

HOWARD COUNTY PERMIT APPLICATION

PERMIT NUMBER

306005222

Building Address 7533 Cherry Tree Dr
Fuller MD 20759

Suite/Apt. #: _____ SDP/WP/Petition #: _____

Census Tract _____ Subdivision _____

Section _____ Area _____ Lot 1B

Tax Map _____ Parcel _____ Grid _____

Zoning _____ Map Coordinates _____ Lot size _____

Property Owner's Name James P. & Susan M. Reed

Address 7533 Cherry Tree Dr

City Fuller State MD Zip Code 20759

Home Phone 301-460-4111 Work Phone _____

Applicant's Name & Mailing Address, (if other than stated hereon):

Phone _____ Fax _____

Existing Use _____

Proposed Use Remodeling/renovating

Estimated Construction Cost \$ 63,740

Description of Work Finish 2nd story, install over existing
group - remove existing DB to bath/hall/closet
+ remodel
DB = master, remove + rebuild cabinets

Contractor Company Specialty Construction

Contact Person Nancy Dorne

Address 2420 Alps Dr

City Fuller State _____ Zip Code 20759

License No. 810372

Phone 410-635-6511 Fax _____

Occupant or Tenant _____

Contact Name _____

Address _____

City _____ State _____ Zip Code _____

Phone _____ Fax _____

Engineer or Architect Company _____

Contact Person _____

Address _____

City _____ State _____ Zip Code _____

Phone _____ Fax _____

BUILDING DESCRIPTION - COMMERCIAL

BUILDING DESCRIPTION - RESIDENTIAL

Building Characteristics	Utilities
Height: _____	Water Supply: _____ _____ Public _____ Private
No. of stories: _____	Sewage Disposal: _____ _____ Public _____ Private
Gross area, sq. ft. per floor: _____	Electric Yes <input type="checkbox"/> No <input type="checkbox"/>
Use group: _____	Gas Yes <input type="checkbox"/> No <input type="checkbox"/>
Construction type: _____ _____ Reinforced Concrete _____ Structural Steel _____ Masonry _____ Wood Frame _____ State Certified Modular	Heating System: _____ Electric <input type="checkbox"/> Oil <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas <input type="checkbox"/>
	Sprinkler system: N/A <input type="checkbox"/> _____ Full _____ Partial _____ Other Suppression _____ # of Heads

Building Characteristics	Utilities
SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/>	Water Supply: _____ _____ Public _____ Private
1st floor: _____ Depth _____ Width _____	Sewage Disposal: _____ _____ Public _____ Private
2nd floor: <u>30'4"</u> _____	Electric Yes <input type="checkbox"/> No <input type="checkbox"/>
Basement: _____	Gas Yes <input type="checkbox"/> No <input type="checkbox"/>
Finished Basement <input type="checkbox"/> Unfinished Basement <input type="checkbox"/>	Heating System: _____ Electric <input type="checkbox"/> Oil <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas <input type="checkbox"/>
Crawl space <input type="checkbox"/> Slab on Grade <input type="checkbox"/>	Sprinkler system: N/A <input type="checkbox"/> _____ NFPA #13D _____ NFPA #13R _____ Other:
No. of Bedrooms _____	
Height: _____	
Multi-family dwellings: _____	
No. of efficiency units: _____	
No. of 1 BR units: _____	
No. of 2 BR units: _____	
No. of 3 BR units: _____	
Other Structure: _____	
Dimensions: _____	
Footings: _____	
Roof Height: _____	
_____ State Certified Modular	
_____ Manufactured Home	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature Nancy M. Dorne

Title/Company Specialty Construction Services

Print Name Nancy M. Dorne

Date 9/20/06

Checks payable to: **DIRECTOR OF FINANCE OF HOWARD COUNTY**
 ** PLEASE WRITE NEATLY AND LEGIBLY. **
- FOR OFFICE USE ONLY -

AGENCY	DATE	SIGNATURE APPROVAL
Land Development, DPZ		
State Highways		
Building Official		
Dev. Engineering, DPZ	<u>10/30/06</u>	<u>[Signature]</u>
Health		
Fire Protection		

Is Sediment Control approval required prior to issuance?
 YES NO

CONTINGENCY CONSTRUCTION START:

ONE STOP SHOP:

DPZ SETBACK INFORMATION	PROPERTY ID#:
Front: _____	Filing fee \$ <u>25.00</u>
Rear: _____	Permit fee \$ _____
Side: _____	Excise tax \$ _____
Side St.: _____	Add'l per. fee \$ _____
All minimum setbacks met?	TOTAL FEES \$ _____
YES <input type="checkbox"/> NO <input type="checkbox"/>	Sub-total paid \$ _____
Is Entrance Permit required?	Balance due \$ _____
YES <input type="checkbox"/> NO <input type="checkbox"/>	Check # <u>2447</u>
Historic District?	Validation # _____
YES <input type="checkbox"/> NO <input type="checkbox"/>	
Lot Coverage for NewTown Zone _____	
SDP/Red-line approval date _____	Accepted by _____

