



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 12/10/13

Permit No.: B13004464

Building Address: 12106 Mayapple Drive
 City: Marysville State: MD Zip Code: 21104
 Suite/Apt. #: _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: MEADOWOOD
 Section: _____ Area: _____ Lot: _____
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Property Owner's Name: Paul Hammonds
 Address: 12106 Mayapple Drive
 City: Marysville State: MD Zip Code: 21104
 Phone: 443-812-3716 Fax: _____
 Email: _____

Existing Use: Single Family Dwelling
 Proposed Use: Addition w/ 3 car garage
 Estimated Construction Cost: \$ 150,000.00
 Description of Work: Addition of 3 car garage

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

All - 2,290 Sq Ft. ~~NO~~
 Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: North Ridge Builders
 Contact Person: Rick Baker
 Address: 1952 Androm Ct.
 City: Marysville State: MD Zip Code: 21104
 License No.: 89352
 Phone: 410-207-6762 Fax: _____
 Email: RICK@NORTH RIDGE BUILDERS.COM

Engineer/Architect Company: Most Architects
 Responsible Design Prof.: John Steles
 Address: 7991 Morning Star Drive
 City: Dayton State: MD Zip Code: 21036
 Phone: 301-854-9012 Fax: _____
 Email: ~~JOHN@MOSTARCHITECTS.COM~~ TSELLS@MOSTARCHITECTS.NET

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
Use group:	<input type="checkbox"/> Finished Basement	
	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<u>Water Supply</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<u>Sewage Disposal</u>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<u>Heating System</u>	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<u>Sprinkler System:</u>	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERE TO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; AND THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Rick Baker
 Email Address: Rick@NorthRidgeBuilders.com
 Title/Company: President / North Ridge Builders

Print Name: ARTHUR BAKER
 Date: 12/9/13

RECEIVED

DEC 10 2013

LICENSES & PERMITS DIVISION

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 "PLEASE WRITE NEATLY & LEGIBLY"
 FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
Health		<u>Mr. M. Bernard</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ 25.00
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# 0973

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



Office of the Health Officer

7178 Columbia Gateway Drive, Columbia, MD 21046-2147

Main: 410-313-6300 | Fax: 410-313-6303

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Acting Health Officer

January 6, 2014

TO: North Ridge Builders
12106 Mayapple
Via-e-mail: rick@northridgebuilders.com

RE: **Building Permit # B13004464**
12106 Mayapple Drive
Marriottsville, Maryland 21104

Mr. Baker,

Further review is contingent upon submission of a revised building plan showing the following:

- Proposed Addition must be 20 feet from septic easement.
- Floor plans for the existing house must be submitted.
- Floor plans for the proposed addition must be submitted.

Your building permit will be placed "on hold" until all Health Dept. requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,

A handwritten signature in cursive script that reads 'Dana Bernard'.

