |
| Balance Due | \$ |
| Check | # |

THE AVALON

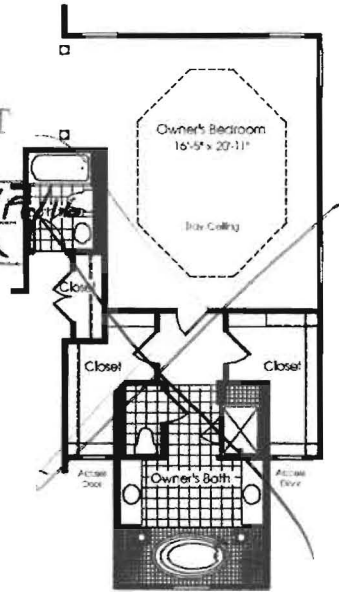
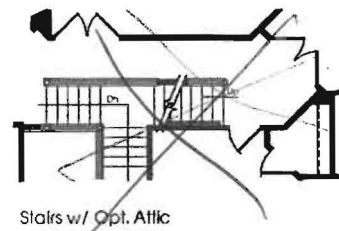
"Existing Floor Plans"
R/K 10/19/16



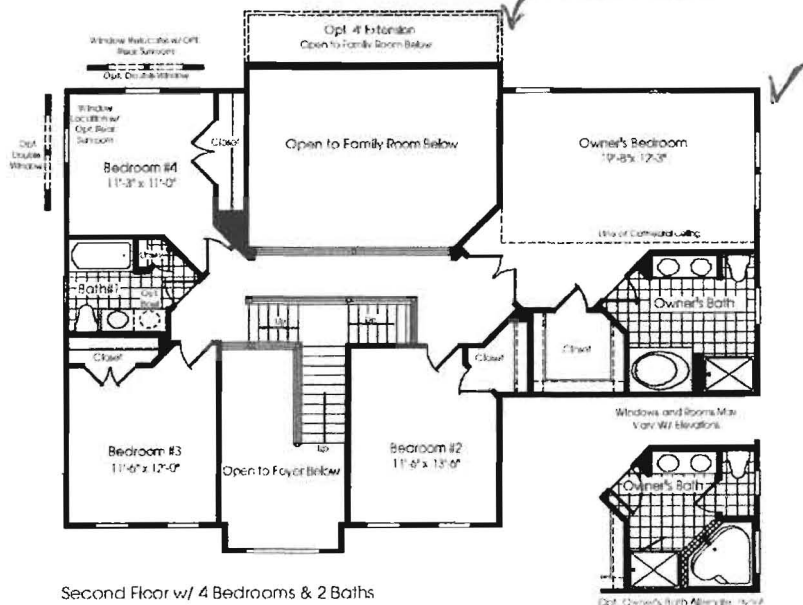
Opt. Bonus Room w/ Opt. 4' Ext. of Family Room Only

Opt. Luxury Owner's Bedroom/Bath
Similar Layout Available w/ Opt. Three Car Garage

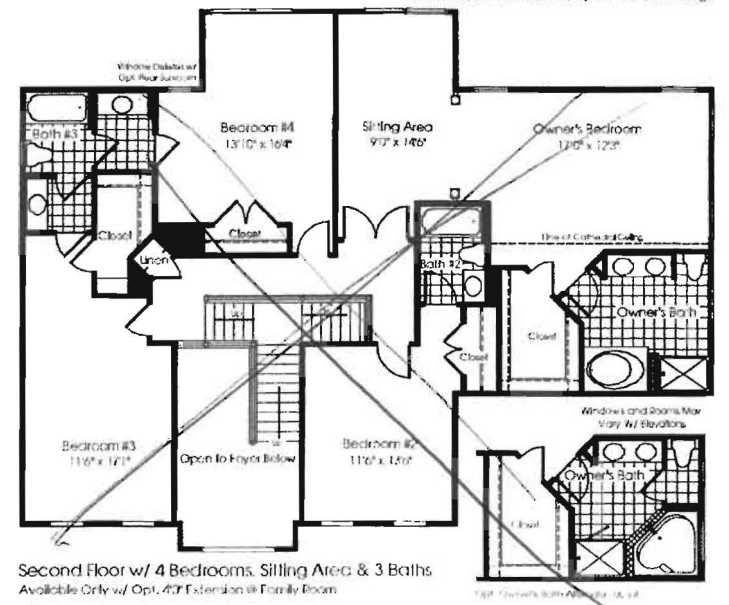
APPROVED
WALK-THRU BUILDING PERMIT
BP# _____ A# _____
APP. SAN Robert Ferron DATE: 10/19/16
DESC. OF WORK: Recreational area, Fitness Area, Bathroom, work/Medic Room



Opt. Luxury Owner's Bedroom/Bath
Available Only w/ 4' Extension of Family Room
Similar Layout Available w/ Opt. Three Car Garage

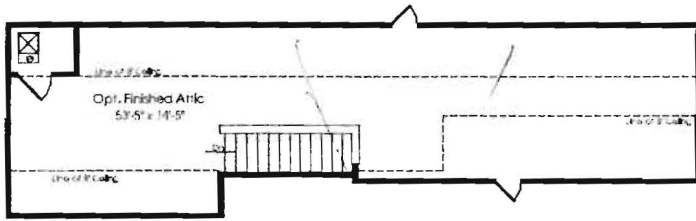


Second Floor w/ 4 Bedrooms & 2 Baths

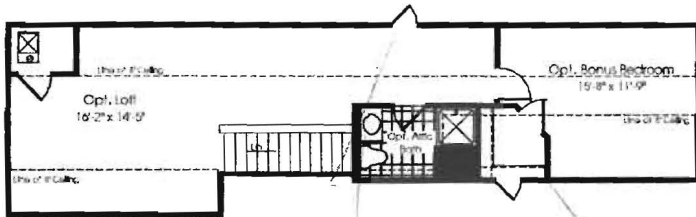


Second Floor w/ 4 Bedrooms, Sitting Area & 3 Baths
Available Only w/ Opt. 4' Extension of Family Room

