

Bureau of Environmental Health
 8930 Stanford Boulevard, Columbia, MD 21045
 Main: 410-313-2640 | Fax: 410-313-2648
 TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
 Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 1/9/17 **ONSITE SEWAGE DISPOSAL SYSTEM** P 560502
 APPROVAL DATE: 2/2/17 ^{SEC} **PERMIT: CONSTRUCTION** A _____
 PROPERTY ADDRESS: 2034 Millers Mill Road
 SUBDIVISION: Millers Mill Development LOT: PAR 22 TAX ID: 04-320018
 CONTRACTOR: Fogle's Septic Clean Inc. EMAIL: zack@foglesinc.com
 CONTRACTOR ADDRESS: 580 Obrecht Road, Sykesville, MD 21784 PHONE: 410-795-5670

CONTRACTOR CERTIFIED FOR BAT INSTALLATION: MDE MANUFACTURER:

PROPERTY OWNER: Raymond and Kelly Day EMAIL: _____
 OWNER ADDRESS: 2034 Millers Mill Road, Cooksville, MD 21723 PHONE: 443-797-3918

BAT UNIT MODEL: _____ PUMP SIZE: _____ PUMP TANK CAPACITY: 5000

OPERATION & MAINTENANCE AGREEMENT DATE SIGNED: _____ DATE RECORDED: _____

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 4 APPLICATION RATE: 0.8

TRENCHES:	LINEAR FEET REQUIRED: <u>142</u>	INLET DEPTH: <u>3</u>
	TRENCH WIDTH: <u>2</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>3.5</u>

LOCATION: **PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND BAT UNIT LOCATION MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.**

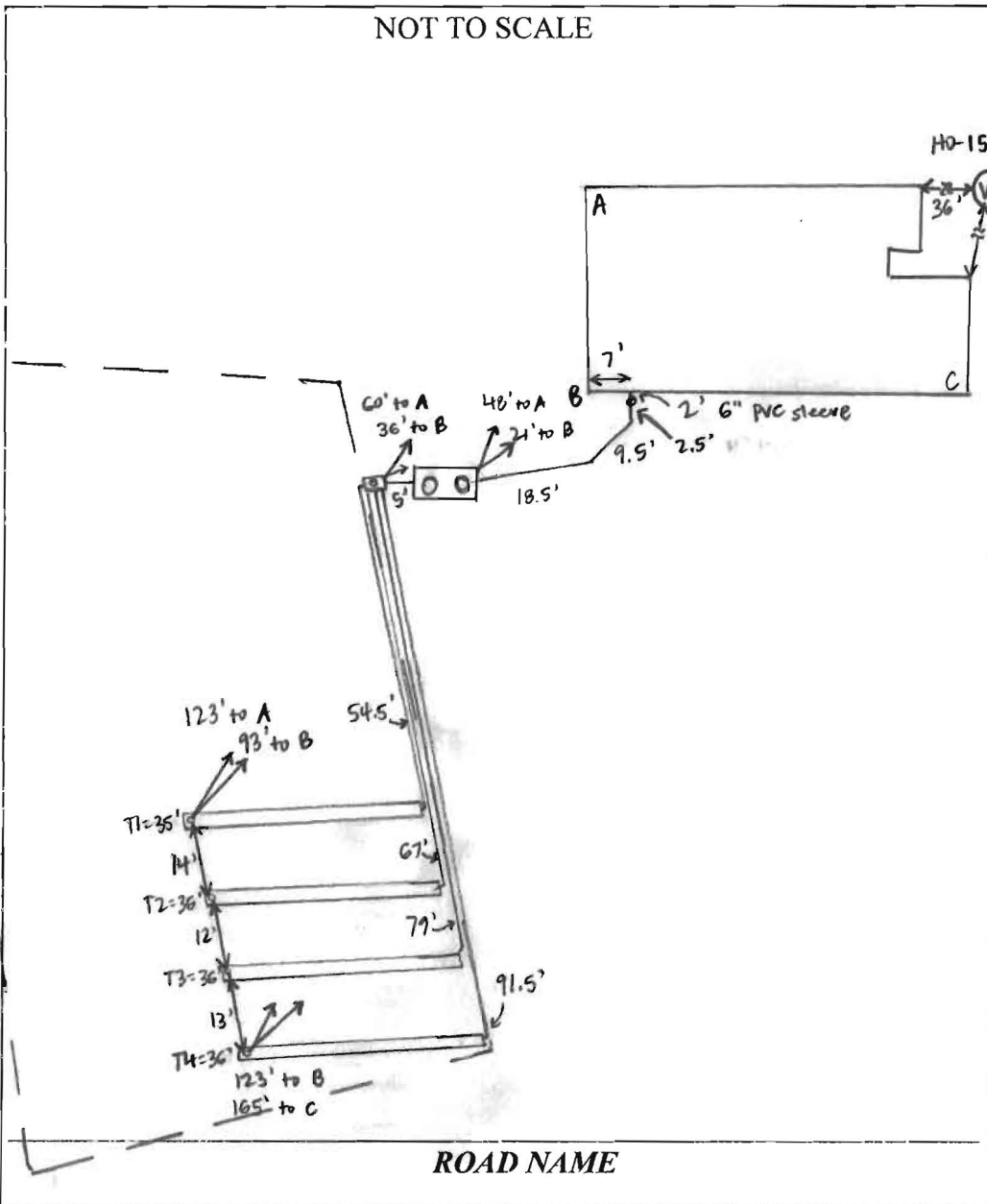
NOTES:

ISSUED BY: Dana Bernard ISSUE DATE: 1/24/17 EXPIRATION DATE: 1/9/18

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
 ELECTRICAL PERMIT ISSUED E _____
- NOTE: AN INDIVIDUAL CERTIFIED BY MDE AND THE MANUFACTURER FOR BAT INSTALLATION MUST BE PRESENT AT ALL TIMES DURING BAT INSTALLATION.
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

NOT TO SCALE



TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
2'	3'	8'
NUMBER OF TRENCHES		4
TOTAL LENGTH		143'
ABSORPTION AREA		286' + SIDEWALL
DISTRIBUTION BOX LEVEL		YES
DISTRIBUTION BOX BAFFLE		YES
DISTRIBUTION BOX PORT		YES

SEPTIC TANK DATA	
SEPTIC TANK I LEVEL	YES
MANUFACTURER	BABYLON
CAPACITY	1500 GAL
SEAM LOC	TOP
TANK LID DEPTH	1.5'
BAFFLES	YES
BAFFLE FILTER	NO
MANHOLE LOC	FRONT + REAR
6" PORT LOC	NO
WATERTIGHT TEST	NO
SLOTTED	YES
DATE ON LID	12-12-16

PUMP/SEPTIC TANK LEVEL	
MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION:

1/30/17 Met Fogle's on site for layout. No SDA stakes present - only a replacement system of trenches staked. Tank offset stakes also set. Need SDA corners and rain garden staked before laying out tank location or trenches. (SC) 2/1/17 Met Fogle's on site for layout. SDA corners staked + rain gardens staked. Shot contour and laid out 4 x 36' trenches in the SE corner of the SDA. Homeowner wants to save trees in Western SDA. Set D-box @ NE corner + run pipe down to trenches. Tank staked @ 20' off house. (SC)

INSTALLATION: 2/2/17 T2-T4 finished. T2 left open and T3+T4 open at ends 2.5' to stone, 2' wide. Tank has traffic-bearing lid. 6-7' from start of T2 Fogle's hit rock for 6", then no rock for rest of trench. House connection made. (SC) 2/2/17 T1 finished + left open. D-box set, connected to trenches while on site. Levelled speed levelers in D-box. D-box leaked where pipes to trenches connected. Fogle's fixed with tar tape. (SC)

FINAL INSPECTOR Sarah Collins DATE OF APPROVAL 2/2/17

NOTES:

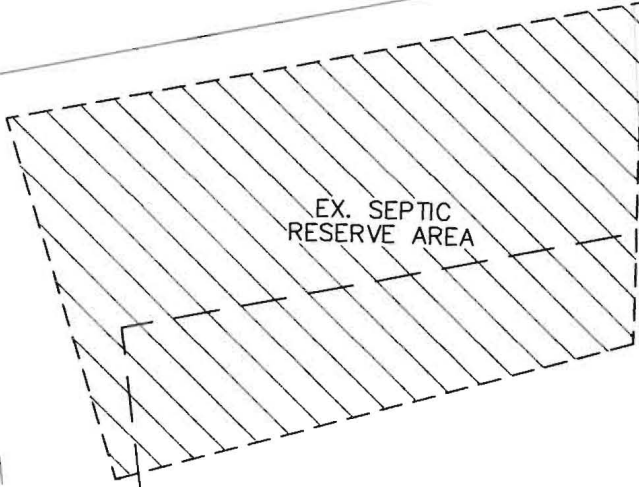
1. THE LEVEL OF ACCURACY OF APPARENT SETBACK DISTANCES IS ONE TENTH OF A FOOT, MORE OR LESS.
2. THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.

PROPERTY OF
WILLIAM MORGAN ADAMS Jr.
 & **MONICA LYNN ADAMS**
 L. 6254, F. 474

MD STATE PLANE
 NAD 83/91



N 10°24'51" W 253.82'



EX. SEPTIC
 RESERVE AREA

60' B.R.L.

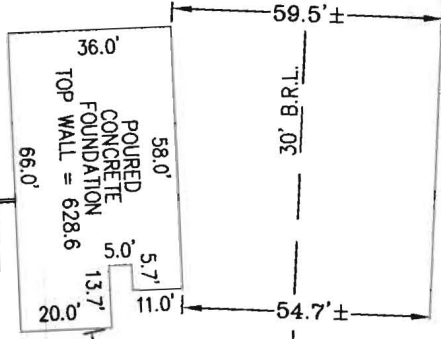
30' B.R.L.

S 83°31'33" W

315.00'

PROPERTY OF
JOHN W. PARKER JR.
 & **MAIASSIA PARKER**
 L. 3999, F. 171

PROPERTY OF
MILLERS MILL DEV. LLC.
 L. 12456, F. 251
 72,289 SF. OR 1.6595 Ac.±
 2034 Millers Mill Road



59.5'±

30' B.R.L.

66.0'

20.0'

5.0'

5.7'

13.7'

11.0'

54.7'±

321.52'

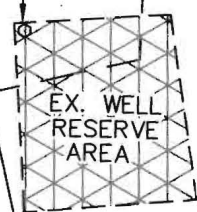
N 87°45'32" W

PROPERTY OF
MONIQUE LAFAYORS
 L. 10814, F. 450

75' B.R.L.

1/9/17
 Wall check
 okay - H.O.

EX. NEW WELL
 TAG No. (HO-15-0252)



EX. WELL
 RESERVE AREA

122.5'±

S 07°13'28" E
 16.50'

S 06°28'26" E
 50.82'

S 12°28'27" E
 137.94'

MILLERS MILL ROAD
 (VARIABLE WIDTH R.O.W.)