1301

WEST

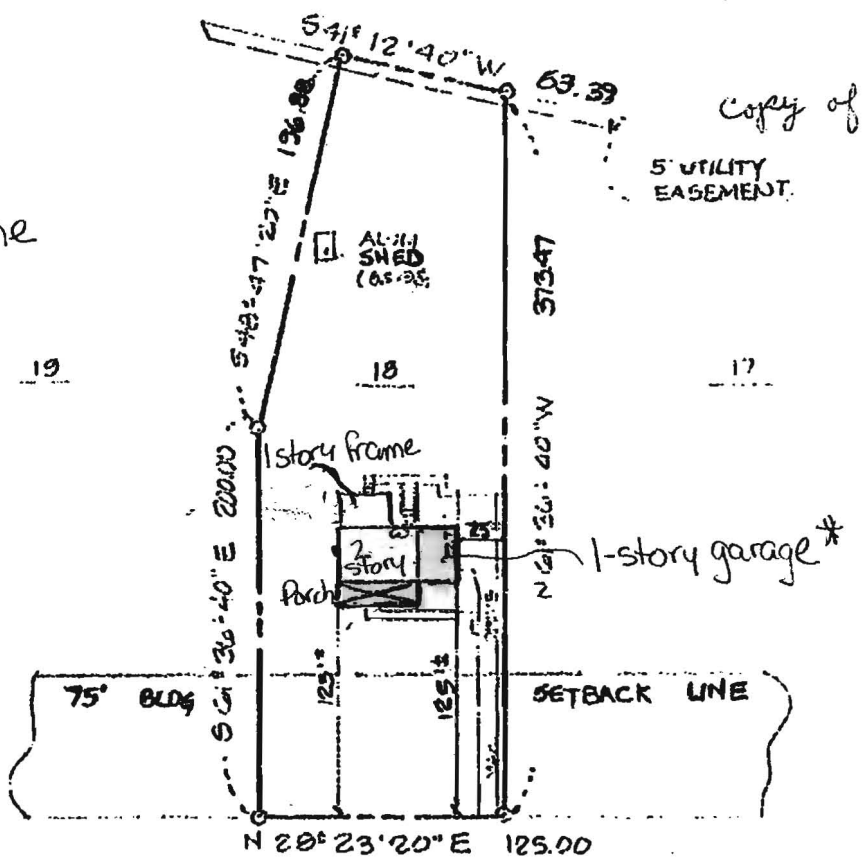


Homeowners

Joseph + Colleen Greene
7533 Cherry Tree Dr.
Fulton, MD 20759
301-490-4190

CONTRACTOR

B Square Constr., Inc.
2420 Ailes Dr
New Windsor, MD
410-635-6511 2176
M+HC #: 86372



Proposed Work

- 1) Add 2nd level over existing 1-story garage*
- 2) Remove + Rebuild Porch
- 3) Renovations to existing 2nd story

CERRY TREE DRIVE

NOTE: I ALSO KNOWN AS LOT 18 BLOCK C AS SHOWN ON "PLAT ONE MOORESFIELD" RECORDED IN HOWARD CO. MD. IN PLATBOOK 9 FOLIO 5.

I HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THIS LOT FOR THE PURPOSE OF LOCATING THE IMPROVEMENTS THEREON AND THAT THEY ARE LOCATED AS SHOWN.

John C. Mellema / 5-4-93

Subject property is shown in Zone C
on the National Flood Insurance Program
Flood Insurance Rate Map of Howard
County, Maryland, Panel # 38 OF 45
Community Panel # 240044 0038 B
Effective Date: DEC 4 1986



CASE# 53159
THIS PLAT IS NOT INTENDED FOR USE IN ESTABLISHING PROPERTY LINES

LOCATION SURVEY		SCALE: 1" = 100'
7533 CHERRY TREE DRIVE HOWARD COUNTY MD		DATE: 5-4-93
JOHN C. MELLEMA SR., INC. LAND SURVEYORS		JOB NO: 59524
6313 EAST DRIVE	BALTIMORE, MARYLAND 21227	(301) 247-7488

SITE INSPECTION SHEET

OWNER: Joseph & Colleen Greene PHONE #: 301-490-4190

ADDRESS: 7533 Cherry Tree Dr CONTRACTOR: _____

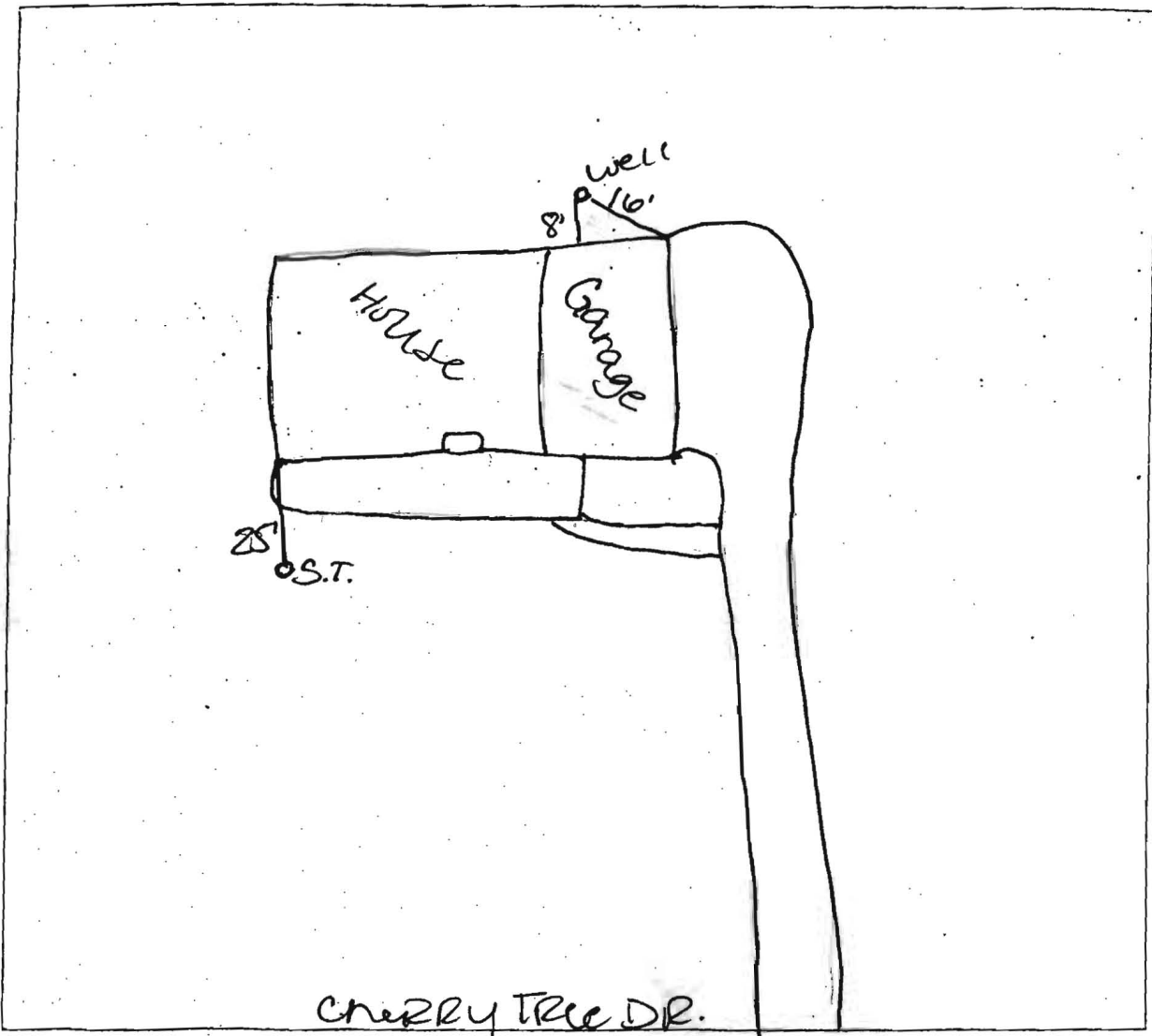
WELL TAG #: _____

SUBDIVISION: _____ LOT: _____ COUNTY #: _____

PROPOSAL: Building an addition over garage

Need to check status of ex. system

LOCATION DIAGRAM



COMMENTS: Septic Tank levels OK (at 10/20/06)

NOTES

1.0 GENERAL

1.01 CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES, REGULATIONS AND AMENDMENTS AND ALL OTHER AUTHORITIES HAVING JURISDICTION. CONSTRUCTION SHALL COMPLY WITH INTERPRETATIONS OF THE LOCAL BUILDING OFFICIAL. IF THE INTERPRETATION OF THE LOCAL BUILDING OFFICIAL IS AT VARIANCE WITH THESE PLANS OR SPECIFICATIONS, THE MORE STRINGENT SHALL APPLY.