Dana Bernard, REHS/RS

Environmental Specialist II

Bureau of Environmental Health

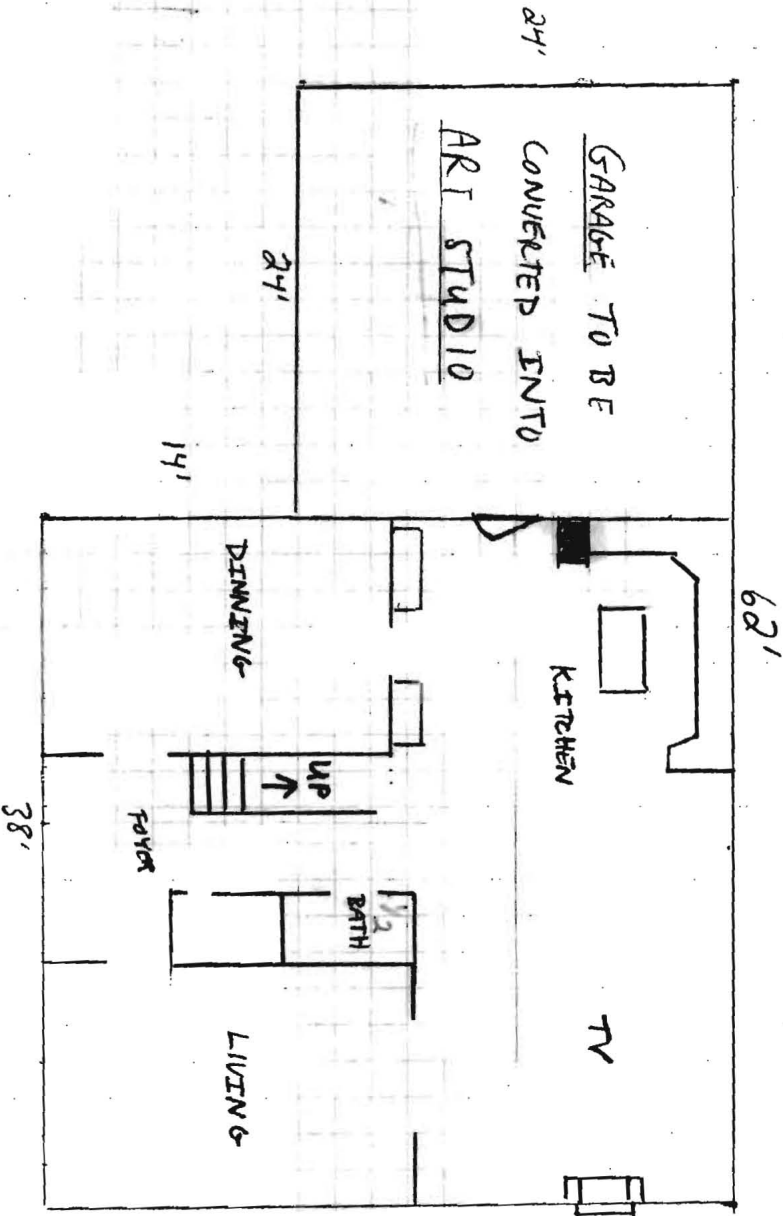
Well and Septic Program

Phone (410) 313-2775

E-mail: DBernard@howardcountymd.gov

cc: Well & Septic program file

1ST FLOOR - EXISTING

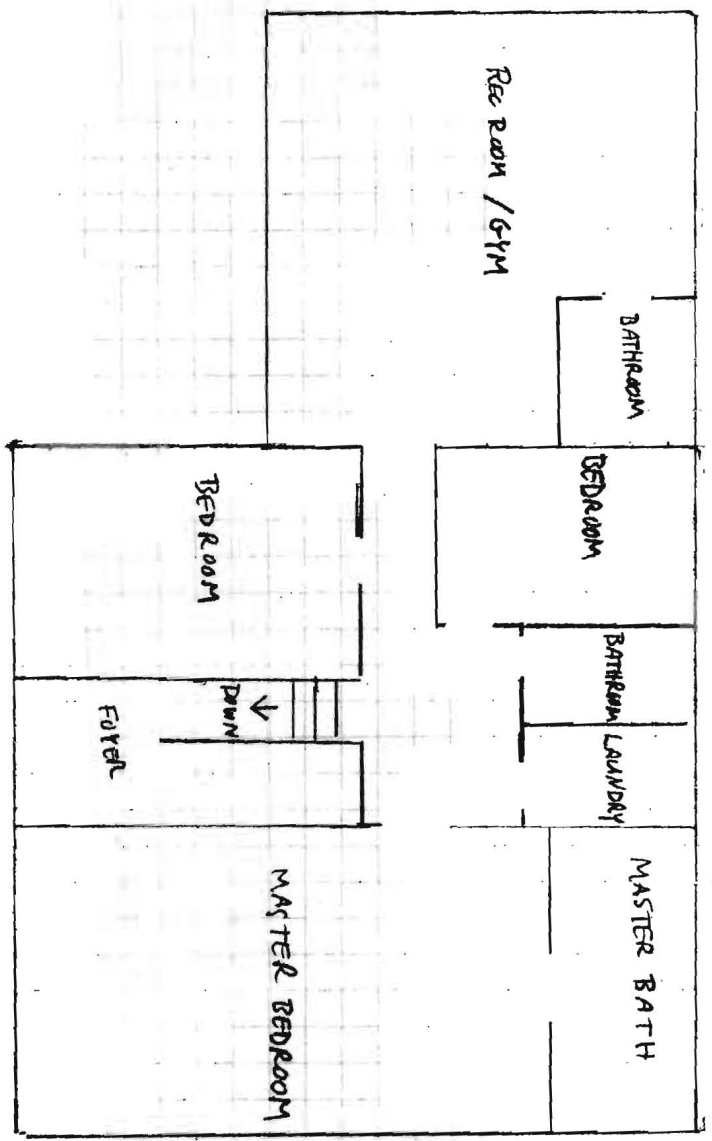


PERMIT # B13004464

HAMMOND 12106 MAYAPPLE DRIVE

Rick Baker 410-707-6762

2ND FLOOR - EXISTING

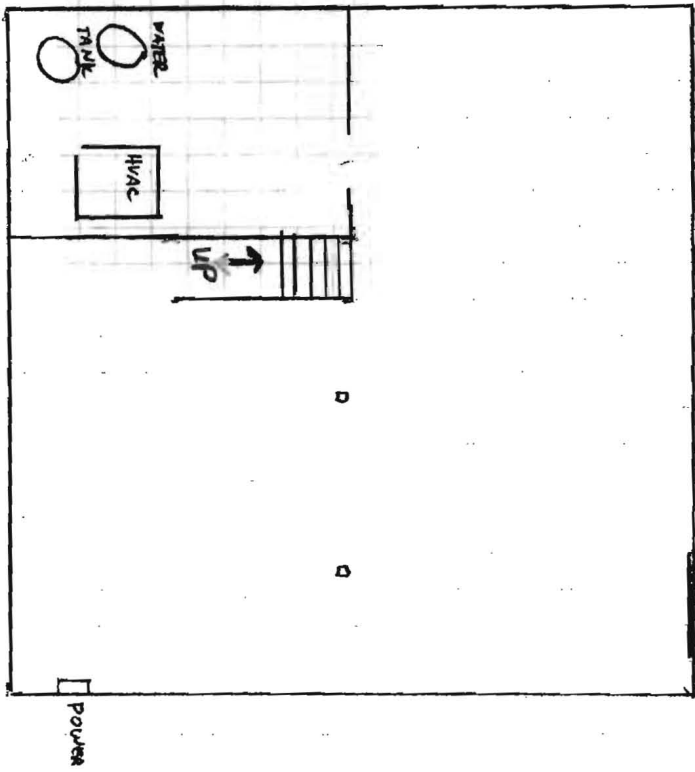


PERMIT # 813004464

HAMMOND 12106 MAPLE DRIVE

RICE BAKER 410-707-6762

BASEMENT - EXISTING



Permit # B13004464

HAMOND 12106 MAYAPPLE DRIVE

Rick Baker 410-707-6762



Most Architects
mostarchitects.net
P. 301.654.8022
most_arch@mostarchitects.net

Hammond
Residence
12198 Mayapple Lane
Annapolis, MD 21406
Howard County
Site Drawing

Professional Certification, I
I hereby certify that these
documents were prepared or
approved by me, and that I am
a duly Licensed Professional
Architect under the Laws of the
State of Maryland, License No.
81584, Expiration Date:
June 8, 2014

[Signature]