PREPARED BY: **NJR & ASSOCIATES, LLC.**
LAND SURVEYING AND PLANNING
 2770 STATE ROUTE 32
 WEST FRIENDSHIP, MARYLAND 21794
 TEL: (240) 508-3200

WALL CHECK SURVEY
 THE PROPERTY OF MILLERS MILL DEVELOPMENT, LLC.
 PART OF PARCEL 22, TAX MAP 14, GRID 3
 LIBER 12456, FOLIO 251
 FORTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40' DATE: JANUARY 2, 2017

FILE No. 2942

Transmittal

DATE: October 6, 2016

TO:

Dana Bernard / Jeff Williams

BUILDER:

BOB OLIFF
CARUSO HOMES ON YOUR LOT
LLC
2120 BALDWIN AVENUE
CROFTON, MD, 21114
Primary Phone:
667-307-4270
ROLIFF@CARUSOHOMES.COM

Bureau of Environmental Health
Well & Septic Program

Regarding:

2034 MILLERS MILL RD
COOKSVILLE MD 21723

Building Permit - B16003679
Residential New Single Family Dwelling Permit

Owner:

RAYMOND & KELLY DAY
6261 LIGHT POINT PLACE
COLUMBIA MD 21045
Primary Phone:
443-797-3918

Attached

10/6/2016 REVISED

Signed and Sealed BAT PLAN Per 10/30/2016

**Well Tag & 25' Offset Leader From Rain Garden
to SRA**



Bureau of Environmental Health

7178 Columbia Gateway Drive, Columbia, MD 21046-2147

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Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

**Well and On-site Sewage Disposal System (OSDS) Setbacks to
Residential Stormwater Management Structures**

Structure	OSDS	Well
Berm Diversion	25'	50'
Berm Infiltration	25'	100'
Bioretention	25'	100'
Dry well	25'	100'
Infiltration Trench	25'	100'
Infiltration Basin	25'	100'
Level Spreader Concrete	25'	50'
Level Spreader Gravel	25'	100'
Open Channel designed for conveyance*	25'	50'
Open Channel designed for infiltration	25'	100'
Organic Filter	25'	100'
Permeable Pavement/Pavers – Driveway to SFD	None	10'
Permeable Pavement/Pavers – Walkways and Patios	None	None
Ponds with impermeable lining	100'	50'
Ponds without impermeable lining	100'	100'
Rain Barrels	10'	10'
Raingarden with impermeable liner	25'	50'
Raingarden without impermeable liner	25'	100'
Rooftop Disconnect	20'	30'
Sand Filter with impermeable lining/structure	25'	50'
Sand Filter without impermeable lining/structure	25'	100'
Solid Pipe	None	None
Stormwater Inlet Grate	25'	50'
Stormwater Outfall/discharge	25'	50'
Stormwater Manhole	25'	25'
Wetland with impermeable lining	100'	50'
Wetland without impermeable lining	100'	100'
Wet Swale	100'	100'

* Grading (small swale) around a building to drain stormwater away from the foundation will not be subject to these setbacks. The grading may not occur within the OSDS and around the well.



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Maura J. Rossman, M.D., Health Officer

Well and On-site Sewage Disposal System (OSDS) Setbacks to Nonresidential Stormwater Management Structures

Structure	OSDS	Well
Berm Diversion	50'	50'
Berm Infiltration	50'	100'
Bioretention	50'	100'
Dry well	50'	100'
Infiltration Trench	50'	100'
Infiltration Basin	50'	100'
Level Spreader Concrete	50'	50'
Level Spreader Gravel	50'	100'
Open Channel designed for conveyance	50'	50'
Open Channel designed for infiltration	50'	100'
Organic Filter	50'	100'
Permeable Pavement/Pavers	50'	100'
Ponds with impermeable lining	100'	50'
Ponds without impermeable lining	100'	100'
Rain Barrels	10'	10'
Raingarden with impermeable liner	50'	50'
Raingarden without impermeable liner	50'	100'
Reinforced Turf	50'	100'
Rooftop Disconnect	50'	50'
Sand Filter with impermeable lining/structure	50'	50'
Sand Filter without impermeable lining/structure	50'	100'
Solid Pipe	None	None
Stormwater Inlet Grate	50'	50'
Stormwater Outfall/discharge	50'	50'
Stormwater Manhole	25'	25'
Wetland with impermeable lining	100'	50'
Wetland without impermeable lining	100'	100'
Wet Swale	100'	100'



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Maura J. Rossman, M.D., Health Officer

TO: Greg Phillips
Via E-Mail: gphillips@mred.us

RE: BAT Plan
Millers Mill Development
Tax Map: 14, Parcel 22

CC: Applicant: Caruso Homes
C/O Bob Oliff
Via E-mail: ROLIFF@CARUSOHOMES.COM

DATE: October 6, 2016

The following comments apply to the plan prepared by NJR & Associates Land Surveying and Planning Inc. Applicant is advised to revise and resubmit.

BAT Plan

- ✚ The floor plans submitted show 5 bedrooms, with possibly 6. Make sure that your calculations reflect the number of bedrooms you are proposing. If you are proposing a 4 bedroom house it must be reflected in your floor plans. And they must be submitted through DILP.
- ✚ Show existing septic easement with components, **trenches** and tank to be abandoned.
- ✚ The well must be abandoned prior to BAT approval and documentation must be sent to the Howard County Health Department.
- ✚ The well is still being shown as proposed and it has been drilled. Correct? The existing well HO-15-0252 must be labeled and shown on plan.
- ✚ The rain gardens shown have a 50' setback requirement. And should have a 100' setback from the well.

Respectfully,

Dana Bernard, R.E.H.S./L.E.H.S.
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov

CARUSO HOMES, INC.

1655 Crofton Blvd. - Suite 200
Crofton, Maryland 21114

TEL (301) 261-0277
FAX (301) 261-6588

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"HAYDN"

Active Living Single Family

ALL WORK SHALL COMPLY WITH 2012 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS

WALL BRACING SHALL BE IN ACCORDANCE WITH ENGINEERED DESIGN and CONTINUOUSLY SHEATHED W/ 1/2" WOOD SHEATHING

FLOOR FRAMING TO BE 14" ENGINEERED FLOOR SYSTEM (DESIGNED BY TRUSS MANUFACTURER)

THE LOCAL JURISDICTION SHALL FILL IN THIS TABLE WITH LOCAL CLIMATIC AND GEOGRAPHIC CRITERIA -

2012 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:				MARYLAND						
GROUND SNOW LOAD	WIND SPEED (mph) Speed Design Topographic Effects	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM	WINTER DESIGN TEMP.			ICE BARRIER UNDERLATTENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
				Weathering	Frost Line Depth	Terrilite				
30 PSF	30	A / B	SEVERE	30"	MODERATE TO HEAVY					

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3.2	ELEVATION #2
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3.3	ELEVATION #3
3.3A	PARTIAL PLANS FOR ELEVATION #3
3.4	ELEVATION #4
3.4A	PARTIAL PLANS FOR ELEVATION #4
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4.2	FOUNDATION PLAN - OPT. FULL BASEMENT + OPT. FINISHED BMENT.
4.3	FOUNDATION PLAN - OPTIONAL CRALL BRACE FOUND.
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SHEET	TRADE DRAWING'S
E1	FIRST FLOOR ELECTRIC PLANS - SLAB (SCHEMATIC ONLY)
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E2.1	OPTIONAL SECOND FLOOR ELECTRIC PLANS (SCHEMATIC ONLY)

REVISIONS

DATE	COMMENT	
07-27-13	PRELIMINARY PLANS + ELEVATIONS PER COMMENTS	JAS
07-11-13	PERMIT PLANS	JAS
07-27-13	FINAL CD'S + QUALITY CONTROL REDLINES	JAS
04-02-13	REDLINE REVISIONS PER Q.C.	JAS
04-09-13	NAME CHANGE TO "HAYDN" (FORMERLY "BACH III")	JAS
04-15-13	COORDINATION OF OPTIONS WITH STRUCTURAL REDLINES	JAS
04-23-13	ELEVATION #4 + PARTIAL PLANS ADDED WITH FULL PORCH	JAS
04-30-13	STRUCTURAL COORDINATION - 2ND FLEX ROOM BEARING WALL	JAS
05-31-13	1st FLOOR PLAN REV. - STANDARD ROOF SLOPE CHANGE	JAS
06-06-13	DELETED KITCHEN WINDOW	JAS
06-14-13	ARCHITECT ADJUSTMENTS TO ALL MASTER BATH	JAS
06-04-13	ADDED MECHANICAL CHASE IN H.B. / REV. BKY-BASEMENT	JAS
07-10-13	ADDED CRALL FOUNDATION + RES CHECK DATA	JAS
07-25-13	OPT. TRAY CEILING + ENTRY ELEVATION REVISIONS	JAS
10-08-13	RES CHECK COMPLIANCE DATA ADDED TO SET	JAS
08-18-14	REV. KITCHEN + UTILITY, ADD 1st FLR PLAN w/ LOFT / BMENT	th
07-04-14	WDR # SIDE OF FLEX RM IS OPT. - STD. w/ OPT. BRK + ELEV. #1	th
01-05-15	ADD ELECTRICAL LAYOUT TO BASEMENT PLANS	th

STRUCT. REVIEW	mm-dd-yy
PROJECT REVIEW	mm-dd-yy

Architecture Collaborative, Inc.
8334 Meta Street
Baltimore City, MD 21043
www.archcol.com
Tel.: (410) 465-7600 Fax: (410) 465-0903

HAYDN

CA671836

FREEDOM SEPTIC SERVICE, INC.

JOB WORK ORDER

24 Hour Service
2809 Liberty Road
Eldersburg, Maryland 21784
(410) 795-2947

031564

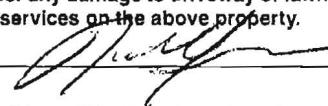
DATE OF ORDER 3/4/10

PHONE
BILL TO Greg Phillips
ADDRESS 2034 Millers Mill Rd.
CITY Glenwood, Md. 21738
LOCATION OF SEPTIC pumping septic so they can collapse it - he will be there
LAST PUMPED
NEW CUSTOMER <input checked="" type="checkbox"/>

DESCRIPTION OF WORK

pump septic 165.00

C.O.D.

NOTICE TO CUSTOMERS I understand that Freedom Septic Service, Inc. is not responsible for any damage to driveway or lawn while rendering services on the above property. 3/9/10  Date Completed	TOTAL MATERIALS	
	TOTAL LABOR	1744
	TAX	
	TOTAL AMOUNT	165.00

- NO ONE AT HOME
- TOTAL AMOUNT DUE FOR ABOVE WORK; OR
- TOTAL BILLING TO BE MAILED AFTER COMPLETION OF THE WORK

Signature 

I hereby acknowledge the satisfactory completion of the above described work

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Wednesday, December 07, 2016 1:15 PM
To: RAY DAY III (rday@mcrtrust.com)
Subject: 2034 Millers Mill rd

After reviewing the file, we do not have a site specific reason to require a BAT unit now that the regulations have changed. There has not been a septic permit issued yet.

Jeff Williams
Program Supervisor, Well & Septic Program
Bureau of Environmental Health
Howard County Health Dept.
410-313-4261
jewilliams@howardcountymd.gov

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Bernard, Dana

From: MRED <gphillips@mred.us>
Sent: Monday, October 03, 2016 11:34 AM
To: Williams, Jeffrey
Cc: Bernard, Dana; Najib Roshan
Subject: Thank You a and Just Curious

Thanks Jeff !

By the way I see on page two that "Storm Water Outfall/Discharge" can be 50' from a Well but a Rain Garden (without a linear) is 100'. Just out of curiosity how do those two systems differ. One would think Storm Water Outfall/Discharge would be more invasive vs a residential discharge of a single rain leader.

Just curious?

Millers Mill Paper Copies on there way now.

Gregory Phillips
Maryland Real Estate Development
Direct 410.977.0864
gphillips@MRED.US





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Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

**OPERATION AND MAINTENANCE AGREEMENT
FOR AN ON-SITE SEWAGE DISPOSAL SYSTEM
HAVING AN ADVANCED PRE-TREATMENT SYSTEM**

THIS AGREEMENT is made this 9 day of September, among Raymond F. Day III, hereinafter collectively referred to as "Owner", and the Howard County Health Department hereinafter referred to as the "County".

WHEREAS, Owner is the owner or contract owner of a parcel of land located at 2034 Hillers Hill Road, Coopersville, MD, in the ___ Election District of Howard County, Maryland, and the deed to same is recorded or shall be recorded among the Land Records of Howard County, Maryland in Liber ___ Folio ___.

WHEREAS, The Lot is suitable for the installation of a conventional on-site sewage disposal system with an advanced pre-treatment system, utilizing best available technology to perform nitrogen reduction, in accordance with the Code of Maryland Regulations 26.04.02.07, effective January 1, 2013. The pre-treatment device being installed is _____.

NOW, THEREFORE, the parties hereto agree as follows:

A. Owner hereby grants to the County the right to enter upon the Lot at any reasonable time for access to the system to make periodic inspections and the Owner agrees to provide any information and data in Owner's possession reasonably requested and needed by the County to develop accurate and thorough test results.

B. Owner acknowledges and agrees that neither the County nor any of its agents or employees, either officially or individually, underwrites the operation of any system approved by them.