1.02 IN THE EVENT OF A DISCREPANCY BETWEEN THE ARCHITECTURAL PLANS OR SPECIFICATIONS AND THE STRUCTURAL DRAWINGS, THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE.

1.03 DESIGN LOADS:

TYPE	LIVE LOAD (PSF)	DEAD LOAD (PSF)
ROOF	30	17
SLEEPING ROOMS	30	15
OTHER LIVING AREAS	40	15
GARAGE FLOORS	50	50
DECKS	40	10
EXTERIOR BALCONIES	60	15

2.01 SITE WORK IS NOT ADDRESSED IN THESE DOCUMENTS.

3.0 CONCRETE/FOUNDATIONS

3.01 ALL REINFORCED CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE ACI 318, CURRENT EDITION. ALL PLAIN CONCRETE SHALL CONFORM TO ACI 318.1 AND ACI 332R GUIDE TO RESIDENTIAL CAST-IN-PLACE CONCRETE CONSTRUCTION.

3.02 MINIMUM SPECIFIED COMPRESSIVE STRENGTH @ 28 DAYS:

LOCATION OF CONCRETE	F _c (PSI)
BASEMENT WALLS AND FOUNDATIONS NOT EXPOSED TO WEATHER	2500
BASEMENT SLABS AND INTERIOR SLABS ON GRADE	2500
BASEMENT WALLS, EXTERIOR FOUNDATION WALLS AND OTHER WORK EXPOSED TO WEATHER	3000
DRIVEWAYS, CURBS, WALKS, PATIOS, PORCHES, STEPS/STAIRS AND UNHEATED GARAGE SLABS EXPOSED TO WEATHER	3500

3.03 THICKNESS AND REINFORCING OF CONCRETE FOUNDATION WALLS SHALL CONFORM TO THE INTERNATIONAL RESIDENTIAL CODE, CURRENT EDITION, TABLE R404.1.1 (1-4), OR WITH SEALED STRUCTURAL DRAWINGS SPECIFIC TO THE SITE SOIL AND GRADE CONDITIONS.

4.0 MASONRY

4.01 ALL MASONRY WORK SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE BIA AND NCA "SPECIFICATION FOR CONCRETE MASONRY CONSTRUCTION."

4.02 BRICK VENEER WALLS SHALL HAVE NON-CORROSIVE METAL TIES AT MINIMUM 16" O.C. VERTICALLY AND HORIZONTALLY, AND WEEP HOLES AT 24" O.C. AT BASE FLASHING AND CAVITY INTERRUPTIONS.

5.0 METALS

5.01 FOUNDATION ANCHORS SHALL BE PROVIDED AT MAXIMUM 6'-0" O.C. AND 12" FROM THE END OF EACH SECTION, WITH MINIMUM TWO (2) ANCHORS PER SECTION OF PLATE.

5.02 ALL METAL ANCHORS, FASTENERS, HANGERS ETC. SHALL BE GALVANIZED. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM-A36 WITH MINIMUM STRENGTH F_y = 36 KSI.

5.03 ADJUSTABLE STEEL COLUMNS SHALL BE MINIMUM 11 GAUGE, ASTM A513 OR BETTER, AND SHALL MEET OR EXCEED ALLOWABLE LOADS FOR TAPCO'S "MONOPOST". COLUMNS SHALL HAVE A MINIMUM 8"x4"x1/4" BEARING PLATE. SCREW JACK SHALL BE ENCASED IN CONCRETE OR TACK WELDED AFTER INSTALLATION.

6.0 WOOD

6.01 SILL PLATES AND ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE, AND ALL EXPOSED EXTERIOR LUMBER, SHALL BE PRESSURE TREATED TO MEET AWPI STANDARDS.

6.02 MOISTURE CONTENT OF ALL LUMBER SHALL NOT EXCEED 19%.

6.03 WOOD BEAMS, JOISTS, HEADERS AND RAFTERS SHALL BE MINIMUM S-P-F 1/2" OR EQUAL UNLESS OTHERWISE NOTED.

6.04 LVL MEMBERS SHALL BE 1-3/4" WIDE, DEPTH PER PLANS, GANGED PER MANUFACTURER'S SPECIFICATIONS, WITH THE FOLLOWING MINIMUM PROPERTIES: F_b=2,600 PSI; F_c=150 PSI; F_v=285 PSI; E=1,300,000 PSI.

6.05 PSL MEMBERS SHALL BE SIZED PER PLANS, WITH THE FOLLOWING MINIMUM PROPERTIES: F_b=2300 PSI; F_c=150 PSI; F_v=230 PSI; E=2,000,000 PSI.

6.06 PREFABRICATED FLOOR JOISTS OR FLOOR TRUSSES SHALL BE DESIGNED TO CARRY ALL IMPOSED LIVE AND DEAD LOADS WITH THE LIVE LOAD DEFLECTION NOT TO EXCEED L/480. THE MANUFACTURER SHALL PROVIDE ALL REQUIRED HANGERS, SHEAR PANELS, BLOCKING/BRACING AND OTHER REQUIRED COMPONENTS. THE MANUFACTURER SHALL ALSO PROVIDE ALL DRAWINGS REQUIRED FOR PERMIT AND ERECTION PURPOSES, SIGNED AND SEALED IF REQUIRED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THE JOB IS TO BE BUILT.

