



# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: 4/29/15

Permit No.: B15001586

Building Address: 15246 Sweetbay St  
 City: Woodrow State: MD Zip Code: 21797  
 Suite/Apt. # \_\_\_\_\_ SDP/WP/BA #: \_\_\_\_\_  
 Census Tract: \_\_\_\_\_ Subdivision: Pennington  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 37  
 Tax Map: 14 Parcel: 66 Grid: \_\_\_\_\_  
 Zoning: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_

Existing Use: SFD  
 Proposed Use: 50' x 10' Deck  
 Estimated Construction Cost: \$ 8,000  
 Description of Work: INSTALL VERGEL W/DB, GROUND PROTECT, RAIL  
 Occupant or Tenant: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: Katherine M. Horner  
 Address: 1803 Parkside Road  
 City: Landover State: MD Zip Code: 21115  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Applicant's Name & Mailing Address, (if other than stated herein)  
 Applicant's Name: Jeremy M. Horner  
 Address: 1803 Parkside Road  
 City: Landover State: MD Zip Code: 21115  
 Phone: 410-313-1121 Fax: \_\_\_\_\_  
 Email: jeremy.horner@howardcountymd.gov

Contractor Company: Valley Mechanical Inc  
 Contact Person: William Horner  
 Address: 7201 Market Street  
 City: Jessup State: MD Zip Code: 21751  
 License No.: 107793  
 Phone: 410-799-1121 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Engineer/Architect Company: \_\_\_\_\_  
 Responsible Design Prof.: William Horner  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
	2 <sup>nd</sup> floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
<b>Construction type:</b>	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	<b>Multi-family Dwelling</b>	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> <b>Roadside Tree Project Permit</b>	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
<b>Roadside Tree Project Permit #</b>	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Heating System</b>	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Grading Permit Number:</b>	
<b>Building Shell Permit Number:</b>	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Jeremy M. Horner Print Name: Jeremy M. Horner  
 Email Address: jeremy.horner@howardcountymd.gov Date: 4/29/15  
 Title/Company: \_\_\_\_\_

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY  
 \*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA ( Zoning )		
PSZA ( Engineering )		
Health	<u>5-6-15</u>	<u>Bernard</u>

Is Sediment Control approval required for issuance?  Yes  No  
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$ 100.00
Tech Fee	\$ 10.00
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$ 110.00
Sub-Total Paid	\$
Balance Due	\$ 110.00
Check	# 4425





# Building Permit Application

Howard County Maryland  
Department of Inspections, Licenses and Permits  
3430 Court House Drive  
Permits: 410-313-2455  
www.howardcountymd.gov

Date Received: 10/6/14

Permit No.: B14003665

Health

Building Address: 15246 Sweetbay St.  
 City: WOODBINE State: MD Zip Code: 21797  
 Site/Apt. #: \_\_\_\_\_ SDP/WP/BA #: F-07-38  
 Census Tract: \_\_\_\_\_ Subdivision: BELLE HAVEN  
 Section: \_\_\_\_\_ Area: \_\_\_\_\_ Lot: 37  
 Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grid: \_\_\_\_\_  
 Mapping: \_\_\_\_\_ Map Coordinates: \_\_\_\_\_ Lot Size: \_\_\_\_\_  
 Existing Use: vacant lot  
 Proposed Use: new S. F. D. - New Master  
 Estimated Construction Cost: \$ 285,000  
 Description of Work: The Boulder - w/ Morning Room, extended FAM RM, w/ fireplace 3 CAR SIDE LOAD GARAGE  
 Occupant or Tenant: \_\_\_\_\_  
 Was tenant space previously occupied?  Yes  No  
 Contact Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Property Owner's Name: BELLE HAVEN BAKER LLC  
 Address: 10751 Falls Rd. Ste. 405  
 City: LUTHERVILLE State: MD Zip Code: 21093  
 Phone: \_\_\_\_\_ Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_  
 Applicant's Name & Mailing Address, (if other than stated herein)  
 Applicant's Name: Vicky Meyer  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Phone: 410-296-6900 Fax: \_\_\_\_\_  
 Email: MDBLDGPERMITS@COMCAST.NET  
 Contractor Company: K. HOVNANI/HAN HOMES  
 Contact Person: Chester Willett  
 Address: 1802 Brightseat Rd.  
 City: Landover State: MD Zip Code: 20785  
 License No.: 3149  
 Phone: 301-772-8900 Fax: \_\_\_\_\_  
 Email: CWillett@KHOV.COM  
 Engineer/Architect Company: D. D. C.  
 Responsible Design Prof.: Brian Collins  
 Address: 192 E. Main St.  
 City: Westminster State: MD Zip Code: 21157  
 Phone: 410-386-0560 Fax: \_\_\_\_\_  
 Email: \_\_\_\_\_

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 <sup>st</sup> floor:	
Area of construction (sq. ft.):	2 <sup>nd</sup> floor:	
Use group:	Basement:	
	<input type="checkbox"/> Finished Basement	
	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
	<input type="checkbox"/> Slab on Grade	
<b>Construction type:</b>	<b>Multi-family Dwelling</b>	
Reinforced Concrete	No. of Bedrooms:	
Structural Steel		
Masonry	No. of efficiency units:	
Wood Frame	No. of 1 BR units:	
State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
	Footings:	
	Roof:	
	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
<b>Water Supply</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
<b>Sewage Disposal</b>	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Heating System</b>	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
<b>Sprinkler System:</b>	
<input type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>G 18000401</u>	
Building Shell Permit Number:	

I, UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: V. Meyer  
 Email Address: MDBLDGPERMITS@COMCAST.NET  
 Agent/Company: \_\_\_\_\_

Print Name: Vicky Meyer  
 Date: 10/6/2014  
 RECEIVED  
 OCT 06 2014  
 LICENSES & PERMITS DIVISION  
 CR # 1823 G

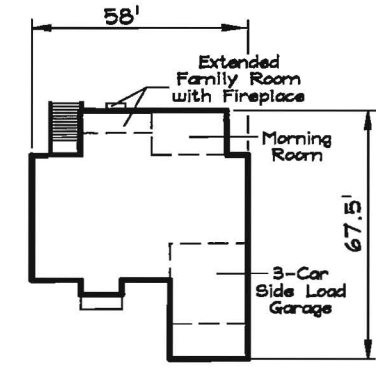
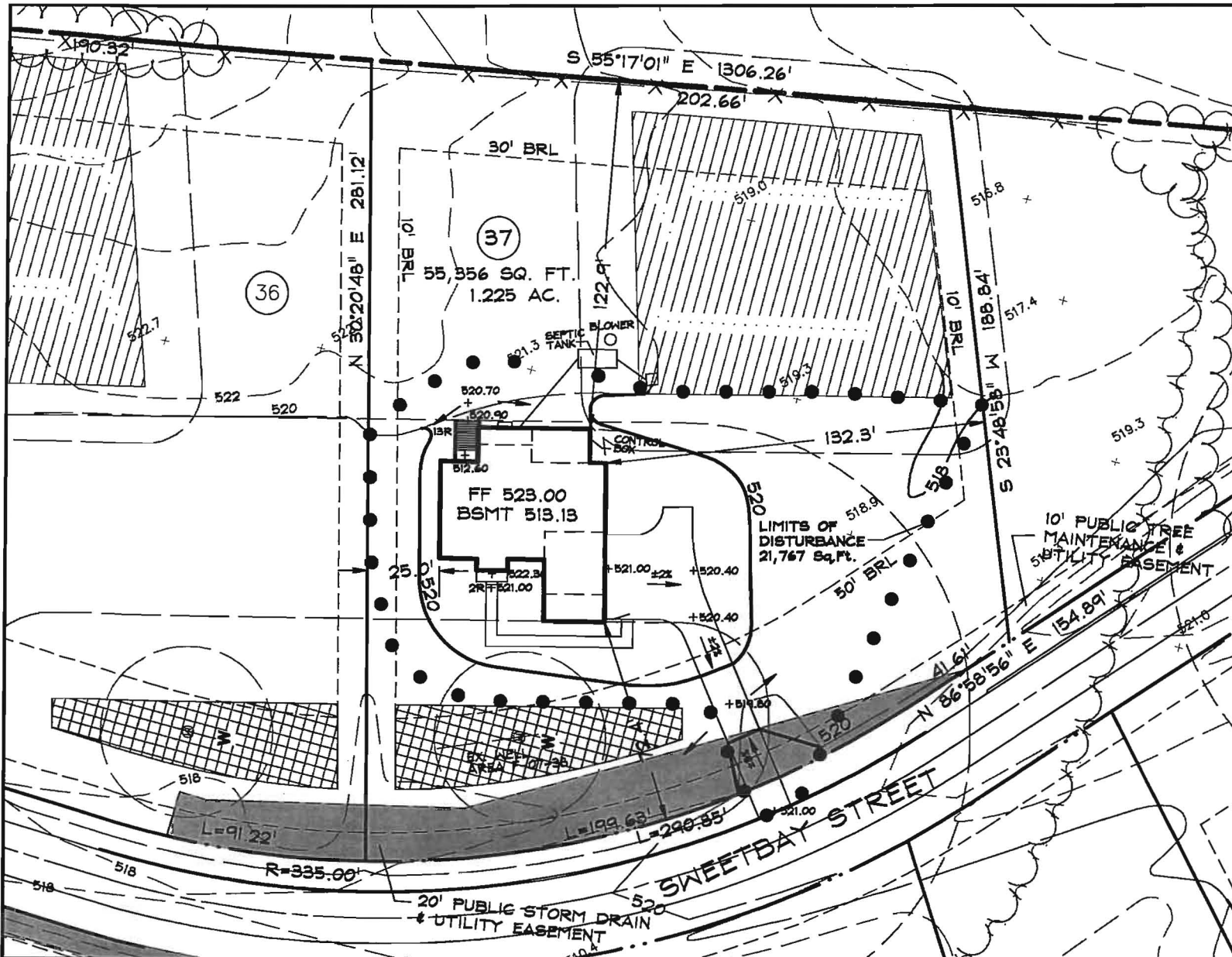
Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY

\*\*PLEASE WRITE NEATLY & LEGIBLY\*\*  
FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>12-8-14</u>	<u>D. Bernard</u>

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

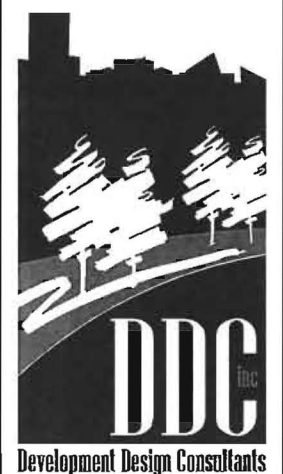
Filing Fee	\$ 100
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ 50.00
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# 00018230



BOULDER  
ELEVATION 'H'  
BRICK FRONT

**GENERAL NOTES**

1. THE EXISTING WELL SHOWN ON THIS PLAN (HO-95-0645) HAS BEEN LOCATED BY DDC, PROFESSIONAL LAND SURVEYOR, AND IS ACCURATELY SHOWN.
2. BASE SQUARE FOOTAGE OF HOUSE: 3,876 sq.ft.
3. NUMBER OF BEDROOMS: 4  
INFORMATION SHOWN ON THIS PLAN BASED ON PLANS PREPARED BY DMW DATED 6/25/07. EXISTING TOPOGRAPHY BASED ON GRADING PLAN PREPARED BY DEMARIO DESIGN CONSULTANTS DATED 7/9/07 AND FIELD RUN TOPOGRAPHY PREPARED BY DDC INC IN JAN. 2012
4. A DRIVEWAY CULVERT IS NOT REQUIRED PER THE APPROVED ROAD DRAWINGS F-07-38.
5. EJECTOR PUMP REQUIRED TO SEWER BASEMENT.



Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

<b>DDC JOB#:</b>	06116.5
<b>DATE:</b>	10/28/14
<b>SCALE:</b>	1" = 50'
<b>DES. BY:</b>	BKC
<b>DRN. BY:</b>	BKC
<b>CHK. BY:</b>	BKC

**BELLE HAVEN ESTATES**  
3rd ELECTION DISTRICT HOWARD COUNTY, MD  
TAX MAP 14, PARCEL 66

LOT 37  
15246 SWEETBAY STREET  
WOODBINE, MD 21797  
PLOT PLAN  
KHOV ELEVATION

OWNER/BUILDER: K.HOVNANIAN HOMES  
1802 Brightseat Road  
Landover, Maryland 20785  
(301)683-6268

**Bernard, Dana**

---

**From:** Bernard, Dana  
**Sent:** Monday, October 27, 2014 10:55 AM  
**To:** 'Willett, Chester'  
**Subject:** Building Permits B14003665 and B14003663

Good morning Mr. Willett,

We need the following information for building permits B14003665 and B14003663. Further review will be based information from the following plans.

1. BAT plan
2. Floor plan

Thank you & Have a\*  
(,,' \* Wonderful Day !

Dana Bernard, REHS/RS  
Environmental Specialist II  
Bureau of Environmental Health  
Well and Septic Program  
Phone (410) 313-2775  
E-mail: [DBernard@howardcountymd.gov](mailto:DBernard@howardcountymd.gov)

**COMPLETE THIS FORM WHEN DROPPING OFF ANY CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 12-15-14  
To: Health Dept  
(Person's Name and Division)  
From: Chester Willet 240) 375-4515  
(Your Name, Company Name and Telephone Number)  
Subject: Project name K Hornanian Homes  
Project site address 15246 Sweetbay Street  
Permit # B14003665 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_

**RECEIVED**  
DEC 15 2014  
LICENSES & PERMITS  
DIVISION

✓ Please check the attachments below that you are submitting with this transmittal:

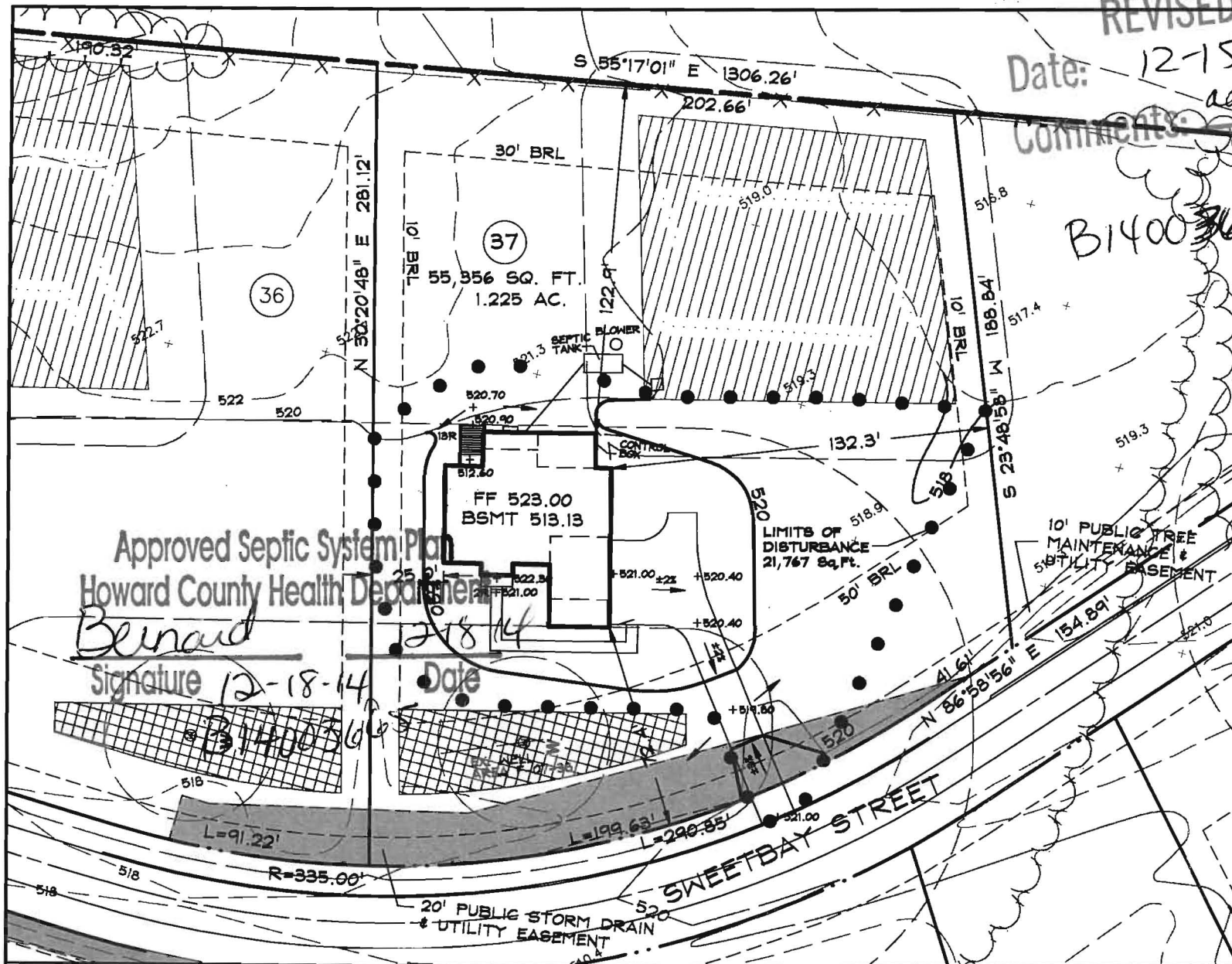
- \_\_\_\_\_ Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted. *w/ note added requested by Health regarding optional den to 5th BR if in future requires permit*
- \_\_\_\_\_ Letter Summarizing Changes
- \_\_\_\_\_ Energy conservation calculations
- \_\_\_\_\_ Copies of \_\_\_\_\_ (be specific).
- \_\_\_\_\_ Health Department Request \_\_\_\_\_ DPZ/ DED Request \_\_\_\_\_ Applicant's Request
- \_\_\_\_\_ Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
- \_\_\_\_\_ Other \_\_\_\_\_

**Contact Person Information: (Required)**

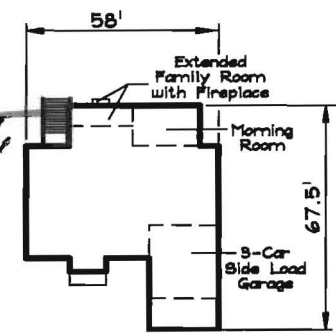
\_\_\_\_\_ Telephone No: \_\_\_\_\_  
Please Print Name E-Mail Address: \_\_\_\_\_

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by che



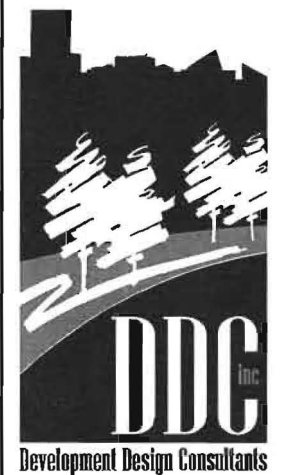
REVISED  
 Date: 12-15-14  
 Comments: note #6  
 B14003665



BOULDER  
 ELEVATION 'H'  
 BRICK FRONT

- GENERAL NOTES**
1. THE EXISTING WELL SHOWN ON THIS PLAN (HO-95-0645) HAS BEEN LOCATED BY DDC, PROFESSIONAL LAND SURVEYOR, AND IS ACCURATELY SHOWN.
  2. BASE SQUARE FOOTAGE OF HOUSE: 3,876 sq.ft.  
 NUMBER OF BEDROOMS: 4
  3. INFORMATION SHOWN ON THIS PLAN BASED ON PLANS PREPARED BY DMW DATED 6/25/07. EXISTING TOPOGRAPHY BASED ON GRADING PLAN PREPARED BY DEMARIO DESIGN CONSULTANTS DATED 7/9/07 AND FIELD RUN TOPOGRAPHY PREPARED BY DDC INC IN JAN. 2012
  4. A DRIVEWAY CULVERT IS NOT REQUIRED PER THE APPROVED ROAD DRAWINGS F-07-38.
  5. EJECTOR PUMP REQUIRED TO SEWER BASEMENT.
  6. AT ANY TIME IN THE FUTURE THAT A BUILDING PERMIT IS SUBMITTED TO FINISH THE AREA CURRENTLY IDENTIFIED AS OPTIONAL DEN, THEN A SEPTIC SYSTEM UPGRADE WILL BE REQUIRED AS FINISHING THE OPTIONAL DEN CREATES A FIFTH BEDROOM PER HOWARD COUNTY CODE 3.801(B).