C. The Owner will devote reasonable care and effort to the operation and maintenance of the system in perpetuity or until a public sewer connection is made so that a system malfunction is not the result of poor maintenance, faulty operation, or neglect.

D. The Owner agrees to enter into a contract reasonably acceptable to the Owner and the County with a private entity to operate and maintain on a regularly scheduled basis an approved advanced pre-treatment system. The owner shall supply a copy of the contract to the County when it is renewed or altered.

E. This agreement shall run with the land and upon Owner's taking title to the Lot shall bind the Owner, their heirs, successors, and assigns to the provisions of the agreement as long as the property is in existence and after installation of the system. Owner further agrees that they shall inform in writing any subsequent purchaser or lessee of the Lot that the system shall require

maintenance or other attention. Upon taking title to the Lot, the Owner agrees to cause this agreement to be recorded in the Land Records of Howard County and assure that it becomes part of the Deed for the subject property in order that prospective buyers may be aware of the special conditions affecting this property.

F. This agreement shall not be construed to limit any authority of the County to protect the public health, safety or comfort or to issue any other orders to take any other action which is now or may hereafter be within its authority.

G. This agreement may be voided at any time at the discretion of the County.


H. This agreement contains the entire agreement and understanding between the County and the Owner. There are no additional terms other than as contained in this agreement. This agreement may not be modified, except in writing signed by each of the parties or by their authorized representatives.

I. The laws of the State of Maryland govern the provisions of all transactions pursuant to this agreement.

J. Owner acknowledges and agrees that interior renovations to increase the number of bedrooms or an increase in living space shall not be permitted without approval from the County.

IN WITNESS WHEREOF, the parties have signed and sealed this agreement on the date indicated above.

Howard County Health Department


Owner #1 Signature 9-10-16
Date

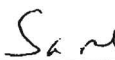
Roy Day III
Owner #1 Print Name


Buyer #1 Signature Date

Steve
Buyer #1 Print Name


Owner #2 Signature 9/10/16
Date

Kelly Day
Owner #2 Print Name


Buyer #2 Signature Date

Sam
Buyer #2 Print Name

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Wednesday, January 11, 2017 9:59 AM
To: 'MRED'
Subject: RE: Millers Mill Trench Sequence Request

You sent me a copy of the plan, but I don't see any trees shown where the trenches are located. I see the 24" oak and 40" oak on either side of the old septic tank to be abandoned.

We would be agreeable to have the tank and distribution box set in the same location as shown on the plan, but have the lines run down to install the lowest set of trenches first. The engineer will have to have the SDA and tank locations staked out in the field and the contractor will schedule the layout with our office like normal. They will just remind us and I will have this correspondence in the file that they will be installing the lowest set of trenches now instead of the highest as shown on the design plan. Everything else on the design plan will be the same. If you want to deviate more than that, you will need to submit a new design plan for our review and approval. Thanks
Jeff

From: MRED [<mailto:gphillips@mred.us>]
Sent: Tuesday, January 10, 2017 12:42 PM
To: Williams, Jeffrey
Cc: Najib Roshan
Subject: Millers Mill Trench Sequence Request

Jeff,

The buyers of the lot stopped out to see the progress and noticed that the first set of trenches are located where they will lose three trees. One tree they have already paid an arborist to trim. Please see attached photos.

What would the process be to change the trench sequence on this project?

Sorry for all of the back and forth but I am just trying to make everyone happy.

Regards,

Gregory Phillips
Maryland Real Estate Development
Direct 410.977.0864
gphillips@MRED.US

Begin forwarded message:

From: Greg <gphillips@mred.us>
Subject: We
Date: January 10, 2017 at 12:21:08 PM EST

Williams, Jeffrey

From: Williams, Jeffrey
Sent: Monday, January 09, 2017 2:46 PM
To: 'MRED'
Cc: James Reise; Najib Roshan; Bernard, Dana; Martin, Sharhonda
Subject: RE: Wall Check survey for 2034 Millers Mill Road

At this point, we can put this email in the file as proof of your intentions and redline it ourselves to be a 1500g tank. I believe the engineer did the original redline. Thanks
Jeff

From: MRED [<mailto:gphillips@mred.us>]
Sent: Monday, January 09, 2017 2:41 PM
To: Williams, Jeffrey
Cc: James Reise; Najib Roshan; Bernard, Dana; Martin, Sharhonda
Subject: Re: Wall Check survey for 2034 Millers Mill Road

Jeff,

Thanks for the heads up.

To be clear was the engineer Mr. Roshan who did the redline? If so does he need to come back in and amend the redline?

I agree that a 1,500 gallon septic tank is sufficient.

Thanks again.

Regards,

Gregory Phillips
Maryland Real Estate Development
Direct 410.977.0864
gphillips@MRED.US

On Jan 9, 2017, at 1:26 PM, Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Greg: we got a call from a contractor asking about the specs for the Millers Mill septic system. In doing that, we noticed that the engineer changed the BAT to a 3000 gallon septic tank. This would be a very large and custom built tank. A 1500 gallon tank would meet our size requirements for a 5 bedroom house. I wanted to double check whether you wanted such a greatly oversized tank. Thanks
Jeff

From: MRED [<mailto:gphillips@mred.us>]
Sent: Wednesday, December 28, 2016 7:56 PM
To: Williams, Jeffrey

Cc: James Reise; Najib Roshan; Bernard, Dana; Martin, Sharhonda

Subject: Re: Wall Check survey for 2034 Millers Mill Road

Thanks Jeff!

Gregory Phillips
Maryland Real Estate Development
Direct 410.977.0864
gphillips@MRED.US

On Dec 28, 2016, at 2:28 PM, Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

NJR should be showing the field surveyed location of the well with tag number on the wall check. The contractor can bring in a scaled copy with them for our review and approval when they come to pick up a permit. If they let our program secretary know in advance, she can type up the permit and reduce the wait time. Thanks
Jeff

From: MRED [<mailto:gphillips@mred.us>]
Sent: Wednesday, December 28, 2016 1:14 PM
To: Williams, Jeffrey
Cc: James Reise; Najib Roshan
Subject: Fwd: Wall Check survey for 2034 Millers Mill Road

Jeff,

I have copied our septic Contractor on this email.

Attached is a copy of the wall check for Millers Mill and I understand that Mr. Roshan came in and did the BAT redline to allow the standard system.

So just to confirm all that is needed is for the septic contractor to stop by, no appointment needed, and pick up a septic install permit?

Should he give anyone a heads up or is it all done on a walk in basis at the counter?

Regards,

Gregory Phillips
Maryland Real Estate Development
Direct 410.977.0864
gphillips@MRED.US

M E M O R A N D U M

DATE: December 7, 2016
TO: Whom It May Concern
THRU: Bureau of Environmental Health, Howard County Maryland
FROM: Ray Day III, Homeowner
RE: 2034 Millers Mill Road, Cooksville, MD 21723
New Residential Construction

I respectfully submit this letter as evidence that I wish to waive my property from the new BAT requirements based on the COMAR Revision Memorandum dated 11/21/2016, attached. I have discussed this in detail with Jeff Williams, Project Manager of the Well & Septic Program, and verified my property is eligible for this waiver.

The current plan that is in the county will be redlined accordingly.

Signed:

A handwritten signature in blue ink, appearing to read 'Ray Day III', written over a horizontal line.

Ray Day III



Bureau of Environmental Health

8930 ~~Stanford Boulevard~~, Columbia, MD 21045

Main: 410-313-2640 Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: Home Builders, Engineers

FROM: Jeff Williams
Program Manager, Well & Septic Program

RE: COMAR Revisions, 11/24/2016, BAT requirements

DATE: November 21, 2016

2034 Millers Mill Road
Cooksville, MD 21223

#2

Effective November 24, 2016, COMAR 26.04.02.07 has been revised to no longer require BAT units for new construction or upgrades in the non-critical areas of the state. As all of Howard County is within the non-critical area, this regulation change applies to properties on which building permits for new construction or building improvements are proposed in the county. Please note that individual properties may still require a BAT unit as part of the system design for site specific reasons such as limited disposal area, reduced soil buffer, reduced setbacks, downgrade well variances, etc. This guidance document will outline the procedures and requirements for projects in Howard County after 11/24/2016.

PROCEDURE FOR PROPERTIES WITH AN APPROVED BUILDING PERMIT AND BAT PLAN

- If a property owner has already received building permit approval and BAT plan approval for a new building or addition and wishes to revise the system design to utilize a traditional septic tank, a written request signed by the homeowner must be submitted to the Health Department along with a revised system design plan or redlined approved plan replacing the BAT tank with an appropriately sized two compartment septic tank meeting all design and siting requirements. If a pumped system is indicated, an appropriately sized pump tank must be shown including all details of pump and dose design including float elevations and pump curve/pump selection.
- In addition to the above requirements, if a septic permit has already been issued for the system, the contractor must receive a revised septic permit before beginning installation. A revised septic permit will only be issued once a revised or redlines system design plan has been approved. A copy of that revised plan will be issued to the contractor with the revised permit.
- If an Operations and Maintenance Agreement has been recorded in Land Records, the homeowner may choose to record a document indicating that the agreement is null and void. The Health Department is in the process of drafting that document which will be signed by the homeowner and the Health Department representative prior to recordation.

PROCEDURE FOR PROPERTIES WITH BUILDING PERMIT AND BAT PLAN NOT YET APPROVED

- A separate guidance document listing the requirements for an onsite system design plan is attached. The requirements for a design plan are similar to the requirements for a BAT plan. A design plan must be submitted and approved by the Health Department prior to Health

approval of a building permit for a new house construction or improvements to an existing building for which the sewage disposal system must be upgraded or replaced.

- The existing regulatory requirements for evaluation of the existing sewage disposal system prior to Health Department approval of a building permit for improvements are unchanged. If a building permit for living space addition is proposed, the Health Department must evaluate the existing system to determine if it is adequate for the potential increase in wastewater flow. If the existing septic tank is not sized for the proposed number of bedrooms, a BAT may not be required unless there is a site specific reason to require it. However, a replacement tank meeting the size requirements in COMAR 26.04.02 must be installed prior to Health approval of the building permit.
- Properties on which a pumped system is utilized must obtain an electrical permit from Howard County prior to issuance of a septic permit.
- The process for installation of a BAT unit on properties where the Health Department has required it or the homeowner has chosen to utilize it will remain unchanged from the current process including BAT plan approval, recordation of an Operation and Maintenance agreement, certified installer, etc.
- Systems serving nonresidential properties will still be required to install a pretreatment device to reduce Biological Oxygen Demand and Total Suspended Solids down to 300mg/l. A system design plan must show details of that system.

- ① Downloaded memo
- ② Closing in 45 days
- ③ ~~Want~~ Like to see if I'm eligible
 - if so, what do I need to do.
 - If I need to redesign that's a financial hardship by throwing away ~~BAT~~ plan and going conventional.

* Septic Permit Issued?

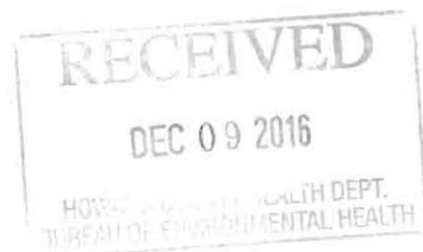
① New Plan

OR

② Redline Existing

③ Maintenance Agreement Altered

* Letter From me



Well abandonment and new well
will be drilled prior to the
release of the septic permit
We for new installation

O & M agreement has to
be recorded in land records

BAT Plan should show
the location of the existing
well

BAT Calculation for
State Percolation Plan
and not BAT Plan

CARUSO HOMES, INC.

