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21046

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TDD (410) 313-2323 Toll Free 1-866-313-6300
website: www.hchealth.org

Peter L. Beilenson, M.D., M.P.H., Health Officer

MEMORANDUM

DATE: April 14th, 2009

TO: Cindy Hamilton, Chief
Division of Land Development

FROM: Heidi Scott
Well and Septic Program
Development Coordination Section

RE: File Number: F-09-093
Title: *STPB Property Lots 1 & 2*
4823 & 4879 Manor Lane

The following comments apply to the above referenced plan prepared by FSH Associates received April 1st, 2009.

- Note # 17 on the Percolation Certification Plan (signed 3-19-09) regarding the existing wells must be satisfied prior to Health Dept. signature of the final record plat.

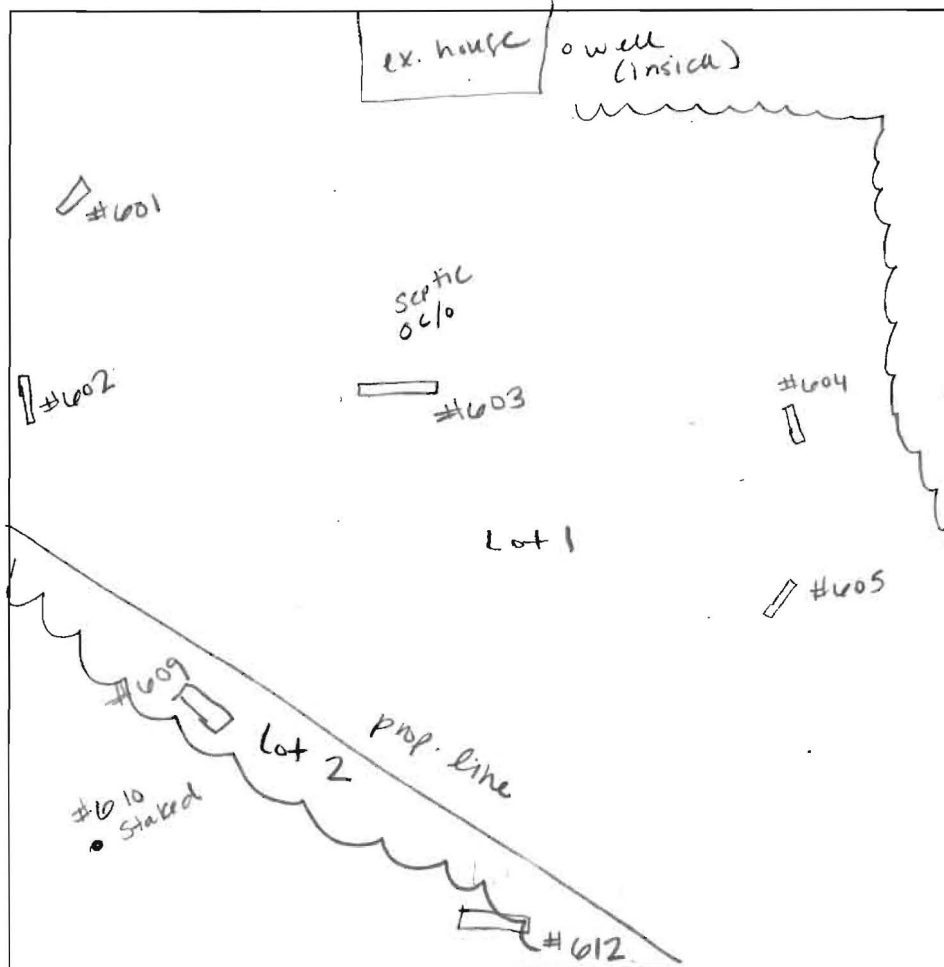
HS
Cc:
Zac Fisch; FSH Assoc. (sent via fax 4-14-09)
File

AP 530248

604
 5' brn & sbk roots
 red brn sel 30% chert
 2.5' reddish brn sel 15% coarse chert
 yellow brn ls many mica saponite Fe deposits
 12'

605
 1.8' heavy brn & sbk/roots
 org brn sel many mica 20% chert
 3.2' yellow brn sel many mica platy saponite
 9' decomposing quartz
 yellowish white ls 30% cherters many mica
 11'

601
 1' brn & sbk
 red brn sel 30%
 4.5' red brn gr sel 20% coarse chert many mica
 7.8' ↓ yellow brn ls saponite Fe & Mn deposits
 11'



602
 brn & sbk roots 1'
 red brn sel 25% chert 3.5'
 red brn fl many mica
 ↓
 whitish brn ls saponite micaceous 10% flaggy
 12' boulders Mn coatings

603
 same as 602

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
12/23/08	604	5.5'/12'	10:32	pulled, too		slow	
	604	8'/12'	11:29	11:45	12:01	16	P
	601	6'/11'	11:06	11:17	11:28	11	P
	602	6'/12'	11:18	11:19	11:21	2	P
	603	11.5'	visual				P
	605	5'/11'	10:45	11:00	11:18	18	P

REMARKS _____
 SANITARIAN HS BACKHOE Fogles OTHERS Jake, Frank, Jose
 TEST HOLES USED IN SDA 5 AVG. PERC TIME _____ SQ. FT/BR _____
 TRENCH WIDTH 2 INLET DEPTH 4 MAX. BOT DEPTH 7' EFFECTIVE S/W 2.5-3'

April 1, 2009

**Mrs. Cindy Hamilton, Chief
Division of Land Development
Howard County Department of
Planning and Zoning
8930 Stanford Blvd.
Columbia, MD 21045**

Re: STPB Subdivision

Dear Mrs. Hamilton:

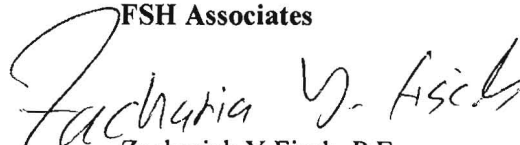
The purpose of this letter is to summarize the conclusions of our pre-submittal meeting that took place on March 24, 2009.