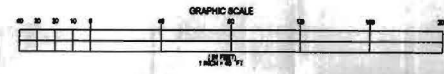
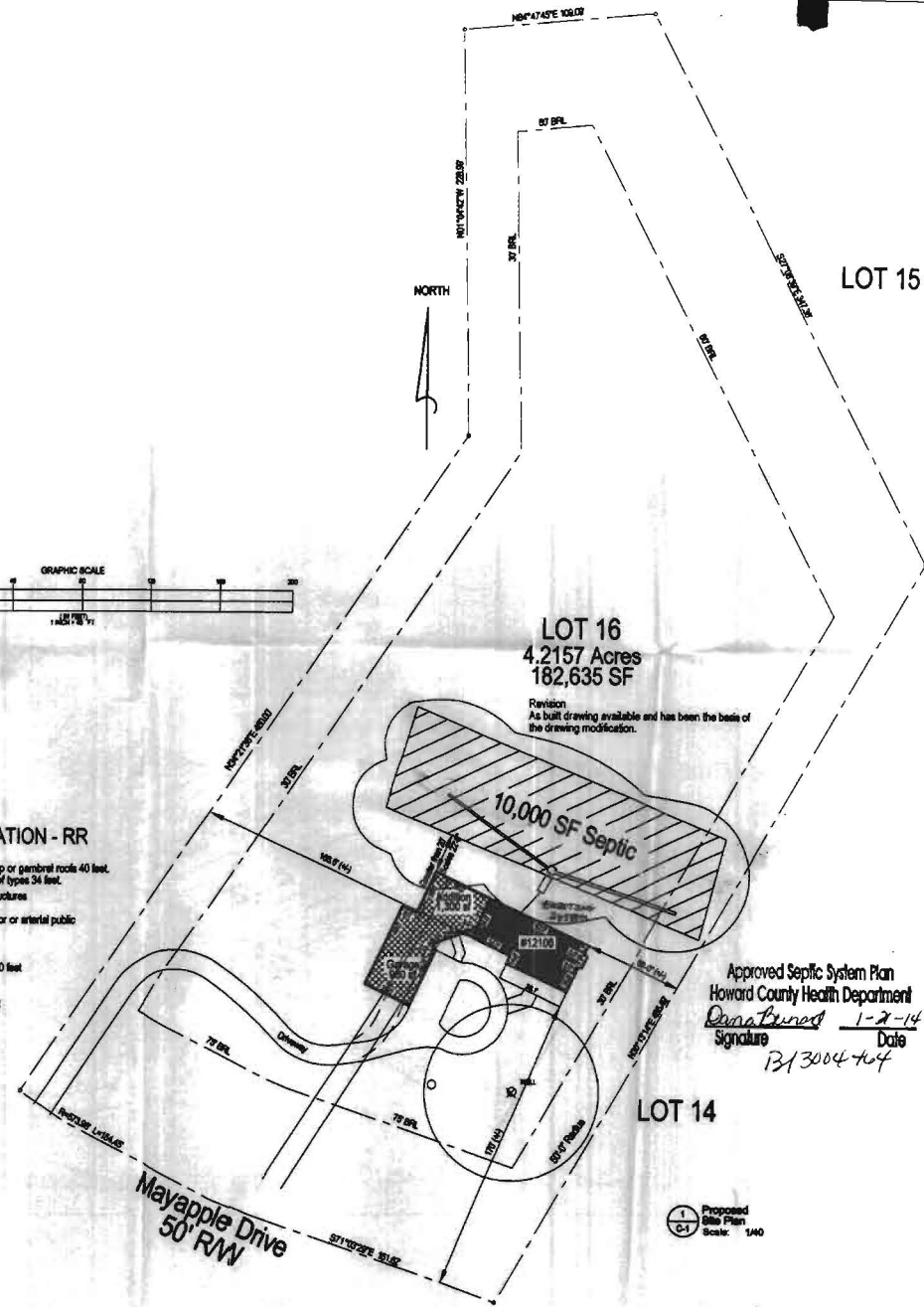
Signature: *[Signature]*
Date: 1-2-14

date: 1/22/13
scale: 1"=40'-0"
project no.: HC-2013_25.3

drawing no.:

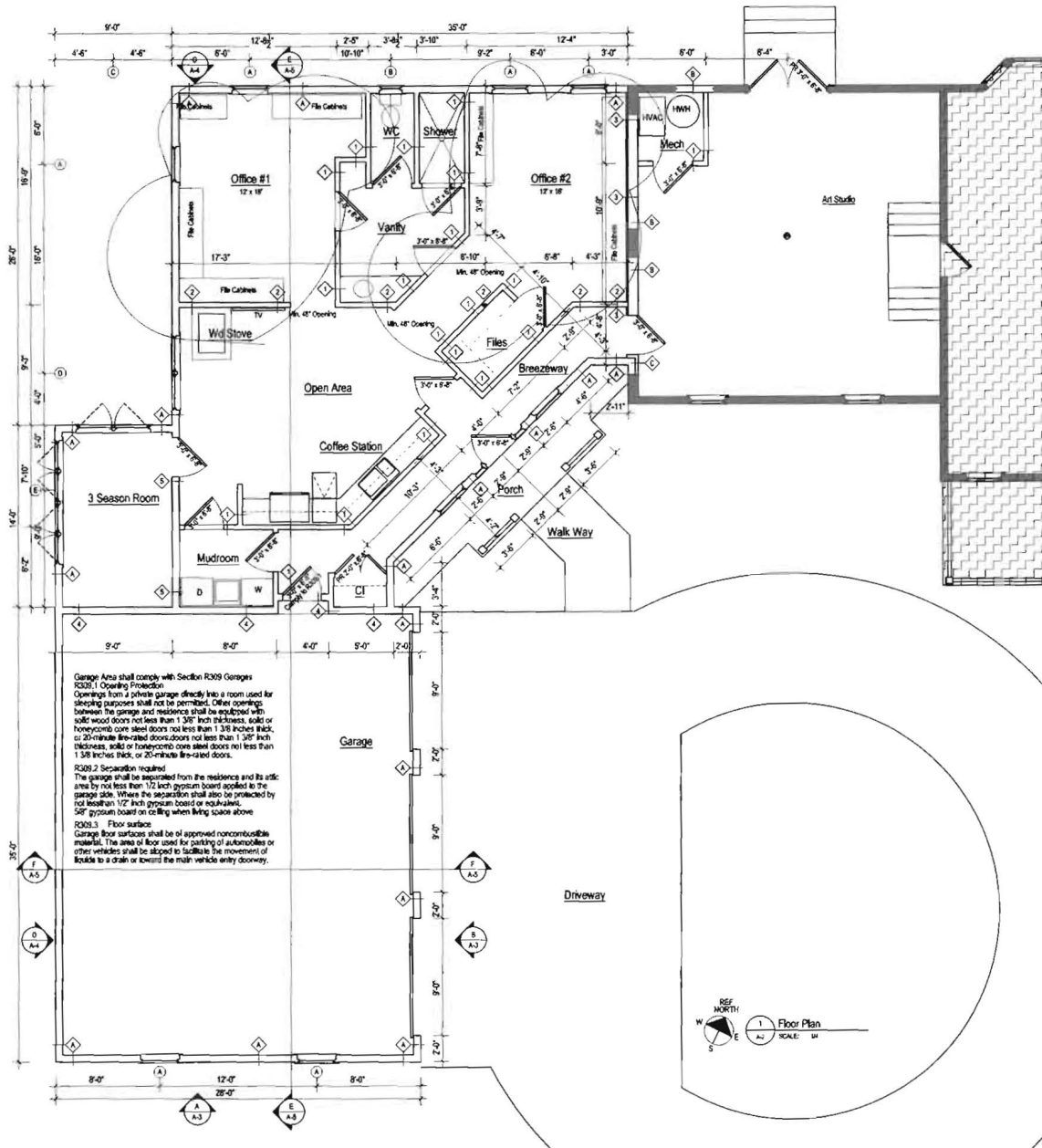
C-1

Permit # D-13004464



ZONING INFORMATION - RR

- Maximum Height Limitations
 a. Principal structures with gable, hip or gambrel roofs 40 feet.
 b. Principal structures with other roof types 34 feet.
 Minimum setback requirements- structures
 Lots 3 acres or larger:
 1. Principal structures - from collector or arterial public street right-of-way 75 feet
 2. Front 75 feet
 3. Side
 (a) From public street right-of-way 60 feet
 (b) Other 30 feet
 4. Rear
 (a) All structures - from public street right-of-way 75 feet
 (b) Principal structure 60 feet
 (c) Accessory structure 10 feet