Approved Septic System Plan  
 Howard County Health Department  
 Signature: *Blinaud*  
 Date: 12-18-14



Planners  
 Surveyors  
 Engineers  
 Landscape Architects

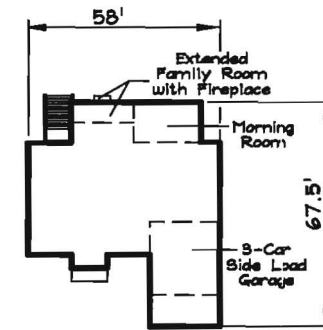
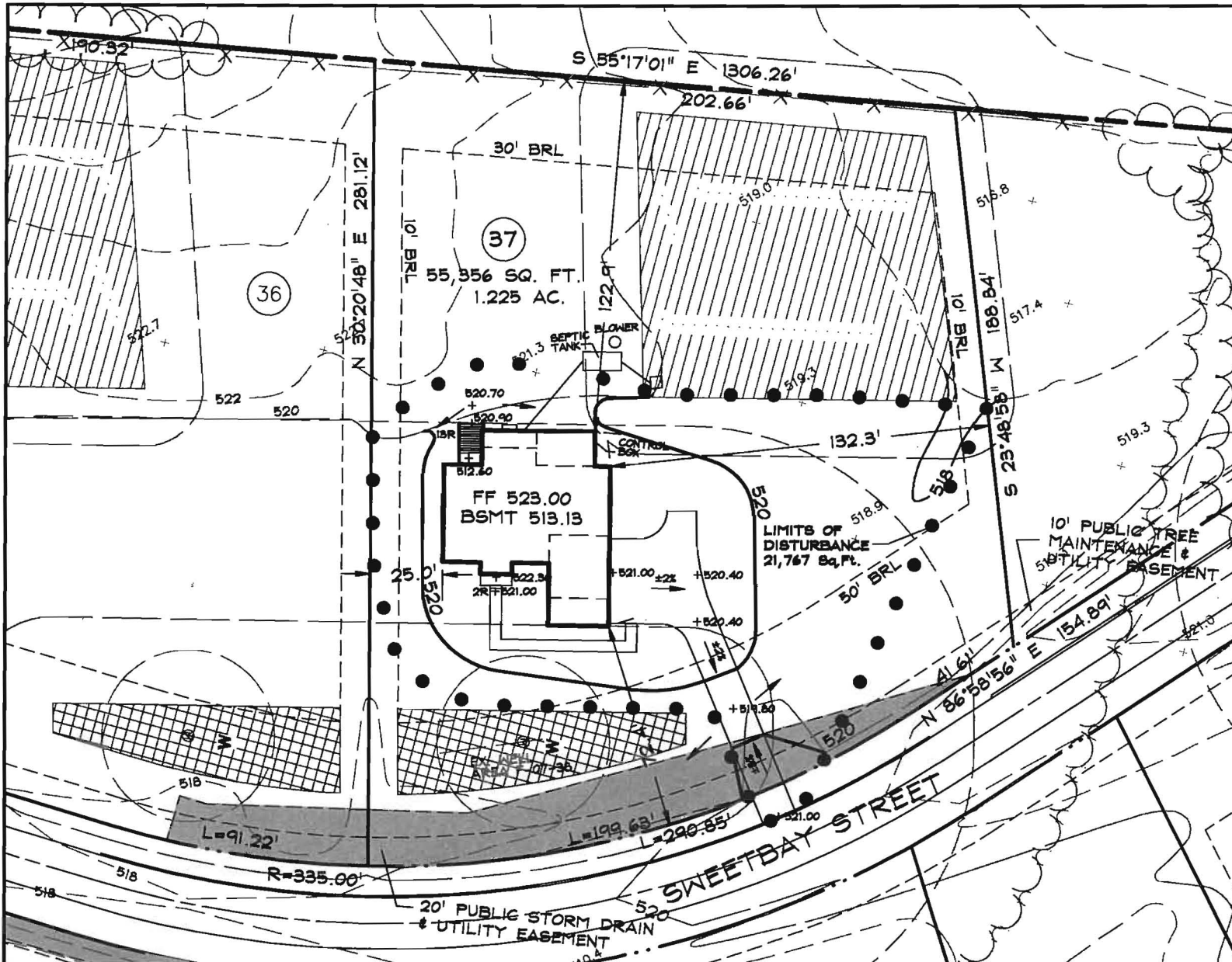
192 East Main Street  
 Westminster, MD 21157  
 410.386.0560  
 410.386.0564 (Fax)  
 DDC@DDCinc.us  
 www.DDCinc.us

DDC JOB#:	06116.5
DATE:	12/05/14
SCALE:	1" = 50'
DES. BY:	BKC
DRN. BY:	BKC
CHK. BY:	BKC

**BELLE HAVEN ESTATES**  
 3rd ELECTION DISTRICT HOWARD COUNTY, MD  
 TAX MAP 14, PARCEL 66

LOT 37  
 15246 SWEETBAY STREET  
 WOODBINE, MD 21797  
 PLOT PLAN  
 KHOV ELEVATION

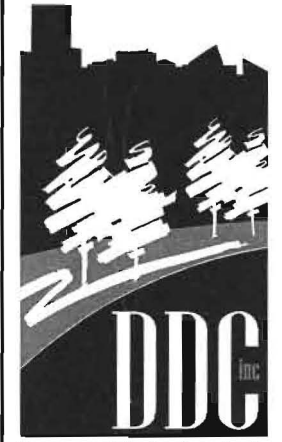
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 1802 Brightseat Road  
 Landover, Maryland 20785  
 (301)683-6268



BOULDER  
ELEVATION 'H'  
BRICK FRONT

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Development Design Consultants

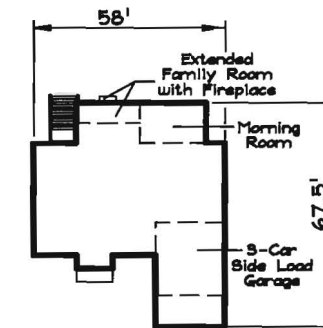
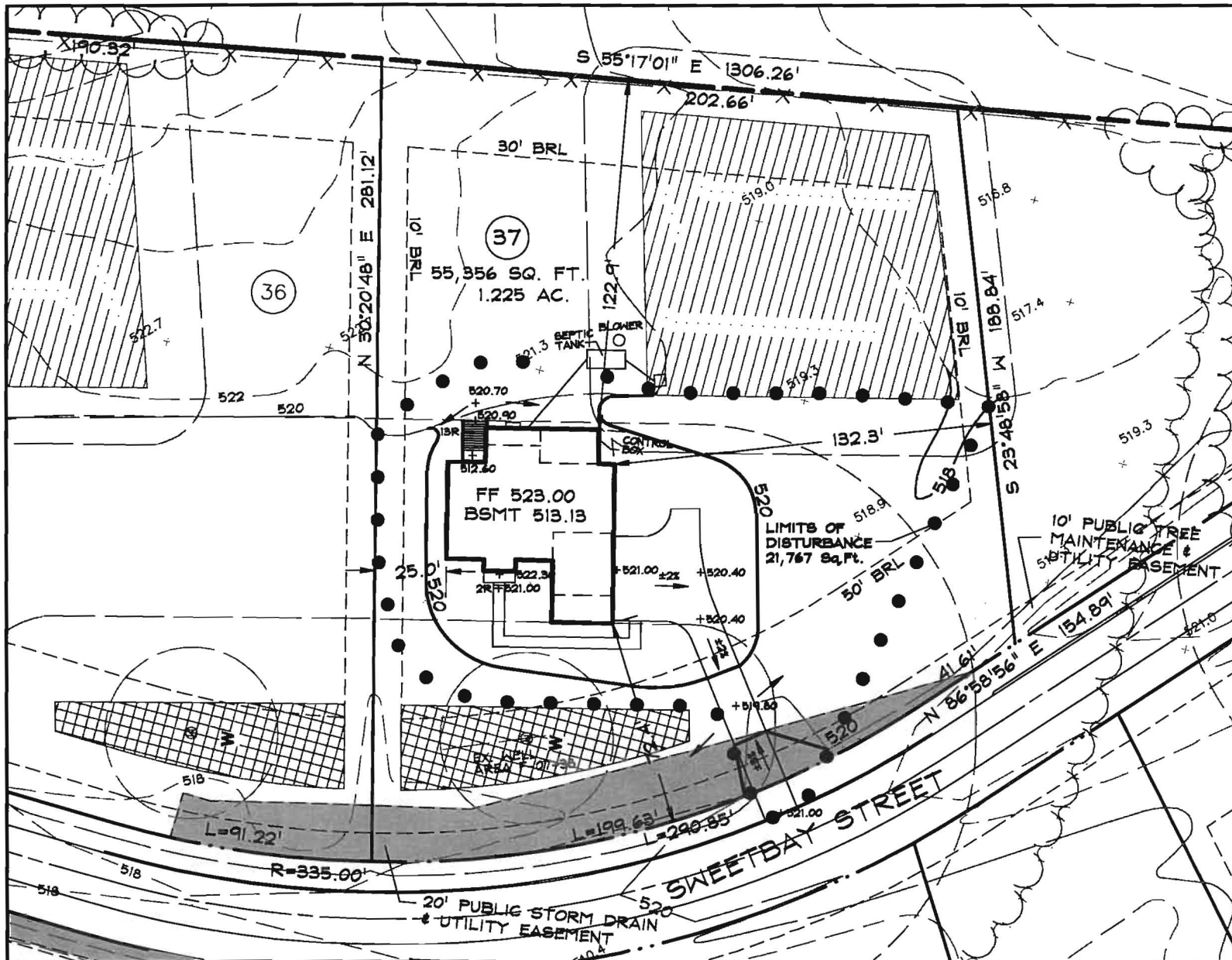
Planners  
Surveyors  
Engineers  
Landscape Architects  
  
192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

<b>DDC JOB#:</b>	06116.5
<b>DATE:</b>	12/05/14
<b>SCALE:</b>	1" = 50'
<b>DES. BY:</b>	BKC
<b>DRN. BY:</b>	BKC
<b>CHK. BY:</b>	BKC

**BELLE HAVEN ESTATES**  
3rd ELECTION DISTRICT HOWARD COUNTY, MD  
TAX MAP 14, PARCEL 66

LOT 37  
15246 SWEETBAY STREET  
WOODBINE, MD 21797  
PLOT PLAN  
KHOV ELEVATION

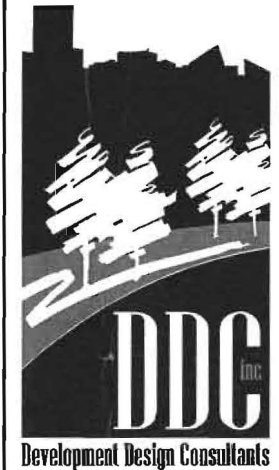
OWNER/BUILDER: K.HOVNANIAN HOMES  
1802 Brightseat Road  
Lanover, Maryland 20785  
(301)683-6268



BOULDER  
ELEVATION 'H'  
BRICK FRONT

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4. A DRIVEWAY CULVERT IS NOT REQUIRED PER THE APPROVED ROAD DRAWINGS F-07-38.
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6. AT ANY TIME IN THE FUTURE THAT A BUILDING PERMIT IS SUBMITTED TO FINISH THE AREA CURRENTLY IDENTIFIED AS OPTIONAL DEN, THEN A SEPTIC SYSTEM UPGRADE WILL BE REQUIRED AS FINISHING THE OPTIONAL DEN CREATES A FIFTH BEDROOM PER HOWARD COUNTY CODE 3.801(B).



Planners  
Surveyors  
Engineers  
Landscape Architects  
192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us

**DDC JOB#:** 06116.5

**DATE:** 12/05/14

**SCALE:** 1" = 50'

**DES. BY:** BKC

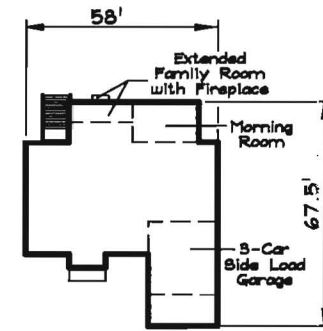
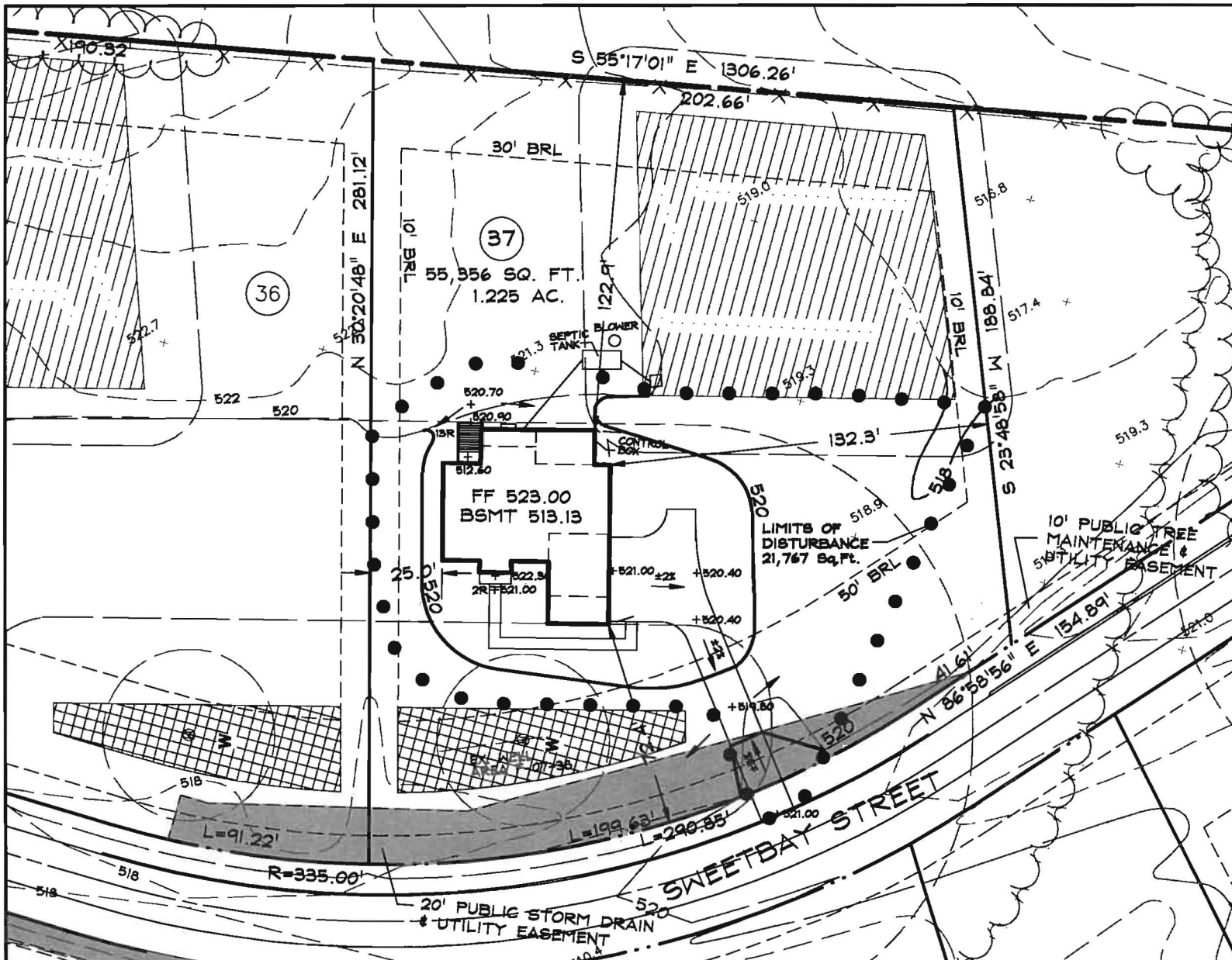
**DRN. BY:** BKC

**CHK. BY:** BKC

**BELLE HAVEN ESTATES**  
3rd ELECTION DISTRICT HOWARD COUNTY, MD  
TAX MAP 14, PARCEL 66

LOT 37  
15246 SWEETBAY STREET  
WOODBINE, MD 21797  
PLOT PLAN  
KHOV ELEVATION

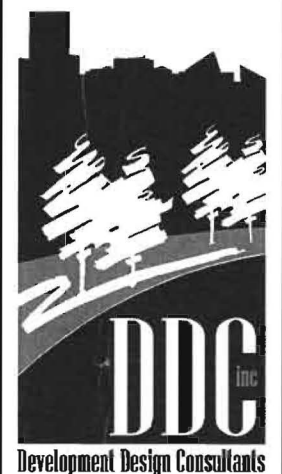
OWNER/BUILDER: K.HOVNANIAN HOMES  
1802 Brightseat Road  
Landover, Maryland 20785  
(301)683-6268



BOULDER  
ELEVATION 'H'  
BRICK FRONT

**GENERAL NOTES**

1. THE EXISTING WELL SHOWN ON THIS PLAN (HO-95-0645) HAS BEEN LOCATED BY DDC, PROFESSIONAL LAND SURVEYOR, AND IS ACCURATELY SHOWN.
2. BASE SQUARE FOOTAGE OF HOUSE: 3,876 sq.ft.  
NUMBER OF BEDROOMS: 4
3. INFORMATION SHOWN ON THIS PLAN BASED ON PLANS PREPARED BY DMW DATED 6/25/07. EXISTING TOPOGRAPHY BASED ON GRADING PLAN PREPARED BY DEMARIO DESIGN CONSULTANTS DATED 7/9/07 AND FIELD RUN TOPOGRAPHY PREPARED BY DDC INC IN JAN. 2012
4. A DRIVEWAY CULVERT IS NOT REQUIRED PER THE APPROVED ROAD DRAWINGS F-07-38.
5. EJECTOR PUMP REQUIRED TO SEWER BASEMENT.
6. AT ANY TIME IN THE FUTURE THAT A BUILDING PERMIT IS SUBMITTED TO FINISH THE AREA CURRENTLY IDENTIFIED AS OPTIONAL DEN, THEN A SEPTIC SYSTEM UPGRADE WILL BE REQUIRED AS FINISHING THE OPTIONAL DEN CREATES A FIFTH BEDROOM PER HOWARD COUNTY CODE 3.801(B).



Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDGinc.us  
www.DDGinc.us

<b>DDC JOB#:</b>	06116.5
<b>DATE:</b>	12/05/14
<b>SCALE:</b>	1" = 50'
<b>DES. BY:</b>	BKC
<b>DRN. BY:</b>	BKC
<b>CHK. BY:</b>	BKC

**BELLE HAVEN ESTATES**  
3rd ELECTION DISTRICT HOWARD COUNTY, MD  
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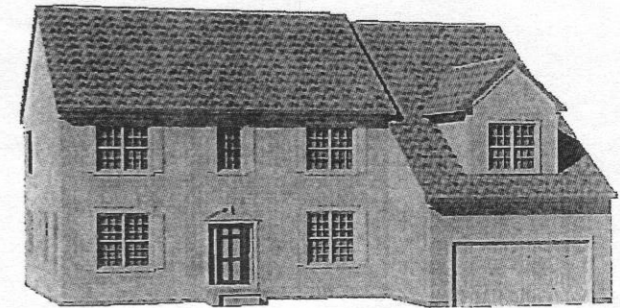
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O11.3E	2 CAR SIDE LOAD GARAGE FORM E
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O12.3E	3 CAR SIDE LOAD GARAGE FORMS ES, ET, EB & ROOF PLAN
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O13.3C	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM C
O13.3D	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM D
O13.3E	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM E
O13.3F	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM F
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E1.3D	FORM D - FULL BASEMENT ELECTRICAL PLANS
E1.3E	FORM E - FULL BASEMENT ELECTRICAL PLANS
E1.3F	FORM F - FULL BASEMENT ELECTRICAL PLANS
E1.3G	FORM G - FULL BASEMENT ELECTRICAL PLANS
E1.3H	FORM H - FULL BASEMENT ELECTRICAL PLANS
E1.3J	FORM J - FULL BASEMENT ELECTRICAL PLANS
E2.3A	FLOOR PLANS FORM A ELECTRICAL
E2.3B	FLOOR PLANS FORM B ELECTRICAL
E2.3C	FLOOR PLANS FORM C ELECTRICAL
E2.3D	FLOOR PLANS FORM D ELECTRICAL
E2.3E	FLOOR PLANS FORM E ELECTRICAL
E2.3F	FLOOR PLANS FORM F ELECTRICAL
E2.3G	FLOOR PLANS FORM G ELECTRICAL
E2.3H	FLOOR PLANS FORM H ELECTRICAL
E2.3J	FLOOR PLANS FORM J ELECTRICAL
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P1.3	PLUMBING RISER
Masterset: MW	
MW1	MILLWORK SCHEDULE
Masterset: RL	
RL-1	REVISION LOG

NOTE: 12/10/14:  
 AT ANY TIME IN THE FUTURE THAT A BUILDING PERMIT IS SUBMITTED TO FINISH THE AREA CURRENT IDENTIFIED AS OPTIONAL DEN (SEE PAGE A1.3H2), THEN A SEPTIC SYSTEM UPGRADE WILL BE REQUIRED AS FINISHING THE OPTIONAL DEN CREATES A FIFTH BEDROOM PER HOWARD COUNTY CODE 3.301(B)

THE BOULDER  
 MARYLAND MASTER SET  
 E1#:5054

AREA & VOLUME COMPUTATION	AREA IN SQUARE FEET	VOLUME IN CUBIC FEET				
		8' BASEMENT	9' BASEMENT	8'-0" CLING.	9'-0" CLING.	GARAGE
FULL BASEMENT FORM (A) (B) (C)	1882	16938	18820			
FULL BASEMENT FORM (D) (E) (F)	1904	17136	19040			
FULL BASEMENT FORM (G)	1958	17622	19580			
FULL BASEMENT FORM (H)	1926	17334	19260			
FULL BASEMENT FORM (J)	1928	17352	19280			
FINISHED BASEMENT FORM (A) (B) (C)	1083	9747	10830			
FINISHED BASEMENT FORM (D) (E) (F)	1083	9747	10830			
FINISHED BASEMENT FORM (G)	1083	9747	10830			
FINISHED BASEMENT FORM (H)	1083	9747	10830			
FINISHED BASEMENT FORM (J)	1083	9747	10830			
FIRST FLOOR LIVING (A) (B) (C)	1882			19365		
FIRST FLOOR LIVING (D) (E) (F)	1904			19611		
FIRST FLOOR LIVING (G)	1958			20167		
FIRST FLOOR LIVING (H)	1926			19938		
FIRST FLOOR LIVING (J)	1928			19958		
SECOND FLOOR LIVING (A) (B) (C)	1753		14164	15917	13500	
SECOND FLOOR LIVING (D) (E) (F)	1753		14164	15917	13500	
SECOND FLOOR LIVING (G)	1835		14827	16662	14144	
SECOND FLOOR LIVING (H)	1832		15611	17543	14888	
SECOND FLOOR LIVING (J)	1781		14390	16171	13956	
GARAGE	456				4788	2052
REAR STRUCTURAL OPTIONS:						
MORNING ROOM LIVING	+249	+2241	+2490	+2565	+498	
@ FULL BASEMENT	+249	+2241	+2490			
MORNING & FAMILY ROOM EXT.	+360	+3240	+3600	+3708	+720	
@ FULL BASEMENT	+360	+3240	+3600			
BEDROOM 5 @ FLEX ROOM	+75	+675	+750	+773	+113	
@ FULL BASEMENT	+75	+675	+750			
1ST FLOOR SUITE 2	+393	+3537	+3930	+4048	+1769	
@ FULL BASEMENT	+393	+3537	+3930			
1ST FLOOR SUITE 1	+378	+3402	+3780	+3893	+567	
@ FULL BASEMENT	+378	+3402	+3780			
CONSERVATORY	+252	+2268	+2520	+2598	+756	
@ FULL BASEMENT	+252	+2268	+2520			
EXTENDED OWNER'S SUITE FORM (A) (B) (C)	+178		+1438	+1616	+846	
EXTENDED OWNER'S SUITE FORM (D) (E) (F)	+178		+1438	+1616	+846	
EXTENDED OWNER'S SUITE FORM (G)	+151		+1220	+1371	+717	
3 CAR SIDE LOAD GARAGE	+210			+2205	+945	
TOTAL STANDARD LIVING FORM (A) (B) (C)	3635					
TOTAL STANDARD LIVING FORM (D) (E) (F)	3657					
TOTAL STANDARD LIVING FORM (G)	3793					
TOTAL STANDARD LIVING FORM (H)	3858					
TOTAL STANDARD LIVING FORM (J)	3709					



CODE CONFORMANCE NOTES

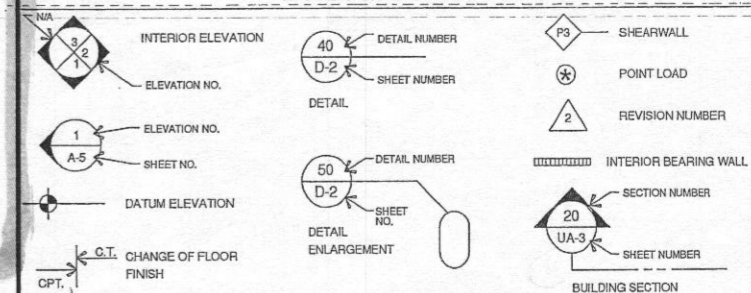
2012 IRC, 2012 IECC  
 USE GROUP: R-5  
 CONSTRUCTION CLASSIFICATION: 5B  
 HEIGHT & AREA LIMITATIONS OF BLDG.: TWO (2) STORY 95'-0" HL  
 NFPA 13-D - INTERIOR SPRINKLER SYSTEM  
 4800 S.F. FLR. MAX.

SITE CONDITIONS

WIND SPEED	90 MPH
EXPOSURE	A
GROUND SNOW LOAD	30 LBS/SF
SOIL BEARING CAPACITY	2500 PSF
LIQUID SOIL PRESSURE	45 PCF
FROST DEPTH	36"

Health Department  
 Belle Haven  
 lot (37)  
 B14 003665

DESIGNATIONS



NO DEVIATIONS FROM THESE CONSTRUCTION DOCUMENTS WILL BE PERMITTED WITHOUT THE APPROVAL OF ARA HOVNANIAN, TOM PELLERITO, OR NICK PAPPAS

ARCHITECTS:  
 DAWN BOGGIO KORBELAK  
 LICENSE # P1808  
 110 WEST FRONT STREET  
 RED BANK, NJ 07701  
 732-363-2630

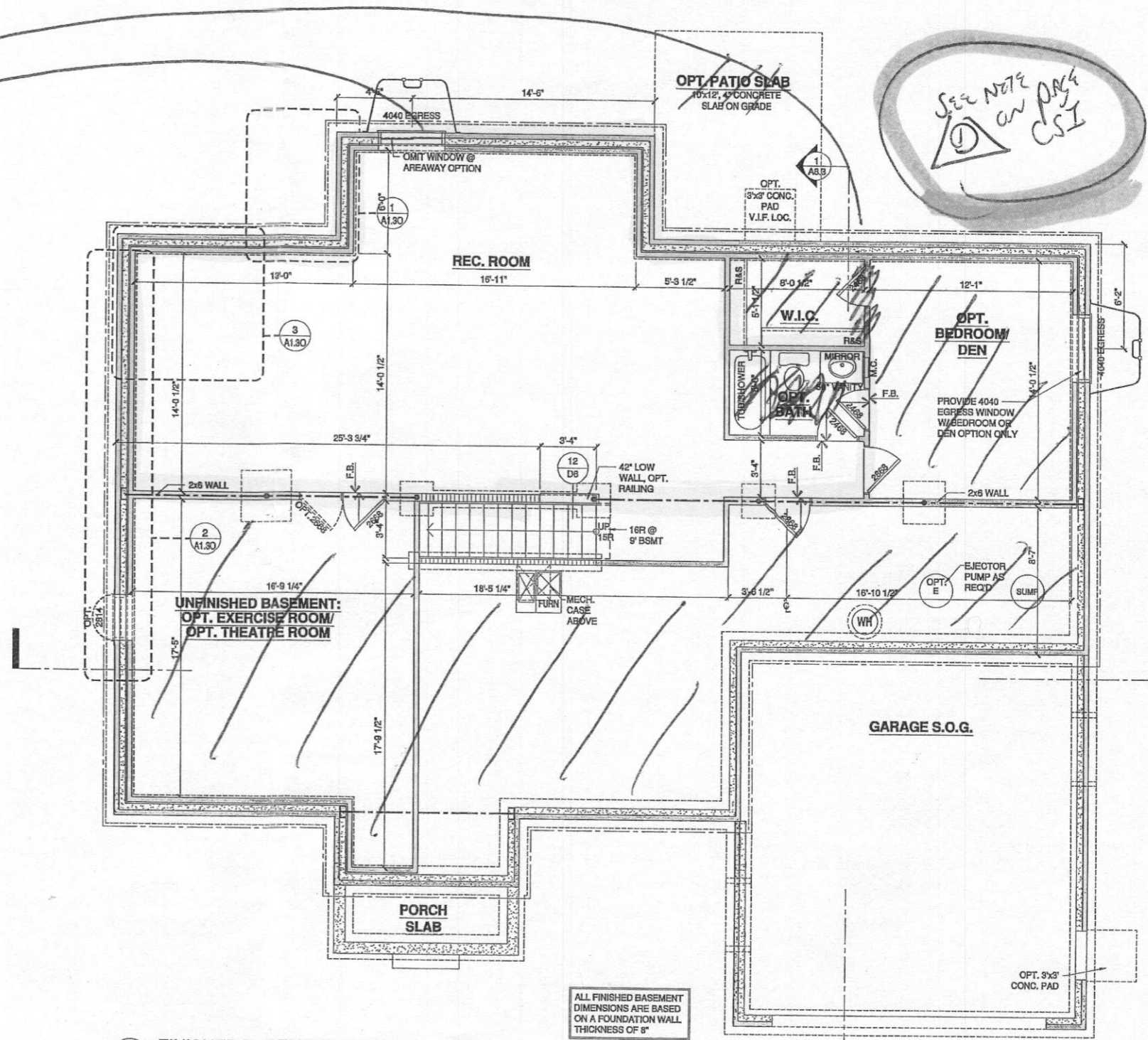
VERSION #: 001  
 RELEASE DATE: 5/7/2014  
 DRAWN BY: CB  
 SENIOR ARCHITECT: GD  
 P.L.T. DATE: 12/10/14

MODEL: 50 - BOULDER - 5054  
 DRAWING TITLE: COVER SHEET  
 SHEET NO.: CS1

DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_

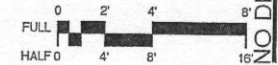
See page 02-3  
 Full Basement  
 Area under  
 exterior  
 Family Room,  
 Morning Room

See Note on page CSI



1 FINISHED BASEMENT PLAN  
 SCALE: 1/4"=1'-0"

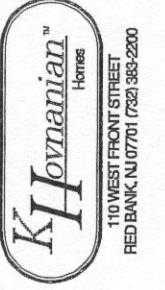
ALL FINISHED BASEMENT DIMENSIONS ARE BASED ON A FOUNDATION WALL THICKNESS OF 8"



RECEIVED  
 DEC 12 2014  
 DIVISION OF ENGINEERING AND SURVEYING  
 HONORABLE CHARLES W. WELLS, P.E., DEPT. CHIEF

NO DEVIATIONS FROM THESE CONSTRUCTION DOCUMENTS WILL BE PERMITTED WITHOUT THE APPROVAL OF ARA HOVNIANIAN, TOM PELLERITO, OR NICK PAPPAS

MODEL: 50 - BOULDER - 5054  
 SHEET: 10  
 DRAWING TITLE: FORM H - FULL FINISHED BASEMENT  
 RELEASE DATE: 5/7/2014  
 DRAWN BY: CB  
 SENIOR ARCHITECT: GD  
 IN TR. DATE: 12/11/2014



ARCHITECTS:  
 DAWN BOGGIO KORBELAK  
 LICENSE #187248  
 110 WEST FRONT ST. RED BANK, NJ 07701  
 732-383-2830

A1.3H2

DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_

DRAWING INDEX

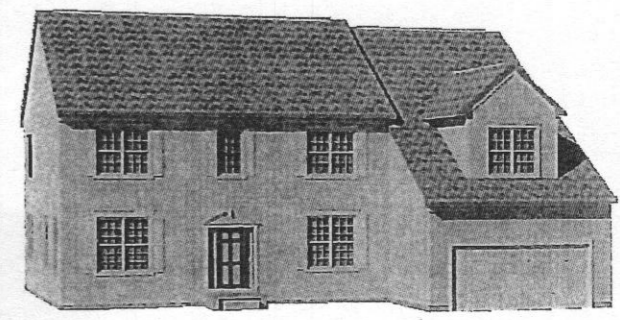
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CS2	GENERAL NOTES MARYLAND
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A1.3A2	FORM A - FULL FINISHED BASEMENT PLAN
A1.3B1	FORM BS, BT & BB FULL BASEMENT PLANS
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A1.3C1	FORM CS, CT & CB FULL BASEMENT PLANS
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A1.3D2	FORM D - FULL FINISHED BASEMENT PLAN
A1.3E1	FORM ES, ET & EB FULL BASEMENT PLANS
A1.3E2	FORM E - FULL FINISHED BASEMENT PLAN
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A1.9	FORCED WALKOUT BASEMENT PLANS
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O8.3B1	1ST FLOOR SUITE 2 FORM B - FULL BASEMENT PLANS
O8.3B2	1ST FLOOR SUITE 2 FORMS BS, BT, BB & ROOF PLAN
O8.3C1	1ST FLOOR SUITE 2 FORM C - FULL BASEMENT PLANS
O8.3C2	1ST FLOOR SUITE 2 FORMS CS, CT, CB & ROOF PLAN
O8.3D1	1ST FLOOR SUITE 2 FORM D - FULL BASEMENT PLANS
O8.3D2	1ST FLOOR SUITE 2 FORMS DS, DT, DB & ROOF PLAN
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O8.3E2	1ST FLOOR SUITE 2 FORMS ES, ET, EB & ROOF PLAN
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O8.3F2	1ST FLOOR SUITE 2 FORMS FS, FT, FB & ROOF PLAN
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O8.3G2	1ST FLOOR SUITE 2 FORMS GS, GT, GB & ROOF PLAN
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O9.3E1	CONSERVATORY FORM E 8' FULL BASEMENT PLANS
O9.3E2	CONSERVATORY FORMS ES, ET, EB & ROOF PLAN
O9.3F1	CONSERVATORY FORM F 8' FULL BASEMENT PLANS
O9.3F2	CONSERVATORY FORMS FS, FT, FB & ROOF PLAN
O9.3G1	CONSERVATORY FORM G 8' FULL BASEMENT PLANS
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O10.3C	EXTENDED OWNERS SUITE FORM C
O10.3D	EXTENDED OWNERS SUITE FORM D
O10.3E	EXTENDED OWNERS SUITE FORM E
O10.3F	EXTENDED OWNERS SUITE FORM F
O10.3G	EXTENDED OWNERS SUITE FORM G
O11.3A	2 CAR SIDE LOAD GARAGE FORM A
O11.3B	2 CAR SIDE LOAD GARAGE FORM B
O11.3C	2 CAR SIDE LOAD GARAGE FORM C
O11.3D	2 CAR SIDE LOAD GARAGE FORM D
O11.3E	2 CAR SIDE LOAD GARAGE FORM E
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O11.3G	2 CAR SIDE LOAD GARAGE FORM G
O11.3H	2 CAR SIDE LOAD GARAGE FORM H
O11.3J	2 CAR SIDE LOAD GARAGE FORM J
O12.3	3 CAR SIDE LOAD GARAGE
O12.3A	3 CAR SIDE LOAD GARAGE FORMS AS, AT, AB & ROOF PLAN
O12.3B	3 CAR SIDE LOAD GARAGE FORMS BS, BT, BB & ROOF PLAN
O12.3C	3 CAR SIDE LOAD GARAGE FORMS CS, CT, CB & ROOF PLAN
O12.3D	3 CAR SIDE LOAD GARAGE FORMS DS, DT, DB & ROOF PLAN
O12.3E	3 CAR SIDE LOAD GARAGE FORMS ES, ET, EB & ROOF PLAN
O12.3F	3 CAR SIDE LOAD GARAGE FORMS FS, FT, FB & ROOF PLAN
O12.3G	3 CAR SIDE LOAD GARAGE FORMS GS, GT, GB & ROOF PLAN
O12.3H	3 CAR SIDE LOAD GARAGE FORMS HS, HT, HB & ROOF PLAN
O13.3A	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE
O13.3B	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM B
O13.3C	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM C
O13.3D	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM D
O13.3E	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM E
O13.3F	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM F
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D3	CONCRETE DETAILS (SHEET 2 OF 9)
D3	CONCRETE DETAILS (SHEET 3 OF 9)
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SD-2	SCREEN PORCH DECK DETAILS
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S1.4	AREAWAY FOUNDATION PLANS
S2.0	STRUCTURAL FLOOR PLANS - FORM A
S2.1	STRUCTURAL FLOOR PLANS - FORMS B C D E F
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S3.0	STRUCTURAL FLOOR PLANS - FORM A
S3.2	STRUCTURAL FLOOR PLANS - FORMS B C D E F G
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E1.3D	FORM D - FULL BASEMENT ELECTRICAL PLANS
E1.3E	FORM E - FULL BASEMENT ELECTRICAL PLANS
E1.3F	FORM F - FULL BASEMENT ELECTRICAL PLANS
E1.3G	FORM G - FULL BASEMENT ELECTRICAL PLANS
E1.3H	FORM H - FULL BASEMENT ELECTRICAL PLANS
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E2.3A	FLOOR PLANS FORM A ELECTRICAL
E2.3B	FLOOR PLANS FORM B ELECTRICAL
E2.3C	FLOOR PLANS FORM C ELECTRICAL
E2.3D	FLOOR PLANS FORM D ELECTRICAL
E2.3E	FLOOR PLANS FORM E ELECTRICAL
E2.3F	FLOOR PLANS FORM F ELECTRICAL
E2.3G	FLOOR PLANS FORM G ELECTRICAL
E2.3H	FLOOR PLANS FORM H ELECTRICAL
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Masterset: P	
P1.3	PLUMBING RISER
Masterset: MW	
MW1	MILLWORK SCHEDULE
Masterset: RL	
RL-1	REVISION LOG

THE BOULDER  
MARYLAND MASTER SET  
E1#:5054

	AREA & VOLUME COMPUTATION					
	AREA IN SQUARE FEET	VOLUME IN CUBIC FEET				
	8' BASEMENT	9' BASEMENT	8'-0" CLANG	9'-0" CLANG	GARAGE	ATTIC
FULL BASEMENT FORM (A) (B) (C)	1882	16938	18820			
FULL BASEMENT FORM (D) (E) (F)	1904	17136	19040			
FULL BASEMENT FORM (G)	1958	17822	19580			
FULL BASEMENT FORM (H)	1926	17334	19260			
FULL BASEMENT FORM (J)	1928	17352	19280			
FINISHED BASEMENT FORM (A) (B) (C)	1083	9747	10830			
FINISHED BASEMENT FORM (D) (E) (F)	1083	9747	10830			
FINISHED BASEMENT FORM (G)	1083	9747	10830			
FINISHED BASEMENT FORM (H)	1083	9747	10830			
FINISHED BASEMENT FORM (J)	1083	9747	10830			
FIRST FLOOR LIVING (A) (B) (C)	1882			19385		
FIRST FLOOR LIVING (D) (E) (F)	1904			19911		
FIRST FLOOR LIVING (G)	1958			20167		
FIRST FLOOR LIVING (H)	1926			19938		
FIRST FLOOR LIVING (J)	1928			19958		
SECOND FLOOR LIVING (A) (B) (C)	1753	14164	15917	13500		
SECOND FLOOR LIVING (D) (E) (F)	1753	14164	15917	13500		
SECOND FLOOR LIVING (G)	1835	14827	16662	14144		
SECOND FLOOR LIVING (H)	1832	15611	17543	14888		
SECOND FLOOR LIVING (J)	1781	14390	16171	13956		
GARAGE	456			4788	2052	
REAR STRUCTURAL OPTIONS:						
MORNING ROOM LIVING	+249	+2241	+2490	+2565	+498	
@ FULL BASEMENT	+249	+2241	+2490			
MORNING & FAMILY ROOM EXT.	+360	+3240	+3600	+3708	+720	
@ FULL BASEMENT	+360	+3240	+3600			
BEDROOM 5 @ FLEX ROOM	+75	+675	+750	+773	+113	
@ FULL BASEMENT	+75	+675	+750			
1ST FLOOR SUITE 2	+393	+3537	+3930	+4048	+1769	
@ FULL BASEMENT	+393	+3537	+3930			
1ST FLOOR SUITE 1	+378	+3402	+3780	+3893	+567	
@ FULL BASEMENT	+378	+3402	+3780			
CONSERVATORY	+252	+2268	+2520	+2596	+756	
@ FULL BASEMENT	+252	+2268	+2520			
EXTENDED OWNER'S SUITE FORM (A) (B) (C)	+178		+1438	+1616	+846	
EXTENDED OWNER'S SUITE FORM (D) (E) (F)	+178		+1438	+1616	+846	
EXTENDED OWNER'S SUITE FORM (G)	+151		+1220	+1371	+717	
3 CAR SIDE LOAD GARAGE	+210			+2205	+945	
TOTAL STANDARD LIVING FORM (A) (B) (C)	3635					
TOTAL STANDARD LIVING FORM (D) (E) (F)	3657					
TOTAL STANDARD LIVING FORM (G)	3793					
TOTAL STANDARD LIVING FORM (H)	3858					
TOTAL STANDARD LIVING FORM (J)	3709					