Since this subdivision consists of two (2) lots with existing dwellings on them and since, practically speaking, we are performing a lot line adjustment between an existing recorded lot, lot 2 of the William C. Stevens Property and existing Parcel 10, the Pontius Braeckman Property, the following was agreed upon in the meeting:

1. This subdivision is not subject to adequate public facilities tests for roads or building permits.
2. This subdivision, being a minor subdivision without further subdivision potential, is exempt from forest conservation obligations.
3. This subdivision has no storm water management obligations since no additional lots are created, nor additional impervious areas or grading activities are proposed.
4. The existing/established points of access are utilized. Therefore, no sight distance analysis is required.
5. The subdivision is not adding lots, structures or driveways. Therefore, landscaping obligations are not required.
6. Exploration Research, Inc. performed a wetlands analysis. No wetlands or streams were found. A certification letter is submitted herewith.
7. Access to proposed lot 1, existing lot 2 of the William C. Stevens Property, is via an existing use-in-common access easement overlapping a 10 foot wide pipestem. It was agreed in the meeting that since the existing access was established with a plat that was approved under F-85-45 and recorded as plat #6008, the width of the use-in-common access easement, driveway, and pipe stem are acceptable for the current submission without the need to process any waivers.

Should you have any questions or comments, please feel free to contact our office.

Sincerely,
FSH Associates



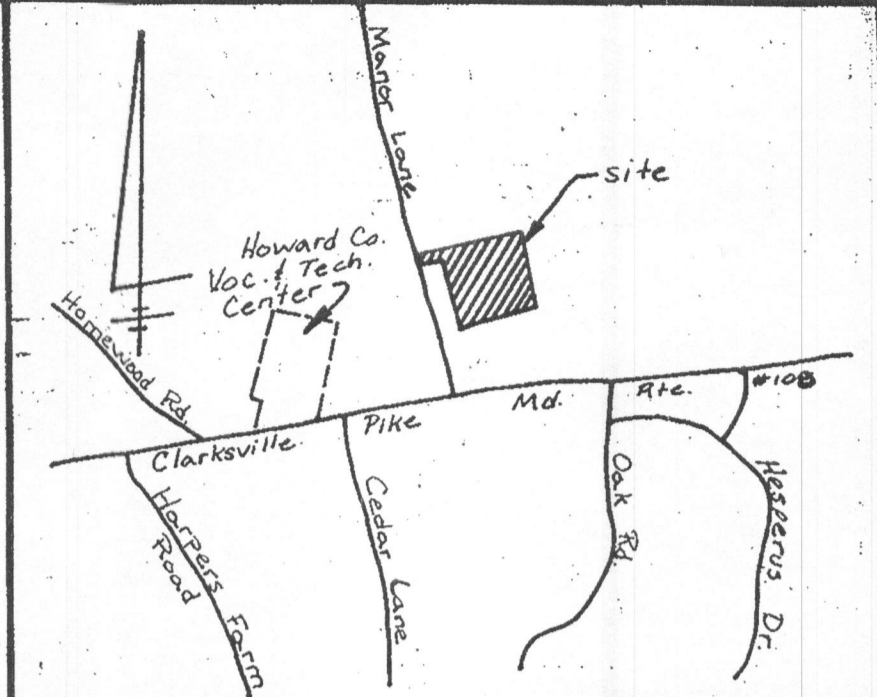
Zachariah Y. Fisch, P.E.

ZYF/db
File:

S:\WORD Documents\FSH Associates\Job Letters\STPB 3553\Hamilton - STPB Subdivision.doc

AREA OF DEDICATION=0.005 Ac.
LAND DEDICATED TO HOWARD COUNTY, MARYLAND FOR THE PURPOSE OF A PUBLIC ROAD

- Notes**
- 1.) Subject Property is zoned "R" (Rural) per 10-3-77 Comprehensive Zoning Plan for Howard County.
 - 2.) Tax Map 29 Parcel 11
 - 3.) B.R.L. - Denotes Building Restriction Line
 - 4.) Existing structures on Lot 2 subject to "VP-84-87"
 - 5.) Any further subdivision of Lots One and Two will require public roadway frontage for all lots being created.



6. For flag or pipestem lots, refuse collection, snow removal and road maintenance are provided to the junction of the flag or pipestem and the road right-of-way line only and not onto the flag or pipestem lot driveway.
7. Private Sewer Easement, approx. 10,000 sq. ft. as reqd. by the Md. State Dept. of Health and Mental Hygiene for individual sewage disposal. Improvements of any nature in this area are restricted until public sewer is available and serving any residential structure constructed on this bldg. site. This easement shall become null and void upon connection to public sewage system.
8. The lots shown hereon comply with the minimum ownership, width and lot areas as required by the Maryland State Department of Health and Mental Hygiene regulations.