6.07 PRE-ENGINEERED TRUSSES SHALL BE DESIGNED AND FABRICATED IN ACCORDANCE WITH TPI RECOMMENDATIONS TO CARRY ALL IMPOSED LIVE AND DEAD LOADS. THE MANUFACTURER SHALL SUPPLY ALL REQUIRED HANGERS, HOLD-DOWN STRIPS, SHEAR PANELS AND OTHER REQUIRED COMPONENTS. THE MANUFACTURER SHALL ALSO PROVIDE ALL DRAWINGS REQUIRED FOR PERMIT AND ERECTION PURPOSES, SIGNED AND SEALED IF REQUIRED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THE JOB IS TO BE BUILT.

6.08 JOISTS SHALL BE DOUBLED UNDER PARALLEL WALLS THAT EXCEED ONE-THIRD THE JOIST LENGTH. JOISTS SHALL BE SPACED CLOSER UNDER BATH TUBS, CERAMIC OR MARBLE TILE, POTENTIAL WATER BEDS AND SIMILAR ANTICIPATED LOADING CONDITIONS. JOISTS SHALL NOT BE CUT, NOTCHED OR DRILLED EXCEPT AS PERMITTED BY IRC 2000 R502.8 OR OTHER APPLICABLE CODE.

6.09 HEADERS OVER FRAMED OPENINGS IN BEARING WALLS SHALL BE MINIMUM 2-2X10 UNLESS OTHERWISE NOTED ON DRAWINGS, BUT SHALL IN NO EVENT BE LESS THAN SPECIFIED IN IRC 2000 TABLE R502.5 OR OTHER APPLICABLE CODE.

7.0 THERMAL AND MOISTURE PROTECTION

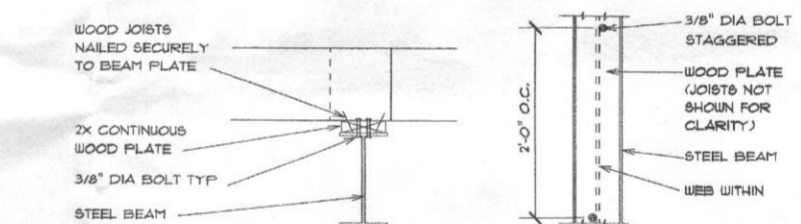
7.01 1/2" X 3-1/2" COMPRESSIBLE SILL SEAL SHALL BE PROVIDED BENEATH ALL EXTERIOR SILL PLATES.

7.02 INSULATION SHALL BE PROVIDED AS FOLLOWS:

- 2X4 WALLS: R-13 MINIMUM WITH INTEGRAL VAPOR BARRIER
- 2X6 WALLS: R-19 MINIMUM WITH INTEGRAL VAPOR BARRIER
- CEILING AT ROOF: R-38 MINIMUM, BLOWN OR BATT
- FLOOR OVER UNHEATED AREA: R-30 BATT
- UNFINISHED BASEMENT WALLS: R-11 MINIMUM FOIL-FACED
- FINISHED BASEMENT WALLS: R-13 MINIMUM W/INT. V.B.
- BASEMENT SLAB: R-7 MINIMUM RIGID EXTERIOR GRADE, EXTENDING 24" HORIZONTALLY AND/OR VERTICALLY OR PER LOCAL JURISDICTION

STANDARD DETAILS

NO SCALE



SECTION @ STEEL BEAM
PLAN @ STEEL BEAM

BEAM BRACING DETAIL
NO SCALE

INDEX OF DRAWINGS

- CS: COVER SHEET NOTES & DETAILS
- A-1: FRONT & REAR ELEVATIONS
- A-2: LEFT & RIGHT ELEVATIONS
- A-3: FIRST FLOOR PLAN
- A-4: SECOND FLOOR PLAN
- A-5: BUILDING SECTION