FINISH SCHEDULE							
ROOM NAME	BASE		FLOOR TYPE	WALL FINISH	CEILING		NOTES
	TYPE	FINISH			HEIGHT	FINISH	
Art Studio	Wood	Stained	Wood	Painted	9'-0"	Painted	
Mechanical Rm	Wood	Stained	Vinyl	Painted	9'-0"	Painted	
Breazeway	Wood	Stained	Carpet	Painted	9'-0"	Painted	
Garage	Wood	Stained	Concrete	Painted	9'-0"	Painted	
Mudroom	Ceramic Tile	Gleazed	Ceramic Tile	Painted	9'-0"	Painted	
3 Season Room	Ceramic Tile	Gleazed	Ceramic Tile	Painted	9'-0"	Painted	
Open Area	Wood	Stained	Carpet	Painted	9'-0"	Painted	
Office #1	Wood	Stained	Carpet	Painted	9'-0"	Painted	
Bathroom	Ceramic Tile	Gleazed	Ceramic Tile	Painted	9'-0"	Painted	
Office #2	Wood	Stained	Carpet	Painted	9'-0"	Painted	
Coffee Station	Wood	Stained	Ceramic Tile	Painted	9'-0"	Painted	

PARTITION TYPES		INSULATION PER COVER SHEET INSULATION NOTES	
EXTERIOR 2X6 INFILL WALL TYPE "B" PARTITION (infill existing opening) 2x6 Wood Studs at 16" o.c., one layer 1/2" gyp. bd. on the interior surface exterior surface to be 1/2" plywood panel with vapor barrier. Wall system to include 1/2" Insulation and to be fixed with one of the following: 1. Cementitious Sliding System, sim. to meet exposure to match existing siding. System to include all associated zins and starter elements.	EXTERIOR 2X6 BEARING WALL TYPE "A" PARTITION (4 1/2" thickness) 2x6 Wood Studs at 16" o.c., one layer 1/2" gyp. bd. on the interior surface exterior surface to be 1/2" plywood panel with vapor barrier. Wall system to include 1/2" Insulation and to be fixed with one of the following: 1. Cementitious Sliding System, sim. to meet exposure to match existing siding. System to include all associated zins and starter elements.		
INTERIOR 2X4 BEARING WALL TYPE "2" PARTITION (4 1/2" thickness) 2x4 Wood Studs at 16" o.c., single layer panels each side app wet & screw w/1 1/2" Thermobar SFAB-pins finished - perimeter caulked	INTERIOR 2X4 NON BEARING WALL TYPE "1" PARTITION (4 1/2" thickness) 2x4 Wood Studs at 16" o.c., single layer panels each side app wet & screw w/1 1/2" Thermobar SFAB-pins finished - perimeter caulked		
INTERIOR 2X4 BEARING WALL TYPE "4" PARTITION 2x4 Wood Studs at 16" o.c., single layer panels each side app wet & screw w/1 1/2" Thermobar SFAB-pins finished - perimeter caulked Garage finish as per 401-2012 section R309.3	INTERIOR 2X4 ON BEARING WALL TYPE "3" PARTITION (4" thickness) 2x4 Wood Studs at 24" o.c., single layer panels each side app wet & screw w/1 1/2" Thermobar SFAB-pins finished - perimeter caulked		
RATED PARTITION	NON RATED PARTITION		
	INTERIOR 2X6 BEARING WALL TYPE "5" PARTITION (6 1/2" thickness) 2x6 Wood Studs at 16" o.c., single layer panels each side app wet & screw w/1 1/2" Thermobar SFAB-pins finished - perimeter caulked		
	NON RATED PARTITION		