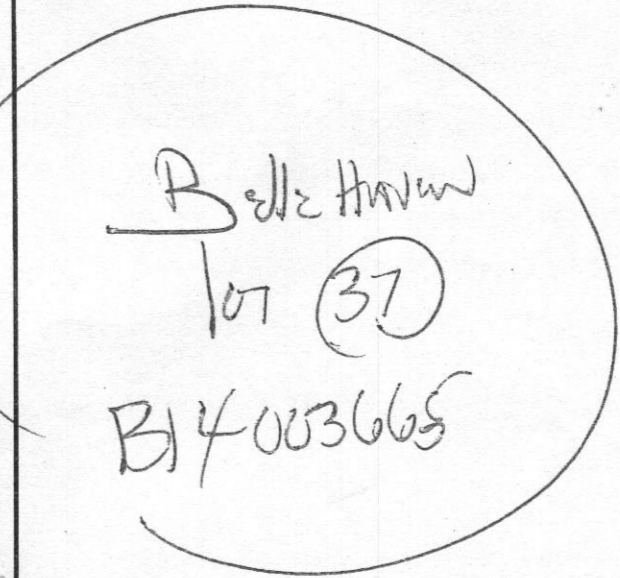


CODE CONFORMANCE NOTES

2012 IRC, 2012 IECC  
USE GROUP: R-5  
CONSTRUCTION CLASSIFICATION: 5B  
HEIGHT & AREA LIMITATIONS OF BLDG.: TWO (2) STORY 35'-0" H. 4800 S.F./FLR MAX.  
NFPA 13-D - INTERIOR SPRINKLER SYSTEM

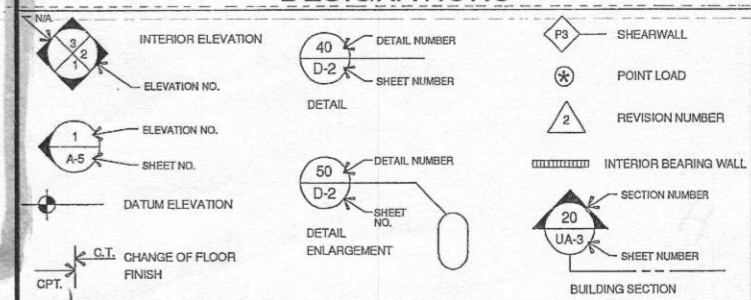
SITE CONDITIONS

WIND SPEED	90 MPH
EXPOSURE	A
GROUND SNOW LOAD	30 LBS/SF
SOIL BEARING CAPACITY	2500 PSF
LIQUID SOIL PRESSURE	45 PCF
FROST DEPTH	36"



NOTE: 12/10/14:  
A BUILDING PERMIT IS SUBMITTED TO FINISH THE AREA CURRENT IDENTIFIED AS OPTIONAL DEN (SEE PAGE A1.3H2), THAT A SEPTIC SYSTEM UPGRADE WILL BE REQUIRED AS FINISHING THE OPTIONAL DEN CREATES A FIFTH BEDROOM PER HOWARD COUNTY CODE 3.801(B)

DESIGNATIONS



NO DEVIATIONS FROM THESE CONSTRUCTION DOCUMENTS WILL BE PERMITTED WITHOUT THE APPROVAL OF ARA HOVNANIAN, TOM PELLERITO, OR NICK PAPPAS

ARCHITECTS:  
DAWN BOGGIO KORBELAK  
LICENSE # 10748  
110 WEST FRONT ST. RED BANK, NJ 07701  
732-955-2620

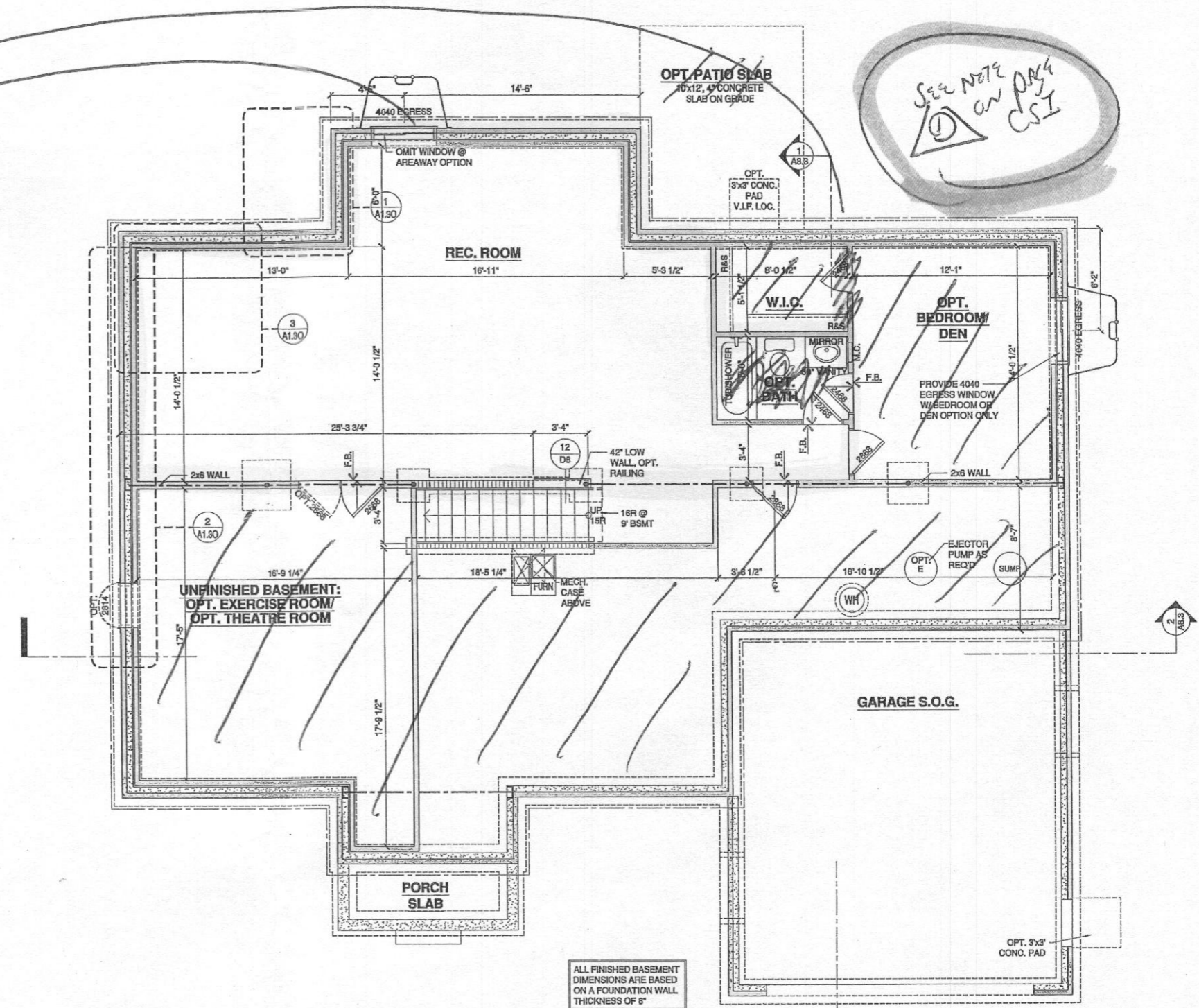
HOME STYLE: 50 - BOULDER - 5054  
DRAWING TITLE: COVER SHEET  
MODEL: CS1

VERSION #: 001  
RELEASE DATE: 5/7/2014  
DRAWN BY: CB  
SENIOR ARCHITECT: GB  
DATE: 12/10/14

DATE: \_\_\_\_\_

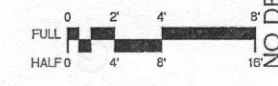
See  
PAGE 02-3  
FOR  
BASMENT  
AREA UNDER  
EXTENDED  
FAMILY ROOM,  
MORNING ROOM

See NOTE on PAGE 02-3  
CSI



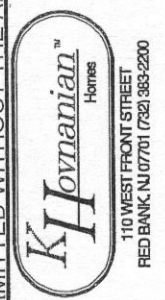
1 FINISHED BASEMENT PLAN  
SCALE: 1/4"=1'-0"

ALL FINISHED BASEMENT DIMENSIONS ARE BASED ON A FOUNDATION WALL THICKNESS OF 6"



NO DEVIATIONS FROM THESE CONSTRUCTION DOCUMENTS WILL BE PERMITTED WITHOUT THE APPROVAL OF ARA HOVNIANIAN, TOM PELLERITO, OR NICK PAPPAS

ARCHITECTS:  
DAWN BOGGIO KORBELAK  
LICENSE # 16748  
110 WEST FRONT ST., RED BANK, N.J. 07701  
732-993-3630



HOME STYLE	VERSION #
RELEASE #	001
RELEASE DATE	5/7/2014
DRAWN BY	CB
SENIOR ARCHITECT	CD
IN TO DATE	1/2/2014

PLAN  
FORM H - FULL  
FINISHED BASEMENT

A1.3H2

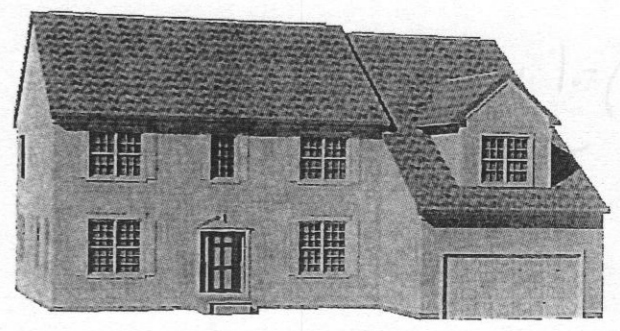
DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

# THE BOULDER

## MARYLAND MASTER SET

### E1#:5054



### CODE CONFORMANCE NOTES

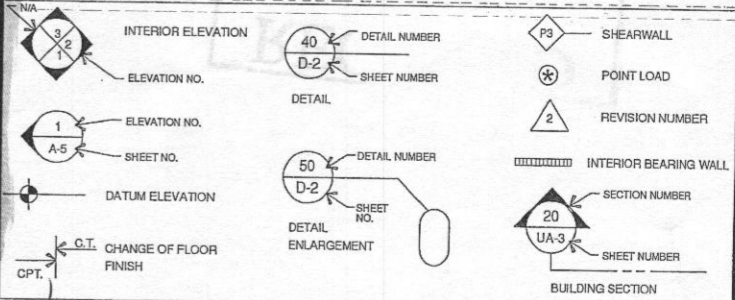
2012 IRC, 2012 IECC  
 USE GROUP R-5  
 CONSTRUCTION CLASSIFICATION 5B  
 HEIGHT & AREA LIMITATIONS OF BLDG. TWO (2) STORY 35'-0" H.  
 NFPA 13-D - INTERIOR SPRINKLER SYSTEM 4800 S.F. FLR MAX.

### SITE CONDITIONS

WIND SPEED	90 MPH
EXPOSURE	A
GROUND SNOW LOAD	30 LBS/SF
SOIL BEARING CAPACITY	2500 PSF
LIQUID SOIL PRESSURE	45 PCF
FROST DEPTH	36"

*Bellevue  
 lot (37)  
 B14003665*

### DESIGNATIONS



Sheet Number	Sheet Title
CS1	COVER SHEET
CS2	GENERAL NOTES MARYLAND
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A1.3A1	FORM AS, AT & AB FULL BASEMENT PLANS
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A1.9	FORCED WALKOUT BASEMENT PLANS
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A3.3C	FORM CS, CT & CB SECOND FLOOR PLANS
A3.3D	FORM DS, DT & DB SECOND FLOOR PLANS
A3.3E	FORM ES, ET & EB SECOND FLOOR PLANS
A3.3F	FORM FS, FT & FB SECOND FLOOR PLANS
A3.3G1	FORM GS SECOND FLOOR PLANS
A3.3G2	FORMS GB & GT SECOND FLOOR PLAN
A3.3H	FORM HS, HT & HB SECOND FLOOR PLANS
A3.3J1	FORM JS SECOND FLOOR PLAN
A3.3J2	FORMS JT & JB SECOND FLOOR PLANS
Masterset: A5	
A5.3A1	FORM AS & ROOF PLAN
A5.3A2	FORM AB & AT
A5.3B1	FORM BS & ROOF PLAN
A5.3B2	FORM BB & BT
A5.3C1	FORM CS & ROOF PLAN
A5.3C2	FORM CB & CT
A5.3D1	FORM DS & ROOF PLAN
A5.3D2	FORM DB & DT
A5.3E1	FORM ES & ROOF PLAN
A5.3E2	FORM EB & ET
A5.3F1	FORM FS & ROOF PLAN
A5.3F2	FORM FB & FT
A5.3G1	FORM GS & ROOF PLAN
A5.3G2	FORM GB & GT
A5.3H1	FORM HS & ROOF PLAN
A5.3H2	FORM HB & HT
A5.3J1	FORM JS & ROOF PLAN
A5.3J2	FORM JB & JT
Masterset: A8	
A8.3	BUILDING SECTIONS
Masterset: I	
I-1.3	INTERIOR ELEVATIONS
Masterset: O	
O1.01	MINOR PLAN OPTIONS
O1.02	MINOR PLAN OPTIONS
O1.3	MORNING ROOM - FULL BASEMENT PLANS
O1.9	MORNING ROOM - FORCED WALKOUT BASEMENT PLANS
O2.3	MORNING RM. & EXT. FAM. RM. 8' FULL BASEMENT PLANS
O2.9	MORNING RM. & EXT. FAM. RM. 8' FORCED WALKOUT PLANS
O3.3	COVERED PORCH

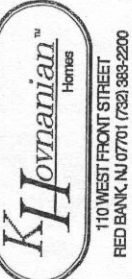
O4.3	MORNING ROOM & COVERED PORCH
O5.3	MORNING ROOM & EXTENDED FAMILY RM. & COVERED PORCH
O6.3	BEDROOM 5 - FULL BASEMENT PLANS
O6.9	BEDROOM 5 - FORCED WALKOUT BASEMENT PLANS
O7.3	1ST FLOOR SUITE 1 - FULL BASEMENT PLANS
O7.9	1ST FLOOR SUITE 1 - FORCED WALKOUT BASEMENT PLANS
O8.3A1	1ST FLOOR SUITE 2 - FORM A - FULL BASEMENT PLANS
O8.3A2	1ST FLOOR SUITE 2 FORMS AS, AT, AB & ROOF PLAN
O8.3B1	1ST FLOOR SUITE 2 FORM B - FULL BASEMENT PLANS
O8.3B2	1ST FLOOR SUITE 2 FORMS BS, BT, BB & ROOF PLAN
O8.3C1	1ST FLOOR SUITE 2 FORM C - FULL BASEMENT PLANS
O8.3C2	1ST FLOOR SUITE 2 FORMS CS, CT, CB & ROOF PLAN
O8.3D1	1ST FLOOR SUITE 2 FORM D - FULL BASEMENT PLANS
O8.3D2	1ST FLOOR SUITE 2 FORMS DS, DT, DB & ROOF PLAN
O8.3E1	1ST FLOOR SUITE 2 FORM E - FULL BASEMENT PLANS
O8.3E2	1ST FLOOR SUITE 2 FORMS ES, ET, EB & ROOF PLAN
O8.3F1	1ST FLOOR SUITE 2 FORM F 8' FULL BASEMENT PLANS
O8.3F2	1ST FLOOR SUITE 2 FORMS FS, FT, FB & ROOF PLAN
O8.3G1	1ST FLOOR SUITE 2 FORM G - FULL BASEMENT PLANS
O8.3G2	1ST FLOOR SUITE 2 FORMS GS, GT, GB & ROOF PLAN
O8.3H1	1ST FLOOR SUITE 2 FORM H - FULL BASEMENT PLANS
O8.3H2	1ST FLOOR SUITE 2 FORMS HS, HT, HB & ROOF PLAN
O8.3J1	1ST FLOOR SUITE 2 FORM J - FULL BASEMENT PLANS
O8.3J2	1ST FLOOR SUITE 2 FORMS JS, JT, JB & ROOF PLAN
O8.9	1ST FLOOR SUITE 2 - FORCED WALKOUT BASEMENT PLANS
O9.3A1	CONSERVATORY FORM A - FULL BASEMENT PLANS
O9.3A2	CONSERVATORY FORMS AS, AT, AB & ROOF PLAN
O9.3B1	CONSERVATORY FORM B 8' FULL BASEMENT PLANS
O9.3B2	CONSERVATORY FORMS BS, BT, BB & ROOF PLAN
O9.3C1	CONSERVATORY FORM C 8' FULL BASEMENT PLANS
O9.3C2	CONSERVATORY FORMS CS, CT, CB & ROOF PLAN
O9.3D1	CONSERVATORY FORM D 8' FULL BASEMENT PLANS
O9.3D2	CONSERVATORY FORMS DS, DT, DB & ROOF PLAN
O9.3E1	CONSERVATORY FORM E 8' FULL BASEMENT PLANS
O9.3E2	CONSERVATORY FORMS ES, ET, EB & ROOF PLAN
O9.3F1	CONSERVATORY FORM F 8' FULL BASEMENT PLANS
O9.3F2	CONSERVATORY FORMS FS, FT, FB & ROOF PLAN
O9.3G1	CONSERVATORY FORM G 8' FULL BASEMENT PLANS
O9.3G2	CONSERVATORY FORMS GS, GT, GB & ROOF PLAN
O9.3H1	CONSERVATORY FORM H 8' FULL BASEMENT PLANS
O9.3H2	CONSERVATORY FORMS HS, HT, HB & ROOF PLAN
O9.3J1	CONSERVATORY FORM J 8' FULL BASEMENT PLANS
O9.3J2	CONSERVATORY FORMS JS, JT, JB & ROOF PLAN
O9.9	CONSERVATORY FORCED WALKOUT BASEMENT PLANS
O10.3A	EXTENDED OWNERS SUITE FORM A
O10.3B	EXTENDED OWNERS SUITE FORM B
O10.3C	EXTENDED OWNERS SUITE FORM C
O10.3D	EXTENDED OWNERS SUITE FORM D
O10.3E	EXTENDED OWNERS SUITE FORM E
O10.3F	EXTENDED OWNERS SUITE FORM F
O10.3G	EXTENDED OWNERS SUITE FORM G
O11.3A	2 CAR SIDE LOAD GARAGE FORM A
O11.3B	2 CAR SIDE LOAD GARAGE FORM B
O11.3C	2 CAR SIDE LOAD GARAGE FORM C
O11.3D	2 CAR SIDE LOAD GARAGE FORM D
O11.3E	2 CAR SIDE LOAD GARAGE FORM E
O11.3F	2 CAR SIDE LOAD GARAGE FORM F
O11.3G	2 CAR SIDE LOAD GARAGE FORM G
O11.3H	2 CAR SIDE LOAD GARAGE FORM H
O11.3J	2 CAR SIDE LOAD GARAGE FORM J
O12.3	3 CAR SIDE LOAD GARAGE
O12.3A	3 CAR SIDE LOAD GARAGE FORMS AS, AT, AB & ROOF PLAN
O12.3B	3 CAR SIDE LOAD GARAGE FORMS BS, BT, BB & ROOF PLAN
O12.3C	3 CAR SIDE LOAD GARAGE FORMS CS, CT, CB & ROOF PLAN
O12.3D	3 CAR SIDE LOAD GARAGE FORMS DS, DT, DB & ROOF PLAN
O12.3E	3 CAR SIDE LOAD GARAGE FORMS ES, ET, EB & ROOF PLAN
O12.3F	3 CAR SIDE LOAD GARAGE FORMS FS, FT, FB & ROOF PLAN
O12.3G	3 CAR SIDE LOAD GARAGE FORMS GS, GT, GB & ROOF PLAN
O12.3H	3 CAR SIDE LOAD GARAGE FORMS HS, HT, HB & ROOF PLAN
O13.3A	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM B
O13.3B	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM C
O13.3C	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM D
O13.3D	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM E
O13.3E	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM F
O13.3F	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM G
O13.3G	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM H
Masterset: D - MD	
D3	CONCRETE DETAILS (SHEET 1 OF 3)