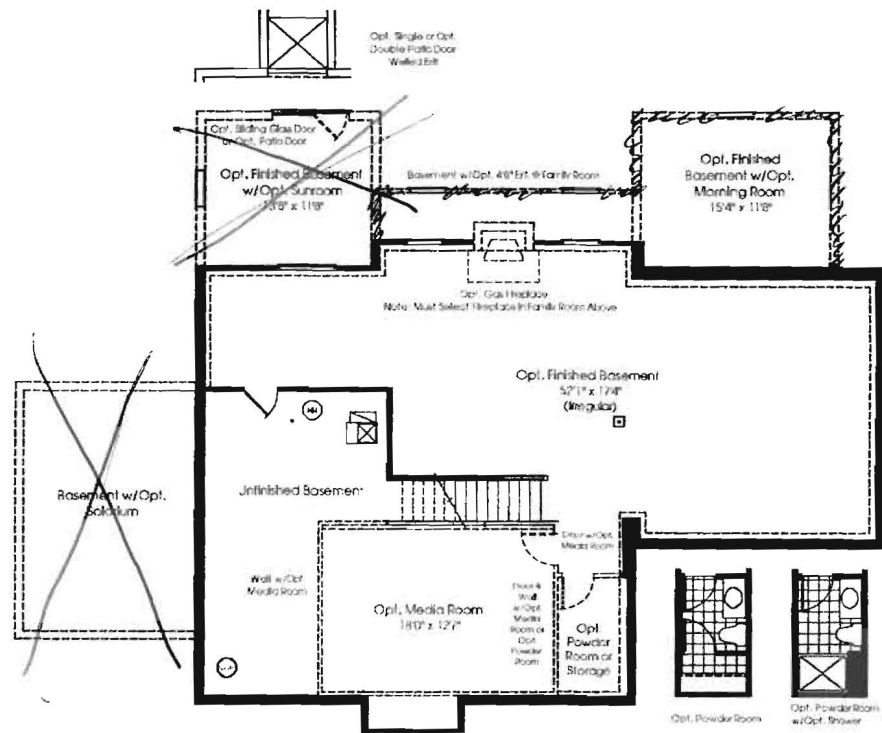
UPPER LEVEL ELEVATION B



Opt. Finished Attic



Opt. Attic w/ Opt. Loft and Opt. Bonus Bedroom



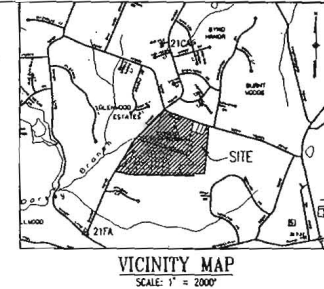
LOWER LEVEL ELEVATION A

THE RYAN PROMISE

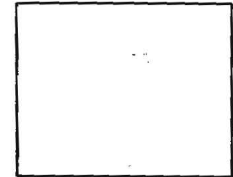
Our concern with quality construction doesn't stop at the point of sale. We carefully select the people who build your home. To give you peace of mind, we make at least two service inspections with our homeowners, one prior to settlement and another ten months after settlement. We back up everything we do with Ryan's exceptional 10 Year Limited Warranty. There is no additional cost to the homeowner for this level of service. We promise to be there for our customers, both before and after they purchase. Our service program is proactive, sincere and convenient. It's part of our overall concern for our customers and helps to explain why more than half our business is generated through referrals.



GLENELG HIGH SCHOOL HOWARD COUNTY, MARYLAND TREATMENT SYSTEM DESIGN

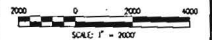


| REVISIONS | |
|---------------------------------|---------|
| MUD WASC PERMIT SET | 4/05/04 |
| SDP FINAL SUBMISSION | 4/20/06 |
| URGENT MUD SHEETS, REVISED MUDS | 6-16-16 |
| | |
| | |



**GLENELG HIGH SCHOOL
HOWARD COUNTY MD
TREATMENT SYSTEM DESIGN**

GRAPHIC SCALES



WHITMAN, REQUARDT AND ASSOCIATES, LLP
801 SOUTH CAROLINE STREET
BALTIMORE, MARYLAND 21201
410 - 235 - 3450

REVISED SITE DEVELOPMENT PLAN

**COVER SHEET,
VICINITY MAP, AND
LIST OF DRAWING**

DRAWING NO.

G-1

SHEET 1 OF 44

SCALE: AS NOTED

DES: CMD CHECK: AJM DATE: 04/20/06

SDP-04-126

| LIST OF DRAWINGS | | |
|--|--|---|
| DRAWING NO. | SHEET NO. | TITLE |
| CIVIL | | |
| C-1 | 1 OF 24-36 | COVER SHEET, VICINITY MAP AND LIST OF DRAWINGS |
| C-1 | 2 OF 24-36 | GENERAL NOTES, LEGEND AND ABBREVIATIONS |
| C-2 | 3 OF 24-36 | DEMOLITION PLAN |
| C-3 | 4 OF 24-36 | TREATMENT SYSTEM SITE PLAN |
| C-4 | 5 OF 24-36 | TREATMENT SYSTEM COLLECTION AND DISCHARGE PLAN OVERVIEW |
| C-5 | 6 OF 24-36 | TREATMENT SYSTEM UTILITY PLAN |
| C-6 | 7 OF 24-36 | TREATMENT SYSTEM UTILITY PLAN |
| C-7 | 8 OF 24-36 | TREATMENT SYSTEM UTILITY PLAN |
| C-8 | 9 OF 24-36 | TREATMENT SYSTEM STAKEOUT DATA TABLES |
| C-9 | 10 OF 24-36 | ACCESS ROAD, SEDIMENT AND EROSION CONTROL PLAN & ROAD PLAN OVERVIEW |
| C-10 | 11 OF 24-36 | TEMPORARY ACCESS ROAD SEDIMENT & EROSION CONTROL PLAN |
| C-11 | 12 OF 24-36 | TEMPORARY ACCESS ROAD SEDIMENT & EROSION CONTROL PLAN |
| C-12 | 13 OF 24-36 | TREATMENT SYSTEM SEDIMENT & EROSION CONTROL PLAN |
| C-13 | 14 OF 24-36 | TEMPORARY ACCESS ROAD PROFILE |
| C-14 | 15 OF 24-36 | TEMPORARY ACCESS ROAD PROFILE |
| C-15 | 16 OF 24-36 | SEDIMENT CONTROL DRAINAGE AREA MAP |
| C-16 | 17 OF 24-36 | 2" - 2 1/2" LOW PRESSURE SYSTEM PROFILE |
| C-17 | 18 OF 24-36 | 4" FORCE MAIN PROFILE |
| C-18 | 19 OF 24-36 | DISPOSAL CELL PROFILES |
| C-19 | 20 OF 24-36 | DETAILS |
| C-20 | 21 OF 24-36 | DETAILS |
| C-21 | 22 OF 24-36 | DETAILS |
| C-22 | 23 OF 24-36 | SEDIMENT CONTROL DETAILS AND NOTES |
| C-23 | 24 OF 24-36 | FOREST CONSERVATION AND WETLANDS RESTORATION PLAN |
| SITE ANALYSIS DATA CHART | | |
| TOTAL PROJECT AREA: | 112.52 AC | |
| AREA OF PLAN SUBMISSION: | 112.52 AC | |
| LIMIT OF DISTURBED AREA: | 11.10 AC | |
| PRESENT ZONING DESIGNATION: | RR-DEO | |
| PROPOSED USE FOR SITE AND STRUCTURES: | WASTEWATER TREATMENT FOR GLENELG HIGH SCHOOL AND WATSONS FARMS DEVELOPMENT, WATER SUPPLY (WELLS AND DISTRIBUTION) FOR GLENELG HIGH SCHOOL. | |
| FLOOR SPACE FOR TREATMENT SYSTEM BLDG: | 4102.2 FT ² | |
| APPLICABLE OPZ FILE REFERENCES: | SDP-00-89, SDP-70-46, SDP-81-184, SDP-85-105, SP-03-111, F-03-128, F-05-70, F-05-177 | |
| 25 OF 36 | | TITLE SHEET (FIELD IMPROVEMENTS) |
| 26 OF 36 | | EXISTING PLANS/DEMOLITION PLAN |
| 27 OF 36 | | STAKE-OUT PLAN |
| 28 OF 36 | | SITE PLAN AND EROSION & SEDIMENT CONTROL PLAN |
| 29 OF 36 | | SEPTIC DETAILS FIELD IMPROVEMENTS PLAN |
| 30-34 OF 36 | | SITE DETAILS 1", 1/4", 1/8" & V |
| 35 OF 36 | | PIPE PROFILES |
| 36 OF 36 | | EROSION AND SEDIMENT CONTROL NOTES AND DETAILS |

