



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 2/20/15

Permit No.: B15000645

Building Address: 13614 MITCHELLS WAY
 City: W. FRIENDSHIP State: MD Zip Code: 21194
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: CHAMFIELD
 Section: II Area: _____ Lot: 10
 Tax Map: 0015 Parcel: 0119 Grid: 0007
 Zoning: _____ Map Coordinates: _____ Lot Size: 45036 sq ft
103AC
 Existing Use: VACANT LOT
 Proposed Use: SFD
 Estimated Construction Cost: \$ 350,000
 Description of Work: "DEVONSHIRE" MODEL
4 BR 4 BATH 1-1/2 CAR GARAGE
3 CAR GARAGE
 Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: SPRING MILL LLC
 Address: 410007 4117
 City: ELICOTT CITY State: MD Zip Code: 21041
 Phone: 410-405-4244 Fax: _____
 Email: FRANK@SPRINGMILL.COM
 Applicant's Name & Mailing Address, (if other than stated herein):
 Applicant's Name: CATONSVILLE HOMES, LLC
 Address: 11175 STRATFIELD CT.
 City: MARBLETTSVILLE State: MD Zip Code: 21047
 Phone: 410-442-2211 Fax: 410-442-2215
 Email: FRANK@CATONSVILLEHOMES.COM
 Contractor Company: CATONSVILLE HOMES, LLC
 Contact Person: FRANK POTEMIN
 Address: 11175 STRATFIELD CT.
 City: MARBLETTSVILLE State: MD Zip Code: 21047
 License No.: 13853159 15482990
 Phone: 410-442-2211 Fax: 410-442-2215
 Email: FRANK@CATONSVILLEHOMES.COM
 Engineer/Architect Company: PLYMOUTH ROAD ARCHITECTS
 Responsible Design Prof.: LISA WENRICH
 Address: 640 PLYMOUTH ROAD
 City: CATONSVILLE State: MD Zip Code: 21028
 Phone: 410-486-0261 Fax: _____
 Email: lwennrich@plymouthroadarchitects.com

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input checked="" type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>4</u>	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>615000058</u>	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: FRANK POTEMIN
 Email Address: FRANK@CATONSVILLEHOMES.COM
 Title/Company: OWNER CATONSVILLE HOMES, LLC

Print Name: FRANK POTEMIN
 Date: 2/20/15

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

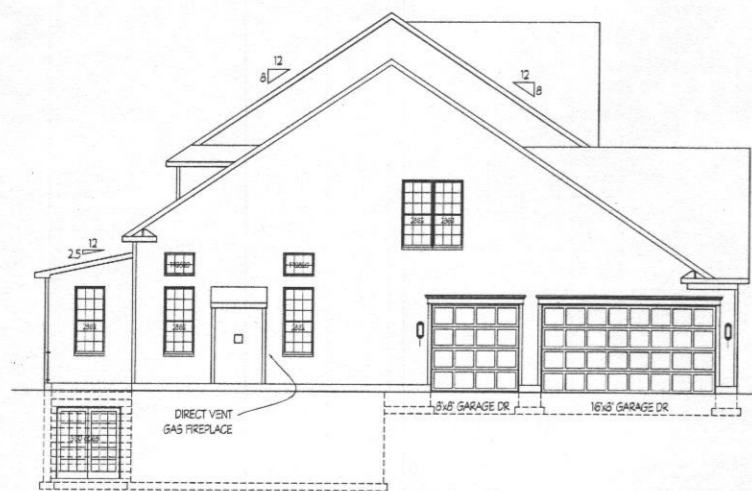
AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZA (Zoning)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>4/2/15</u>	<u>H. Oswald</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$ <u>100.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50.00</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>21304</u>