D3	CONCRETE DETAILS (SHEET 2 OF 3)
D3	CONCRETE DETAILS (SHEET 3 OF 3)
D6	WOOD & PLASTICS DETAILS (SHEET 1 OF 2)
D6	WOOD & PLASTICS DETAILS (SHEET 2 OF 2)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 1 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 2 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 3 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 4 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 5 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 6 OF 6)
D10	SPECIALTIES DETAILS (SHEET 1 OF 7)
D10	SPECIALTIES DETAILS (SHEET 2 OF 7)
D10	SPECIALTIES DETAILS (SHEET 3 OF 7)
D10	SPECIALTIES DETAILS (SHEET 4 OF 7)
D10	SPECIALTIES DETAILS (SHEET 5 OF 7)
D10	SPECIALTIES DETAILS (SHEET 6 OF 7)
D10	SPECIALTIES DETAILS (SHEET 7 OF 7)
Masterset: S - MD	
SN-1	STRUCTURAL NOTES
SD-1	STRUCTURAL BRACING NOTES
SD-2	SCREEN PORCH DECK DETAILS
SWB1	SHEARWALL SCHEDULE
S1.0	STRUCTURAL FLOOR PLANS - FORMS A B
S1.1	STRUCTURAL DETAILS
S1.2	STRUCTURAL FLOOR PLANS - FORMS C D E F G
S1.3	STRUCTURAL FLOOR PLANS - FORMS H J
S1.4	AREAWAY FOUNDATION PLANS
S2.0	STRUCTURAL FLOOR PLANS - FORM A
S2.1	STRUCTURAL FLOOR PLANS - FORMS B C D E F
S2.2	STRUCTURAL FLOOR PLANS - FORMS G H J
S3.0	STRUCTURAL FLOOR PLANS - FORM A
S3.2	STRUCTURAL FLOOR PLANS - FORMS B C D E F G
S3.3	STRUCTURAL FLOOR PLANS - FORMS H J
S4.0	STRUCTURAL FLOOR PLANS - WALKOUT BASEMENT
S5.0	STRUCTURAL FLOOR PLANS - MORNING ROOM
S6.0	STRUCTURAL FLOOR PLANS - MORNING RM. & EXTENDED FAMILY RM.
S7.0	STRUCTURAL FLOOR PLANS - REAR OPTIONS
S8.0	STRUCTURAL FLOOR PLANS - GARAGE OPTIONS
S9.0	STRUCTURAL FLOOR PLANS - SIDE OPTIONS
S10.0	STRUCTURAL FLOOR PLANS - SIDE OPTIONS
Masterset: E	
ELECTRICAL SPECIFICATIONS	
E1.3A	FORM A - FULL BASEMENT ELECTRICAL PLANS
E1.3B	FORM B - FULL BASEMENT ELECTRICAL PLANS
E1.3C	FORM C - FULL BASEMENT ELECTRICAL PLANS
E1.3D	FORM D - FULL BASEMENT ELECTRICAL PLANS
E1.3E	FORM E - FULL BASEMENT ELECTRICAL PLANS
E1.3F	FORM F - FULL BASEMENT ELECTRICAL PLANS
E1.3G	FORM G - FULL BASEMENT ELECTRICAL PLANS
E1.3H	FORM H - FULL BASEMENT ELECTRICAL PLANS
E1.3J	FORM J - FULL BASEMENT ELECTRICAL PLANS
E2.3A	FLOOR PLANS FORM A ELECTRICAL
E2.3B	FLOOR PLANS FORM B ELECTRICAL
E2.3C	FLOOR PLANS FORM C ELECTRICAL
E2.3D	FLOOR PLANS FORM D ELECTRICAL
E2.3E	FLOOR PLANS FORM E ELECTRICAL
E2.3F	FLOOR PLANS FORM F ELECTRICAL
E2.3G	FLOOR PLANS FORM G ELECTRICAL
E2.3H	FLOOR PLANS FORM H ELECTRICAL
E2.3J	FLOOR PLANS FORM J ELECTRICAL
E-1.01	ELECTRICAL PLANS - MINOR PLAN OPTIONS
Masterset: P	
P1.3	PLUMBING RISER
Masterset: MW	
MW1	MILLWORK SCHEDULE
Masterset: RL	
RL-1	REVISION LOG

*NOTE: 12/19/14:  
 AT ANY TIME IN THE FUTURE THAT A BUILDING PERMIT IS SUBMITTED TO FINISH THE AREA CURRENT IDENTIFIED AS OPTIONAL DEN (SEE PAGE A1.3H2), THEN A SEPTIC SYSTEM UPGRADE WILL BE REQUIRED AS FINISHING THE OPTIONAL DEN CREATES A FIFTH BEDROOM PER HOWARD COUNTY CODE 3.801(B)*

NO DEVIATIONS FROM THESE CONSTRUCTION DOCUMENTS WILL BE PERMITTED WITHOUT THE APPROVAL OF ARA HOVANNIAN, TOM PELLERITO, OR NICK PAPPAS

ARCHITECTS:  
 DAWN BOGGIO KORBELAK  
 LICENSE # 19748  
 110 WEST FRONT ST. RED BANK, NJ 07701  
 732-935-2950



VERSION #: 001  
 HOME STYLE: 5054  
 RELEASE DATE: 5/7/2014  
 DRAWN BY: CS  
 SENIOR ARCHITECT: CS  
 IN T.O. DATE: 5/20/2014

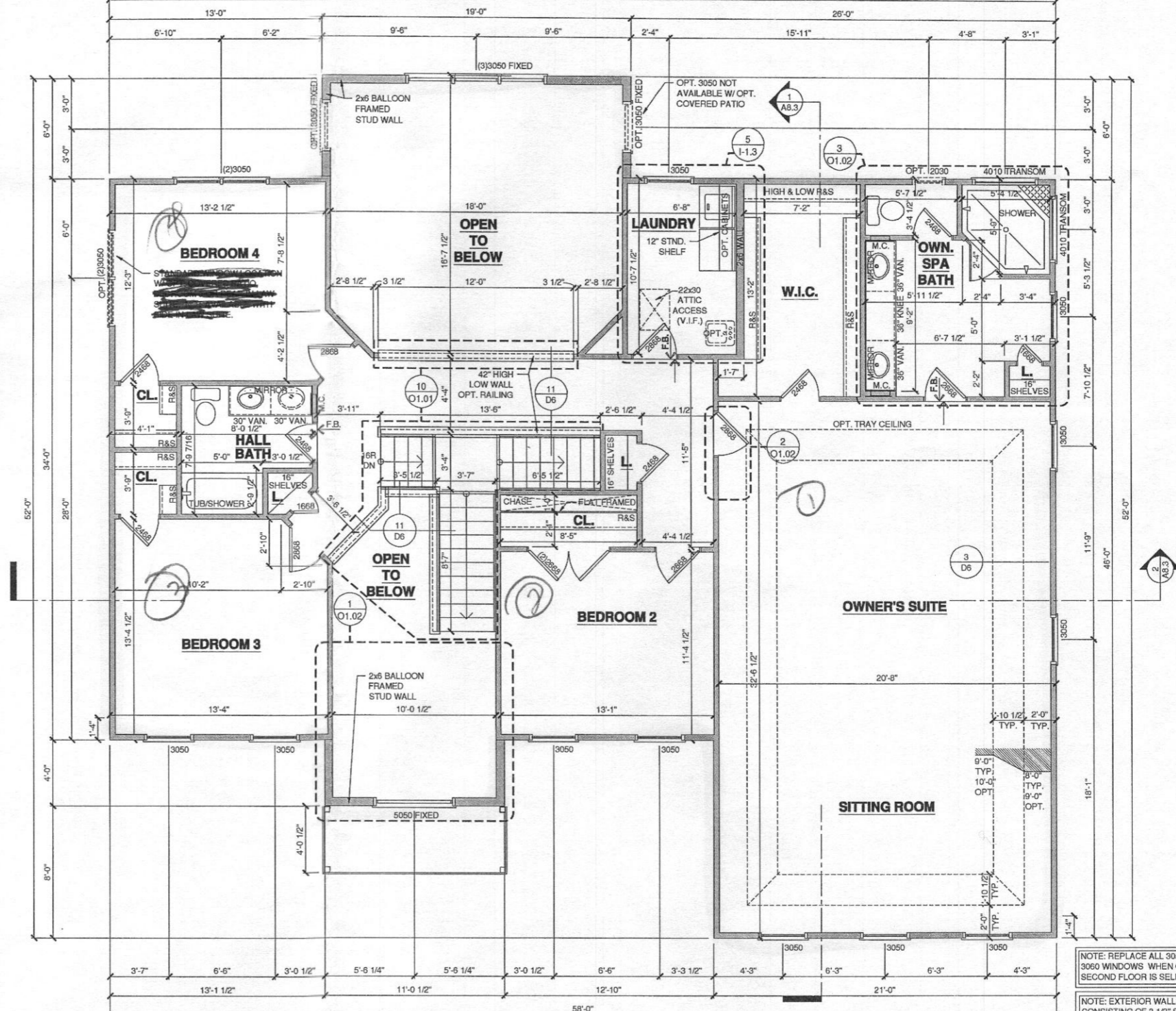
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 DRAWING TITLE: COVER SHEET  
 SHEET NO.: CS1

DATE:

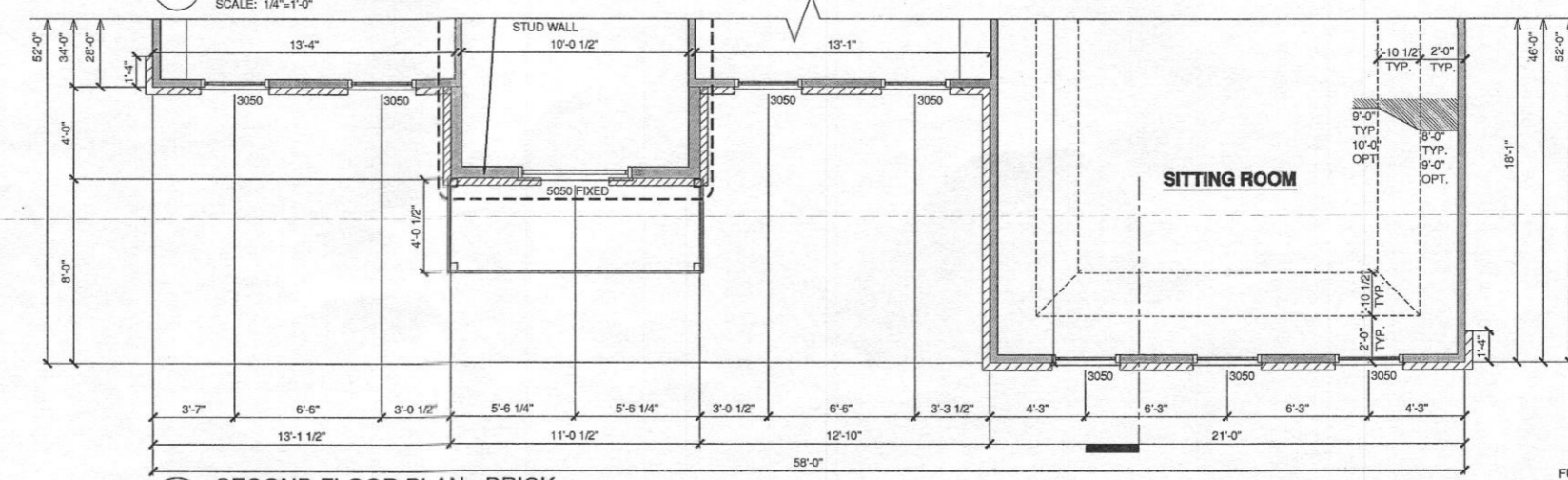
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110 WEST FRONT STREET  
 RED BANK, NJ 07701 (732) 935-2200





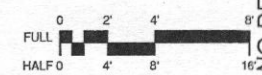
1 SECOND FLOOR PLAN - SIDING, STONE  
SCALE: 1/4"=1'-0"



2 SECOND FLOOR PLAN - BRICK

NOTE: REPLACE ALL 3050 WINDOWS WITH 3050 WINDOWS WHEN OPTIONAL 9'-1 1/8" SECOND FLOOR IS SELECTED.

NOTE: EXTERIOR WALLS ARE 4" THICK CONSISTING OF 3 1/2" STUDS WITH 1/2" SHEATHING ALIGNED FLUSH WITH FOUNDATION U.O.N. REFER TO DETAILS



NO DEVIATIONS FROM THESE CONSTRUCTION DOCUMENTS WILL BE PERMITTED WITHOUT THE APPROVAL OF ARA HOVNIANIAN, TOM PELLERITO, OR NICK PAPPAS

MODEL: 50 - BOULDER - 5054  
 DRAWING TITLE: FORM HS, HT & HB  
 SHEET NO.: SECOND FLOOR PLANS

ARCHITECTS:  
 DAWN BOGGIO KORBELAK  
 LICENSE # 19748  
 110 WEST FRONT ST. RED BANK, NJ 07701  
 732-960-2650

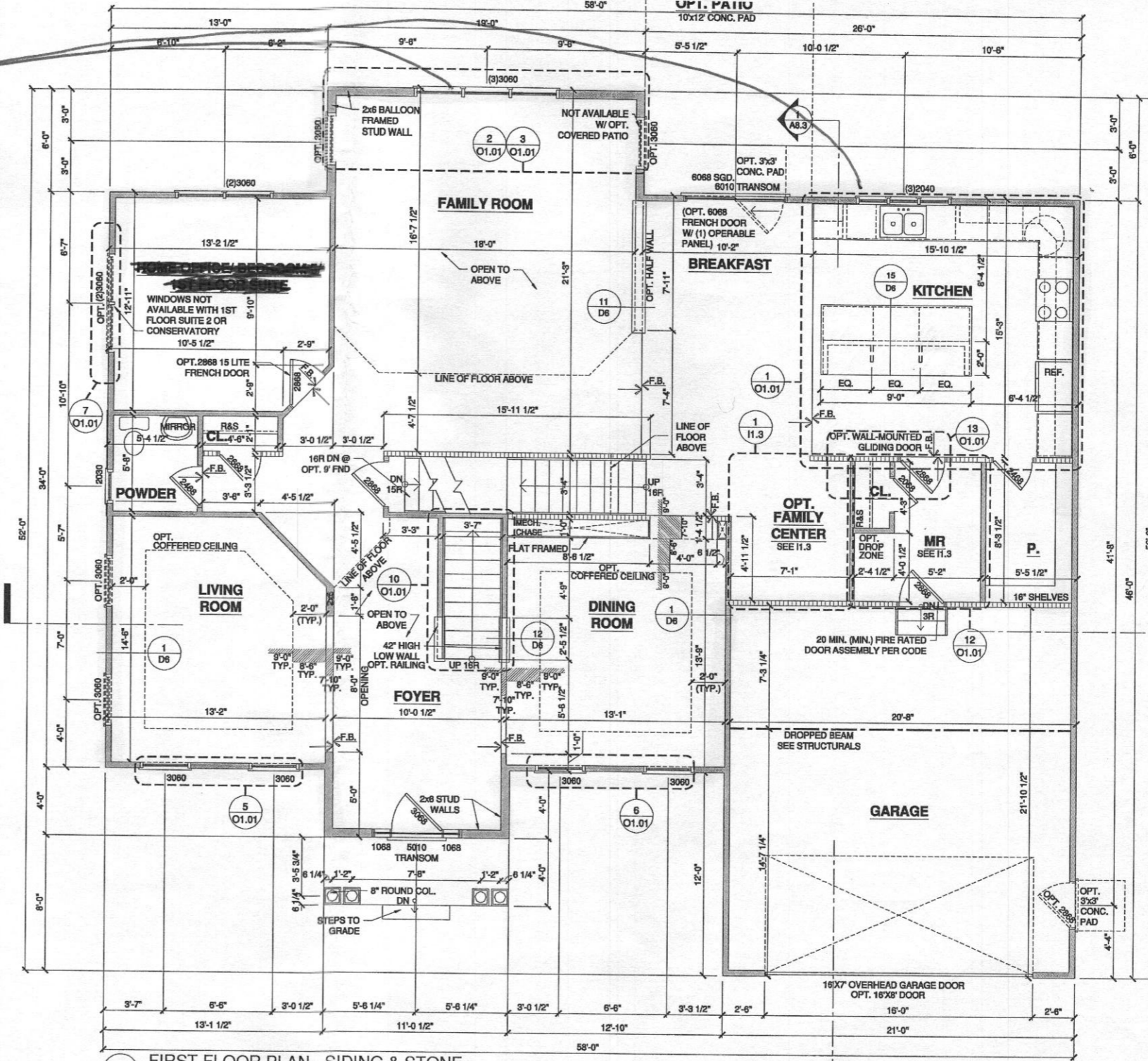
HOME STYLE: 12002113  
 VERSION #: 0011  
 RELEASE DATE: 5/7/2014  
 DRAWN BY: CB  
 SENIOR ARCHITECT: GD  
 P.L.T. DATE: 12/02/2013

ARCHITECTS:  
 K Hovnianian  
 Homes  
 110 WEST FRONT STREET  
 RED BANK, NJ 07701 (732) 393-2200

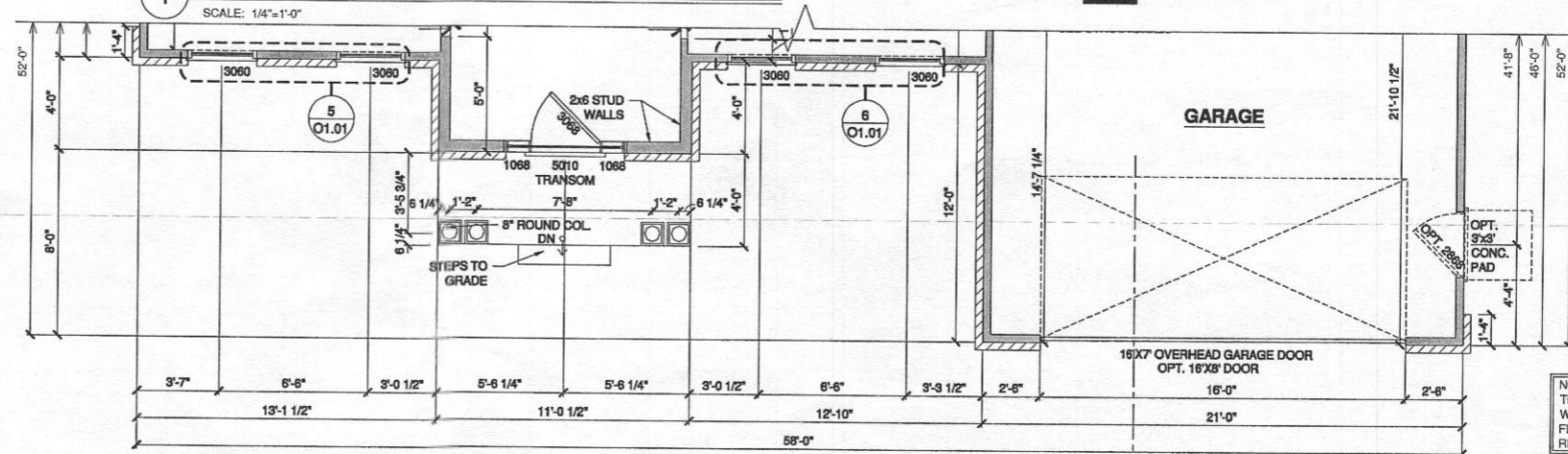
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A3.3H