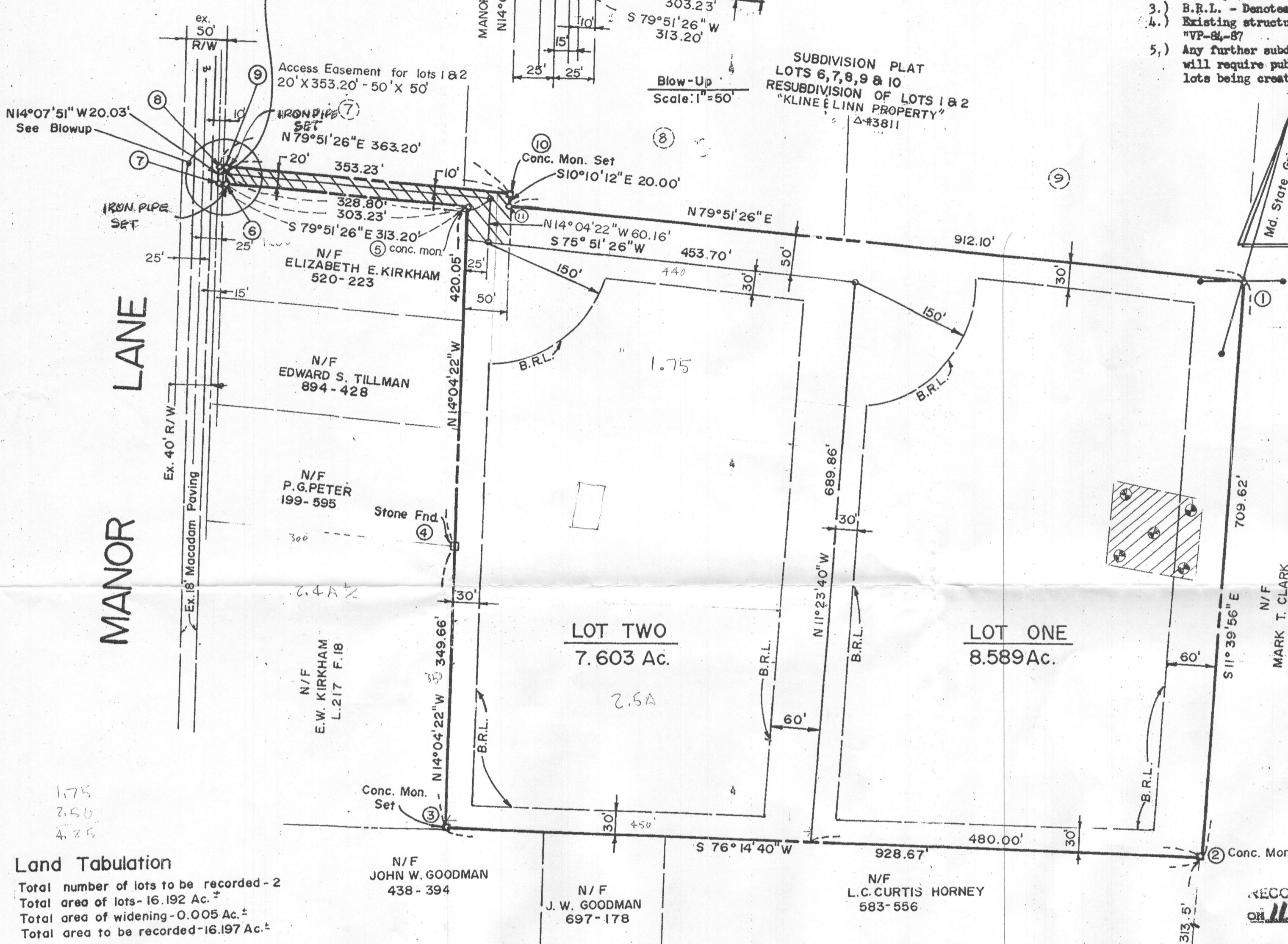
MD. STATE GRID SYSTEM COORDINATES

No.	North	East
1	512029.237	832892.683
2	511334.276	833036.170
3	511113.457	832134.136
4	511452.623	832049.115
5	511860.070	831946.977
6	511806.670	831648.485
7	511804.915	831638.672
8	511824.339	831633.782
9	511826.095	831643.592
10	511888.300	831991.306
11	511868.615	831994.838

NOTE: Coordinates established from station no. 2839002 & 2839003

RECORDED PLAT 6008 ON 11-16-84 AMONG THE LAND RECORDS OF HOWARD COUNTY, MD.

Stone @ Large Oak Tree marked "R.H.V.D."



Land Tabulation
Total number of lots to be recorded - 2
Total area of lots - 16.192 Ac. ±
Total area of widening - 0.005 Ac. ±
Total area to be recorded - 16.197 Ac. ±

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE FINAL PLAT SHOWN HEREON IS CORRECT, THAT IT IS A SUBDIVISION OF ALL OF THE LANDS CONVEYED BY EDWARD L. O'DONNELL TO WILLIAM C. STEVENS AND JEANNE M. STEVENS HIS WIFE, BY DEED DATED THE 7th DAY OF OCTOBER 1950 AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 220 FOLIO 182 AND THAT ALL MONUMENTS ARE IN PLACE OR WILL BE IN PLACE PRIOR TO THE ACCEPTANCE OF THE STREETS IN THE IN THE SUBDIVISION BY HOWARD COUNTY AS SHOWN IN ACCORDANCE WITH THE ANNOTATED CODE OF MARYLAND, ANNEMENDED.