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARD AND SPECIFICATIONS OF HOWARD COUNTY PLUS WMA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 311-1800.
- THE CONTRACTOR SHALL NOTIFY "LINES UTILITY" AT 1-800-257-777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- WATER AND SEWER IS PRIVATE.
- STORMWATER MANAGEMENT IS PROVIDED BY ON-SITE PRIVATE FACILITY AND IS TO BE MAINTAINED BY THE OWNER, A DETENTION FACILITY WITH UNDERGROUND INFILTRATION IS PROPOSED PER SDP-00-89.
- EXISTING UTILITIES ARE BASED ON AVAILABLE HOWARD COUNTY RECORDS.
- THE FLOOD PLAIN STUDY FOR THIS PROJECT WAS PREPARED BY GUTSCHICK LITTLE & WEBER, DATED MARCH 2003 AND WAS APPROVED ON 06/20/03.
- THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY ECO-SERVICE PROFESSIONALS DATED 07/25/2002, AND WAS APPROVED PER F-03-128.
- NO TRAFFIC STUDY IS REQUIRED FOR THIS PROJECT.
- ALL SUPPORT PIPES AND BRANCHES WITHIN THE SEPTIC SYSTEM STRUCTURES ARE TO BE STAINLESS STEEL SPARKLES, TYPE 304.
- PIPING:
 - LATERAL PIPING: PVC ASTM D1785, SCHEDULE 40 WITH SOLVENT WELD JOINTS.
 - FORCE MAIN: PVC ASTM D1785, SCHEDULE 40 WITH SOLVENT WELD JOINTS.
 - PERFORATED PIPING: PVC ASTM D1785, SCHEDULE 40 WITH SOLVENT WELD JOINTS.
 - 2" & 2 1/2" IPS: PVC ASTM 2226, SDR 21 WITH SOLVENT WELD JOINTS.
- INSURED GRAVEL: 1 1/2" - 2 1/2" FREE OF PINES, DUST, ASHES AND CLAY STONE BEDDING IN ACCORDANCE WITH AASHTO M43 NO. 2.
- FILTER FABRIC: FC 60MM 1500 ON EQUAL.
- PRESSURE TESTING FOR ALL PIPING SHALL BE IN ACCORDANCE WITH ASHRAE 500-93 SECTION 4 HYDROSTATIC TESTING. THERE WILL BE NO ALLOWABLE LEAKAGE DURING TESTING. TEST PRESSURE SHALL BE NO LESS THAN 35 PSI.
- EXISTING UNDERGROUND AND PHYSICAL FEATURES SHOWN ARE BASED ON AERIAL PHOTO SURVEYS PROVIDED BY GUTSCHICK LITTLE & WEBER, P.A. VERTICAL CONTROL IS BASED ON MUD 25. HORIZONTAL CONTROL IS BASED ON MUD 83.
- THE SCHOOL SYSTEM SHALL PROVIDE A FULL TIME ENGINEER AND/OR SUPERVISOR TO BE PRESENT DURING SYSTEM INSTALLATION AND TESTING. IT IS THE RESPONSIBILITY OF THE PRESENTER TO PERFORM INSPECTIONS OF THE INSTALLATION. THAT PERSON SHALL BE QUALIFIED TO DO SUCH WORK, AND MUST BE ACCESSIBLE TO MEET AND/OR THE HOWARD COUNTY MUD DEPARTMENT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND TO MAINTAIN UNDISTURBED SERVICE. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.
- MONITORING WELLS MAY ONLY BE INSTALLED BY A DRILLER LICENSED IN MARYLAND.
- MUD DRIVE IS A PRIVATE ACCESS ROAD & MAY NOT BE USED AS A CONSTRUCTION ACCESS.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS OR THEIR BUFFERS AND FOREST CONSERVATION EASEMENT AREAS EXCEPT AS AUTHORIZED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT WATER MANAGEMENT ADMINISTRATION WETLANDS AND WATERSHEDS DIVISION AND HOWARD COUNTY DEP.
- COORDINATES BASED ON MD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 2152 AND NO. 2174.
- THE FOREST CONSERVATION OBLIGATION FOR THE PROPOSED DISTURBANCES ASSOCIATED WITH THE CONSTRUCTION OF THE SEWER BUILDING AND SURROUNDING GRADING LOCATED WITHIN PARCEL NO. 11 WAS PREVIOUSLY ADDRESSED UNDER SDP-00-89. THE FOREST CONSERVATION OBLIGATION FOR THE INSTALLATION OF THE PROPOSED SEWER LINE WITHIN PARCEL NO. 169 WAS ADDRESSED UNDER THIS SDP AS AN EXCEPTION FOR A CAPITAL IMPROVEMENT PROJECT CLEANING LESS THAN 40,000 SF OF FOREST AS PER APPENDIX D OF THE HOWARD COUNTY FOREST CONSERVATION MANUAL. ALL THE DISTURBANCES ASSOCIATED WITH THE INSTALLATION OF THE PRIVATE SEWER LINE AND SHARED SEPTIC SYSTEM LOCATED WITHIN PARCELS 4 AND 17 OF THE WATSONS FARMS SUBDIVISION WERE PREVIOUSLY ADDRESSED UNDER F-03-128. THIS PLAN ALSO ADDRESSING 0.10 ACRE OF EXISTING FOREST CONSERVATION EASEMENT NO. 2 RECORDED PER PLAT NO. 16000 FOR WATSONS FARMS FOR THE INSTALLATION OF ACCESS ROADS SERVING THE TWO EXISTING WELLS FOR THE GLENELG HIGH SCHOOL AND REPLACES THE ABANDONED FOX BY ADDING 0.33 ACRES OF RESTORATION EASEMENT AREA 0410 FOX 22 ON THE WATSONS FARMS, PRESERVATION PARCEL 8.
- PROPERTY IS ZONED RR-DEO PER THE 2/2/04 COMPREHENSIVE ZONING PLAN.
- THIS SDP IS SUBJECT TO THE AMENDED 9TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL NO. 43-2003.
- THE CLEARING, GRADING AND CONSTRUCTION ACTIVITY REQUIRED TO INSTALL THE PROPOSED SHARED SEWER LINE, THE 1 1/4" RIGID LINES, THE ELECTRIC CONTROL CONDUITS AND THE PERMANENT ACCESS ROADS FOR THE TWO EXISTING WELLS LOCATED ADJACENT TO BARNWOODS ROAD AND THE HIGH SCHOOL'S GOLF PRACTICE LOT WHICH ARE LOCATED WITHIN THE 100 YEAR FLOOD PLAIN, STREAMS, WETLANDS AND THEIR REQUIRED BUFFERS HAVE BEEN DETERMINED AS NECESSARY OR EXISTING DISTURBANCE IN ACCORDANCE WITH SECTIONS 16.115(a) AND 16.116(c) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- REFER TO MUD PERMIT TRACKING # 03-01-058/20060159 FOR WORK AUTHORIZED WITHIN NON-TYPICAL WETLANDS AND WATERSHEDS ON THIS SITE.
- SEE F-05-177 FOR THE FEE SCHEDULE BEARING AND DISTANCE INFORMATION.
- THIS PROJECT IS COVERED BY MUD CROWNED BY DISCHARGE PERMIT #03-0P-34124.
- SEE SHEET 05 OF 36 FOR ADDITIONAL GEOMETRIC LINES.