1655 Crofton Blvd. - Suite 200
Crofton, Maryland 21114

TEL (301) 261-0277
FAX (301) 261-6588

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"HAYDN"

Active Living Single Family

*Rain Gardens
have to be 50'
away from the
Septic area 100 feet*

INDEX	
SHEET	ARCHITECTURAL DRAWING'S
00	COVER SHEET
01	GENERAL NOTES
02	RES CHECK COMPLIANCE DATA
03	ELEVATION 1
04	ELEVATION 2
05	PARTIAL PLANS FOR ELEVATION 2
06	ELEVATION 3
07	PARTIAL PLANS FOR ELEVATION 3
08	ELEVATION 4
09	PARTIAL PLANS FOR ELEVATION 4
10	FOUNDATION PLAN - SLAB ON GRADE
11	FOUNDATION PLAN - OPT. FULL BASEMENT & OPT. FINISHED BSMT.
12	FOUNDATION PLAN - OPTIONAL CRAWL SPACE FOUND.
13	FIRST FLOOR PLAN w/ SLAB FOUNDATION
14	FIRST FLOOR PLAN w/ LOFT & OPT. BASEMENTS
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16	TYPICAL WALL SECTION - SLAB ON GRADE FOUNDATION
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18	TYPICAL WALL SECTION - CRAWL SPACE FOUNDATION
19	BUILDING SECTIONS 'A-A'
20	BUILDING SECTIONS 'A-A' & 'B-B'
21	BUILDING SECTION - CRAWL SPACE CONDITION
22	OPTIONAL REAR SOLARIUM DETAILS
23	OPTIONAL SITTING ROOM DETAILS
24	OPTIONAL REAR SOLARIUM/SITTING ROOM DETAILS
25	OPTIONAL REAR SCREENED PORCH DETAILS
26	OPTIONAL REAR SOLARIUM/SCREENED PORCH DETAILS
27	OPTIONAL REAR SITTING ROOM/SCREENED PORCH DETAILS

SHEET	TRADE DRAWING'S
E01	FIRST FLOOR ELECTRIC PLANS - SLAB (SCHEMATIC ONLY)
E02	FIRST FLOOR ELECTRIC PLANS - LOFT & BASEMENT (SCHEMATIC ONLY)
E03	OPTIONAL SECOND FLOOR ELECTRIC PLANS (SCHEMATIC ONLY)

REVISIONS		
DATE	COMMENT	
02-22-13	PRELIMINARY PLANS & ELEVATIONS PER COMMENTS	JAS
03-11-13	PERMIT PLANS	JAS
03-21-13	FINAL CD'S & QUALITY CONTROL REDLINES	JAS
04-02-13	REDLINE REVISIONS PER GC.	JAS
04-09-13	NAME CHANGE TO "HAYDN" (FORMERLY "BEACH II")	JAS
04-18-13	COORDINATION OF OPTIONS WITH STRUCTURAL REDLINES	JAS
04-25-13	ELEVATION 4 & PARTIAL PLANS ADDED WITH FULL PORCH	JAS
04-30-13	STRUCTURAL COORDINATION - 2nd FLOOR BEARING WALL	JAS
05-31-13	1st FLOOR PLAN REV. - STANDARD ROOF SLOPE CHANGE	JAS
06-06-13	DELETED KITCHEN WINDOW	JAS
06-14-13	ARCHITECT ADJUSTMENTS TO ALL MASTER BATH	JAS
06-24-13	ADDED MECHANICAL CHASE IN MB / REV. SKY BASEMENT	JAS
07-10-13	ADDED CRAWL FOUNDATION & RES CHECK DATA	JAS
07-25-13	OPT. TRAY CEILING & ENTRY ELEVATION REVISIONS	JAS
08-08-13	RES CHECK COMPLIANCE DATA ADDED TO SET	JAS
08-28-14	REV. KITCHEN & UTILITY, ADD 1st FLOOR PLAN w/ LOFT / BSMT	th
09-04-14	WALL # SIDE OF FLEX RM IS OPT. - STD. w/ OPT. BR'S & ELEV. #	th
01-09-15	ADD ELECTRICAL LAYOUT TO BASEMENT PLANS	th

ALL WORK SHALL COMPLY WITH 2012 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS

WALL BRACING SHALL BE IN ACCORDANCE WITH ENGINEERED DESIGN and CONTINUOUSLY SHEATHED W/ 1/16" WOOD SHEATHING

FLOOR FRAMING TO BE 14" ENGINEERED FLOOR SYSTEM (DESIGNED BY TRUSS MANUFACTURER)

** THE LOCAL JURISDICTION SHALL FILL IN THIS TABLE WITH LOCAL CLIMATIC AND GEOGRAPHIC CRITERIA **

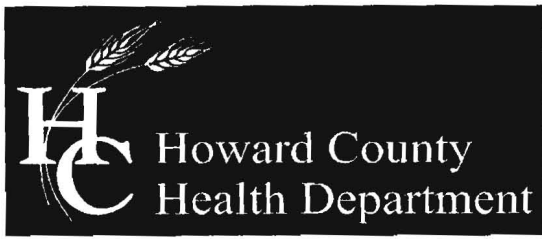
2012 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:							MARYLAND			
GROUND SNOW LOAD	WIND SPEED (mph) Speed (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
			Weathering	Frost Line Depth	Termites					
30 PSF	90	A / B	SEVERE	30"	MODERATE TO HEAVY					

STRUCT. REVIEW mm-dd-yy
PROJECT REVIEW mm-dd-yy

Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel: (410) 465-7500 Fax: (410) 465-0903

HAYDN

CA671836



Bureau of Environmental Health

8930 Stanford Blvd., Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

TO: Greg Phillips
Via E-Mail: gphillips@mred.us

RE: BAT Plan
Millers Mill Development
Tax Map: 14, Parcel 22

CC: Applicant: Caruso Homes
C/O Bob Oliff
Via E-mail: ROLIFF@CARUSOHOMES.COM

DATE: October 6, 2016

The following comments apply to the plan prepared by NJR & Associates Land Surveying and Planning Inc. Applicant is advised to revise and resubmit.

BAT Plan

- ✚ The floor plans submitted show 5 bedrooms, with possibly 6. Make sure that your calculations reflect the number of bedrooms you are proposing. If you are proposing a 4 bedroom house it must be reflected in your floor plans. And they must be submitted through DILP.
- ✚ Show existing septic easement with components, **trenches** and tank to be abandoned.
- ✚ The well must be abandoned prior to BAT approval and documentation must be sent to the Howard County Health Department.
- ✚ The well is still being shown as proposed and it has been drilled. Correct? The existing well HO-15-0252 must be labeled and shown on plan.
- ✚ The rain gardens shown have a 50' setback requirement. And should have a 100' setback from the well.

Respectfully,

Dana Bernard, R.E.H.S./L.E.H.S.
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov



Bureau of Environmental Health

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www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

TO: Greg Phillips
Via E-Mail: gphillips@mred.us

RE: BAT Plan
Millers Mill Development
Tax Map: 14, Parcel 22

CC: Applicant: Caruso Homes
C/O Bob Oliff
Via E-mail: ROLIFF@CARUSOHOMES.COM

DATE: September 30, 2016

The following comments apply to the plan prepared by NJR & Associates Land Surveying and Planning Inc. Applicant is advised to revise and resubmit.

BAT Plan

- ✚ Show trenches of equal length. Trench calculations must be shown on plan.
- ✚ Calculations for the initial system and the first replacement must be shown on the plan.
- ✚ The floor plans submitted show 5 bedrooms, with possibly 6. Make sure that your calculations reflect this number of bedrooms.
- ✚ Show septic data on the plan.
- ✚ Title on BAT plan should be stated in the title box.
- ✚ Include a profile drawing with all invert elevations necessary for installation.
- ✚ Show existing septic easement with components, trenches and tank to be abandoned.
- ✚ A legend must be included on plan. All symbols used must be shown on the plan.
- ✚ The existing well and the abandoned well symbols must be shown in the legend. The well must be abandoned prior to BAT approval and documentation must be sent to the Howard County Health Department.
- ✚ The rain gardens shown have a 50' setback requirement. And should have a 100' setback from the well.

- ⬇ Also make sure when choosing your tank size to have a 1 day reserve for a system which has to use an ejector pump.

General Notes:

- ⬇ The private easement sewage statement which is located in the right hand corner of the proposed BAT plan should be in the general notes.

And finally, we received your O & M agreement; however, the document needs to be recorded in land records. You can pick it up at any time to have this task completed. Once it is recorded it must be returned to our office before the U & O can be released. This task will not stop the approval of your BAT plan or the building application. If you have any additional questions don't hesitate to e-mail me.

Respectfully,

Thank you & Have a****

*****)

*****) Wonderful Day !

Dana Bernard, R.E.H.S/L.E.H.S.
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov



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Maura J. Rossman, M.D., Health Officer

TO: Greg Phillips
Via E-Mail: gphillips@mred.us

RE: BAT Plan
Millers Mill Development
Tax Map: 14, Parcel 22

CC: Applicant: Caruso Homes
C/O Bob Oliff
Via E-mail: ROLIFF@CARUSOHOMES.COM

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- ✚ Calculations for the initial system and the first replacement must be shown on the plan.
- ✓ ✚ The floor plans submitted show 5 bedrooms, with possibly 6. Make sure that your calculations reflect this number of bedrooms.
- ✚ Show septic data on the plan.
- ✚ Title on BAT plan should be stated in the title box.
- ✓ ✚ Include a profile drawing with all invert elevations necessary for installation.
- ✚ Show existing septic easement with components, trenches and tank to be abandoned.
- ✚ A legend must be included on plan. All symbols used must be shown on the plan.
- ✚ The existing well and the abandoned well symbols must be shown in the legend. The well must be abandoned prior to BAT approval and documentation must be sent to the Howard County Health Department.
- ✓ ✚ The rain gardens shown have a 50' setback requirement. And should have a 100' setback from the well.
- ✚ Also make sure when choosing your tank size to have a 1 day reserve for a system which has to use an ejector pump.

General Notes:

✦ The private easement sewage statement which is located in the right hand corner of the proposed BAT plan should be in the general notes.

And finally, we received your O & M agreement; however, the document needs to be recorded in land records. You can pick it up at any time to have this task completed. Once it is recorded it must be returned to our office before the U & O can be released. This task will not stop the approval of your BAT plan or the building application. If you have any additional questions don't hesitate to e-mail me.

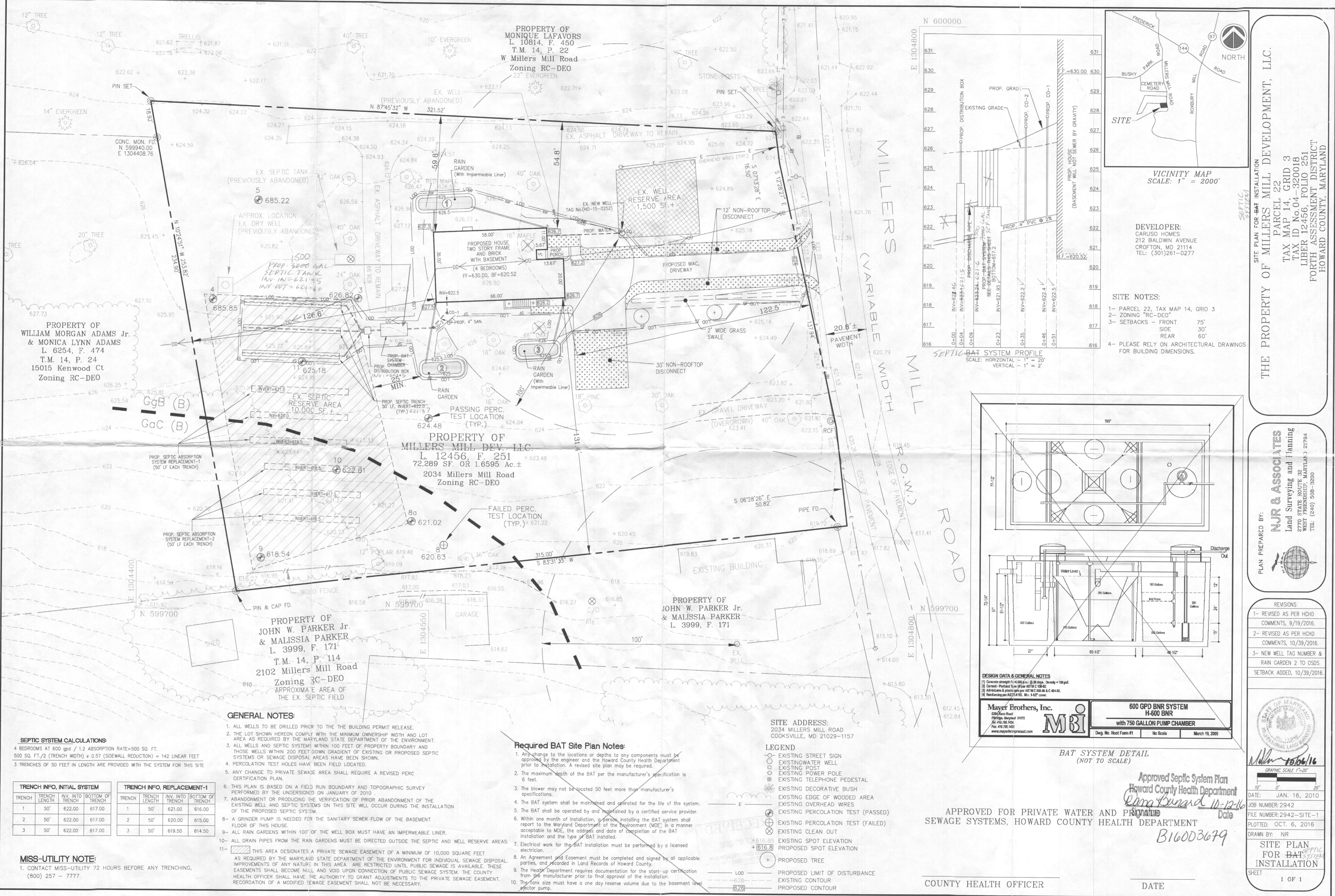
Respectfully,



Thank you & Have a*")

(. (. * Wonderful Day !