GARAGE CODE REQUIREMENTS

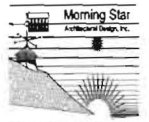
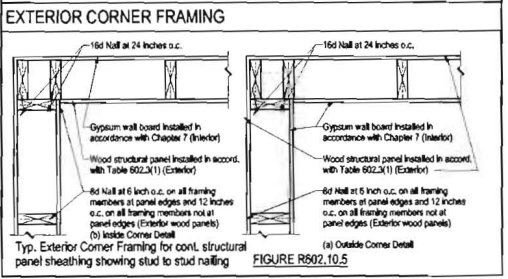
R309.1 Opening Protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8" inch thickness, solid or honeycomb core steel doors not less than 1 3/8 inches thick, or 20-minute fire-rated doors not less than 1 3/8 inch thickness, solid or honeycomb core steel doors not less than 1 3/8 inches thick, or 20-minute fire-rated doors.

R309.2 Separation required. The garage shall be separated from the residence and its attic area by not less than 1/2 inch gypsum board applied to the garage side. Where the separation shall also be protected by not less than 1/2 inch gypsum board or equivalent. SFS gypsum board on ceiling when living space above.

R309.3 Floor surface. Garage floor surfaces shall be of approved noncombustible material. The area of floor used for parking of automobiles or other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.

WALL BRACING GENERAL NOTES SEE STRUCTURAL DRAWINGS S-1 & S-2 FOR BRACING NOTES & DETAILS

REQUIREMENTS	Methods, Materials, Min. Thickness CS-WSP	Connection Criteria	
		Figures	Fasteners Spacing
Return Panel 24" for braced wall lines sheathed with wood structural panels 3/2" for braced wall lines sheathed with structural Iboard	Continuous Sheathing Methods 1/2" Min. Thick Wood Structural Panel CS-WSP	Figures 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000	8d common nails (2 1/2" x 12" field long x 1 1/2" dia.)
Distance 0: 24" for braced wall lines sheathed with wood structural panels 3/2" for braced wall lines sheathed with structural Iboard			
End Condition 2 and 3 - Optional not identified in current Design			
Hold Down: 800 lbs capacity (fastened to the edge of the braced wall panel closest to the corner and to the foundation or floor framing below)			



MoST Architects
mostarchitects.net
P: 301.754.9012
email: jacob@mostarchitects.net

Hammond
Residence
12108 Arroyo Drive
Manassas, VA 20108
Northern County

Proposed Floor Plan
Notes and Schedules

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly Licensed Professional Architect under the Laws of the State of Maryland. License No. 8168R. Expiration Date: June 3, 2014.

stamp

revisions:

date	no.	description
12/23/13	A	Revised as per comments
4/18/14	A	Revised as per comments