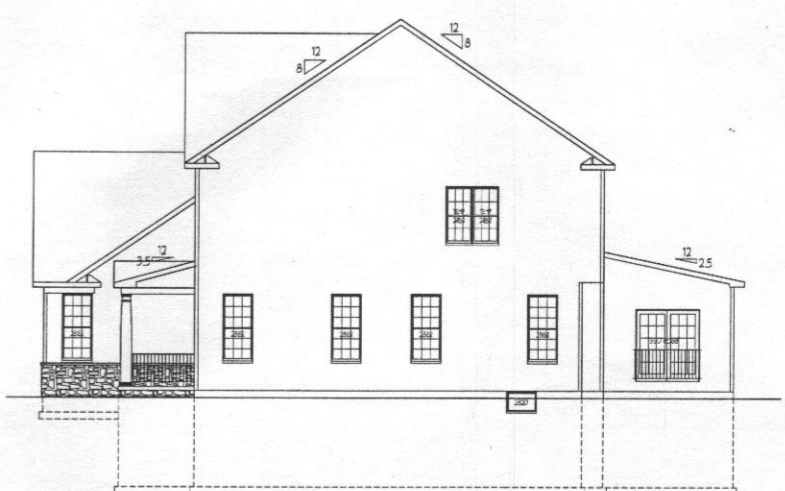
Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA



LEFT SIDE ELEVATION 1/8" = 1'-0"



REAR ELEVATION 1/8" = 1'-0"



RIGHT SIDE ELEVATION 1/8" = 1'-0"



FRONT ELEVATION 1/4" = 1'-0"

GENERAL NOTES
 GENERAL NOTES ARE ACKNOWLEDGED AND SHALL BE ADHERED TO DURING THE CONSTRUCTION.

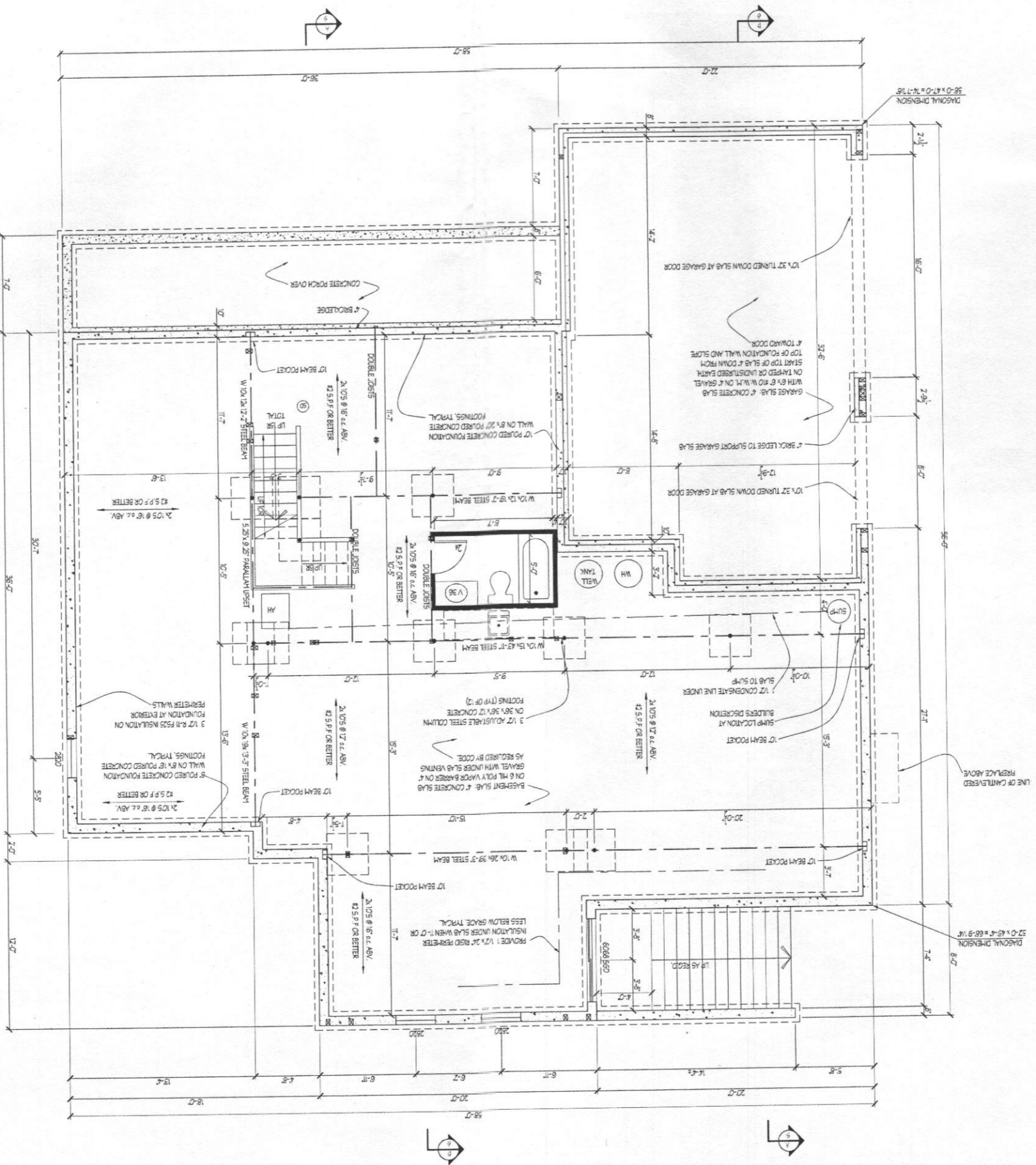
MISC. NOTES:

1. ALL WORK INCLUDING ALL STRUCTURAL, HVAC, ELECTRICAL AND OTHER SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.
2. CONTRACTOR TO VERIFY AND COORDINATE ALL THE CONDITIONS AND DIMENSIONS AT THE SITE BEFORE BEGINNING OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECTURE GROUP IMMEDIATELY.
3. ALL PRE-ENGINEERED MATERIALS, EQUIPMENT, FIXTURES, AND ETC. SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND REQUIREMENTS.
4. PRE-ENGINEERED WOOD ROOF TRUSSES AND FLOOR JOISTS SHALL BE DESIGNED FOR THE LOAD INDICATED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF MARYLAND. SHOP DRAWINGS SHALL BE SUBMITTED TO THE COUNTY PLAN REVIEWER FOR APPROVAL PRIOR TO FABRICATION.

FL1 SQ.FT.: 2095
 FL2 SQ.FT.: 1650
 Notes:

Drawing: ELEVATIONS
 Project: CATONVILLE HOMES
 DEVONSHIRE
 CLOVERFIELD II LOT 10

Project No.: C15-01
 Date: 2/15
 Scale: NOTED



FINAL SFT 2/16/15

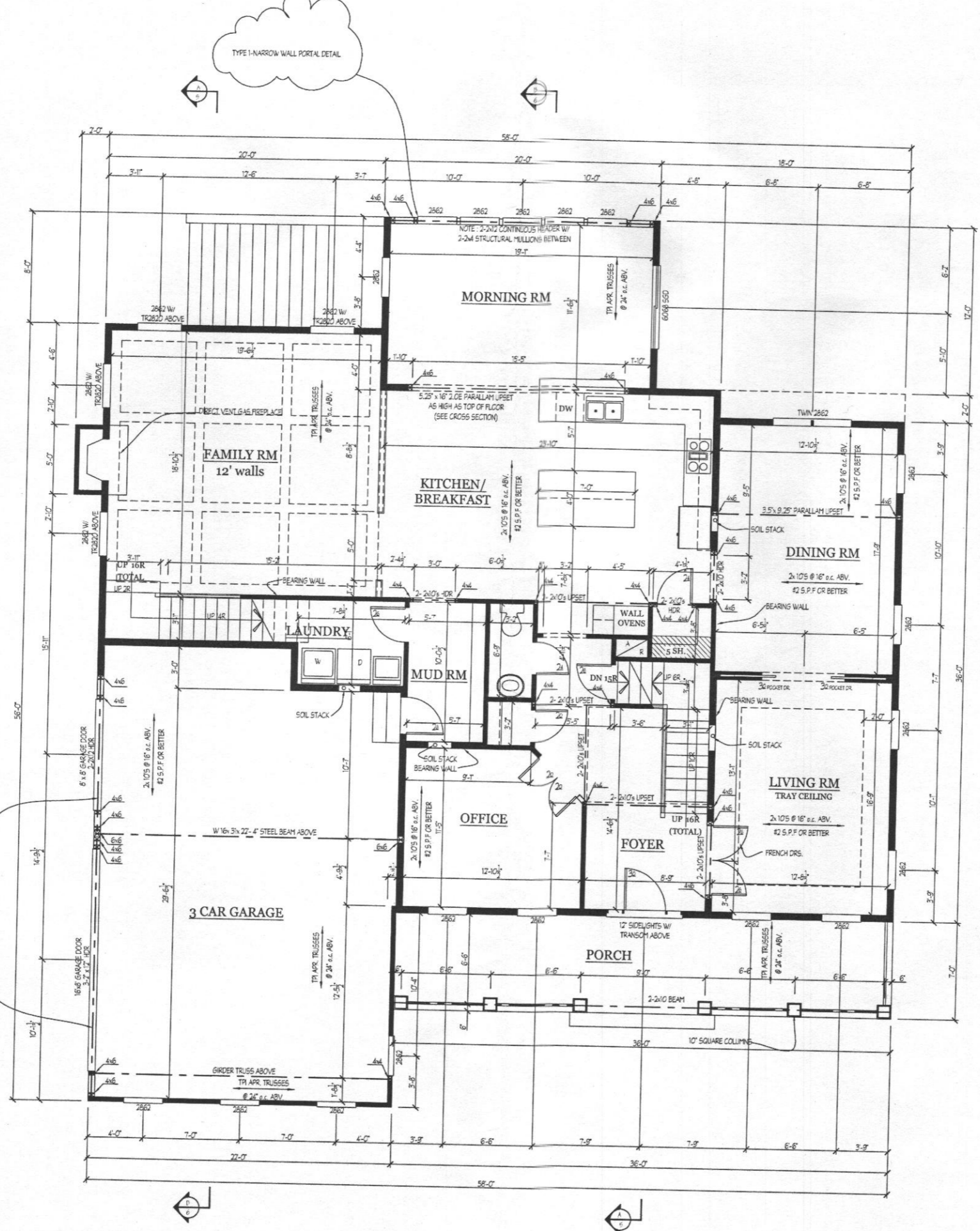
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Project No.: C15.01
 Date: 2/15
 Scale: 1/4"=1'-0"

Drawing: BASEMENT/ FOUNDATION PLAN
 Project: CATONSVILLE HOMES
 DEVONSHIRE
 CLOVERFIELD II LOT 10

Notes:

Plymouth Road Architects
 640 Plymouth Road, Baltimore, MD 21229, 410-788-0281
 PlymouthRoadArchitects.com



TYPE I-NARROW WALL PORTAL DETAIL

NOTE: WINDOW HEADERS ARE 2-2x12'S WITH 2x4 BLOCKING BELOW, AND ROUGH HEAD HEIGHTS ARE AT 7'-3" UNLESS NOTED OTHERWISE
NOTE: EXTERIOR WALLS ARE 2x6 @ 16" o.c. INTERIOR AND UNINSULATED WALLS ARE 2x4 @ 16" o.c.