SEE PAGE 02.3 FOR EXTENDED FAMILY ROOM MORNING ROOM DETAIL

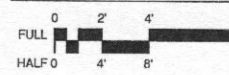


1 FIRST FLOOR PLAN - SIDING & STONE

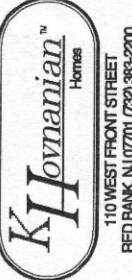


2 FIRST FLOOR PLAN - BRICK

NOTE: EXTERIOR WALLS ARE 4" THICK CONSISTING OF 3 1/2" STUDS WITH 1/2" SHEATHING ALIGNED FLUSH WITH FOUNDATION U.O.N. REFER TO DETAILS



NO DEVIATIONS FROM THESE CONSTRUCTION DOCUMENTS WILL BE PERMITTED WITHOUT THE APPROVAL OF ARA HOVNIANIAN, TOM PELLERITO, OR NICK PAPPAS



ARCHITECTS:  
DAWN BOGGIO KORBELAK  
LICENSE # 6748  
110 WEST FRONT ST. RED BANK, NJ 07701  
732-363-2630

HOME STYLE: 50 - BOULDER - 5054  
MODEL: 50 - BOULDER - 5054  
RELEASE # 001  
RELEASE DATE: 5/16/2014  
DRAWN BY: CB  
SENIOR ARCHITECT: GD  
DATE: 12/16/2013

DRAWING TITLE:  
FORM HS, HT & HB  
FIRST FLOOR PLANS

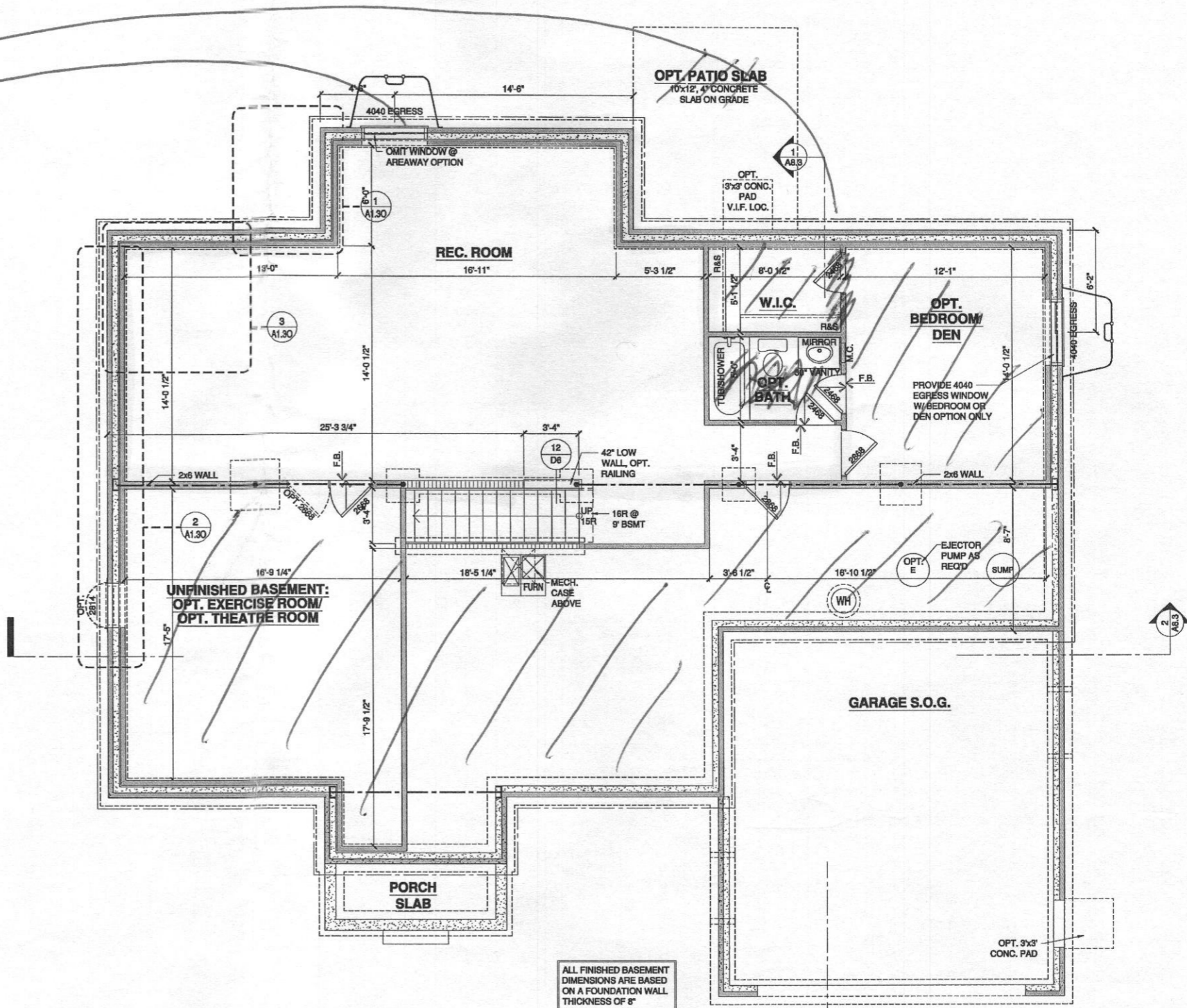
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DATE: \_\_\_\_\_

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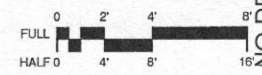
110 WEST FRONT STREET  
RED BANK, NJ 07701 (732) 363-2200

See  
PAGE 02.3  
FOR  
BASMENT  
AREA UNDER  
EXTRAORDINARY  
FAMILY ROOM,  
MORNING ROOM



1 FINISHED BASEMENT PLAN  
SCALE: 1/4"=1'-0"

ALL FINISHED BASEMENT DIMENSIONS ARE BASED ON A FOUNDATION WALL THICKNESS OF 8"



NO DEVIATIONS FROM THESE CONSTRUCTION DOCUMENTS WILL BE PERMITTED WITHOUT THE APPROVAL OF ARA HOVNIANIAN, TOM PELLERITO, OR NICK PAPPAS

PROJECT NO.	50 - BOULDER - 5054
DRAWING TITLE	FORM H - FULL FINISHED BASEMENT
DATE	5/7/2014
SCALE	AS SHOWN
DESIGNED BY	DAWN BOGGIO
DRAWN BY	DAWN BOGGIO
CHECKED BY	NICK PAPPAS
DATE	5/7/2014

**KHovnianian**  
Homes  
110 WEST FRONT STREET  
RED BANK, NJ 07701 (732) 383-2200

ARCHITECTS:  
DAWN BOGGIO KORBELAK  
LICENSE # 16748  
110 WEST FRONT ST., RED BANK, NJ 07701  
732-383-2600

SIGNATURE \_\_\_\_\_  
DATE \_\_\_\_\_

A1.3H2

DRAWING INDEX

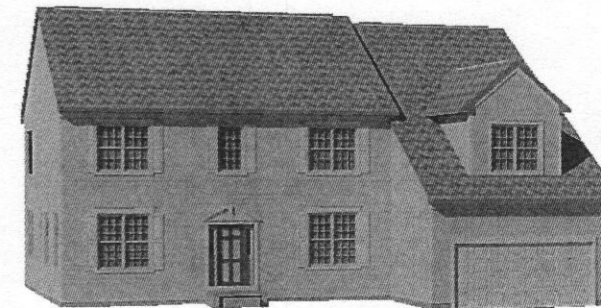
Sheet Number	Sheet Title
Masterset: CS - MD	
CS1	COVER SHEET
CS2	GENERAL NOTES MARYLAND
Masterset: A1	
A1.3A1	FORM AS, AT & AB FULL BASEMENT PLANS
A1.3A2	FORM A - FULL FINISHED BASEMENT PLAN
A1.3B1	FORM BS, BT & BB FULL BASEMENT PLANS
A1.3B2	FORM B - FULL FINISHED BASEMENT PLAN
A1.3C1	FORM CS, CT & CB FULL BASEMENT PLANS
A1.3C2	FORM C - FULL FINISHED BASEMENT PLAN
A1.3D1	FORM DS, DT & DB FULL BASEMENT PLANS
A1.3D2	FORM D - FULL FINISHED BASEMENT PLAN
A1.3E1	FORM ES, ET & EB FULL BASEMENT PLANS
A1.3E2	FORM E - FULL FINISHED BASEMENT PLAN
A1.3F1	FORM FS, FT & FB FULL BASEMENT PLANS
A1.3F2	FORM F - FULL FINISHED BASEMENT PLAN
A1.3G1	FORM GS FULL BASEMENT PLAN
A1.3G2	FORM GT & GB FULL BASEMENT PLANS
A1.3G3	FORM G - FULL FINISHED BASEMENT PLAN
A1.3H1	FORM HS, HT & HB FULL BASEMENT PLANS
A1.3H2	FORM H - FULL FINISHED BASEMENT PLAN
A1.3J1	FORM JS, JT & JB FULL BASEMENT PLANS
A1.3J2	FORM J - FULL FINISHED BASEMENT PLAN
A1.3O	FULL BASEMENT OPTIONS
A1.9	FORCED WALKOUT BASEMENT PLANS
Masterset: A2	
A2.3A	FORM AS, AT & AB FIRST FLOOR PLANS
A2.3B	FORM BS, BT & BB FIRST FLOOR PLANS
A2.3C	FORM CS, CT & CB FIRST FLOOR PLANS
A2.3D	FORM DS, DT & DB FIRST FLOOR PLANS
A2.3E	FORM ES, ET & EB FIRST FLOOR PLANS
A2.3F	FORM FS, FT & FB FIRST FLOOR PLANS
A2.3G1	FORM GS FIRST FLOOR PLAN
A2.3G2	FORM GT & GB FIRST FLOOR PLANS
A2.3H	FORM HS, HT & HB FIRST FLOOR PLANS
A2.3J	FORM JS, JT & JB FIRST FLOOR PLANS
Masterset: A3	
A3.3A	FORM AS, AT & AB SECOND FLOOR PLANS
A3.3B	FORM BS, BT & BB SECOND FLOOR PLANS
A3.3C	FORM CS, CT & CB SECOND FLOOR PLANS
A3.3D	FORM DS, DT & DB SECOND FLOOR PLANS
A3.3E	FORM ES, ET & EB SECOND FLOOR PLANS
A3.3F	FORM FS, FT & FB SECOND FLOOR PLANS
A3.3G1	FORM GS SECOND FLOOR PLANS
A3.3G2	FORMS GB & GT SECOND FLOOR PLAN
A3.3H	FORM HS, HT & HB SECOND FLOOR PLANS
A3.3J1	FORM JS SECOND FLOOR PLAN
A3.3J2	FORMS JT & JB SECOND FLOOR PLANS
Masterset: A5	
A5.3A1	FORM AS & ROOF PLAN
A5.3A2	FORM AB & AT
A5.3B1	FORM BS & ROOF PLAN
A5.3B2	FORM BB & BT
A5.3C1	FORM CS & ROOF PLAN
A5.3C2	FORM CB & CT
A5.3D1	FORM DS & ROOF PLAN
A5.3D2	FORM DB & DT
A5.3E1	FORM ES & ROOF PLAN
A5.3E2	FORM EB & ET
A5.3F1	FORM FS & ROOF PLAN
A5.3F2	FORM FB & FT
A5.3G1	FORM GS & ROOF PLAN
A5.3G2	FORM GB & GT
A5.3H1	FORM HS & ROOF PLAN
A5.3H2	FORM HB & HT
A5.3J1	FORM JS & ROOF PLAN
A5.3J2	FORM JB & JT
Masterset: A8	
A8.3	BUILDING SECTIONS
Masterset: I	
I-1.3	INTERIOR ELEVATIONS
Masterset: O	
O1.01	MINOR PLAN OPTIONS
O1.02	MINOR PLAN OPTIONS
O1.3	MORNING ROOM - FULL BASEMENT PLANS
O1.9	MORNING ROOM - FORCED WALKOUT BASEMENT PLANS
O2.3	MORNING RM. & EXT. FAM. RM. 8' FULL BASEMENT PLANS
O2.9	MORNING RM. & EXT. FAM. RM. 8' FORCED WALKOUT PLANS
O3.3	COVERED PORCH

O4.3	MORNING ROOM & COVERED PORCH
O5.3	MORNING ROOM & EXTENDED FAMILY RM. & COVERED PORCH
O6.3	BEDROOM 5 - FULL BASEMENT PLANS
O6.9	BEDROOM 5 - FORCED WALKOUT BASEMENT PLANS
O7.3	1ST FLOOR SUITE 1 - FULL BASEMENT PLANS
O7.9	1ST FLOOR SUITE 1 - FORCED WALKOUT BASEMENT PLANS
O8.3A1	1ST FLOOR SUITE 2 - FORM A - FULL BASEMENT PLANS
O8.3A2	1ST FLOOR SUITE 2 FORMS AS, AT, AB & ROOF PLAN
O8.3B1	1ST FLOOR SUITE 2 FORM B - FULL BASEMENT PLANS
O8.3B2	1ST FLOOR SUITE 2 FORMS BS, BT, BB & ROOF PLAN
O8.3C1	1ST FLOOR SUITE 2 FORM C - FULL BASEMENT PLANS
O8.3C2	1ST FLOOR SUITE 2 FORMS CS, CT, CB & ROOF PLAN
O8.3D1	1ST FLOOR SUITE 2 FORM D - FULL BASEMENT PLANS
O8.3D2	1ST FLOOR SUITE 2 FORMS DS, DT, DB & ROOF PLAN
O8.3E1	1ST FLOOR SUITE 2 FORM E - FULL BASEMENT PLANS
O8.3E2	1ST FLOOR SUITE 2 FORMS ES, ET, EB & ROOF PLAN
O8.3F1	1ST FLOOR SUITE 2 FORM F 8' FULL BASEMENT PLANS
O8.3F2	1ST FLOOR SUITE 2 FORMS FS, FT, FB & ROOF PLAN
O8.3G1	1ST FLOOR SUITE 2 FORM G - FULL BASEMENT PLANS
O8.3G2	1ST FLOOR SUITE 2 FORMS GS, GT, GB & ROOF PLAN
O8.3H1	1ST FLOOR SUITE 2 FORM H - FULL BASEMENT PLANS
O8.3H2	1ST FLOOR SUITE 2 FORMS HS, HT, HB & ROOF PLAN
O8.3J1	1ST FLOOR SUITE 2 FORM J - FULL BASEMENT PLANS
O8.3J2	1ST FLOOR SUITE 2 FORMS JS, JT, JB & ROOF PLAN
O8.9	1ST FLOOR SUITE 2 - FORCED WALKOUT BASEMENT PLANS
O9.3A1	CONSERVATORY FORM A - FULL BASEMENT PLANS
O9.3A2	CONSERVATORY FORMS AS, AT, AB & ROOF PLAN
O9.3B1	CONSERVATORY FORM B 8' FULL BASEMENT PLANS
O9.3B2	CONSERVATORY FORMS BS, BT, BB & ROOF PLAN
O9.3C1	CONSERVATORY FORM C 8' FULL BASEMENT PLANS
O9.3C2	CONSERVATORY FORMS CS, CT, CB & ROOF PLAN
O9.3D1	CONSERVATORY FORM D 8' FULL BASEMENT PLANS
O9.3D2	CONSERVATORY FORMS DS, DT, DB & ROOF PLAN
O9.3E1	CONSERVATORY FORM E 8' FULL BASEMENT PLANS
O9.3E2	CONSERVATORY FORMS ES, ET, EB & ROOF PLAN
O9.3F1	CONSERVATORY FORM F 8' FULL BASEMENT PLANS
O9.3F2	CONSERVATORY FORMS FS, FT, FB & ROOF PLAN
O9.3G1	CONSERVATORY FORM G 8' FULL BASEMENT PLANS
O9.3G2	CONSERVATORY FORMS GS, GT, GB & ROOF PLAN
O9.3H1	CONSERVATORY FORM H 8' FULL BASEMENT PLANS
O9.3H2	CONSERVATORY FORMS HS, HT, HB & ROOF PLAN
O9.3J1	CONSERVATORY FORM J 8' FULL BASEMENT PLANS
O9.3J2	CONSERVATORY FORMS JS, JT, JB & ROOF PLAN
O9.9	CONSERVATORY FORCED WALKOUT BASEMENT PLANS
O10.3A	EXTENDED OWNERS SUITE FORM A
O10.3B	EXTENDED OWNERS SUITE FORM B
O10.3C	EXTENDED OWNERS SUITE FORM C
O10.3D	EXTENDED OWNERS SUITE FORM D
O10.3E	EXTENDED OWNERS SUITE FORM E
O10.3F	EXTENDED OWNERS SUITE FORM F
O10.3G	EXTENDED OWNERS SUITE FORM G
O11.3A	2 CAR SIDE LOAD GARAGE FORM A
O11.3B	2 CAR SIDE LOAD GARAGE FORM B
O11.3C	2 CAR SIDE LOAD GARAGE FORM C
O11.3D	2 CAR SIDE LOAD GARAGE FORM D
O11.3E	2 CAR SIDE LOAD GARAGE FORM E
O11.3F	2 CAR SIDE LOAD GARAGE FORM F
O11.3G	2 CAR SIDE LOAD GARAGE FORM G
O11.3H	2 CAR SIDE LOAD GARAGE FORM H
O11.3J	2 CAR SIDE LOAD GARAGE FORM J
O12.3	3 CAR SIDE LOAD GARAGE
O12.3A	3 CAR SIDE LOAD GARAGE FORMS AS, AT, AB & ROOF PLAN
O12.3B	3 CAR SIDE LOAD GARAGE FORMS BS, BT, BB & ROOF PLAN
O12.3C	3 CAR SIDE LOAD GARAGE FORMS CS, CT, CB & ROOF PLAN
O12.3D	3 CAR SIDE LOAD GARAGE FORMS DS, DT, DB & ROOF PLAN
O12.3E	3 CAR SIDE LOAD GARAGE FORMS ES, ET, EB & ROOF PLAN
O12.3F	3 CAR SIDE LOAD GARAGE FORMS FS, FT, FB & ROOF PLAN
O12.3G	3 CAR SIDE LOAD GARAGE FORMS GS, GT, GB & ROOF PLAN
O12.3H	3 CAR SIDE LOAD GARAGE FORMS HS, HT, HB & ROOF PLAN
O13.3A	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE
O13.3B	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM B
O13.3C	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM C
O13.3D	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM D
O13.3E	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM E
O13.3F	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM F
O13.3G	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM G
Masterset: D - MD	
D3	CONCRETE DETAILS (SHEET 1 OF 3)