RONALD JOHNSTON AND ASSOCIATES, ARCHITECTS

11407 BARLEY FIELD WAY
MARRIOTTVILLE, MD 21104 410-442-3667

ALTERATION AND ADDITION TO
GREENE RESIDENCE

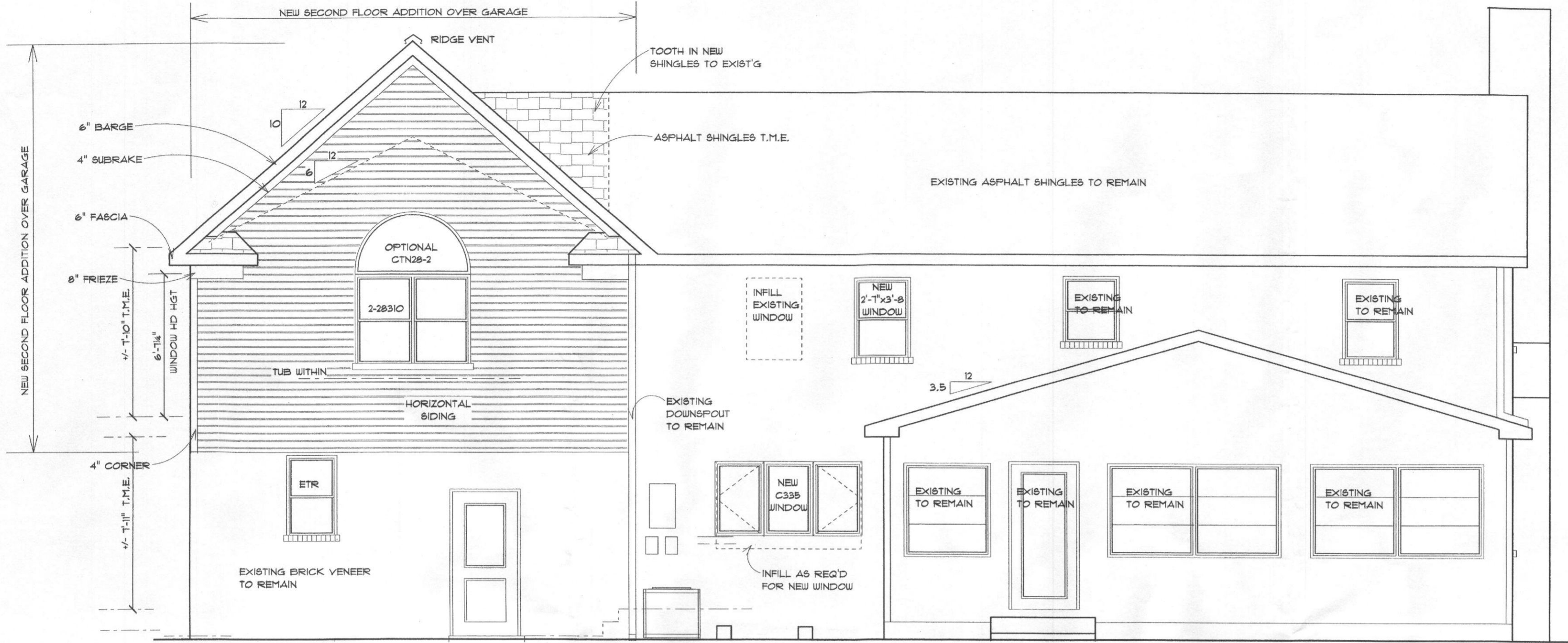
SCALE: 1/4" = 1'-0"
OR AS NOTED

REVISIONS

DATE 04-03-06

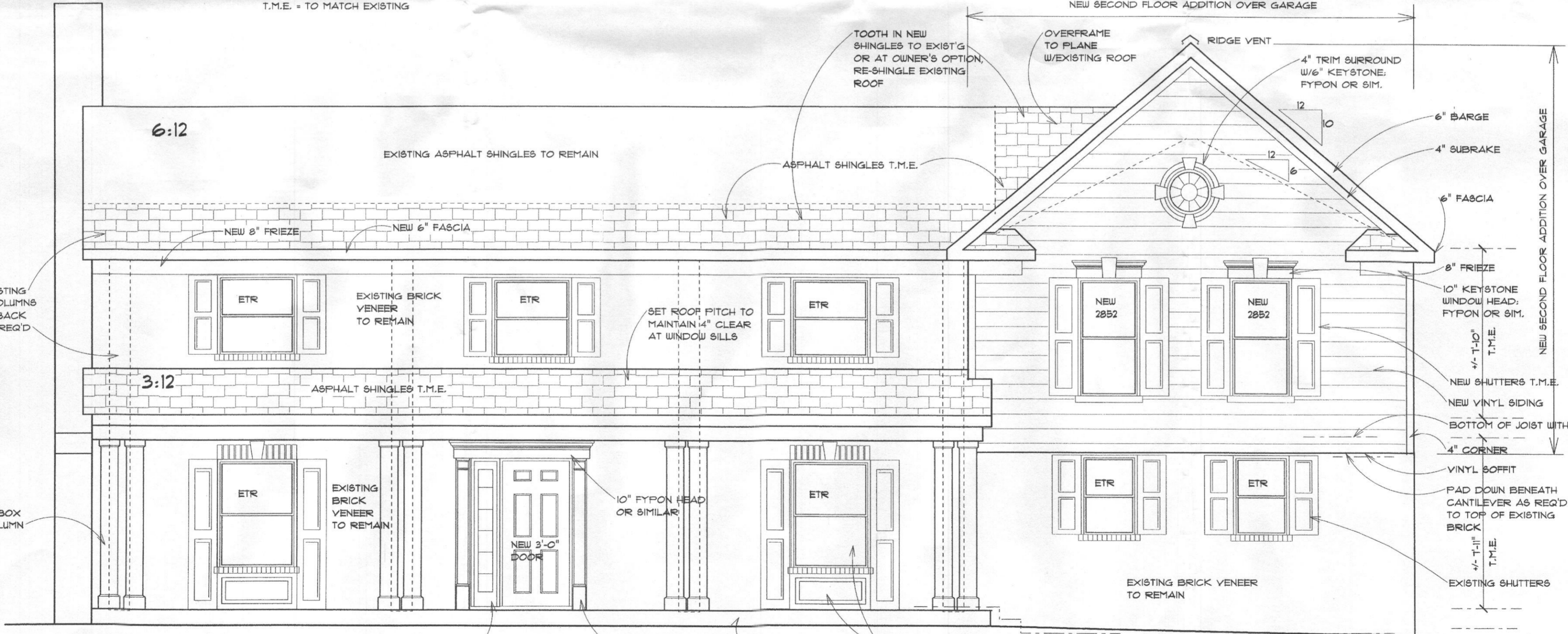
SHEET NO.