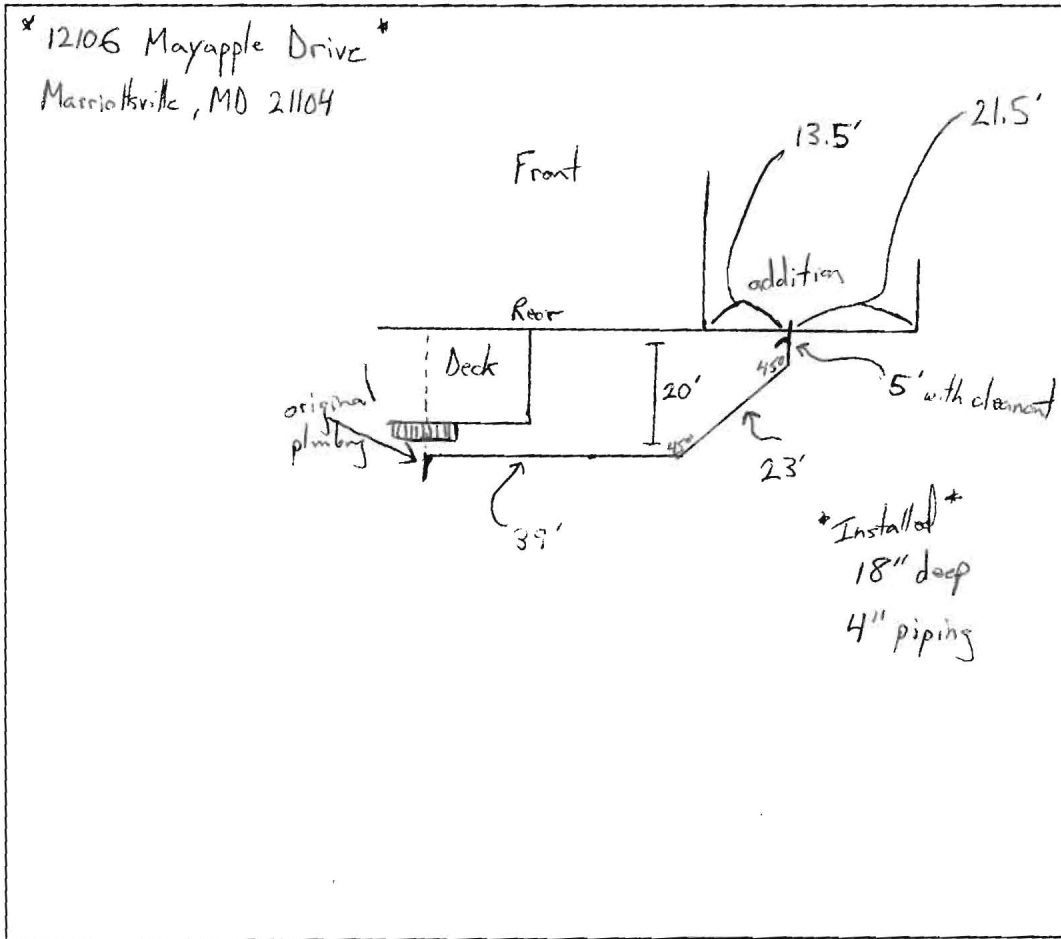
date: 4/18/14
scale: 1/4"
project no.: HC-2013_25.3
drawing no.:

A-2
Permit # D-13004464

SITE INSPECTION SHEET

OWNER: Hammond PHONE #: _____
ADDRESS: 12106 Mayapple Dr. CONTRACTOR: _____
Marriottsville, MD 21104 WELL TAG #: _____
SUBDIVISION: _____ LOT: _____ COUNTY #: Howard 13
PROPOSAL: _____

LOCATION DIAGRAM



COMMENTS: Inspection of SHC from addition into original
pipng to septic tanks. 4" PVC installed @ 18" depth
cleanout install @ outlet from addition.

DATE: 4/18/14 INSPECTOR: AGS



MoST Architects
mostarchitects.net
P 301.884.4242
mst@mostarchitects.net

Hammond
Residence
1000 Mayapple Drive
Howard County
Maryland
Site Drawing

Professional Certification: I
hereby certify that these
documents were prepared or
approved by me, and that I am
a duly Licensed Professional
Engineer under the Laws of the
State of Maryland, License No.
#11992, Expiration Date:
June 9, 2014

[Signature]

revisions:
date rev. description
1/17/14 Description of Septic System

date: 12/23/13
scale: 1"=40'-0"
project no: HC-2013_253
drawing no:

C-1

Permit # D-13004464

LOT 15

LOT 16
4.2157 Acres
182,635 SF

Revision
As built drawing available and has been the basis of
the drawing modification.

10,000 SF Septic

Approved Septic System Plan
Howard County Health Department
Dana Bures 1-2-14
Signature Date
B313004464

LOT 14

Proposed
Site Plan
Scale: 1"=40'



ZONING INFORMATION - RR

- Maximum Height Limitations
a. Principal structures with gable, hip or gambrel roofs 40 feet.
b. Principal structures with other roof types 34 feet.
Minimum setback requirements- structures
Lots 3 acres or larger:
1. Principal structures - from collector or arterial public
street right-of-way 75 feet
2. Front 75 feet
3. Side
(a) From public street right-of-way 60 feet
(b) Other 30 feet
4. Rear
(a) All structures - from public street
right-of-way 75 feet
(b) Principal structure 60 feet
(c) Accessory structure 10 feet