ROBERT T. FISHPAUGH, R.L.S. No. 6034 DATE 8/21/84

OWNER'S CERTIFICATE

WE, WILLIAM C. STEVENS & JEANNE M. STEVENS OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON HEREBY ADOPT THIS PLAN OF SUBDIVISION, AND IN CONSIDERATION OF THE APPROVAL OF THIS FINAL PLAT BY THE OFFICE OF PLANNING & ZONING, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND GRANT UNTO HOWARD COUNTY, MARYLAND, ITS SUCCESSORS AND ASSIGNS, (1) THE RIGHT TO LAY, CONSTRUCT AND MAINTAIN SEWERS, DRAINS, WATER PIPES AND OTHER MUNICIPAL UTILITIES AND SERVICES, IN AND UNDER ALL ROADS AND STREET RIGHT OF WAYS AND THE SPECIFIC EASEMENT AREAS SHOWN HEREON; (2) THE RIGHT TO REQUIRE DEDICATION FOR PUBLIC USE THE BEDS OF THE STREETS AND/OR ROADS, AND FLOOD PLAINS AND OPEN SPACE WHERE APPLICABLE AND FOR GOOD AND OTHER VALUABLE CONSIDERATION, HEREBY GRANT THE RIGHT AND OPTION TO HOWARD COUNTY TO ACQUIRE THE FEE SIMPLE TITLE TO THE BEDS OF THE STREETS AND/OR ROADS AND FLOOD PLAINS, STORM DRAINAGE FACILITIES AND OPEN SPACE WHERE APPLICABLE, AND (3) THE RIGHT TO REQUIRE DEDICATION OF WATERWAYS AND DRAINAGE EASEMENTS FOR THE SPECIFIC PURPOSE OF THEIR CONSTRUCTION, REPAIR AND MAINTENANCE; AND (4) THAT NO BUILDING OR SIMILAR STRUCTURE OF ANY KIND SHALL BE ERRECTED ON OR OVER THE SAID EASEMENTS AND RIGHT OF WAYS.

WITNESS HANDS THIS DAY OF Oct., 1984
Robert C. Stevens
WITNESS J. W. Gooden Date 10-24-84
Owners

OWNER
William C. Stevens
4823 Manor Road
Ellicott City, Md.
21043

STATE OF MARYLAND
ROBERT T. FISHPAUGH
No. 6034
REGISTERED
LAND SURVEYOR

FINAL SUBDIVISION PLAN OF LOTS 1 & 2 WILLIAM C. STEVENS PROPERTY

Manor Lane
2nd Election District Howard County, Md.
Scale: 1" = 100'
August 21, 1984

R.T.F. INC.
Professional Land Surveyors
142 East Main Street
Westminster, Maryland 21157
876-1222 848-2040

APPROVED FOR PRIVATE WATER AND SEWER SYSTEMS
County Health Officer DATE 11-9-84

APPROVED HOWARD COUNTY OFFICE OF PLANNING AND ZONING
Director DATE 11-15-84

APPROVED FOR STORM DRAINAGE SYSTEMS AND ROADS
HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Director DATE 11-14-84

POINT	NORTHING	EASTING
300	571,862.0482	1,344,552.1126
301	572,609.2330	1,344,364.0300
302	572,554.87	1,344,067.03
308	571,970.3617	1,344,988.5011
309	572,645.7671	1,344,847.8186
310	572,565.0356	1,344,401.4286
311	572,623.10	1,344,386.53
312	572,201.8108	1,344,467.5534
313	572,564.6747	1,344,065.0454
314	572,144.1313	1,344,159.7104
315	571,788.4278	1,344,253.0407
316	572,470.2978	1,344,401.4679

LOT NUMBER	GROSS AREA (ac)	PIPESTM AREA (c)	MINIMUM LOT SIZE
1	5.095±	.102±	4.993±

General Notes continued...
 24. Previous Howard County File numbers: VP-84-87, F-85-45.
 25. Health Department Reference Number: A-530248

The Requirements § 3-108, The Real Property Article, Annotated Code of Maryland, 1999 Replacement Volume, (As supplemented) as far as they relate to the making of this Plat and the Setting of Markers have been complied with.

Name	Date
C. Brooke Miller (Maryland Property Line Surveyor #135)	
T. James Truby	
Verity A.J. Weston-Truby	
Joan Pontius	
Filip Braeckman	

AREA TABULATION CHART

- Total number of Buildable Lots to be recorded: 2
- Total area of Buildable Lots to be recorded: 10.041 Acres±
- Total area of Public Right of Way: 0.111 Acres±
- Total area to be Recorded: 10.152 Acres±

Howard County Health Department
 APPROVED: For Private Water and Sewerage Systems

 Date

Howard County Health Officer

APPROVED: Howard County Department of Planning and Zoning

 Date

Chief, Development Engineering Division

 Date

Director

OWNER'S CERTIFICATE

We, T. James Truby, Verity A.J. Weston-Truby, Joan Pontius and Filip Braeckman, owners of the property shown and described hereon, hereby adopt this plan of subdivision, and in consideration of the approval of this final plat by the Department of Planning and Zoning, establish the minimum building restriction lines and grant unto Howard County, Maryland, its successors and assigns: (1) The right to lay, construct and maintain sewers, drains, water pipes and other Municipal utilities and services in and under all road and street Rights-of-Way and the specific easement areas shown hereon; (2) The right to require dedication for Public use the beds of the streets and/or roads and Floodplains and Open Space where applicable and for good and other valuable consideration hereby grant the right and option to Howard County to acquire the Fee Simple Title to the beds of the streets and/or roads and Floodplains, Storm Drainage Facilities and Open Space where applicable; (3) The right to require dedication of Waterways and Drainage easements for the specific purpose of their construction, repair and maintenance; And (4) That no building or similar structure of any kind shall be erected on or over said Easements and Rights-of-Way.