CS



REAR ELEVATION

T.M.E. = TO MATCH EXISTING



FRONT ELEVATION

T.M.E. = TO MATCH EXISTING
ETR = EXISTING TO REMAIN

RONALD JOHNSTON AND ASSOCIATES, ARCHITECTS

11407 BARLEY FIELD WAY
MARRIOTTVILLE, MD 21104 410-442-3667

ALTERATION AND ADDITION TO
GREENE RESIDENCE

SCALE: 1/4" = 1'-0"
OR AS NOTED

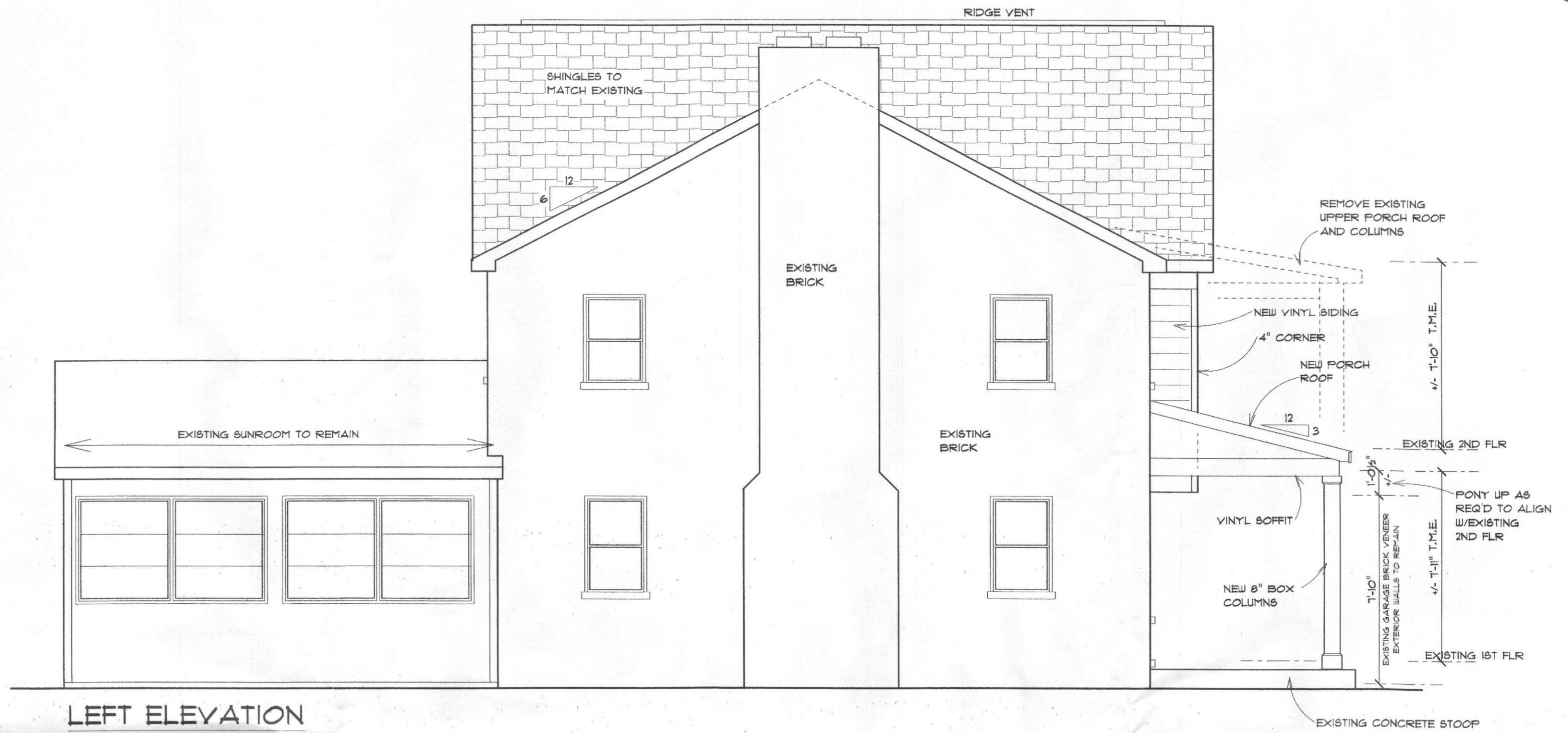
REVISIONS

NO.	DESCRIPTION

DATE 04-03-06

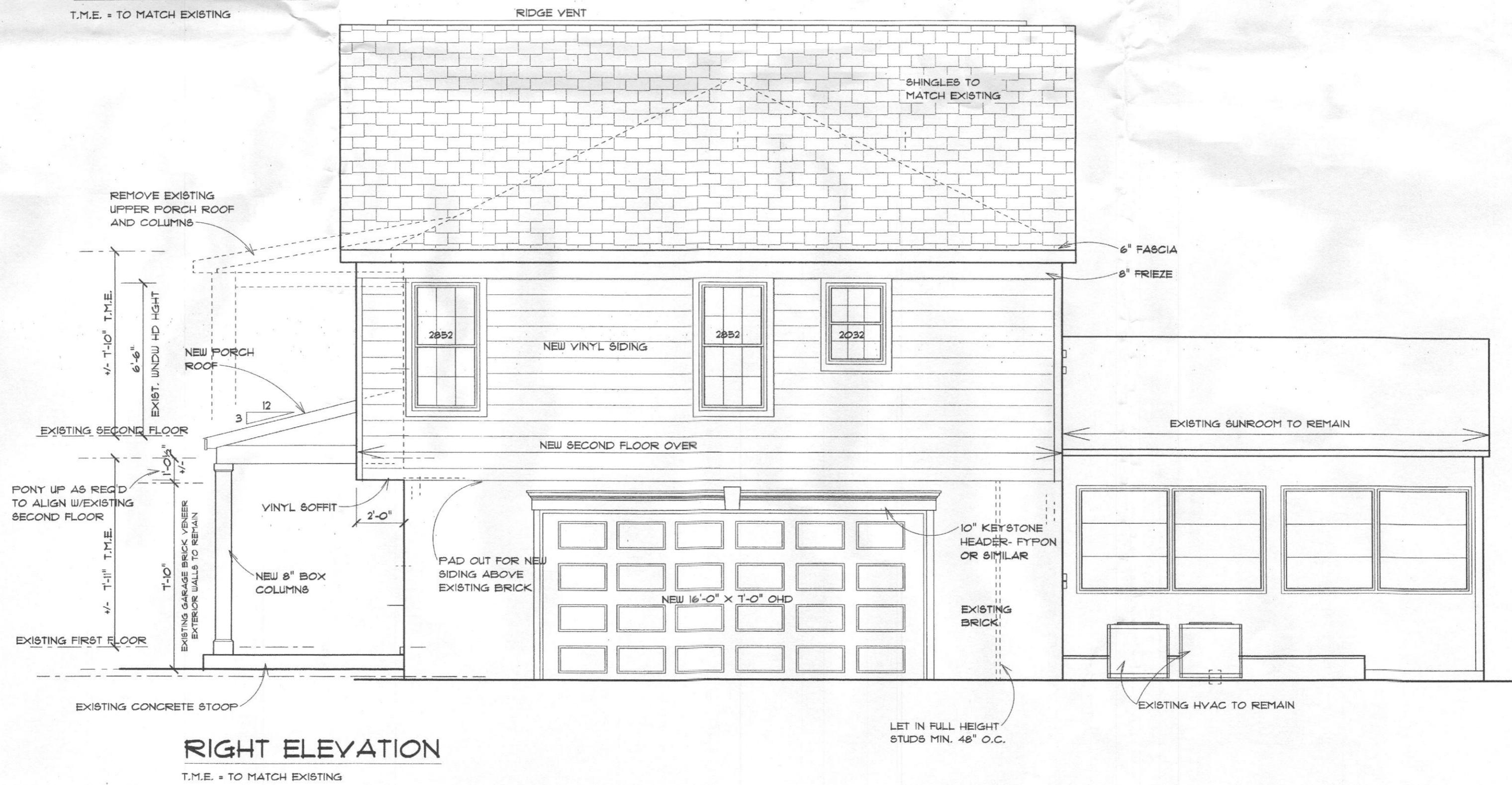
SHEET NO.