APPROVED: FOR PRIVATE WATER & SEWERAGE SYSTEMS,
HOWARD COUNTY HEALTH DEPARTMENT

Richard Wilson 11/5/16
Director, Health Department

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Michael J. ... 5/6/16
Chief, Development Engineering Division & Code

... 12/6/16
Director

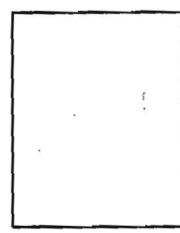
| | | | |
|---|----------------------|---|------------------------|
| OWNER: | WATER CODE: | SEWER CODE: | STREET ADDRESS: |
| HOWARD COUNTY PUBLIC SCHOOL SYSTEM 10910 ROUTE 108 ELLEICOTT CITY, MD 21042 410-311-5660 | PRIVATE - WELL | PRIVATE - TREATMENT SYSTEM | 14025 BURNT WOODS ROAD |
| PROJECT NAME: GLENELG HIGH SCHOOL TREATMENT FACILITIES (WATSONS FARMS) | SECTION/AREA: N/A | LOT/PARCEL NO.: PRESERVATION PARCEL B, 11, 12, 169 | |
| PLAT / OR / L/T: 16005 - 16006 | ZONING: RR-DEO | TAX MAP NO.: 21.27 | ELECT DISTRICT: 384 |



Richard Wilson
Professional Engineer
License No. 11453
Expired Date 8-18-14

MUD 25 PER F-03-128, SDP-00-89, SDP-70-46, SDP-81-184, SDP-85-105, SP-03-111, F-03-128, F-05-70, F-05-177

| | |
|-------------------------|---------|
| REVISIONS | DATE |
| 1. MAJOR REVISIONS | 4/20/06 |
| 2. MINOR REVISIONS | 4/20/06 |
| 3. CORRECTIVE REVISIONS | 4/20/06 |
| 4. ADDITIONAL REVISIONS | 4/20/06 |
| 5. FINAL REVISIONS | 4/20/06 |



GLENELG HIGH SCHOOL HOWARD COUNTY TREATMENT SYSTEM DESIGN

WR&A
WATKINS, REAGAN AND ASSOCIATES, LLP
1100 BALTIMORE AVENUE, SUITE 2121
BALTIMORE, MARYLAND 21201
410-225-2150 - 2150

GENERAL NOTES, LEGEND AND ABBREVIATIONS

PROJECT NO. **C-1**

SHEET 2 OF 4

DATE: 04/20/06

SCALE: NO SCALE

DES. CD: CHECK NO: DATE: 04/20/06

ON-SITE DISPOSAL SYSTEM GENERAL NOTES

1. MAJOR TOTAL DESIGN FLOW ALLOCATION: HIGH SCHOOL: 100 STUDENTS, TEACHERS AND STAFF @ 20 GPD = 32,000 GPD TOTAL GPD
2. MAJOR TOTAL DESIGN FLOW ALLOCATION: HIGH SCHOOL: 100 STUDENTS, TEACHERS AND STAFF @ 20 GPD = 32,000 GPD TOTAL GPD
3. MAJOR TOTAL DESIGN FLOW ALLOCATION: HIGH SCHOOL: 100 STUDENTS, TEACHERS AND STAFF @ 20 GPD = 32,000 GPD TOTAL GPD
4. MAJOR TOTAL DESIGN FLOW ALLOCATION: HIGH SCHOOL: 100 STUDENTS, TEACHERS AND STAFF @ 20 GPD = 32,000 GPD TOTAL GPD
5. MAJOR TOTAL DESIGN FLOW ALLOCATION: HIGH SCHOOL: 100 STUDENTS, TEACHERS AND STAFF @ 20 GPD = 32,000 GPD TOTAL GPD

WASTEWATER SYSTEM SEQUENCE OF CONSTRUCTION

1. OBTAIN A GRADING PERMIT AND ANY OTHER PERMITS NECESSARY FOR THE CONSTRUCTION OF THE SBR BUILDING AND WASTEWATER TREATMENT SYSTEM PRESENTED IN THESE PLANS.
2. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM, THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE HOWARD COUNTY HEALTH DEPARTMENT A MINIMUM OF 14 DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST THE (5) WORKING DAYS PRIOR TO START OF WORK.
4. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-297-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
5. INSTALL SEWAGE AND EROSION CONTROL MEASURES INCLUDING THE PIPE SLOPE GRADES & 3/8" ROCK PPE.
6. CONSTRUCT THE TIGHTEN ACCESS ROAD TO THE GLENELG HIGH SCHOOL DRAIN FIELDS.
7. DEMOLISH EXISTING SAND FILTER AS SHOWN ON SHEET C-2.
8. WASTEWATER DISPOSAL TRENCH CONSTRUCTION.
9. EXISTING TRENCHES ARE TO BE CONSTRUCTED A MINIMUM OF 11" AHEAD CENTER TO CENTER SEE SHEET C-3 FOR STAKE OUT COORDINATE TABLE.
10. TRENCHES IN ALL SLOPES ARE TO BE PLACED LEVEL.
11. EXISTING TRENCHES BOTTOM AND SIDEWALLS SHALL BE CHECKED WHEN EXCAVATED, BUT SHALL OTHERWISE BE RECONSTRUCTED TO MEET THE REQUIREMENTS OF THESE PLANS. ALL TRENCHES SHALL BE RECONSTRUCTED TO MEET THE REQUIREMENTS OF THESE PLANS.
12. INSTALL PRESSURE MAIN FROM VALVE MAINS TO SSU FIELDS.
13. ALL PRESSURE MAINS INCLUDING THE HEADERS ARE TO BE TESTED PRIOR TO CONNECTION OF PERFORATED TRENCHES TO THE SSU FIELDS. TEST PRESSURES SHALL BE IN ACCORDANCE WITH THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE HOWARD COUNTY HEALTH DEPARTMENT.
14. INSTALL NEW PUMPS IN THE EXISTING DRAINAGE PUMP STATION. THE INSTALLATION OF THE PUMPS SHALL BE PERFORMED IN SUCH A MANNER TO ENSURE SERVICE TO THE SCHOOL IS NOT INTERRUPTED.
15. MAKE THE FINAL PUMP CONNECTIONS FROM THE EXISTING DRAINAGE PUMP STATION TO THE NEW VALVE PIT AND TEST ALL PIPING AND PERFORATED TRENCHES PRIOR TO THE START OF CONSTRUCTION.
16. INSTALL 6" SAN. ASSOCIATED WORKS TO BESET FLOW AROUND EXISTING SEPTIC TANKS. THE INSTALLATION OF THE 6" SAN. SHALL BE PERFORMED IN SUCH A MANNER SO AS TO ENSURE THAT SERVICE TO THE SCHOOL IS NOT INTERRUPTED.
17. ONCE INSTALLATION IS COMPLETE AND ALL NEW PUMPS ARE FUNCTIONING PROPERLY, DRY OUT FLOW AROUND THE SEPTIC TANKS.
18. REMOVE ALL SEWAGE CONTROL MEASURES AND THE TEMPORARY ACCESS ROAD WITH APPROVAL OF THE INSPECTOR.