Witness my hand this _____ day of _____, 200__.

 T. James Truby
 Witness

 Verity A.J. Weston-Truby
 Witness

 Joan Pontius
 Witness

 Filip Braeckman
 Witness

SURVEYOR'S CERTIFICATE

I hereby certify that the final plat shown hereon is correct; that it is a subdivision of all of the lands conveyed by Jeanne M. Stevens widow Grantor to T. James Truby and Verity A.J. Weston-Truby, Grantees by deed dated April 25, 2008 and recorded in the Land Records of Howard County in Liber 11205 Folio 229, and Brian R. Bolon and Margaret M. Lawlor tenants by the entireties, parties of first part, to Joan Pontius and Filip Braeckman, tenants by entireties, parties of the second part by deed dated March 31, 1999 and recorded in the Land Records of Howard County in Liber 4687 Folio 560, and that all monuments are in place or will be in place prior to the acceptance of the streets in the subdivision by Howard County as shown, in accordance with the Annotated Code of Maryland, as amended.

 Date

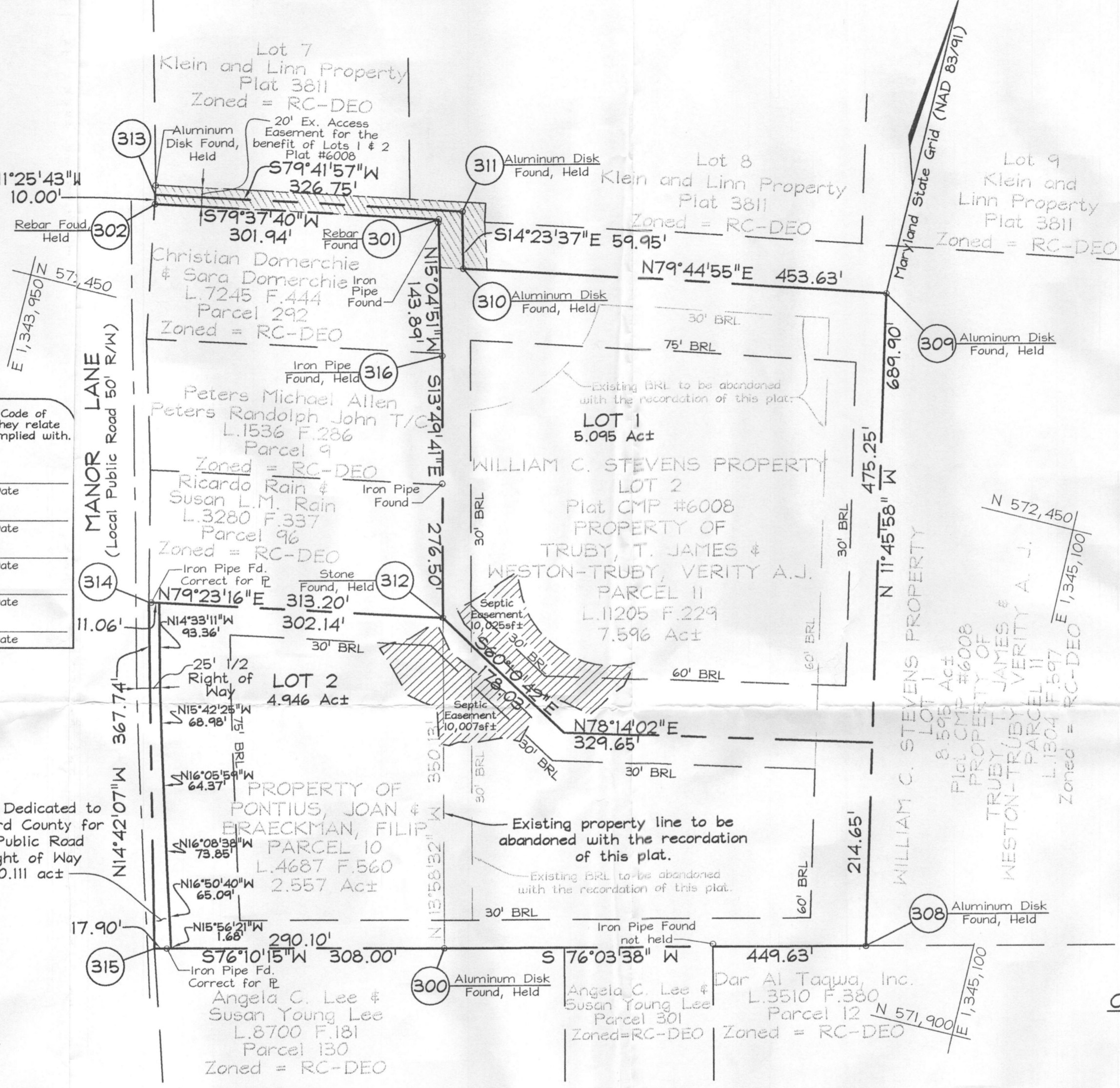
C. Brooke Miller (Maryland Property Line Surveyor #135)

Recorded as Plat No. _____ on _____
 Among the Land Records of Howard County, Maryland.