A-1



LEFT ELEVATION

T.M.E. = TO MATCH EXISTING



RIGHT ELEVATION

T.M.E. = TO MATCH EXISTING

RONALD JOHNSTON AND
ASSOCIATES, ARCHITECTS

11407 BARLEY FIELD WAY
MARRIOTTSVILLE, MD 21104 410-442-3667

ALTERATION AND ADDITION TO
GREENE RESIDENCE

ALTERATION AND ADDITION TO

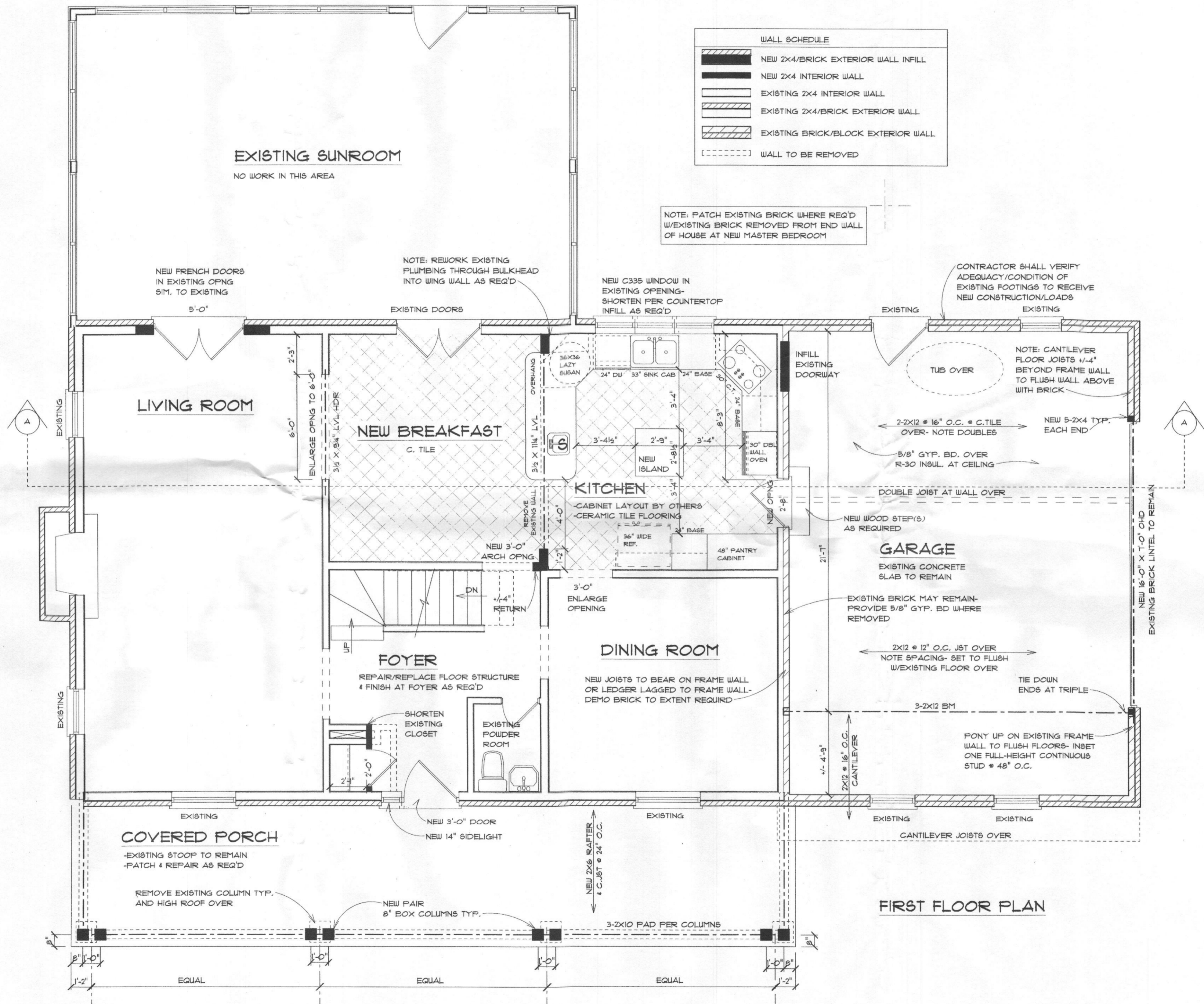
SCALE: 1/4" = 1'-0"
OR AS NOTED

REVISIONS

DATE 04-03-06

SHEET NO.

A-2



RONALD JOHNSTON AND ASSOCIATES, ARCHITECTS
11407 BARLEY FIELD WAY
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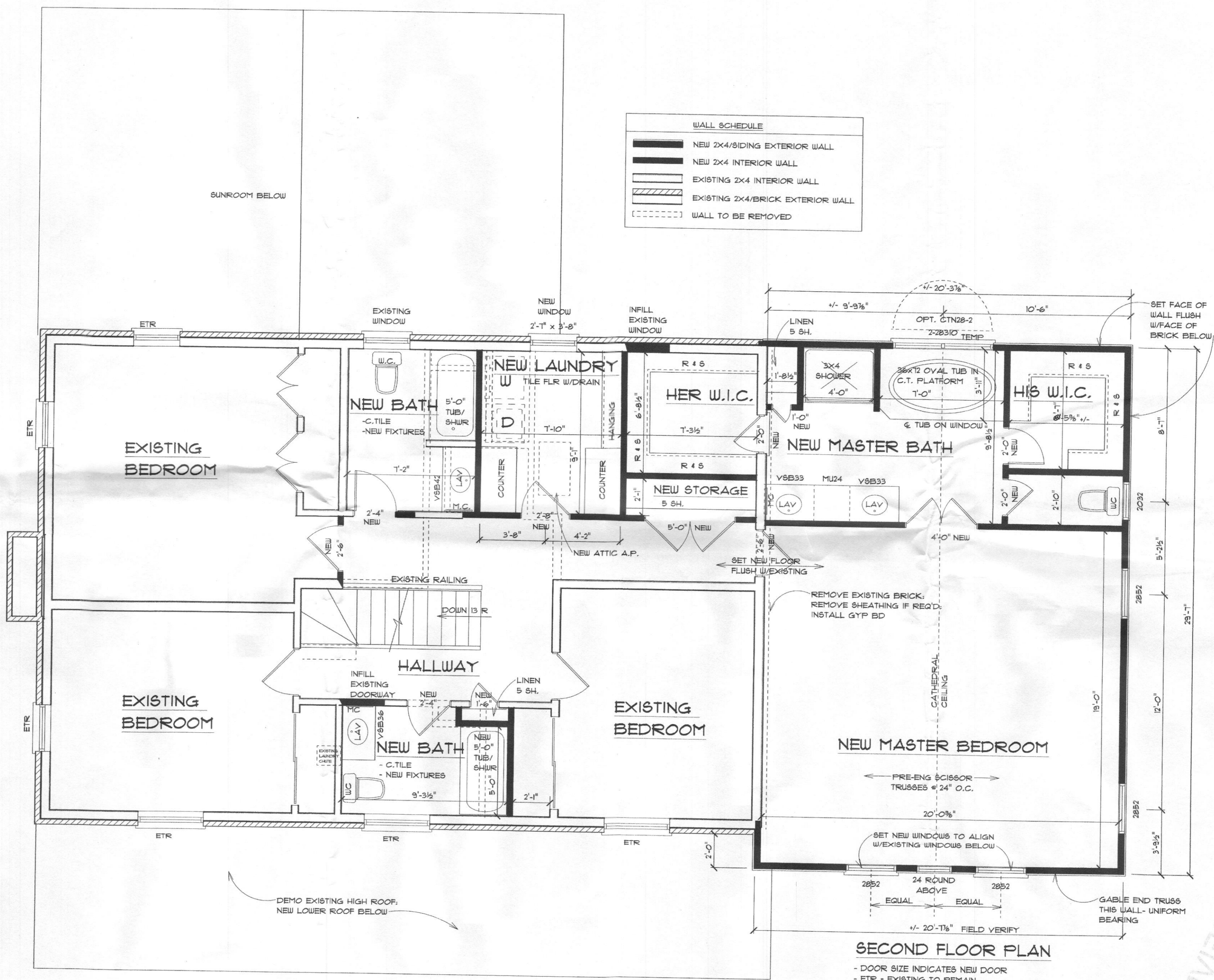
ALTERATIONS AND ADDITION TO
GREENE RESIDENCE