Dana Bernard, R.E.H.S/L.E.H.S.
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov



SEPTIC SYSTEM CALCULATIONS:

4 BEDROOMS AT 600 gpd / 1.2 ABSORPTION RATE=500 SQ. FT.
 500 SQ. FT./2 (TRENCH WIDTH) x 0.57 (SIDEWALL REDUCTION) = 142 LINEAR FEET
 3 TRENCHES OF 50 FEET IN LENGTH ARE PROVIDED WITH THE SYSTEM FOR THIS SITE

TRENCH INFO, INITIAL SYSTEM				TRENCH INFO, REPLACEMENT-1			
TRENCH	TRENCH LENGTH	INV. INTO TRENCH	BOTTOM OF TRENCH	TRENCH	TRENCH LENGTH	INV. INTO TRENCH	BOTTOM OF TRENCH
1	50'	622.00	617.00	1	50'	621.00	616.00
2	50'	622.00	617.00	2	50'	620.00	615.00
3	50'	622.00	617.00	3	50'	619.50	614.50

MISS-UTILITY NOTE:

1. CONTACT MISS-UTILITY 72 HOURS BEFORE ANY TRENCHING.
 (800) 257 - 7777.

- GENERAL NOTES:**
- ALL WELLS TO BE DRILLED PRIOR TO THE BUILDING PERMIT RELEASE.
 - THE LOT SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
 - ALL WELLS AND SEPTIC SYSTEMS WITHIN 100 FEET OF PROPERTY BOUNDARY AND THOSE WELLS WITHIN 200 FEET DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
 - PERCOLATION TEST HOLES HAVE BEEN FIELD LOCATED.
 - ANY CHANGE TO PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERC CERTIFICATION PLAN.
 - THIS PLAN IS BASED ON A FIELD RUN BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY THE UNDERSIGNED ON JANUARY OF 2010.
 - ABANDONMENT OR PRODUCING THE VERIFICATION OF PRIOR ABANDONMENT OF THE EXISTING WELL AND SEPTIC SYSTEMS ON THIS SITE WILL OCCUR DURING THE INSTALLATION OF THE PROPOSED SEPTIC SYSTEM.
 - A GRINDER PUMP IS NEEDED FOR THE SANITARY SEWER FLOW OF THE BASEMENT FLOOR OF THIS HOUSE.
 - ALL RAIN GARDENS WITHIN 100' OF THE WELL BOX MUST HAVE AN IMPERMEABLE LINER.
 - ALL DRAIN PIPES FROM THE RAIN GARDENS MUST BE DIRECTED OUTSIDE THE SEPTIC AND WELL RESERVE AREAS.
 - THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF A MINIMUM OF 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION OF PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL BE NECESSARY.

- Required BAT Site Plan Notes:**
- Any change to the locations or depths to any components must be approved by the engineer and the Howard County Health Department prior to installation. A revised site plan may be required.
 - The maximum depth of the BAT per the manufacturer's specification is 6 feet.
 - The blower may not be located 50 feet more than manufacturer's specifications.
 - The BAT system shall be maintained and operated for the life of the system.
 - The BAT shall be operated by and maintained by a certified service provider.
 - Within one month of installation, a person installing the BAT system shall report to the Maryland Department of the Environment (MDE) in a manner acceptable to MDE, the address and date of completion of the BAT installation and the type of BAT installed.
 - Electrical work for the BAT installation must be performed by a licensed electrician.
 - An Agreement and Easement must be completed and signed by all applicable parties, and recorded in Land Records of Howard County.
 - The Health Department requires documentation for the start-up certification from the manufacturer prior to final approval of the installation.
 - The tank size must have a one day reserve volume due to the basement level ejector pump.

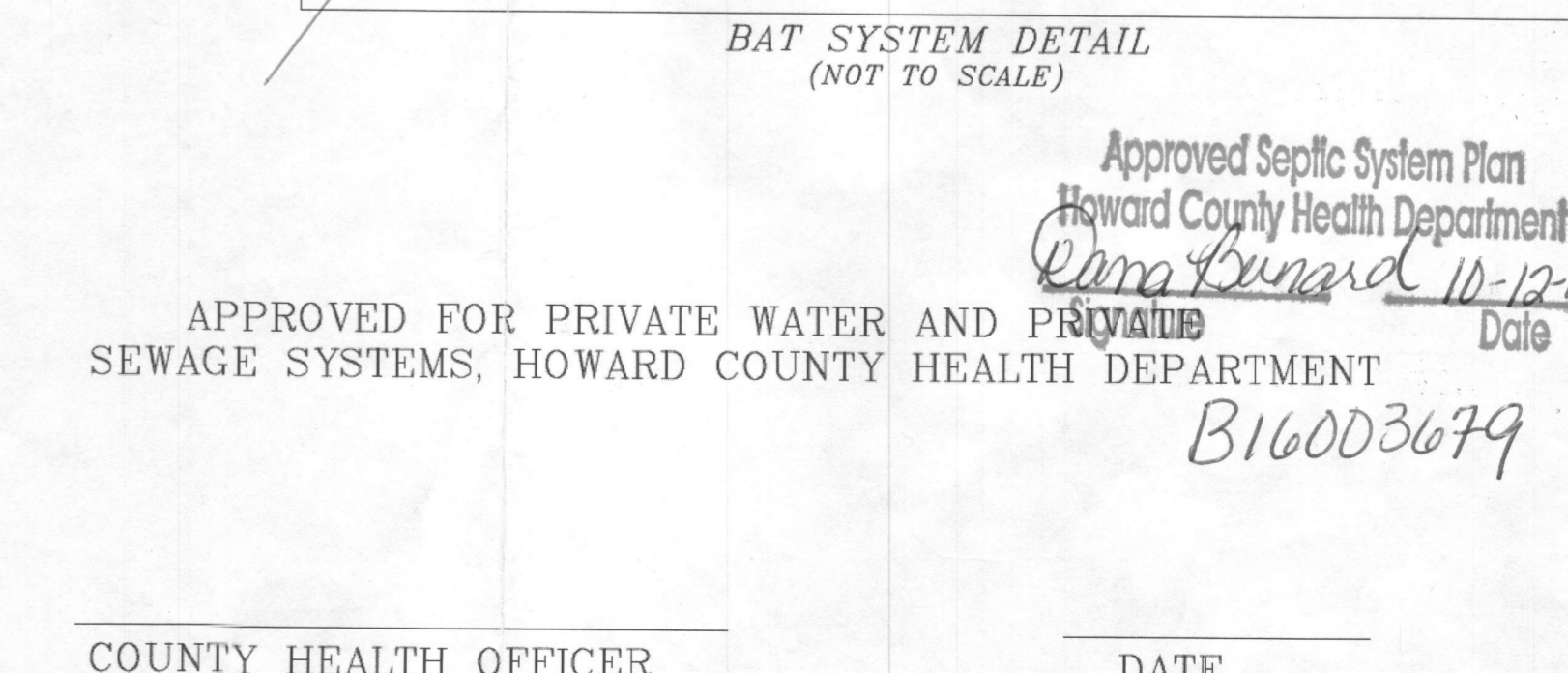
- SITE ADDRESS:**
 2034 MILLERS MILL ROAD
 COOKSVILLE, MD 21029-1157
- LEGEND**
- EXISTING STREET SIGN
 - EXISTING WATER WELL
 - EXISTING POST
 - EXISTING POWER POLE
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING DECORATIVE BUSH
 - EXISTING EDGE OF WOODED AREA
 - EXISTING OVERHEAD WIRES
 - EXISTING PERCOLATION TEST (PASSED)
 - EXISTING PERCOLATION TEST (FAILED)
 - EXISTING CLEAN OUT
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - PROPOSED TREE
 - PROPOSED LIMIT OF DISTURBANCE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR

DESIGN DATA & GENERAL NOTES

1 Concrete strength F_c=4,000 p.s.i., @ 28 days. Density = 150 pcf.
 2 Cement - Portland Type III per ASTM C 150-82
 3 Admixtures & plastic per ASTM C 494 & C 494-02
 4 Reinforcing per ASTM A 618, Min. 1/4" cover.

Mayer Brothers, Inc.
 600 GPD BNR SYSTEM
 H-600 BNR
 with 750 GALLON PUMP CHAMBER