NOTE: THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM, THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE HOWARD COUNTY HEALTH DEPARTMENT A MINIMUM OF 14 DAYS PRIOR TO THE START OF CONSTRUCTION.

WATER SYSTEM AND WETLAND RESTORATION SEQUENCE OF CONSTRUCTION

1. OBTAIN A GRADING PERMIT AND ANY OTHER PERMITS NECESSARY FOR THE CONSTRUCTION OF THE WATER SUPPLY SYSTEM AND WETLAND RESTORATION PRESENTED IN THESE PLANS.
2. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY PUBLIC SCHOOL SYSTEM, THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE HOWARD COUNTY HEALTH DEPARTMENT A MINIMUM OF 14 DAYS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST THE (5) WORKING DAYS PRIOR TO START OF WORK.
4. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-297-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
5. INSTALL SEWAGE AND EROSION CONTROL MEASURES INCLUDING THE PIPE SLOPE GRADES & 3/8" ROCK PPE.
6. CONSTRUCT THE TIGHTEN ACCESS ROAD TO THE GLENELG HIGH SCHOOL DRAIN FIELDS.
7. DEMOLISH EXISTING SAND FILTER AS SHOWN ON SHEET C-2.
8. WASTEWATER DISPOSAL TRENCH CONSTRUCTION.
9. EXISTING TRENCHES ARE TO BE CONSTRUCTED A MINIMUM OF 11" AHEAD CENTER TO CENTER SEE SHEET C-3 FOR STAKE OUT COORDINATE TABLE.
10. TRENCHES IN ALL SLOPES ARE TO BE PLACED LEVEL.
11. EXISTING TRENCHES BOTTOM AND SIDEWALLS SHALL BE CHECKED WHEN EXCAVATED, BUT SHALL OTHERWISE BE RECONSTRUCTED TO MEET THE REQUIREMENTS OF THESE PLANS. ALL TRENCHES SHALL BE RECONSTRUCTED TO MEET THE REQUIREMENTS OF THESE PLANS.
12. INSTALL PRESSURE MAIN FROM VALVE MAINS TO SSU FIELDS.
13. ALL PRESSURE MAINS INCLUDING THE HEADERS ARE TO BE TESTED PRIOR TO CONNECTION OF PERFORATED TRENCHES TO THE SSU FIELDS. TEST PRESSURES SHALL BE IN ACCORDANCE WITH THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE HOWARD COUNTY HEALTH DEPARTMENT.
14. INSTALL NEW PUMPS IN THE EXISTING DRAINAGE PUMP STATION. THE INSTALLATION OF THE PUMPS SHALL BE PERFORMED IN SUCH A MANNER TO ENSURE SERVICE TO THE SCHOOL IS NOT INTERRUPTED.
15. MAKE THE FINAL PUMP CONNECTIONS FROM THE EXISTING DRAINAGE PUMP STATION TO THE NEW VALVE PIT AND TEST ALL PIPING AND PERFORATED TRENCHES PRIOR TO THE START OF CONSTRUCTION.
16. INSTALL 6" SAN. ASSOCIATED WORKS TO BESET FLOW AROUND EXISTING SEPTIC TANKS. THE INSTALLATION OF THE 6" SAN. SHALL BE PERFORMED IN SUCH A MANNER SO AS TO ENSURE THAT SERVICE TO THE SCHOOL IS NOT INTERRUPTED.
17. ONCE INSTALLATION IS COMPLETE AND ALL NEW PUMPS ARE FUNCTIONING PROPERLY, DRY OUT FLOW AROUND THE SEPTIC TANKS.
18. REMOVE ALL SEWAGE CONTROL MEASURES AND THE TEMPORARY ACCESS ROAD WITH APPROVAL OF THE INSPECTOR.

BEST MANAGEMENT PRACTICES FOR WETLANDS

1. NO EXCESS FILL, CONSTRUCTION MATERIAL OR DEBRIS SHALL BE STOCKPILED OR STORED IN WETLANDS, NEARBY WETLANDS, OR ADJACENT WETLANDS. WETLANDS SHALL BE PROTECTED FROM ALL ADJACENT WETLANDS. WETLANDS SHALL BE PROTECTED FROM ALL ADJACENT WETLANDS.
2. ADJACENT WETLANDS SHALL BE PROTECTED FROM ALL ADJACENT WETLANDS. WETLANDS SHALL BE PROTECTED FROM ALL ADJACENT WETLANDS.
3. DO NOT USE THE EXCAVATED MATERIAL AS BACKFILL IF IT CONTAINS WASTE, METAL PRODUCTS, IMPURITY DEBRIS, TOXIC MATERIAL, OR ANY OTHER DEleterious SUBSTANCE.
4. EXCAVATED MATERIAL SHALL BE STORED IN A MANNER THAT PREVENTS IT FROM BEING WASHED INTO WETLANDS.
5. REPAIR AND MAINTAIN ANY SIGNIFICANT STRUCTURES OR FILL SO THERE IS NO EXCESS FILL, CONSTRUCTION MATERIAL OR DEBRIS IN WETLANDS.
6. ALL SIGNIFICANT STRUCTURES OR FILL SHALL BE REPAIRED OR REPLACED WITH NATURAL MATERIALS.
7. ALL SIGNIFICANT STRUCTURES OR FILL SHALL BE REPAIRED OR REPLACED WITH NATURAL MATERIALS.
8. EXCESS FILL, CONSTRUCTION MATERIAL OR DEBRIS SHALL BE STOCKPILED OR STORED IN WETLANDS, NEARBY WETLANDS, OR ADJACENT WETLANDS.
9. ADJACENT WETLANDS SHALL BE PROTECTED FROM ALL ADJACENT WETLANDS. WETLANDS SHALL BE PROTECTED FROM ALL ADJACENT WETLANDS.
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WETLAND AND WATERWAY BEST MANAGEMENT PRACTICES