SCALE: 1/4" = 1'-0"
OR AS NOTED

REVISIONS

DATE 04-03-06

SHEET NO.
A-3



RONALD JOHNSTON AND ASSOCIATES, ARCHITECTS

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ALTERATIONS AND ADDITION TO
GREENE RESIDENCE

SCALE: 1/4" = 1'-0"
OR AS NOTED

NO.	REVISIONS

DATE 04-03-06

SHEET NO.

A-4

RECEIVED
APR 10 2006
1200 PINE STREET
MARRIOTTSTVILLE, MD

1223 CROWLEY DR
 GREENE, MD

RONALD JOHNSTON AND
 ASSOCIATES, ARCHITECTS

11407 BARLEY FIELD WAY
 MARRIOTTVILLE, MD 21104 410-442-3667

ALTERATIONS AND ADDITION TO
GREENE RESIDENCE

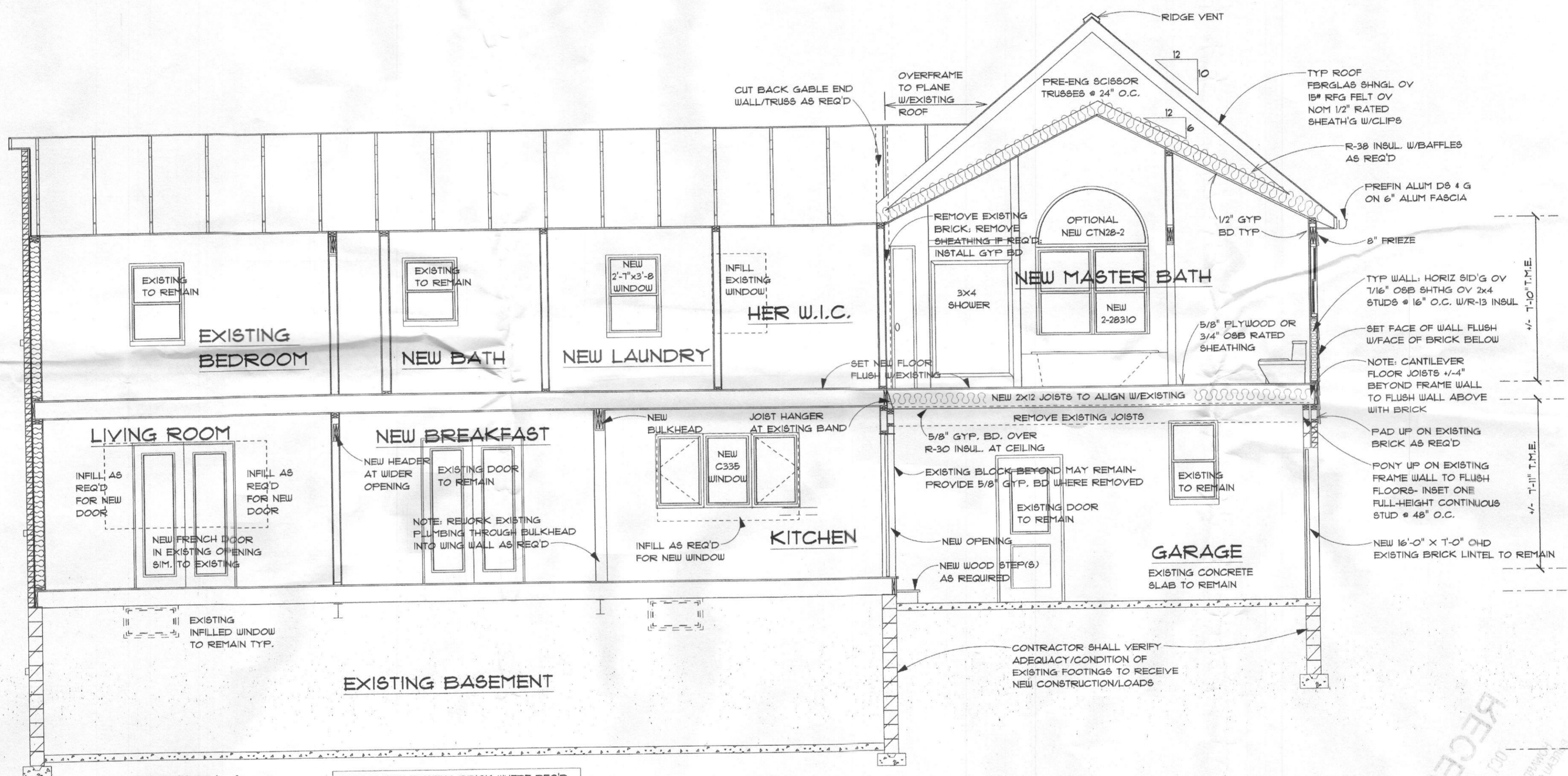
SCALE: 1/4" = 1'-0"
 OR AS NOTED

NO.	REVISIONS

DATE 04-03-06

SHEET NO.

A-5



SECTION A
 - ETR = EXISTING TO REMAIN
 - T.M.E. = TO MATCH EXISTING

NOTE: PATCH EXISTING BRICK WHERE REQ'D W/EXISTING BRICK REMOVED FROM END WALL OF HOUSE AT NEW MASTER BEDROOM

RECEIVED
 APR 15 2006
 THE UNIVERSITY OF MARYLAND
 ARCHITECTURAL RECORDS DEPARTMENT