D3	CONCRETE DETAILS (SHEET 2 OF 3)
D3	CONCRETE DETAILS (SHEET 3 OF 3)
D6	WOOD & PLASTICS DETAILS (SHEET 1 OF 2)
D6	WOOD & PLASTICS DETAILS (SHEET 2 OF 2)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 1 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 2 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 3 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 4 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 5 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 6 OF 6)
D10	SPECIALTIES DETAILS (SHEET 1 OF 7)
D10	SPECIALTIES DETAILS (SHEET 2 OF 7)
D10	SPECIALTIES DETAILS (SHEET 3 OF 7)
D10	SPECIALTIES DETAILS (SHEET 4 OF 7)
D10	SPECIALTIES DETAILS (SHEET 5 OF 7)
D10	SPECIALTIES DETAILS (SHEET 6 OF 7)
D10	SPECIALTIES DETAILS (SHEET 7 OF 7)
Masterset: S - MD	
SN-1	STRUCTURAL NOTES
SD-1	STRUCTURAL BRACING NOTES
SD-2	SCREEN PORCH DECK DETAILS
SWB1	SHEARWALL SCHEDULE
S1.0	STRUCTURAL FLOOR PLANS - FORMS A B
S1.1	STRUCTURAL DETAILS
S1.2	STRUCTURAL FLOOR PLANS - FORMS C D E F G
S1.3	STRUCTURAL FLOOR PLANS - FORMS H J
S1.4	AREAWAY FOUNDATION PLANS
S2.0	STRUCTURAL FLOOR PLANS - FORM A
S2.1	STRUCTURAL FLOOR PLANS - FORMS B C D E F
S2.2	STRUCTURAL FLOOR PLANS - FORMS G H J
S3.0	STRUCTURAL FLOOR PLANS - FORM A
S3.2	STRUCTURAL FLOOR PLANS - FORMS B C D E F G
S3.3	STRUCTURAL FLOOR PLANS - FORMS H J
S4.0	STRUCTURAL FLOOR PLANS - WALKOUT BASEMENT
S5.0	STRUCTURAL FLOOR PLANS - MORNING ROOM
S6.0	STRUCTURAL FLOOR PLANS - MORNING RM. & EXTENDED FAMILY RM.
S7.0	STRUCTURAL FLOOR PLANS - REAR OPTIONS
S8.0	STRUCTURAL FLOOR PLANS - GARAGE OPTIONS
S9.0	STRUCTURAL FLOOR PLANS - SIDE OPTIONS
S10.0	STRUCTURAL FLOOR PLANS - SIDE OPTIONS
Masterset: E	
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E1.3A	FORM A - FULL BASEMENT ELECTRICAL PLANS
E1.3B	FORM B - FULL BASEMENT ELECTRICAL PLANS
E1.3C	FORM C - FULL BASEMENT ELECTRICAL PLANS
E1.3D	FORM D - FULL BASEMENT ELECTRICAL PLANS
E1.3E	FORM E - FULL BASEMENT ELECTRICAL PLANS
E1.3F	FORM F - FULL BASEMENT ELECTRICAL PLANS
E1.3G	FORM G - FULL BASEMENT ELECTRICAL PLANS
E1.3H	FORM H - FULL BASEMENT ELECTRICAL PLANS
E1.3J	FORM J - FULL BASEMENT ELECTRICAL PLANS
E2.3A	FLOOR PLANS FORM A ELECTRICAL
E2.3B	FLOOR PLANS FORM B ELECTRICAL
E2.3C	FLOOR PLANS FORM C ELECTRICAL
E2.3D	FLOOR PLANS FORM D ELECTRICAL
E2.3E	FLOOR PLANS FORM E ELECTRICAL
E2.3F	FLOOR PLANS FORM F ELECTRICAL
E2.3G	FLOOR PLANS FORM G ELECTRICAL
E2.3H	FLOOR PLANS FORM H ELECTRICAL
E2.3J	FLOOR PLANS FORM J ELECTRICAL
E-1.01	ELECTRICAL PLANS - MINOR PLAN OPTIONS
Masterset: P	
P1.3	PLUMBING RISER
Masterset: MW	
MW1	MILLWORK SCHEDULE
Masterset: RL	
RL-1	REVISION LOG

AREA & VOLUME COMPUTATION	AREA IN SQUARE FEET	VOLUME IN CUBIC FEET					
		8' BASEMENT	8' BASEMENT	8'-0" CLNG.	8'-0" CLNG.	GARAGE	ATTIC
FULL BASEMENT FORM (A) (B) (C)	1882	16938	18820				
FULL BASEMENT FORM (D) (E) (F)	1904	17136	19040				
FULL BASEMENT FORM (G)	1958	17622	19580				
FULL BASEMENT FORM (H)	1926	17334	19260				
FULL BASEMENT FORM (J)	1928	17352	19280				
FINISHED BASEMENT FORM (A) (B) (C)	1083	9747	10830				
FINISHED BASEMENT FORM (D) (E) (F)	1083	9747	10830				
FINISHED BASEMENT FORM (G)	1083	9747	10830				
FINISHED BASEMENT FORM (H)	1083	9747	10830				
FINISHED BASEMENT FORM (J)	1083	9747	10830				
FIRST FLOOR LIVING (A) (B) (C)	1882			19385			
FIRST FLOOR LIVING (D) (E) (F)	1904			19611			
FIRST FLOOR LIVING (G)	1958			20167			
FIRST FLOOR LIVING (H)	1926			19838			
FIRST FLOOR LIVING (J)	1928			19858			
SECOND FLOOR LIVING (A) (B) (C)	1753	14164	15917	13500			
SECOND FLOOR LIVING (D) (E) (F)	1753	14164	15917	13500			
SECOND FLOOR LIVING (G)	1835	14827	16662	14144			
SECOND FLOOR LIVING (H)	1932	15611	17543	14888			
SECOND FLOOR LIVING (J)	1781	14390	16171	13956			
GARAGE	456			4788	2052		
REAR STRUCTURAL OPTIONS:							
MORNING ROOM LIVING	+249	+2241	+2490	+2565	+498		
@ FULL BASEMENT	+249	+2241	+2490				
MORNING & FAMILY ROOM EXT.	+360	+3240	+3600	+3708	+720		
@ FULL BASEMENT	+360	+3240	+3600				
BEDROOM 5 @ FLEX ROOM	+75	+675	+750	+773	+113		
@ FULL BASEMENT	+75	+675	+750				
1ST FLOOR SUITE 2	+393	+3537	+3930	+4048	+1769		
@ FULL BASEMENT	+393	+3537	+3930				
1ST FLOOR SUITE 1	+378	+3402	+3780	+3993	+567		
@ FULL BASEMENT	+378	+3402	+3780				
CONSERVATORY	+252	+2268	+2520	+2596	+756		
@ FULL BASEMENT	+252	+2268	+2520				
EXTENDED OWNER'S SUITE FORM (A) (B) (C)	+178		+1438	+1616	+846		
EXTENDED OWNER'S SUITE FORM (D) (E) (F)	+178		+1438	+1616	+846		
EXTENDED OWNER'S SUITE FORM (G)	+151		+1220	+1371	+717		
3 CAR SIDE LOAD GARAGE	+210			+2205	+945		
TOTAL STANDARD LIVING FORM (A) (B) (C)	3635						
TOTAL STANDARD LIVING FORM (D) (E) (F)	3657						
TOTAL STANDARD LIVING FORM (G)	3793						
TOTAL STANDARD LIVING FORM (H)	3858						
TOTAL STANDARD LIVING FORM (J)	3709						

THE BOULDER  
MARYLAND MASTER SET  
E1#:5054



CODE CONFORMANCE NOTES

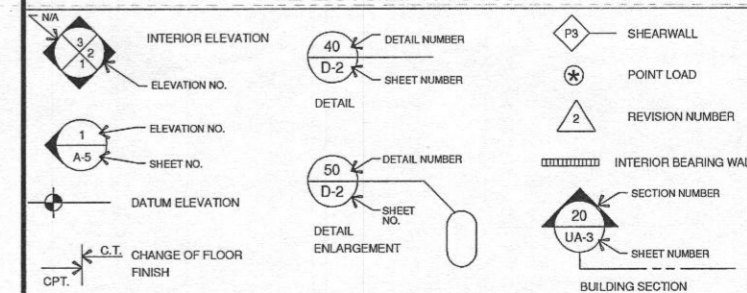
2012 IRC, 2012 IECC  
USE GROUP R-5  
CONSTRUCTION CLASSIFICATION 5B  
HEIGHT & AREA LIMITATIONS OF BLDG. TWO (2) STORY 35'-0" H.  
NFPA 13-D - INTERIOR SPRINKLER SYSTEM 4800 S.F. FLR MAX.

SITE CONDITIONS

WIND SPEED	90 MPH
EXPOSURE	A
GROUND SNOW LOAD	30 LBS/SF
SOIL BEARING CAPACITY	2500 PSF
LIQUID SOIL PRESSURE	45 PCF
FROST DEPTH	36"

*Belle Haven*  
*lot (37)*  
*B14003665*

DESIGNATIONS



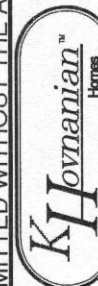
NO DEVIATIONS FROM THESE CONSTRUCTION DOCUMENTS WILL BE PERMITTED WITHOUT THE APPROVAL OF ARA HOVNANIAN, TOM PELLERITO, OR NICK PAPPAS

ARCHITECTS:  
DAWN BOGGIO KORBELAK

LICENSE # 16748  
110 WEST FRONT ST., RED BANK, NJ 07701  
732-385-2630

SIGNATURE

DATE



110 WEST FRONT STREET  
RED BANK, NJ 07701 (732) 385-2200

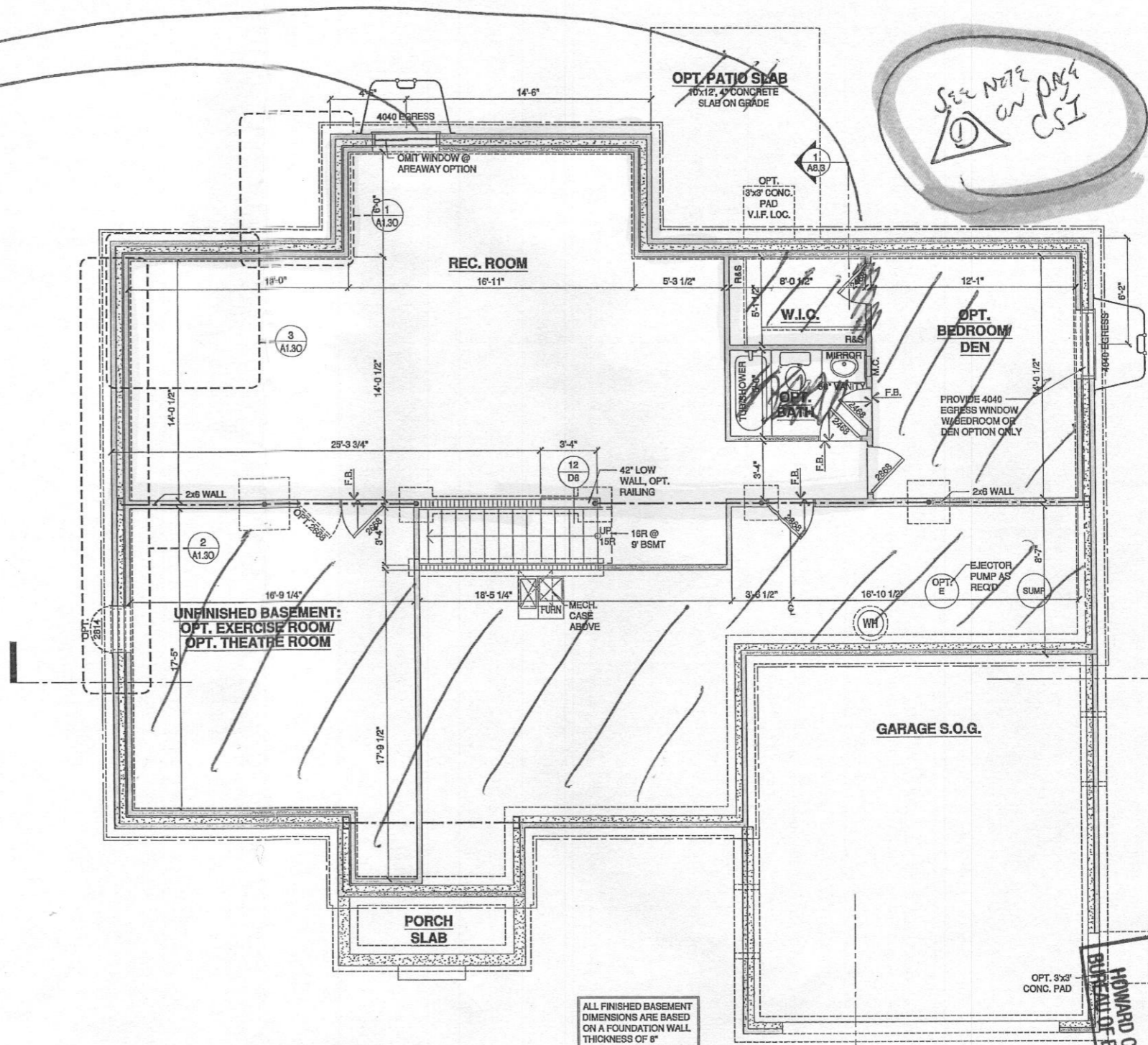
HOME STYLE: 001  
VERSION #: 001  
RELEASE DATE: 5/7/2014

MODEL: 50 - BOULDER - 5054  
DRAWING TITLE: COVER SHEET  
DRAWN BY: CS  
SENIOR ARCHITECT: GD  
I.T.O. DATE: 12/20/2013

CS1

See  
PAGE 02-3  
FIN  
BASEMENT  
AREA UNDER  
EXTENDED  
FAMILY ROOM,  
MEANING ROOM

See NOTE  
on PAGE  
CSI

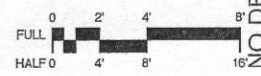


1 FINISHED BASEMENT PLAN  
SCALE: 1/4"=1'-0"

ALL FINISHED BASEMENT  
DIMENSIONS ARE BASED  
ON A FOUNDATION WALL  
THICKNESS OF 6"

RECEIVED  
DEC 15 2014  
HOWARD COUNTY HEALTH DEPT.  
BUREAU OF ENVIRONMENTAL HEALTH

RECEIVED  
DEC 12 2014  
BUREAU OF ENVIRONMENTAL HEALTH  
HOWARD COUNTY HEALTH DEPT.



NO DEVIATIONS FROM THESE CONSTRUCTION DOCUMENTS WILL BE PERMITTED WITHOUT THE APPROVAL OF ARA HOVNANIAN, TOM PELLERITO, OR NICK PAPPAS

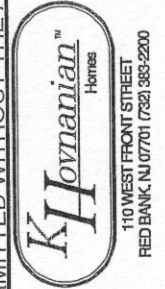
ARCHITECTS:  
DAWN BOGGIO KORBELAK  
LICENSE # 16748  
110 WEST FRONT ST., RED BANK, NJ 07701  
732-983-2630

DATE: \_\_\_\_\_

HOME STYLE  
50 - BOULDER - 5054  
VERSION # 001  
RELEASE DATE: 5/7/2014  
DRAWN BY: \_\_\_\_\_  
SENIOR ARCHITECT: \_\_\_\_\_  
IN T.O. DATE: \_\_\_\_\_

PLAN  
FORM H - FULL  
FINISHED BASEMENT

A1.3H2



DRAWING INDEX

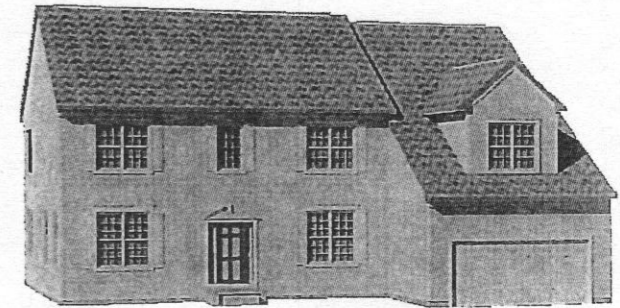
Sheet Number	Sheet Title
Masterset: CS - MD	
CS1	COVER SHEET
CS2	GENERAL NOTES MARYLAND
Masterset: A1	
A1.3A1	FORM AS, AT & AB FULL BASEMENT PLANS
A1.3A2	FORM A - FULL FINISHED BASEMENT PLAN
A1.3B1	FORM BS, BT & BB FULL BASEMENT PLANS
A1.3B2	FORM B - FULL FINISHED BASEMENT PLAN
A1.3C1	FORM CS, CT & CB FULL BASEMENT PLANS
A1.3C2	FORM C - FULL FINISHED BASEMENT PLAN
A1.3D1	FORM DS, DT & DB FULL BASEMENT PLANS
A1.3D2	FORM D - FULL FINISHED BASEMENT PLAN
A1.3E1	FORM ES, ET & EB FULL BASEMENT PLANS
A1.3E2	FORM E - FULL FINISHED BASEMENT PLAN
A1.3F1	FORM FS, FT & FB FULL BASEMENT PLANS
A1.3F2	FORM F - FULL FINISHED BASEMENT PLAN
A1.3G1	FORM GS FULL BASEMENT PLAN
A1.3G2	FORM GT & GB FULL BASEMENT PLANS
A1.3G3	FORM G - FULL FINISHED BASEMENT PLAN
A1.3H1	FORM HS, HT & HB FULL BASEMENT PLANS
A1.3H2	FORM H - FULL FINISHED BASEMENT PLAN
A1.3J1	FORM JS, JT & JB FULL BASEMENT PLANS
A1.3J2	FORM J - FULL FINISHED BASEMENT PLAN
A1.3O	FULL BASEMENT OPTIONS
A1.9	FORCED WALKOUT BASEMENT PLANS
Masterset: A2	
A2.3A	FORM AS, AT & AB FIRST FLOOR PLANS
A2.3B	FORM BS, BT & BB FIRST FLOOR PLANS
A2.3C	FORM CS, CT & CB FIRST FLOOR PLANS
A2.3D	FORM DS, DT & DB FIRST FLOOR PLANS
A2.3E	FORM ES, ET & EB FIRST FLOOR PLANS
A2.3F	FORM FS, FT & FB FIRST FLOOR PLANS
A2.3G1	FORM GS FIRST FLOOR PLAN
A2.3G2	FORM GT & GB FIRST FLOOR PLANS
A2.3H1	FORM HS, HT & HB FIRST FLOOR PLANS
A2.3J1	FORM JS, JT & JB FIRST FLOOR PLANS
Masterset: A3	
A3.3A	FORM AS, AT & AB SECOND FLOOR PLANS
A3.3B	FORM BS, BT & BB SECOND FLOOR PLANS
A3.3C	FORM CS, CT & CB SECOND FLOOR PLANS
A3.3D	FORM DS, DT & DB SECOND FLOOR PLANS
A3.3E	FORM ES, ET & EB SECOND FLOOR PLANS
A3.3F	FORM FS, FT & FB SECOND FLOOR PLANS
A3.3G1	FORM GS SECOND FLOOR PLANS
A3.3G2	FORMS GB & GT SECOND FLOOR PLAN
A3.3H1	FORM HS, HT & HB SECOND FLOOR PLANS
A3.3J1	FORM JS SECOND FLOOR PLAN
A3.3J2	FORMS JT & JB SECOND FLOOR PLANS
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A5.3A1	FORM AS & ROOF PLAN
A5.3A2	FORM AB & AT
A5.3B1	FORM BS & ROOF PLAN
A5.3B2	FORM BB & BT
A5.3C1	FORM CS & ROOF PLAN
A5.3C2	FORM CB & CT
A5.3D1	FORM DS & ROOF PLAN
A5.3D2	FORM DB & DT
A5.3E1	FORM ES & ROOF PLAN
A5.3E2	FORM EB & ET
A5.3F1	FORM FS & ROOF PLAN
A5.3F2	FORM FB & FT
A5.3G1	FORM GS & ROOF PLAN
A5.3G2	FORM GB & GT
A5.3H1	FORM HS & ROOF PLAN
A5.3H2	FORM HT & HT
A5.3J1	FORM JS & ROOF PLAN
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Masterset: I	
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O1.02	MINOR PLAN OPTIONS
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O1.9	MORNING ROOM - FORCED WALKOUT BASEMENT PLANS
O2.3	MORNING RM. & EXT. FAM. RM. 8' FULL BASEMENT PLANS
O2.9	MORNING RM. & EXT. FAM. RM. 8' FORCED WALKOUT PLANS
O3.3	COVERED PORCH