1. NO EXCESS FILL, CONSTRUCTION MATERIAL OR DEBRIS SHALL BE STOCKPILED OR STORED IN WETLANDS, NEARBY WETLANDS, OR ADJACENT WETLANDS. WETLANDS SHALL BE PROTECTED FROM ALL ADJACENT WETLANDS.
2. ADJACENT WETLANDS SHALL BE PROTECTED FROM ALL ADJACENT WETLANDS. WETLANDS SHALL BE PROTECTED FROM ALL ADJACENT WETLANDS.
3. DO NOT USE THE EXCAVATED MATERIAL AS BACKFILL IF IT CONTAINS WASTE, METAL PRODUCTS, IMPURITY DEBRIS, TOXIC MATERIAL, OR ANY OTHER DEleterious SUBSTANCE.
4. EXCAVATED MATERIAL SHALL BE STORED IN A MANNER THAT PREVENTS IT FROM BEING WASHED INTO WETLANDS.
5. REPAIR AND MAINTAIN ANY SIGNIFICANT STRUCTURES OR FILL SO THERE IS NO EXCESS FILL, CONSTRUCTION MATERIAL OR DEBRIS IN WETLANDS.
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LEGEND

| EXISTING | DESCRIPTION |
|----------|----------------------------|
| --- | MAJOR CONDUIT |
| --- | MINOR CONDUIT |
| --- | STONE DRAIN |
| --- | WATER |
| --- | SANITARY SEWER |
| --- | FORCE MAIN |
| --- | UNDERGROUND ELECTRIC |
| --- | VALVE |
| --- | PIPE INVERT |
| --- | MANHOLE/INLET |
| --- | STREET LIGHT |
| --- | FENCE |
| --- | TREES/WOODS/SHRUB |
| --- | TEST PIT |
| --- | FAILED TEST PIT |
| --- | MONITORING WELL/PIEZOMETER |
| --- | SECTION SYMBOL |
| --- | DETAIL SYMBOL |

ABBREVIATIONS

| | |
|--------|---|
| ASHDOT | AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION BUILDING OFFICIALS |
| ASTM | AMERICAN SOCIETY OF TESTING MATERIALS |
| BLM | BUREAU OF LAND MANAGEMENT |
| BT | BEST MANAGEMENT PRACTICES |
| C&G | CENTRAL AND GROUND |
| C&S | CENTRAL AND SURFACE |
| COMP. | COMPOSITE |
| CAP. | CAPTURE |
| CONC. | CONCRETE |
| DIM. | DIMENSION |
| DRY | DRY |
| ELEC. | ELECTRIC |
| EXIST. | EXISTING |
| EXH. | EXHAUST |
| F&E | FLOOD AND EROSION |
| FR. | FLOOR |
| GR. | GRADE |
| IMP. | IMPURITY |
| INS. | INSULATION |
| LPS | LOW PRESSURE |
| M&I | MANHOLE AND INLET |
| M&S | MANHOLE AND SURFACE |
| M&T | MANHOLE AND TRENCH |
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| M&W | MANHOLE AND WATER |
| M&D | MANHOLE |

MR & MRS KWON RESIDENCE

BASEMENT IMPROVEMENT

14347 MUSGROVE FARM CT. GLENWOOD MD 21738

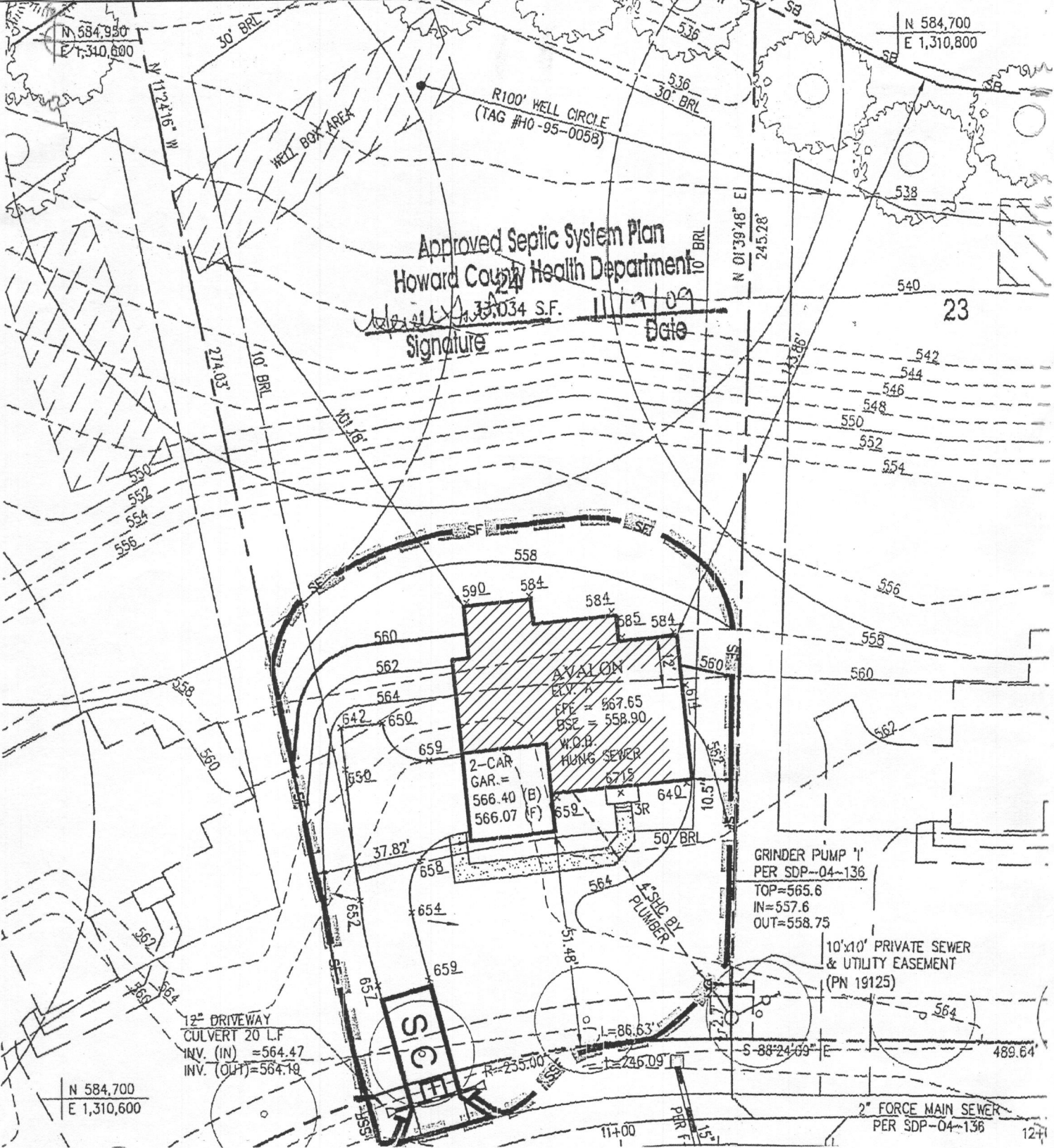
PROJECT DESCRIPTION :

1400 NET SQUARE FEET BASEMENT FINISH FLOOR IN THE EXISTING DETACHED SINGLE FAMILY HOUSE.
 PROPOSED USES OF THE FINISHED BASEMENT ARE RECREATIONAL AREA, FITNESS, BATHROOM AND WORK/MEDIA SPACE.