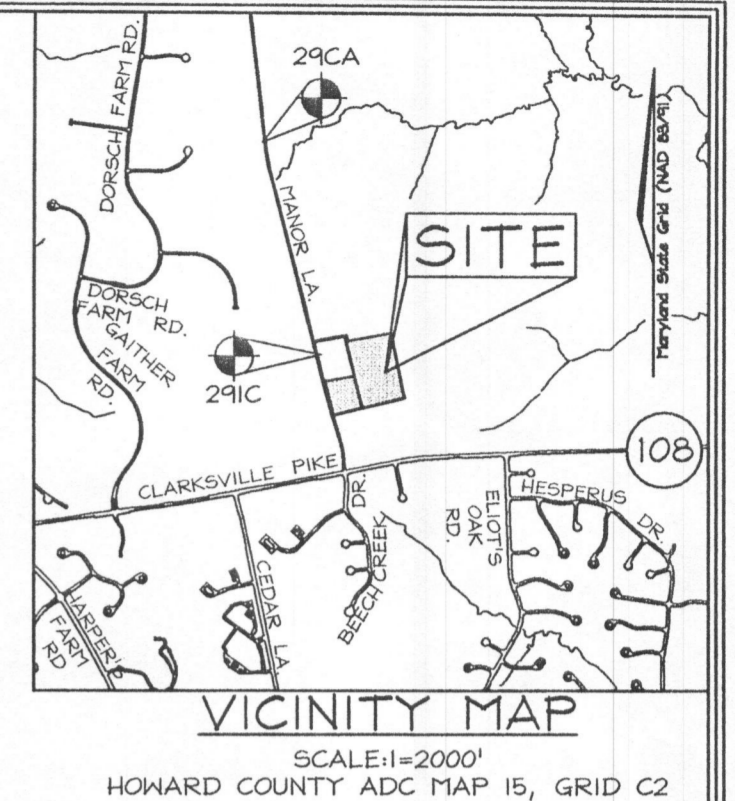
STPB SUBDIVISION

LOTS 1 AND 2
 (A RESUBDIVISION OF LOT 2,
 WILLIAM C. STEVENS PROPERTY
 PLAT #6008)

TAX MAP 29 GRID 11
 PARCELS 10 & P/O 11
 2ND ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 Scale: 1"=100'
 Date: Mar. 31, 2009
 Sheet 1 of 1



RECORD PLAT
 SCALE: 1"=100'



- GENERAL NOTES**
- The subject property is zoned RC-DEO per the 02/02/04 Comprehensive Zoning Plan and per the Comprehensive Lite Zoning Regulation amendments effective on 07/28/06.
 - Coordinates based on NAD '83, Maryland Coordinate System as projected by Howard County, Geodetic Control Stations no. 291C and no. 29CA. ⬤ Denotes approximate location (see location map).
 Sta.291C N 572,323.5725(feet) E 1,344,112.2506(feet) NAD83, El.468.068(feet) NAVD88
 Sta.29CA N 574,526.1580(feet) E 1,343,533.74(feet) NAD83, El.422.828(feet) NAVD88
 - ⊙ Denotes iron pipe found.
 - ⊕ Denotes rebar and cap set.
 - ⊖ Denotes rebar found.
 - ⊗ Denotes rebar and cap found.
 - ⊠ Denotes concrete monument or stone found.
 - ⊡ Denotes concrete monument set.
 - ▨ This area designates a private sewage easement of at least 10,000 square feet (or 10,000 square feet per lot for shared drain fields associated with a shared sewage disposal facility) as required by the Maryland State Department of the Environment for individual sewage disposal (COMAR 26.04.03). Improvements of any nature in this area are restricted until public sewerage is available. These easements shall become null and void upon connection to a public sewerage system. The County Health Officer shall have the authority to grant variances for encroachments into the private sewage easement. Recordation of a modified sewage easement shall not be necessary.
 - BRL Denotes Building Restriction Line.
 - This plat is based on field run Monumented Boundary Survey performed on or about October, 2008 By FSH and Associates. All lot areas are more or less(+/-).
 - There is no 100 Year Floodplain or Stream existing on-site.
 - This subdivision is exempt from section 16.1200 of the Howard County Code, Forest Conservation Obligations, in accordance with Section 16.1202.(b).(1).(viii) of the Subdivision and Land Development Regulations.
 - Since no additional dwelling units are proposed, and this plat is a minor subdivision, this plat is exempt from adequate public facilities tests.
 - Since all dwellings, structures and driveways exist and no additional dwelling units or impervious areas are proposed, this plat is exempt from having to provide stormwater management.
 - Since the points of access onto Manor Lane are existing points of access to remain and no new points of access are proposed, a sight distance analysis is not required.
 - On March 31, 2009 a wetlands analysis was performed by Exploration Research, Inc. No wetlands exist on site. A certification letter is on file.
 - Since no additional lots or dwellings are proposed this plat is not subject to providing landscaping.
 - Since no additional lots or dwellings are proposed, this plat is not subject to open space obligations or fee-in-lieu of open space requirements.
 - There are existing dwellings and structures on Lots 1 and 2 to remain. No new buildings, extensions or additions to the existing dwellings are to be constructed at a distance less than the zoning regulation requires.
 - The lots shown hereon comply with the minimum ownership, width and lot area as required by the Maryland Department of the Environment.
 - Private water and sewer to be utilized.
 - For flag or pipestem lots, refuse collection, snow removal and road maintenance are provided to the junction of the flag or pipestem and road right of way line and not onto the pipestem lot driveway.
- See this sheet for continuation...