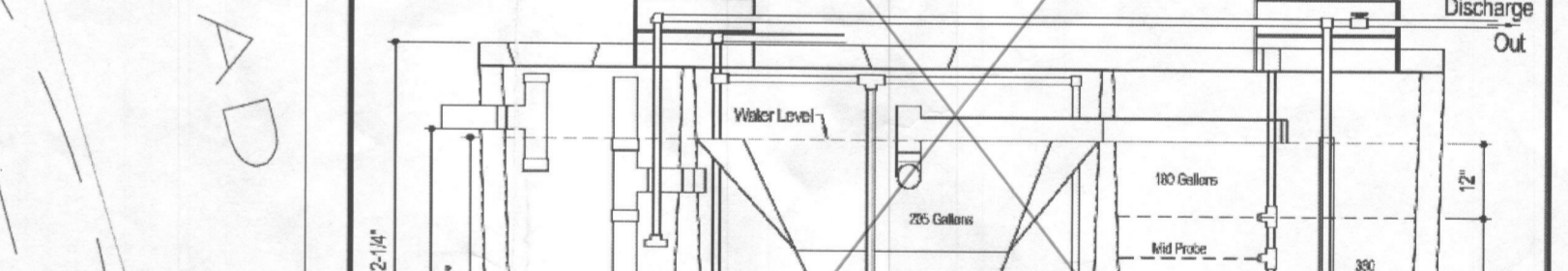
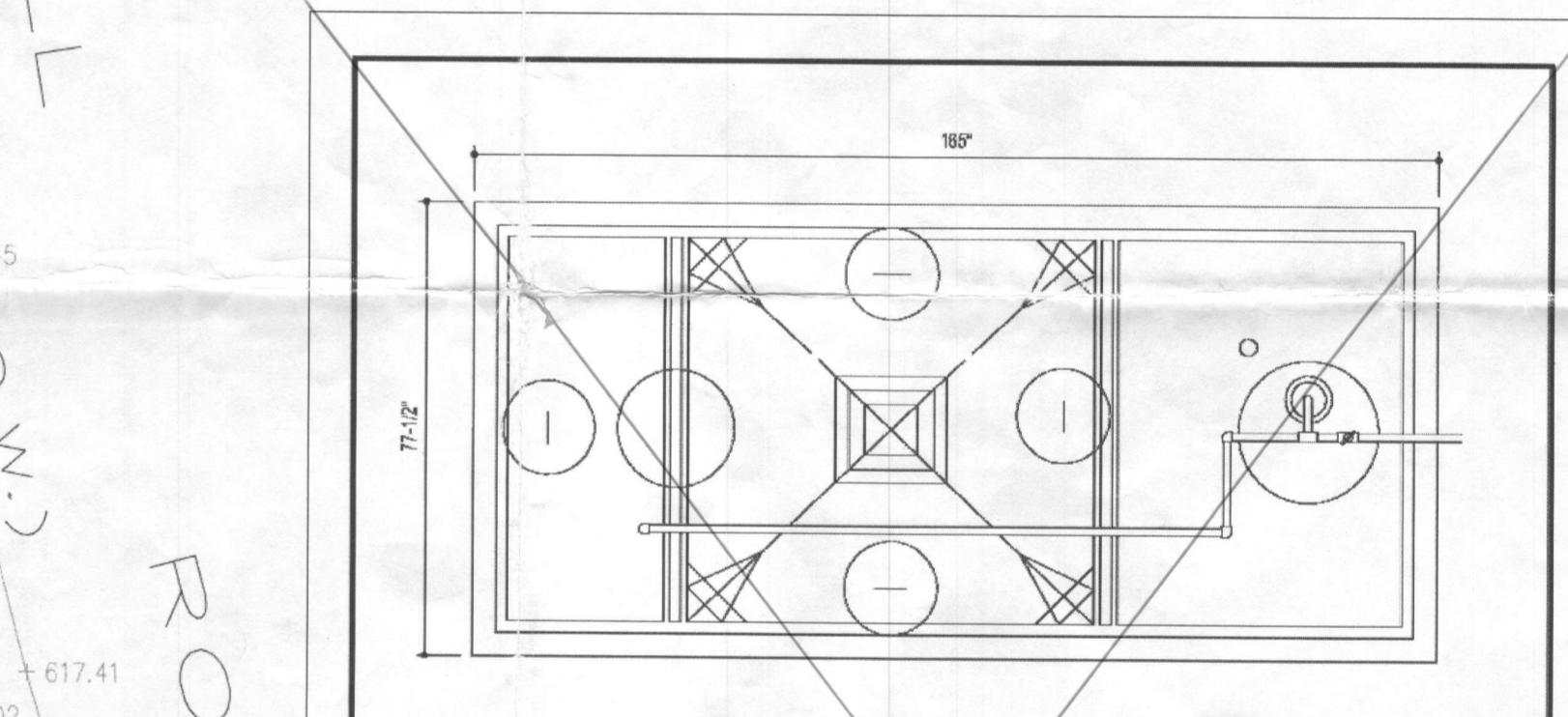
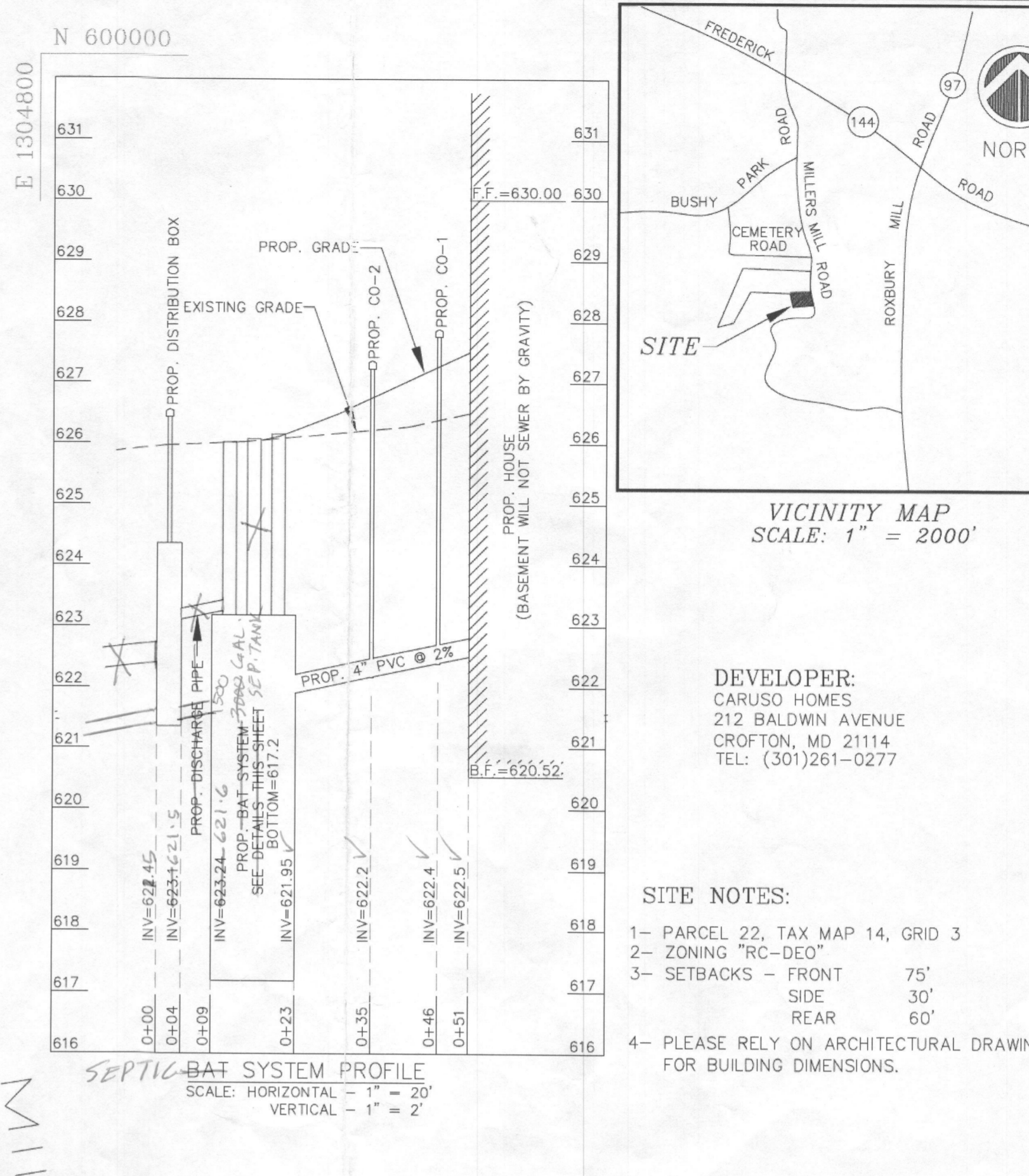
Eng. No: Hood Form #1 No Scale March 19, 2009



APPROVED FOR PRIVATE WATER AND SEWAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

DATE: JAN. 16, 2010
 JOB NUMBER: 2942
 FILE NUMBER: 2942-SITE-1
 PLOTTED: OCT. 6, 2016
 DRAWN BY: NR

SITE PLAN FOR BAT INSTALLATION SHEET 1 OF 1



DEVELOPER:
 CARUSO HOMES
 212 BALDWIN AVENUE
 CROFTON, MD 21114
 TEL: (301)261-0277

SITE NOTES:

- PARCEL 22, TAX MAP 14, GRID 3
- ZONING "RC-DEO"
- SETBACKS - FRONT 75'
 SIDE 30'
 REAR 60'
- PLEASE RLY ON ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.

THE PROPERTY OF MILLERS MILL DEVELOPMENT, LLC.

PARCEL 22
 TAX MAP 14, GRID 3
 TAX ID No. 04-320018
 LIBER 12456, FOLIO 251
 FORTH ASSESSMENT DISTRICT
 HOWARD COUNTY, MARYLAND

PLAN PREPARED BY:
NJR & ASSOCIATES
 Land Surveying and Planning
 2770 STATE ROUTE 32
 WEST FRIENDSHIP, MARYLAND 21794
 TEL: (240) 508-3200