DRAWING LIST:

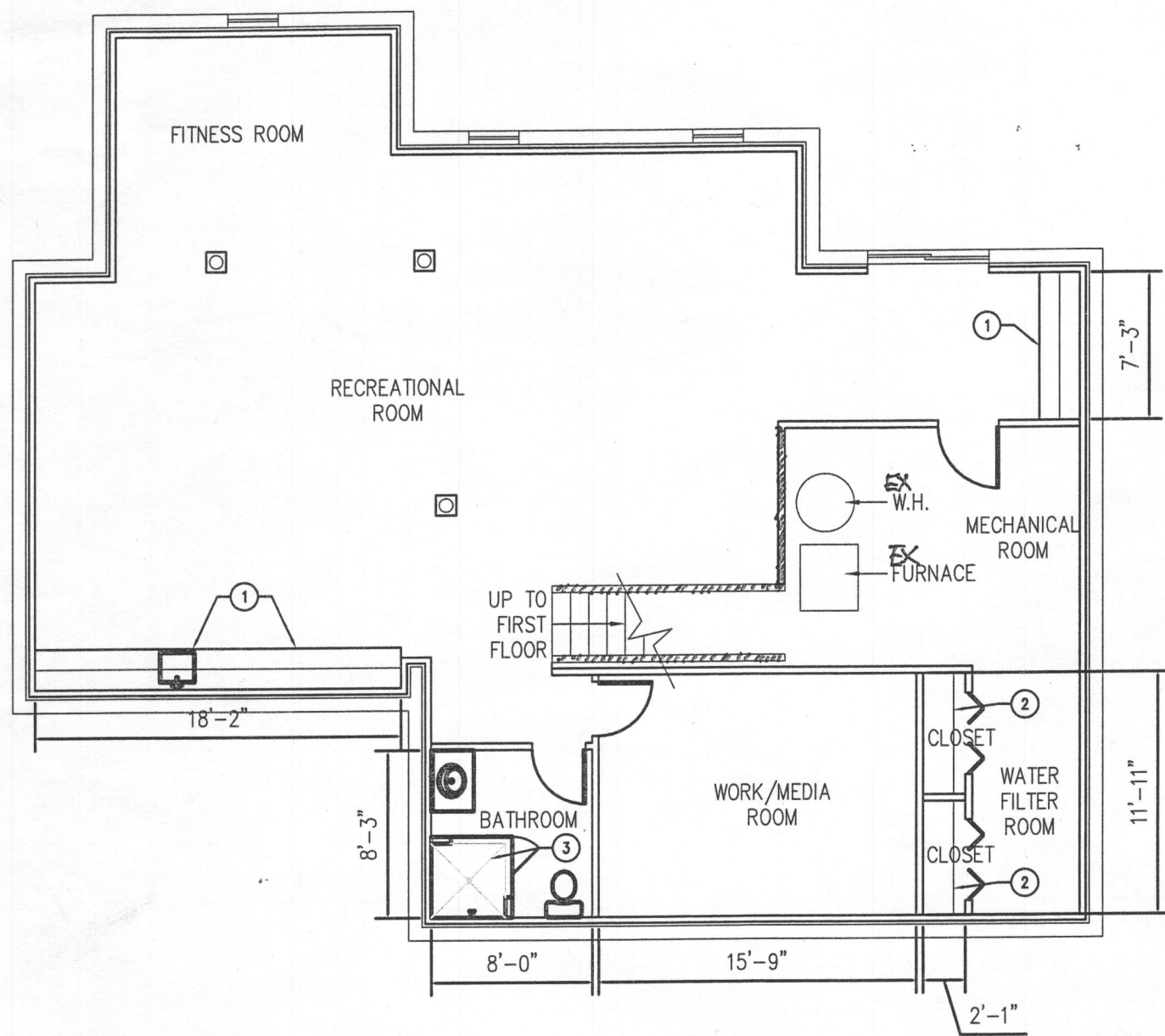
- G-101 COVER SHEET
- A-101 BASEMENT PLAN - NEW WORK
- A-102 FINISH PLAN & DETAIL

APPROVED
 WALK-THRU BUILDING PERMIT
 BP# _____ A# _____
 APP. SAN Robert Freeman DATE: 10/19/16
 DESC. OF WORK: Finished Basement
 Recreational Area, Fitness Area,
 Bathroom + Work / Media Room



1 SITE PLAN
 G-101 1/32" = 1'-0"

| | | | |
|----------------------|----------------|---|--------------------------|
| PROJECT NO: 2016-025 | | Mr. & Mrs. Kwon Residence 14347 Musgrove Farm Ct. Glenwood MD 21738 | G-101 COVER SHEET |
| DATE: 10, 12, 2016 | DRAWN BY: JL | | |
| SCALE: AS SHOWN | CHECKED BY: JL | | |



1 BASEMENT PLAN
A-101 1/8" = 1'-0"

"Proposal Finished"
Basement
R/E 10/19/16

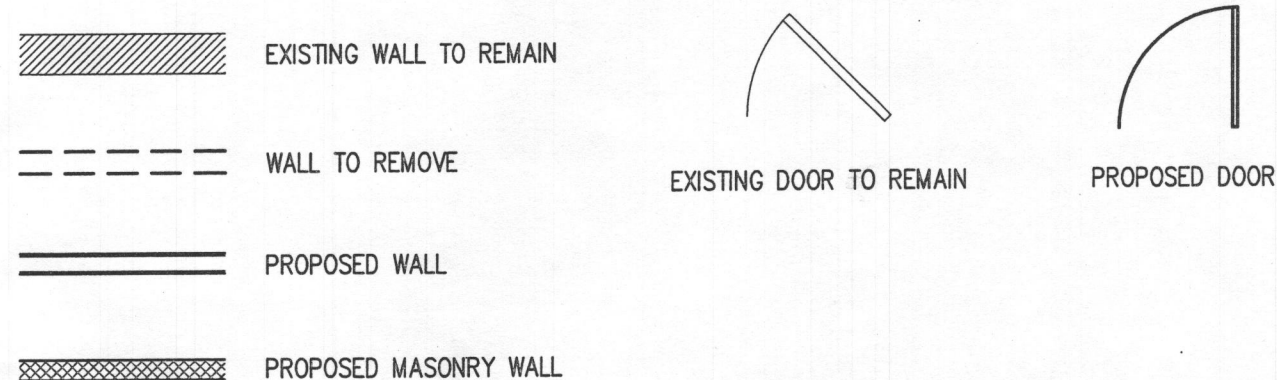
PARTITION SCHEDULE NOTES

1. TYP. INTERIOR PARTITION SHALL BE TYPE "1" UNLESS OTHERWISE NOTED.
2. INTERIOR DIMENSIONS SHOWN ON FLOOR PLANS ARE TO FACE OF STUDS UNLESS OTHERWISE NOTED.
3. C.L. DIMENSIONS ARE TO CENTERLINE OF WALLS OR TO CENTERLINE OF WINDOWS, DOORS, OR ALL OTHER NOTED ITEMS.
4. MOISTURE RESISTANCE GWB AT ALL BATH ROOM WALLS.
5. ALL WOOD STUDS ON CONCRETE/MASONRY SHALL BE PRESSURE TREATED WOOD.