O4.3	MORNING ROOM & COVERED PORCH
O5.3	MORNING ROOM & EXTENDED FAMILY RM. & COVERED PORCH
O6.3	BEDROOM 5 - FULL BASEMENT PLANS
O6.9	BEDROOM 5 - FORCED WALKOUT BASEMENT PLANS
O7.3	1ST FLOOR SUITE 1 - FULL BASEMENT PLANS
O7.9	1ST FLOOR SUITE 1 - FORCED WALKOUT BASEMENT PLANS
O8.3A1	1ST FLOOR SUITE 2 - FORM A - FULL BASEMENT PLANS
O8.3A2	1ST FLOOR SUITE 2 FORMS AS, AT, AB & ROOF PLAN
O8.3B1	1ST FLOOR SUITE 2 FORM B - FULL BASEMENT PLANS
O8.3B2	1ST FLOOR SUITE 2 FORMS BS, BT, BB & ROOF PLAN
O8.3C1	1ST FLOOR SUITE 2 FORM C - FULL BASEMENT PLANS
O8.3C2	1ST FLOOR SUITE 2 FORMS CS, CT, CB & ROOF PLAN
O8.3D1	1ST FLOOR SUITE 2 FORM D - FULL BASEMENT PLANS
O8.3D2	1ST FLOOR SUITE 2 FORMS DS, DT, DB & ROOF PLAN
O8.3E1	1ST FLOOR SUITE 2 FORM E - FULL BASEMENT PLANS
O8.3E2	1ST FLOOR SUITE 2 FORMS ES, ET, EB & ROOF PLAN
O8.3F1	1ST FLOOR SUITE 2 FORM F - FULL BASEMENT PLANS
O8.3F2	1ST FLOOR SUITE 2 FORMS FS, FT, FB & ROOF PLAN
O8.3G1	1ST FLOOR SUITE 2 FORM G - FULL BASEMENT PLANS
O8.3G2	1ST FLOOR SUITE 2 FORMS GS, GT, GB & ROOF PLAN
O8.3H1	1ST FLOOR SUITE 2 FORM H - FULL BASEMENT PLANS
O8.3H2	1ST FLOOR SUITE 2 FORMS HS, HT, HB & ROOF PLAN
O8.3J1	1ST FLOOR SUITE 2 FORM J - FULL BASEMENT PLANS
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O8.9	1ST FLOOR SUITE 2 - FORCED WALKOUT BASEMENT PLANS
O9.3A1	CONSERVATORY FORM A - FULL BASEMENT PLANS
O9.3A2	CONSERVATORY FORMS AS, AT, AB & ROOF PLAN
O9.3B1	CONSERVATORY FORM B 8' FULL BASEMENT PLANS
O9.3B2	CONSERVATORY FORMS BS, BT, BB & ROOF PLAN
O9.3C1	CONSERVATORY FORM C 8' FULL BASEMENT PLANS
O9.3C2	CONSERVATORY FORMS CS, CT, CB & ROOF PLAN
O9.3D1	CONSERVATORY FORM D 8' FULL BASEMENT PLANS
O9.3D2	CONSERVATORY FORMS DS, DT, DB & ROOF PLAN
O9.3E1	CONSERVATORY FORM E 8' FULL BASEMENT PLANS
O9.3E2	CONSERVATORY FORMS ES, ET, EB & ROOF PLAN
O9.3F1	CONSERVATORY FORM F 8' FULL BASEMENT PLANS
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O9.3J2	CONSERVATORY FORMS JS, JT, JB & ROOF PLAN
O9.9	CONSERVATORY FORCED WALKOUT BASEMENT PLANS
O10.3A	EXTENDED OWNERS SUITE FORM A
O10.3B	EXTENDED OWNERS SUITE FORM B
O10.3C	EXTENDED OWNERS SUITE FORM C
O10.3D	EXTENDED OWNERS SUITE FORM D
O10.3E	EXTENDED OWNERS SUITE FORM E
O10.3F	EXTENDED OWNERS SUITE FORM F
O10.3G	EXTENDED OWNERS SUITE FORM G
O11.3A	2 CAR SIDE LOAD GARAGE FORM A
O11.3B	2 CAR SIDE LOAD GARAGE FORM B
O11.3C	2 CAR SIDE LOAD GARAGE FORM C
O11.3D	2 CAR SIDE LOAD GARAGE FORM D
O11.3E	2 CAR SIDE LOAD GARAGE FORM E
O11.3F	2 CAR SIDE LOAD GARAGE FORM F
O11.3G	2 CAR SIDE LOAD GARAGE FORM G
O11.3H	2 CAR SIDE LOAD GARAGE FORM H
O11.3J	2 CAR SIDE LOAD GARAGE FORM J
O12.3	3 CAR SIDE LOAD GARAGE
O12.3A	3 CAR SIDE LOAD GARAGE FORMS AS, AT, AB & ROOF PLAN
O12.3B	3 CAR SIDE LOAD GARAGE FORMS BS, BT, BB & ROOF PLAN
O12.3C	3 CAR SIDE LOAD GARAGE FORMS CS, CT, CB & ROOF PLAN
O12.3D	3 CAR SIDE LOAD GARAGE FORMS DS, DT, DB & ROOF PLAN
O12.3E	3 CAR SIDE LOAD GARAGE FORMS ES, ET, EB & ROOF PLAN
O12.3F	3 CAR SIDE LOAD GARAGE FORMS FS, FT, FB & ROOF PLAN
O12.3G	3 CAR SIDE LOAD GARAGE FORMS GS, GT, GB & ROOF PLAN
O12.3H	3 CAR SIDE LOAD GARAGE FORMS HS, HT, HB & ROOF PLAN
O13.3A	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE
O13.3B	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM B
O13.3C	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM C
O13.3D	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM D
O13.3E	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM E
O13.3F	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM F
O13.3G	2 CAR SIDE LOAD GARAGE & EXTENDED OWNERS SUITE - FORM G
Masterset: D - MD	
D3	CONCRETE DETAILS (SHEET 1 OF 3)

D3	CONCRETE DETAILS (SHEET 2 OF 3)
D3	CONCRETE DETAILS (SHEET 3 OF 3)
D6	WOOD & PLASTICS DETAILS (SHEET 1 OF 2)
D6	WOOD & PLASTICS DETAILS (SHEET 2 OF 2)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 1 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 2 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 3 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 4 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 5 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 6 OF 6)
D7	THERMAL & MOISTURE PROTECTION DETAILS (SHEET 7 OF 6)
D10	SPECIALTIES DETAILS (SHEET 1 OF 7)
D10	SPECIALTIES DETAILS (SHEET 2 OF 7)
D10	SPECIALTIES DETAILS (SHEET 3 OF 7)
D10	SPECIALTIES DETAILS (SHEET 4 OF 7)
D10	SPECIALTIES DETAILS (SHEET 5 OF 7)
D10	SPECIALTIES DETAILS (SHEET 6 OF 7)
D10	SPECIALTIES DETAILS (SHEET 7 OF 7)
Masterset: S - MD	
SN-1	STRUCTURAL NOTES
SD-1	STRUCTURAL BRACING NOTES
SD-2	SCREEN PORCH DECK DETAILS
SWB1	SHEARWALL SCHEDULE
S1.0	STRUCTURAL FLOOR PLANS - FORMS A B
S1.1	STRUCTURAL DETAILS
S1.2	STRUCTURAL FLOOR PLANS - FORMS C D E F G
S1.3	STRUCTURAL FLOOR PLANS - FORMS H J
S1.4	AREAWAY FOUNDATION PLANS
S2.0	STRUCTURAL FLOOR PLANS - FORM A
S2.1	STRUCTURAL FLOOR PLANS - FORMS B C D E F
S2.2	STRUCTURAL FLOOR PLANS - FORMS G H J
S3.0	STRUCTURAL FLOOR PLANS - FORM A
S3.2	STRUCTURAL FLOOR PLANS - FORMS B C D E F G
S3.3	STRUCTURAL FLOOR PLANS - FORMS H J
S4.0	STRUCTURAL FLOOR PLANS - WALKOUT BASEMENT
S5.0	STRUCTURAL FLOOR PLANS - MORNING ROOM
S6.0	STRUCTURAL FLOOR PLANS - MORNING RM. & EXTENDED FAMILY RM.
S7.0	STRUCTURAL FLOOR PLANS - REAR OPTIONS
S8.0	STRUCTURAL FLOOR PLANS - GARAGE OPTIONS
S9.0	STRUCTURAL FLOOR PLANS - SIDE OPTIONS
S10.0	STRUCTURAL FLOOR PLANS - SIDE OPTIONS
Masterset: E	
ELECTRICAL SPECIFICATIONS	
E1.3A	FORM A - FULL BASEMENT ELECTRICAL PLANS
E1.3B	FORM B - FULL BASEMENT ELECTRICAL PLANS
E1.3C	FORM C - FULL BASEMENT ELECTRICAL PLANS
E1.3D	FORM D - FULL BASEMENT ELECTRICAL PLANS
E1.3E	FORM E - FULL BASEMENT ELECTRICAL PLANS
E1.3F	FORM F - FULL BASEMENT ELECTRICAL PLANS
E1.3G	FORM G - FULL BASEMENT ELECTRICAL PLANS
E1.3H	FORM H - FULL BASEMENT ELECTRICAL PLANS
E1.3J	FORM J - FULL BASEMENT ELECTRICAL PLANS
E2.3A	FLOOR PLANS FORM A ELECTRICAL
E2.3B	FLOOR PLANS FORM B ELECTRICAL
E2.3C	FLOOR PLANS FORM C ELECTRICAL
E2.3D	FLOOR PLANS FORM D ELECTRICAL
E2.3E	FLOOR PLANS FORM E ELECTRICAL
E2.3F	FLOOR PLANS FORM F ELECTRICAL
E2.3G	FLOOR PLANS FORM G ELECTRICAL
E2.3H	FLOOR PLANS FORM H ELECTRICAL
E2.3J	FLOOR PLANS FORM J ELECTRICAL
E-1.01	ELECTRICAL PLANS - MINOR PLAN OPTIONS
Masterset: P	
P1.3	PLUMBING RISER
Masterset: MW	
MW1	MILLWORK SCHEDULE
Masterset: RL	
RL-1	REVISION LOG

NOTE: 12/10/14:  
 AT ANY TIME IN THE FUTURE THAT A BUILDING PERMIT IS SUBMITTED TO FINISH THE AREA CURRENT IDENTIFIED AS OPTIONAL DEN (SEE PAGE A1.3H2), THEN A SEPTIC SYSTEM UPGRADE WILL BE REQUIRED AS FINISHING THE OPTIONAL DEN CREATES A FIFTH BEDROOM PER HENRIED COUNTY CODE 3.801(B)

THE BOULDER  
 MARYLAND MASTER SET  
 E1#:5054



	AREA & VOLUME COMPUTATION					
	AREA IN SQUARE FEET	VOLUME IN CUBIC FEET				
	8' BASEMENT	9' BASEMENT	8'-0" CLING	9'-0" CLING	GARAGE	ATTIC
FULL BASEMENT FORM (A) (B) (C)	1882	16938	18820			
FULL BASEMENT FORM (D) (E) (F)	1904	17136	19040			
FULL BASEMENT FORM (G)	1958	17622	19580			
FULL BASEMENT FORM (H)	1926	17334	19260			
FULL BASEMENT FORM (J)	1928	17352	19280			
FINISHED BASEMENT FORM (A) (B) (C)	1083	9747	10830			
FINISHED BASEMENT FORM (D) (E) (F)	1083	9747	10830			
FINISHED BASEMENT FORM (G)	1083	9747	10830			
FINISHED BASEMENT FORM (H)	1083	9747	10830			
FINISHED BASEMENT FORM (J)	1083	9747	10830			
FIRST FLOOR LIVING (A) (B) (C)	1882			19385		
FIRST FLOOR LIVING (D) (E) (F)	1904			19611		
FIRST FLOOR LIVING (G)	1958			20167		
FIRST FLOOR LIVING (H)	1926			19938		
FIRST FLOOR LIVING (J)	1928			19958		
SECOND FLOOR LIVING (A) (B) (C)	1753		14164	15917	13500	
SECOND FLOOR LIVING (D) (E) (F)	1753		14164	15917	13500	
SECOND FLOOR LIVING (G)	1835		14827	16662	14144	
SECOND FLOOR LIVING (H)	1932		15611	17543	14888	
SECOND FLOOR LIVING (J)	1781		14390	16171	13958	
GARAGE	458				4788	2052
REAR STRUCTURAL OPTIONS:						
MORNING ROOM LIVING @ FULL BASEMENT	+249	+2241	+2490	+2565	+498	
MORNING & FAMILY ROOM EXT. @ FULL BASEMENT	+360	+3240	+3600	+3708	+720	
BEDROOM 5 @ FLEX ROOM @ FULL BASEMENT	+75	+675	+750	+773	+113	
1ST FLOOR SUITE 2 @ FULL BASEMENT	+75	+675	+750			
1ST FLOOR SUITE 2 @ FULL BASEMENT	+393	+3537	+3930	+4048	+1768	
1ST FLOOR SUITE 1 @ FULL BASEMENT	+378	+3402	+3780	+3893	+567	
CONSERVATORY @ FULL BASEMENT	+252	+2268	+2520	+2598	+756	
EXTENDED OWNER'S SUITE FORM (A) (B) (C)	+178		+1438	+1616	+848	
EXTENDED OWNER'S SUITE FORM (D) (E) (F)	+178		+1438	+1616	+848	
EXTENDED OWNER'S SUITE FORM (G)	+151		+1220	+1371	+717	
3 CAR SIDE LOAD GARAGE	+210			+2205	+945	
TOTAL STANDARD LIVING FORM (A) (B) (C)	3635					
TOTAL STANDARD LIVING FORM (D) (E) (F)	3657					
TOTAL STANDARD LIVING FORM (G)	3793					
TOTAL STANDARD LIVING FORM (H)	3858					
TOTAL STANDARD LIVING FORM (J)	3709					

CODE CONFORMANCE NOTES

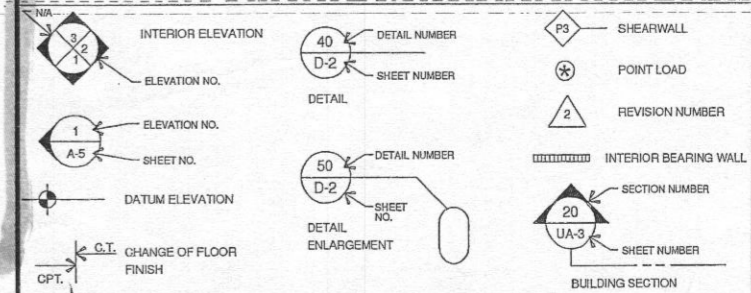
2012 IRC, 2012 IECC  
 USE GROUP R-5  
 CONSTRUCTION CLASSIFICATION 5B  
 HEIGHT & AREA LIMITATIONS OF BLDG. TWO (2) STORY 35'-0" H.  
 NFPA 13-D - INTERIOR SPRINKLER SYSTEM 4800 S.F./FLR MAX.

SITE CONDITIONS

WIND SPEED	90 MPH
EXPOSURE	A
GROUND SNOW LOAD	30 LBS/SF
SOIL BEARING CAPACITY	2500 PSF
LIQUID SOIL PRESSURE	45 PCF
FROST DEPTH	36"

Belle Haven  
 lot (37)  
 B14003665

DESIGNATIONS



NO DEVIATIONS FROM THESE CONSTRUCTION DOCUMENTS WILL BE PERMITTED WITHOUT THE APPROVAL OF ARA HOVNANIAN, TOM PELLERITO, OR NICK PAPPAS

ARCHITECTS:  
 DAWN BOGGIO KORBELAK  
 LICENSE # 16748  
 110 WEST FRONT STREET  
 RED BANK, NJ 07701  
 732-385-2830

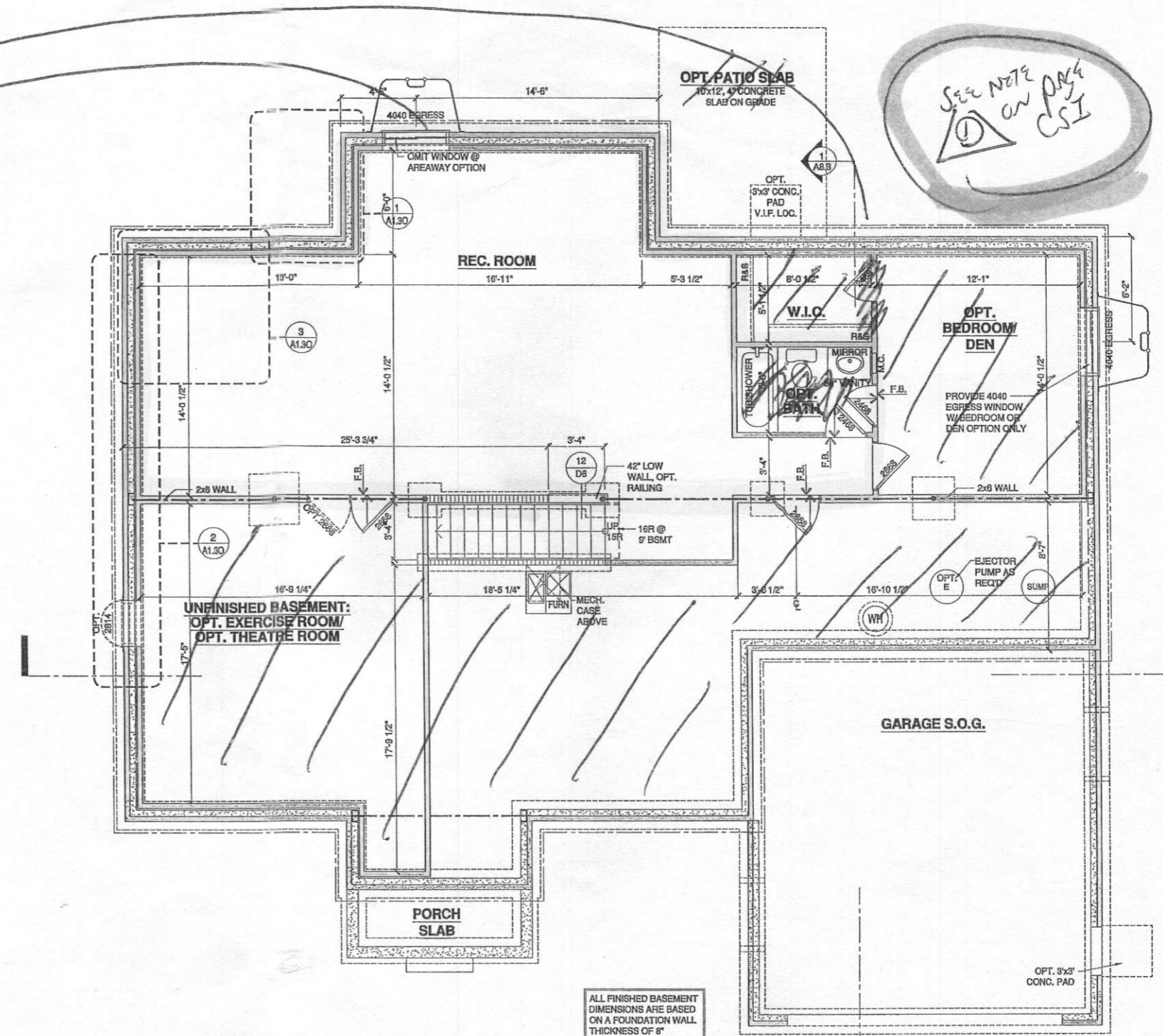
HOME STYLE: 50 - BOULDER - 5054  
 MODEL: 50 - BOULDER - 5054  
 DRAWING TITLE: COVER SHEET  
 SHEET NO.: CS1

RELEASE # 001  
 VERSION # 5/7/2014  
 RELEASE DATE: 5/7/2014  
 DRAWN BY: CB  
 SENIOR ARCHITECT: GD  
 P.T. DATE: 12/10/14

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

See  
PAGE 02-3  
FOR  
BASMENT  
AREA UNDER  
EXTENDED  
FAMILY ROOM,  
MEANING ROOM

See NOTE on PAGE 02-3  
CSI



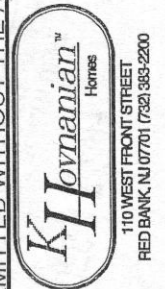
1 FINISHED BASEMENT PLAN  
SCALE: 1/4"=1'-0"

ALL FINISHED BASEMENT  
DIMENSIONS ARE BASED  
ON A FOUNDATION WALL  
THICKNESS OF 8"



RECEIVED  
DEC 14 2014

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ARCHITECTS:  
DAWN BOGGIO KORBELAK  
LICENSE # 16748  
110 WEST FRONT ST. RED BANK, NJ 07701  
732-983-2830

HOME STYLE	VERSION #
001	
RELEASE DATE:	5/7/2014
DRAWN BY:	CB
SENIOR ARCHITECT:	GD
DATE:	12/14/2014

50 - BOULDER - 5054  
DRAWING TITLE:  
FORM H - FULL  
FINISHED BASEMENT

A1.3H2

DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_