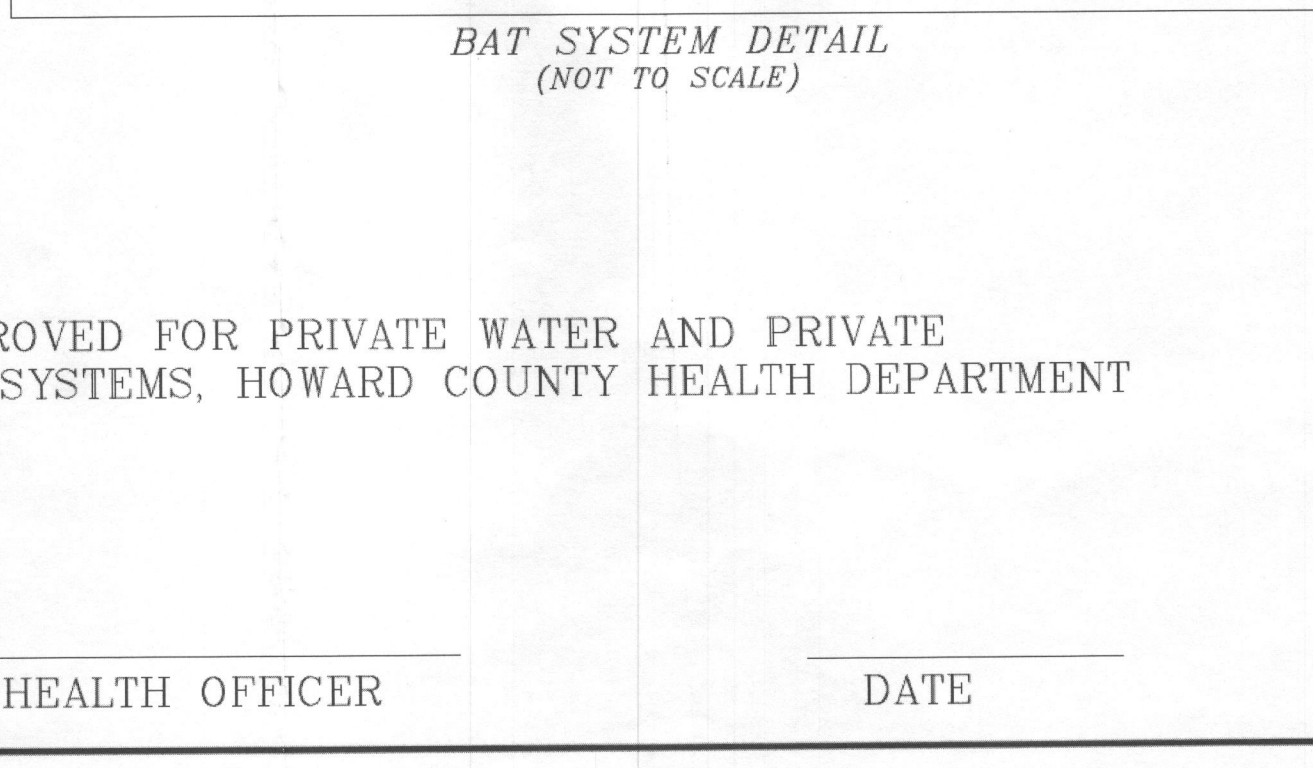
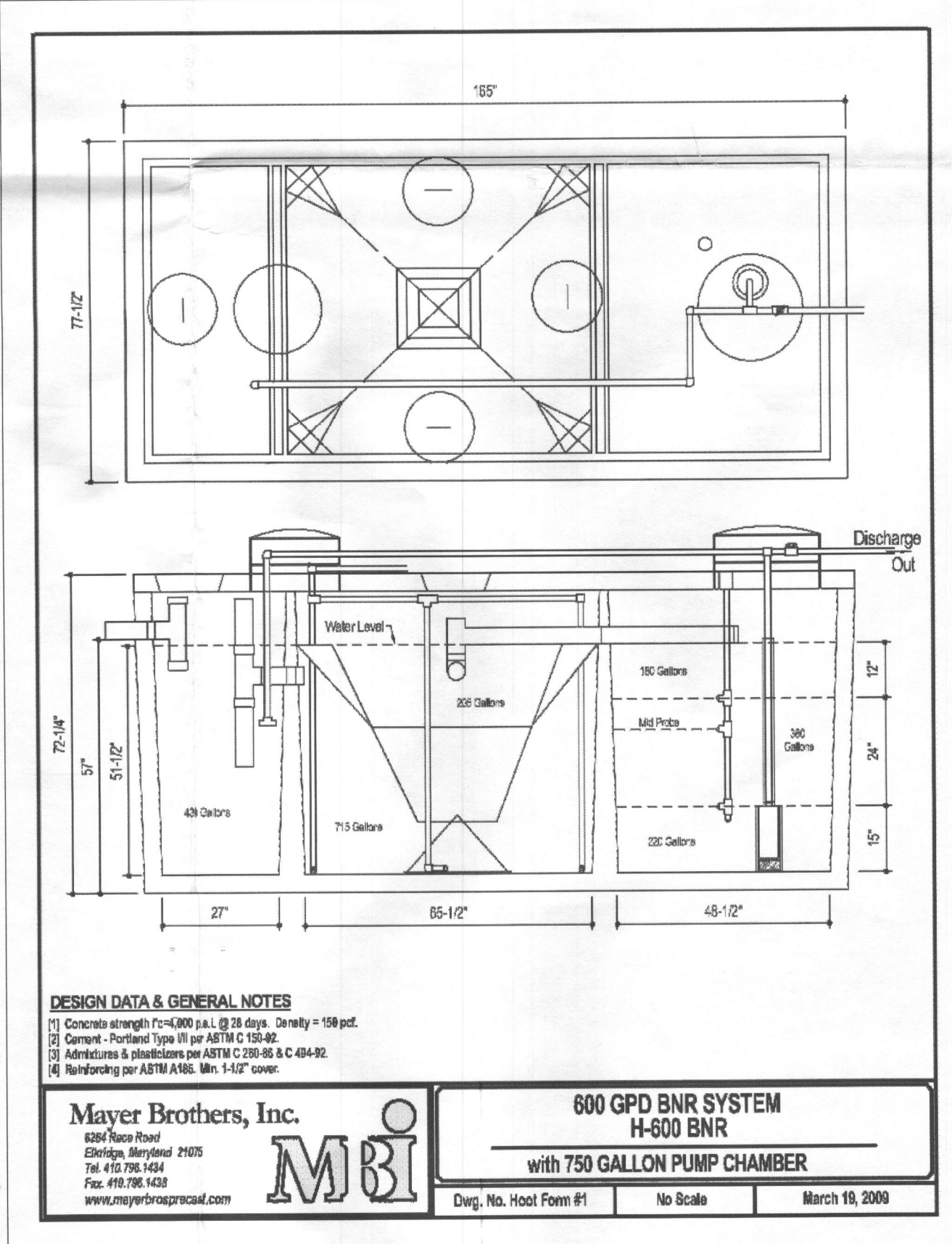
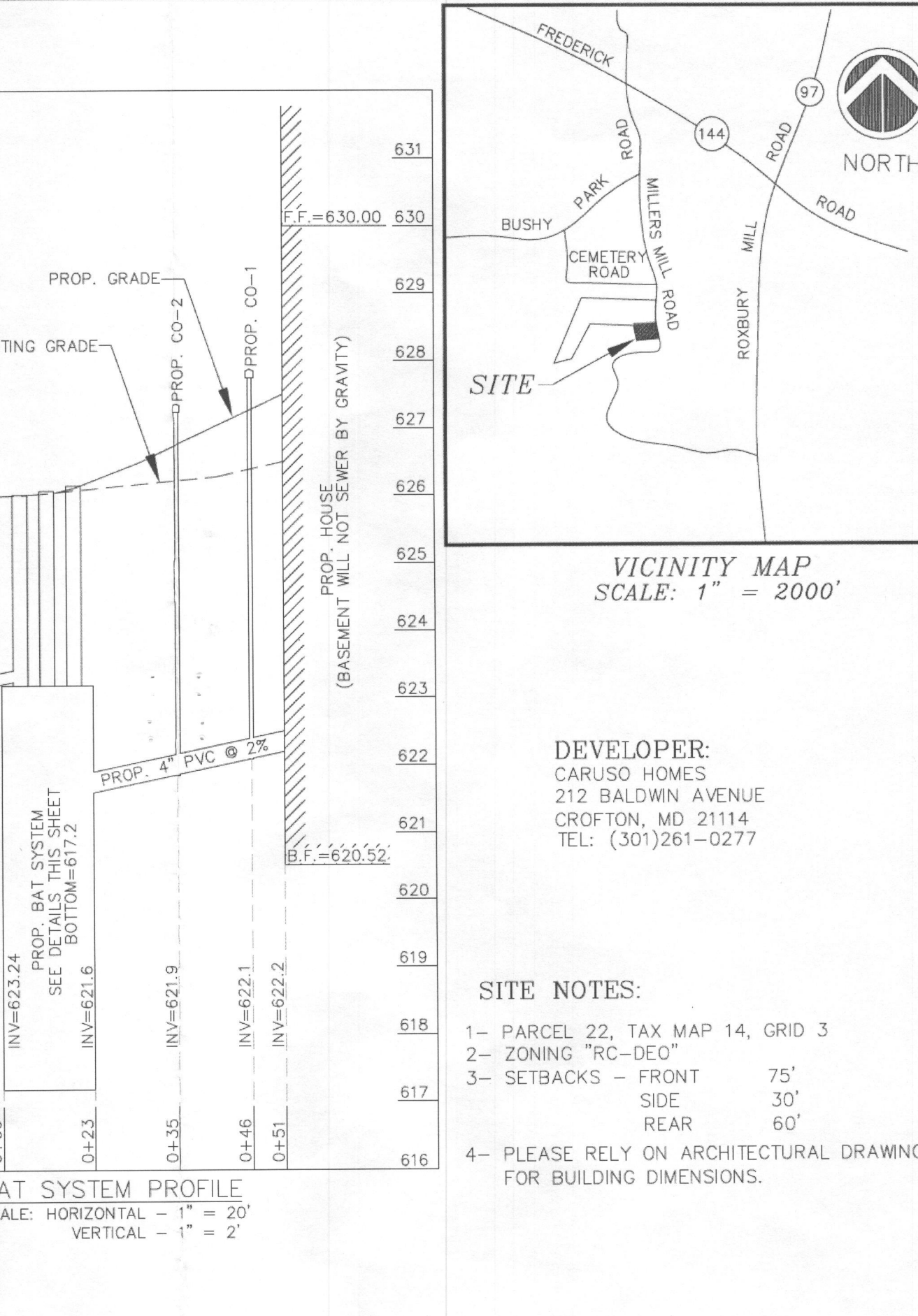
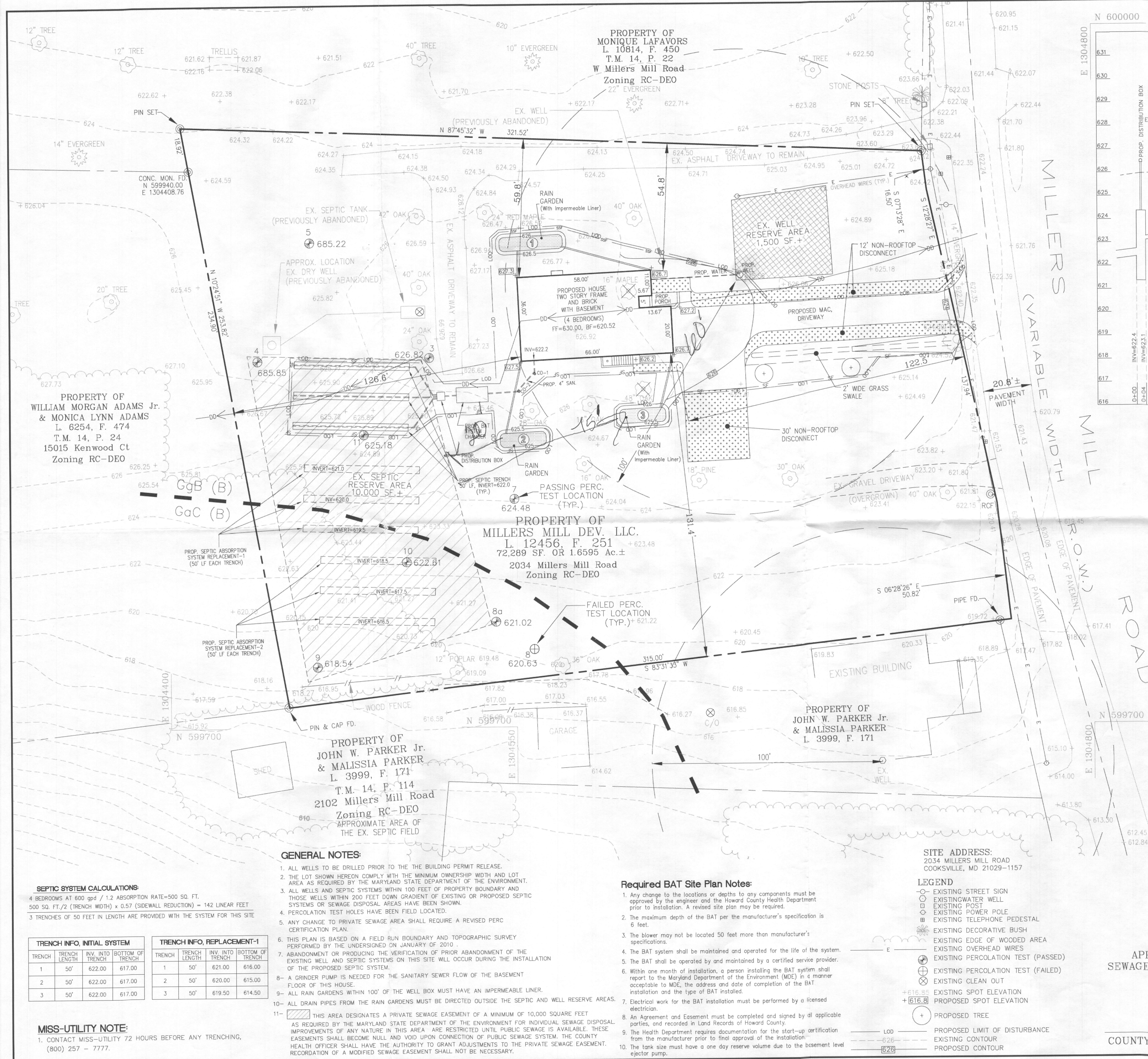
REVISIONS

1-	REVISED AS PER HCHD COMMENTS, 9/19/2016.
2-	REVISED AS PER HCHD COMMENTS, 10/30/2016.
3-	NEW WELL TAG NUMBER & RAIN GARDEN 2 TO OSDS SETBACK ADDED, 10/30/2016.

DATE: JAN. 16, 2010
 JOB NUMBER: 2942
 FILE NUMBER: 2942-SITE-1
 PLOTTED: OCT. 6, 2016
 DRAWN BY: NR

SITE PLAN FOR BAT INSTALLATION SHEET 1 OF 1

RED LINE REVISIONS BY NJR & Assoc. 12/22/2016



THE PROPERTY OF MILLERS MILL DEVELOPMENT, LLC.

SITE PLAN FOR BAT INSTALLATION
PARCEL 22
TAX MAP 14, GRID 3
TAX ID No. 04-320018
LIBER 12456, FOLIO 251
FOURTH ASSESSMENT DISTRICT
HOWARD COUNTY, MARYLAND

PLAN PREPARED BY:

NJR & ASSOCIATES
Land Surveying and Planning
2970 STATE ROUTE 93
WEST FRIENDSHIP, MARYLAND 21794
TEL: (240) 508-3800

REVISIONS

1- REVISED AS PER HCHD COMMENTS, 9/19/2016.
2- REVISED AS PER HCHD COMMENTS, 10/39/2016.