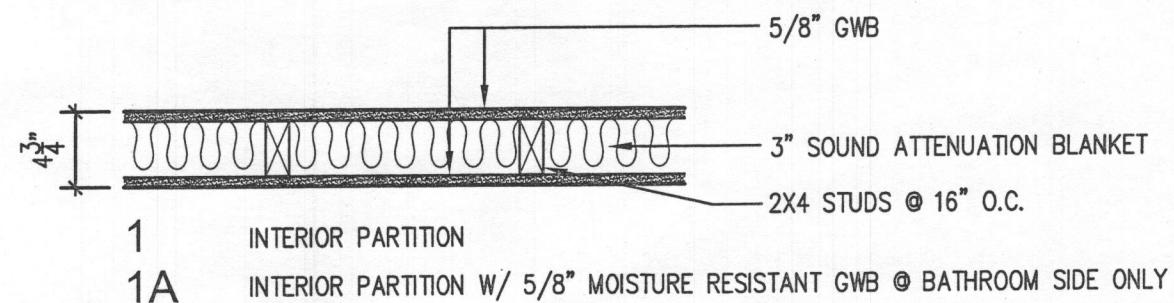
NEW WORK KEY NOTES

- 1 INSTALL BASE & UPPER CABINET WITH 24" SOLID SURFACE COUNTER TOP W/ BACK SPLASH @ 36" AFF.
- 2 INSTALL UTILITY LOAD WIRE MESH LINED SHELVES. PROVIDE WOOD BLOCKING IN WALL.
- 3 PROVIDE SHOWER PAN OR TILE FLOOR AND GLASS DOOR SYSTEM.

DRAWING KEY



PARTITION SCHEDULE



PROJECT NO: 2016-025

DATE: 10, 12, 2016

SCALE: AS SHOWN

DRAWN BY: JL

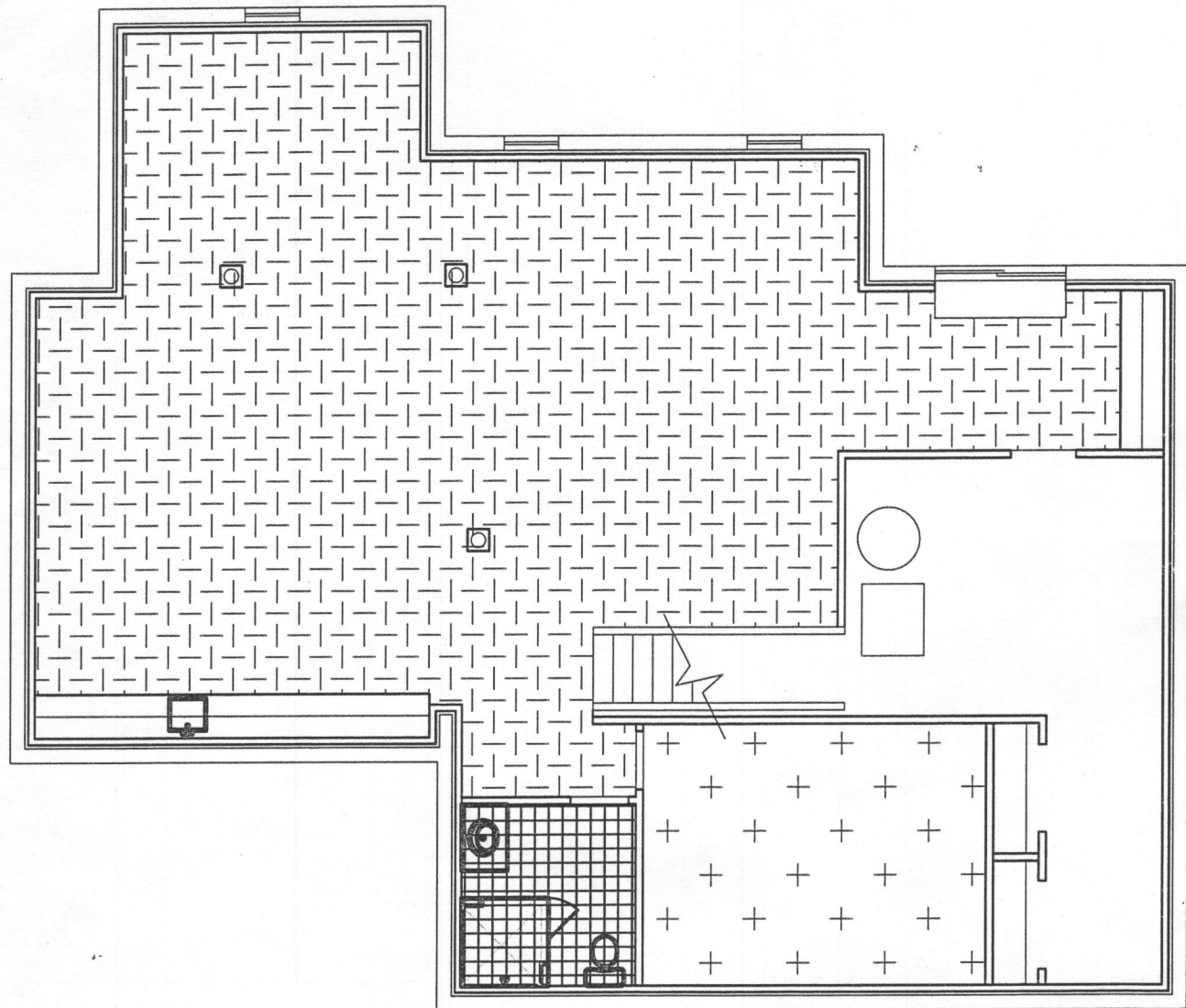
CHECKED BY: JL

Mr. & Mrs. Kwon Residence

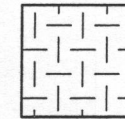
14347 Musgrove Farm Ct. Glenwood MD 21738

A-101

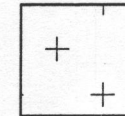
BASEMENT FLOOR PLAN



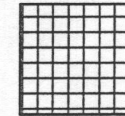
FINISH FLOOR SCHEDULE



CARPET - COLOR & PATTERN
SELECTED BY THE OWNER



CARPET - COLOR & PATTERN
SELECTED BY THE OWNER



CERAMIC TILE - COLOR & PATTERN
SELECTED BY THE OWNER

1 FINISH FLOOR PLAN
A-102 1/8" = 1'-0"

| | |
|----------------------|----------------|
| PROJECT NO: 2016-025 | |
| DATE: 10, 12, 2016 | DRAWN BY: JL |
| SCALE: AS SHOWN | CHECKED BY: JL |

Mr. & Mrs. Kwon Residence
14347 Musgrove Farm Ct. Glenwood MD 21738

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