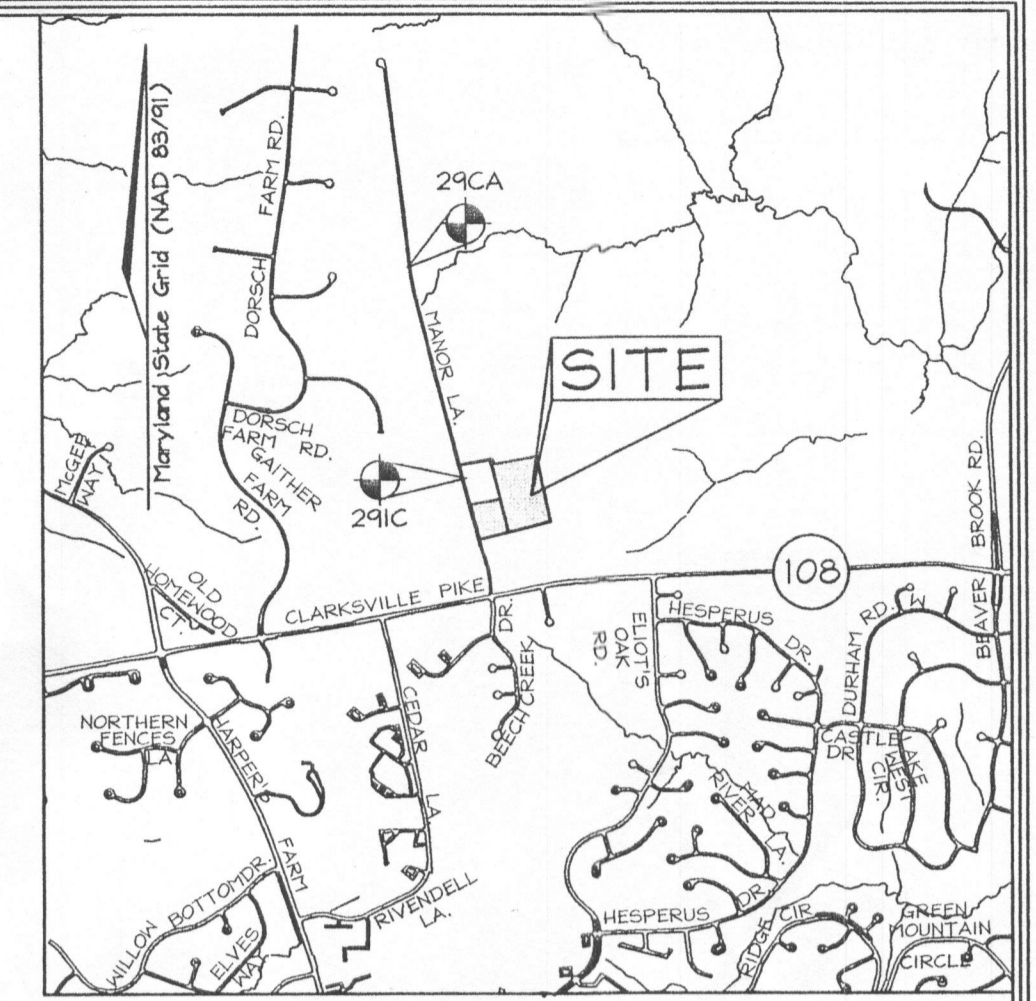
OWNERS/ DEVELOPERS

T. JAMES TRUBY &
 VERITY A. J. WESTON-TRUBY
 4823 Manor Lane
 Ellicott City MD 21042-6119

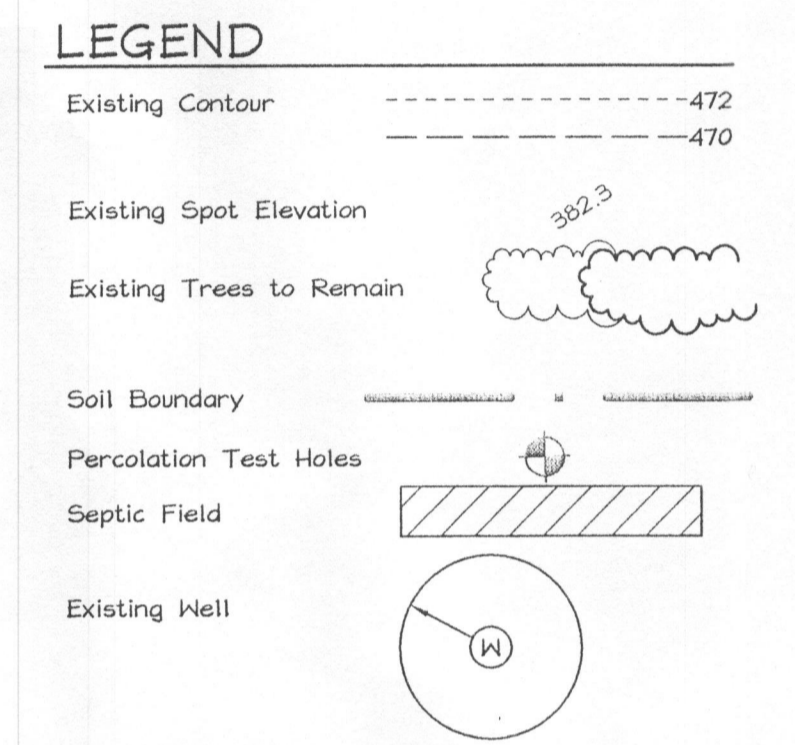
PONTIUS JOAN &
 BRAECKMAN FILIP T/E
 4879 Manor LANE
 Ellicott City MD 21042-6119

Purpose Note:
 The purpose of this plat is to resubdivide Lot 2 of the William C. Stevens subdivision and transfer 2.500 acres to existing parcel 10, proposed Lot 2, on this plat.