STATE OF MARYLAND
DEPARTMENT OF GENERAL SERVICES
PROFESSIONAL LAND SURVEYOR

M. M. 10/03/16

GRAPHIC SCALE 1"=20'

SHEET 1 OF 1

SEPTIC SYSTEM CALCULATIONS:
4 BEDROOMS AT 600 gpd / 1.2 ABSORPTION RATE=500 SQ. FT.
500 SQ. FT./2 (TRENCH WIDTH) x 0.57 (SIDEWALL REDUCTION) = 142 LINEAR FEET
3 TRENCHES OF 50 FEET IN LENGTH ARE PROVIDED WITH THE SYSTEM FOR THIS SITE

TRENCH INFO, INITIAL SYSTEM			
TRENCH	TRENCH LENGTH	INV. INTO TRENCH	BOTTOM OF TRENCH
1	50'	622.00	617.00
2	50'	622.00	617.00
3	50'	622.00	617.00

TRENCH INFO, REPLACEMENT-1			
TRENCH	TRENCH LENGTH	INV. INTO TRENCH	BOTTOM OF TRENCH
1	50'	621.00	616.00
2	50'	620.00	615.00
3	50'	619.50	614.50

MISS-UTILITY NOTE:
1. CONTACT MISS-UTILITY 72 HOURS BEFORE ANY TRENCHING.
(800) 257 - 7777.

GENERAL NOTES:

1. ALL WELLS TO BE DRILLED PRIOR TO THE BUILDING PERMIT RELEASE.
2. THE LOT SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
3. ALL WELLS AND SEPTIC SYSTEMS WITHIN 100 FEET OF PROPERTY BOUNDARY AND THOSE WELLS WITHIN 200 FEET DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
4. PERCOLATION TEST HOLES HAVE BEEN FIELD LOCATED.
5. ANY CHANGE TO PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERC CERTIFICATION PLAN.
6. THIS PLAN IS BASED ON A FIELD RUN BOUNDARY AND TOPOGRAPHIC SURVEY PERFORMED BY THE UNDERSIGNED ON JANUARY OF 2010.
7. ABANDONMENT OR PRODUCING THE VERIFICATION OF PRIOR ABANDONMENT OF THE EXISTING WELL AND SEPTIC SYSTEMS ON THIS SITE WILL OCCUR DURING THE INSTALLATION OF THE PROPOSED SEPTIC SYSTEM.
8. A GRINDER PUMP IS NEEDED FOR THE SANITARY SEWER FLOW OF THE BASEMENT FLOOR OF THIS HOUSE.
9. ALL RAIN GARDENS WITHIN 100' OF THE WELL BOX MUST HAVE AN IMPERMEABLE LINER.
10. ALL DRAIN PIPES FROM THE RAIN GARDENS MUST BE DIRECTED OUTSIDE THE SEPTIC AND WELL RESERVE AREAS.
11. THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF A MINIMUM OF 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION OF PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY.

Required BAT Site Plan Notes:

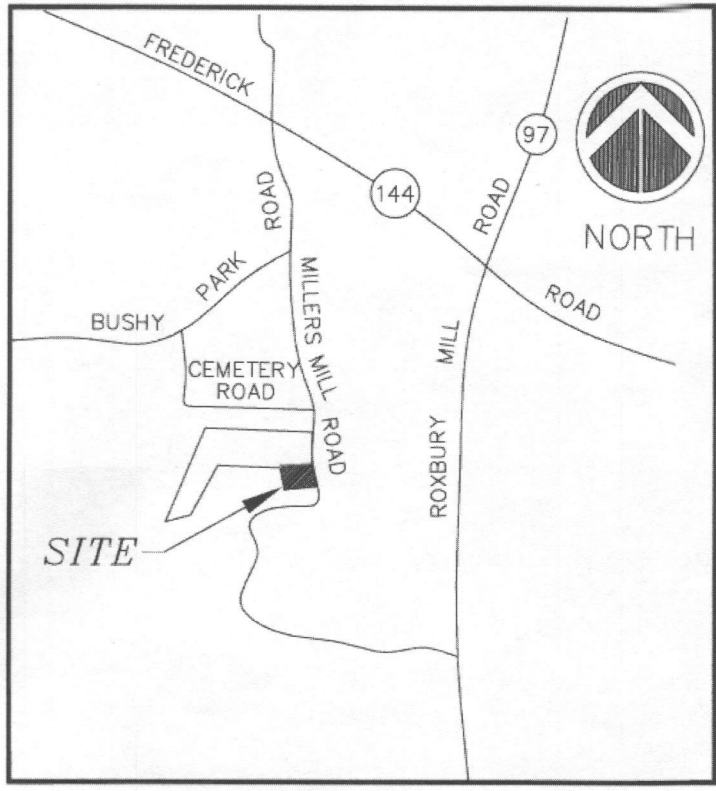
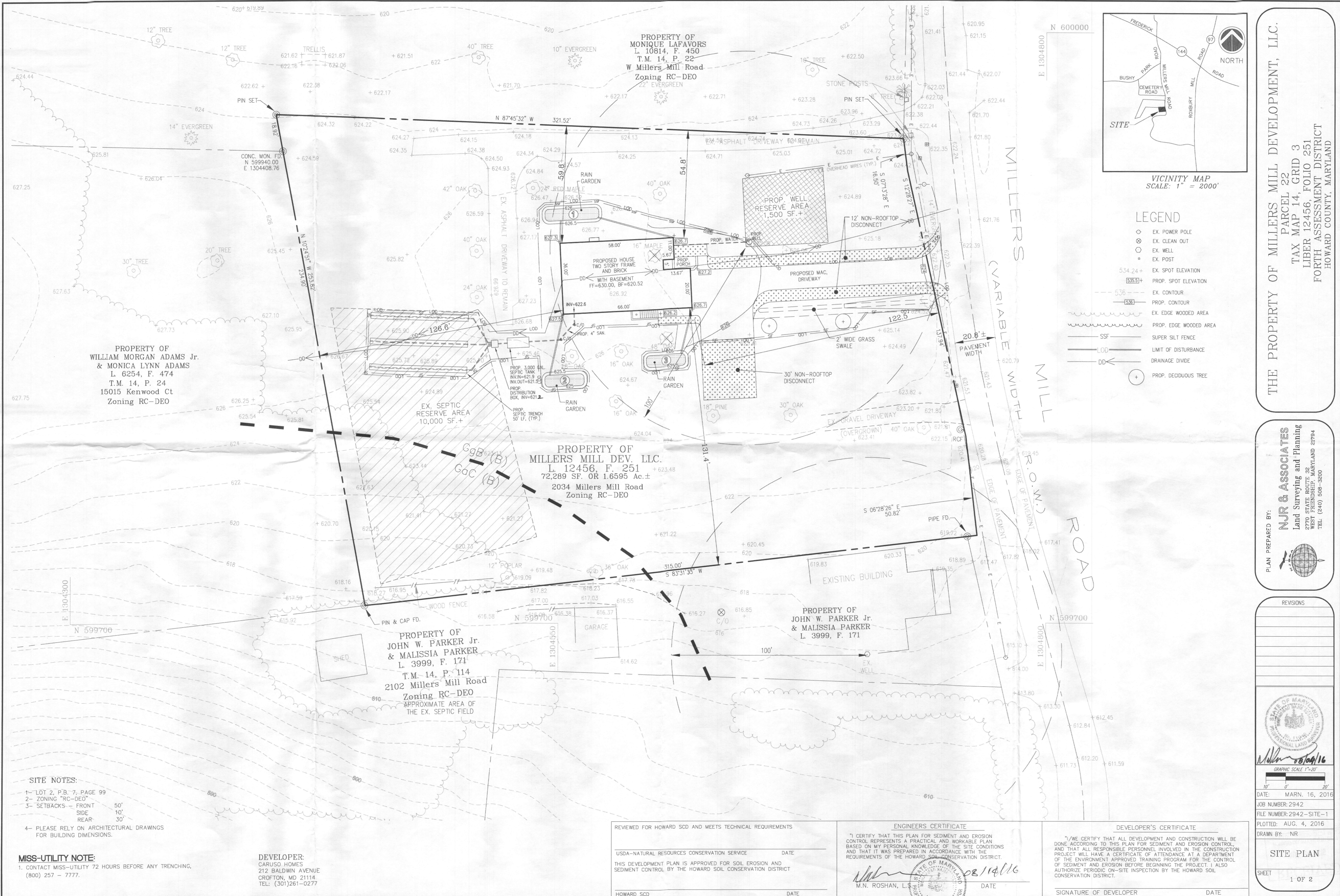
1. Any change to the locations or depths to any components must be approved by the engineer and the Howard County Health Department prior to installation. A revised site plan may be required.
2. The maximum depth of the BAT per the manufacturer's specification is 6 feet.
3. The blower may not be located 50 feet more than manufacturer's specifications.
4. The BAT system shall be maintained and operated for the life of the system.
5. The BAT shall be operated by and maintained by a certified service provider.
6. Within one month of installation, a person installing the BAT system shall report to the Maryland Department of the Environment (MDE) in a manner acceptable to MDE, the address and date of completion of the BAT installation and the type of BAT installed.
7. Electrical work for the BAT installation must be performed by a licensed electrician.
8. An Agreement and Easement must be completed and signed by all applicable parties, and recorded in Land Records of Howard County.
9. The Health Department requires documentation for the start-up certification from the manufacturer prior to final approval of the installation.
10. The tank size must have a one day reserve volume due to the basement level ejector pump.

LEGEND

- EXISTING STREET SIGN
- EXISTING WATER WELL
- EXISTING POST
- EXISTING POWER POLE
- ⊞ EXISTING TELEPHONE PEDESTAL
- ✻ EXISTING DECORATIVE BUSH
- E EXISTING EDGE OF WOODED AREA
- E EXISTING OVERHEAD WIRES
- ⊕ EXISTING PERCOLATION TEST (PASSED)
- ⊖ EXISTING PERCOLATION TEST (FAILED)
- ⊙ EXISTING CLEAN OUT
- ⊕ EXISTING SPOT ELEVATION
- ⊕ EXISTING CLEAR OUT
- ⊕ PROPOSED TREE
- LOD PROPOSED LIMIT OF DISTURBANCE
- 626 EXISTING CONTOUR
- 626 PROPOSED CONTOUR

SITE ADDRESS:
2034 MILLERS MILL ROAD
COOKWILLS, MD 21029-1157

COUNTY HEALTH OFFICER _____ DATE _____



VICINITY MAP
SCALE: 1" = 2000'

LEGEND

- EX. POWER POLE
- EX. CLEAN OUT
- EX. WELL
- EX. POST
- EX. SPOT ELEVATION
- 534.24+ PROP. SPOT ELEVATION
- 535.5+ EX. CONTOUR
- 536- PROP. CONTOUR
- EX. EDGE WOODED AREA
- PROP. EDGE WOODED AREA
- SSF SUPER SILT FENCE
- LOD LIMIT OF DISTURBANCE
- DD DRAINAGE DIVIDE
- PROP. DECIDUOUS TREE

THE PROPERTY OF MILLERS MILL DEVELOPMENT, LLC.
 PARCEL 22
 TAX MAP 14, GRID 3
 LIBER 12456, FOLIO 251
 FORTH ASSESSMENT DISTRICT
 HOWARD COUNTY, MARYLAND

PLAN PREPARED BY:
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 2770 STATE ROUTE 22
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 TEL (240) 606-3600

REVISIONS

STATE OF MARYLAND
 PROFESSIONAL LAND SURVEYOR

M.N. Roshan 08/14/16
 GRAPHIC SCALE 1"=20'

DATE: MARN. 16, 2016
 JOB NUMBER: 2942
 FILE NUMBER: 2942-SITE-1
 PLOTTED: AUG. 4, 2016
 DRAWN BY: NR

SITE PLAN

SHEET 1 OF 2

SITE NOTES:

- 1- LOT 2, P.B. 7, PAGE 99
- 2- ZONING "RC-DEO"
- 3- SETBACKS - FRONT 50'
SIDE 10'
REAR 30'
- 4- PLEASE RELY ON ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.

MISS-UTILITY NOTE:

1. CONTACT MISS-UTILITY 72 HOURS BEFORE ANY TRENCHING.
- (800) 257 - 7777.

DEVELOPER:
 CARUSO HOMES
 212 BALDWIN AVENUE
 CROFTON, MD 21114
 TEL: (301)261-0277

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

USDA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

HOWARD SCD DATE

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

M.N. Roshan 08/14/16
 M.N. ROSHAN, L.S. DATE

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER DATE