FSH Associates
 Engineers Planners Surveyors
 6339 Howard Lane Ellicott, MD 21075
 Tel:410-567-5200 Fax: 410-796-1562
 E-mail: info@fsheri.com



VICINITY MAP
 SCALE: 1"=200'
 HOWARD COUNTY ADC MAP 14, GRID D2
HOWARD COUNTY GEODETIC CONTROL
 Sta. 291C N 572,323.5725 (feet) E 1,344,112.2506 (feet) NAD83, El. 468.068 (feet) NAVD88
 Sta. 291CA N 574,526.1580 (feet) E 1,343,533.74 (feet) NAD83, El. 422.828 (feet) NAVD88



- GENERAL NOTES**
- The subject property is zoned RC-DEO per the 02/02/04 Comprehensive Zoning Plan and per the "Camp Lite" Zoning Amendments effective on 07/28/06.
 - Total number of proposed lots = 2
 - Total area of property = 10.152 ac.±
 - Private water and Private sewer will be used within this site.
 - This area designates a private sewage easement, of at least 10,000 SF as required by the Maryland State Department of the Environment for individual sewage disposal (COMAR 26.04.03). Improvements of any nature in this area are restricted until public sewerage is available. These easements shall become null and void upon connection to a public sewerage system. The County Health Officer shall have the authority to grant adjustments to the private sewage easement. Recordation of a modified sewage easement shall not be necessary.
 - All wells and septic fields within 100' of property's boundary have been shown.
 - Topography based on Howard County two foot contours flown in 2006.
 - Deed History:
 Parcel 10: 4879 Manor Lane
 03/31/99 - present: Joan Pontius and Filip Braeckman
 L. 4687 F. 560
 06/23/94 - 03/31/99: Brian R. Bolton and Margaret M. Laulor
 L. 3247 F. 0339
 05/13/50 - 06/23/94: Elizabeth E. Kirkham and Eric W. G. Kirkham
 L. 217 F. 18
 Parcel 11 Lot 2: 4823 Manor Lane
 04/25/2008 - present: T. James Truby & Verity A. J. Weston-Truby
 L.11205 F.229
 10/07/50 - 04/25/2008: William C. Stevens and Jeanne M. Stevens
 Plat Book MKIB L. 04 F. 07
 - The lots shown hereon comply with the minimum ownership, width and lot area as required by the Maryland Department of the Environment.
 - References: Parcel 11 Liber 1304 Folio 597
 Parcel 10 Liber 4687 Folio 560.
 - The soils shown on this plan are derived from the soil Survey Geographic (SSURGO) database for Howard County, Maryland. The data source for this product is the U.S. Department of Agriculture, Natural Resources Conservation Service.
 - All existing structures and site improvements to remain unless otherwise noted.
 - Health Department Reference: A-530248.
 - Previous Howard County file numbers: F-85-45, VP-84-87

SOILS LEGEND

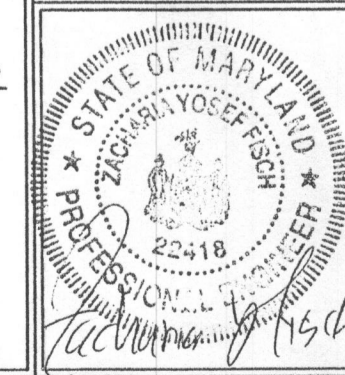
SYMBOL	NAME / DESCRIPTION	SOIL GROUP
GaB	Glenelg loam, 3 to 8 percent slopes	B
GaC	Glenelg loam, 3 to 8 percent slopes	B
GmB	Glenelg silt loam, 3 to 8 percent slopes	C
MaC	Manor loam, 8 to 15 percent slopes	B

OWNERS/ DEVELOPERS
 T. JAMES TRUBY &
 VERITY A. J. WESTON-TRUBY
 4823 Manor Lane
 Ellicott City MD 21042-6119
 PONTIUS JOAN &
 BRAECKMAN FILIP T/E
 4879 Manor Lane
 Ellicott City MD 21042-6119

SUPPLEMENTAL PLAN AND LOCATION SURVEY STPB SUBDIVISION

4823 & 4879 MANOR LANE

TAX MAP 29 GRID II PARCELS 10 & 11
 2ND ELECTION DISTRICT HOWARD COUNTY, MARYLAND



FSH Associates
 Engineers Planners Surveyors
 8339 Howard Lane, Ellicott City, MD 21075
 Tel: 410-567-5200 Fax: 410-796-1562
 E-mail: info@fsh.com

DESIGN BY: ---
 DRAWN BY: CED
 CHECKED BY: ZYF
 SCALE: 1" = 50'
 DATE: Mar. 31, 2009
 W.O. No.: 3553
 SHEET No.: 1 OF 1