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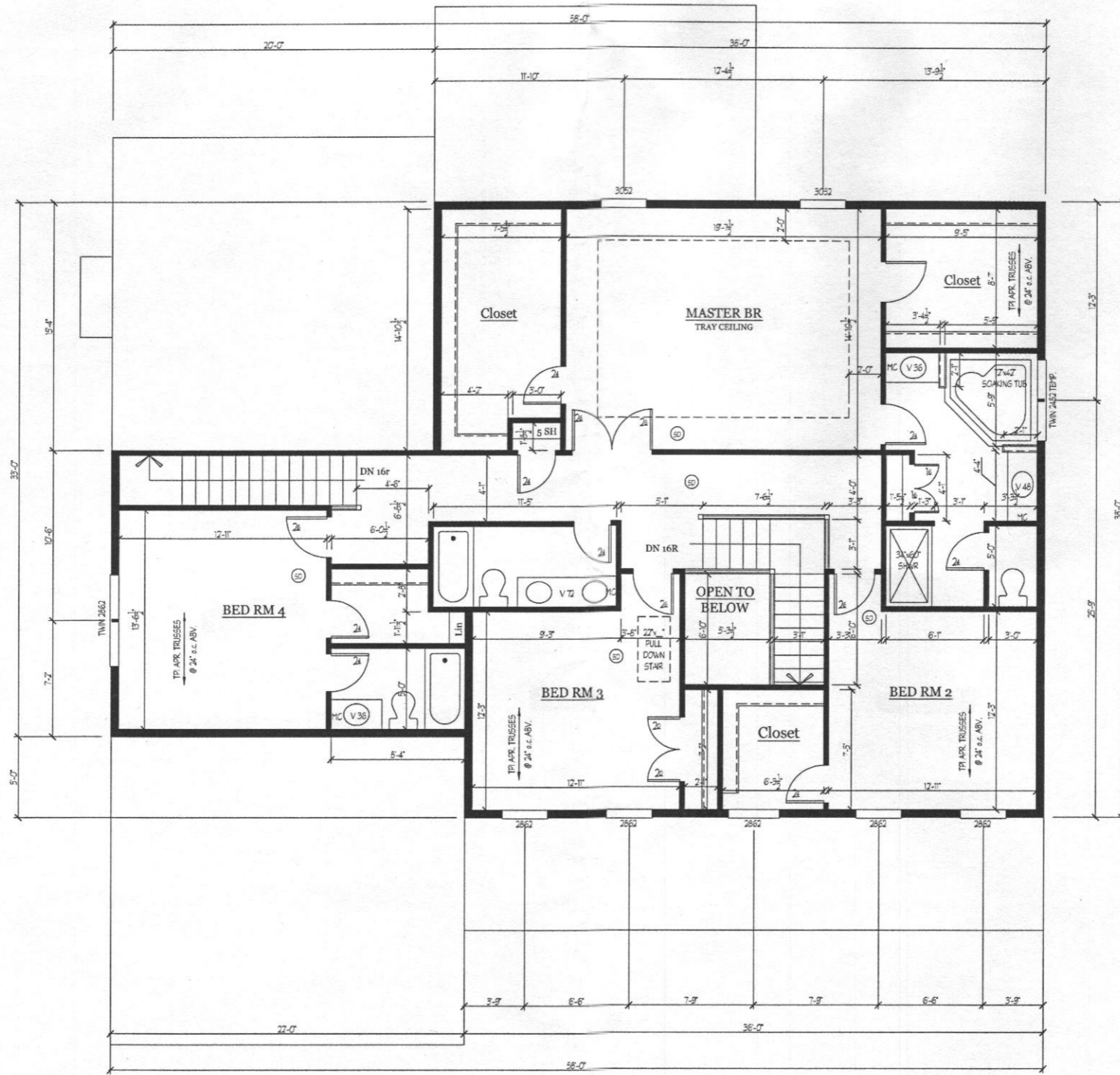
Notes:

Drawing: **FIRST FLOOR PLAN**
Project: **CATONSVILLE HOMES**
DEVONSHIRE
CLOVERFIELD II LOT 10

Project No.: C15.01
Date: 2/15
Scale: 1/4" = 1'-0"

3

FINAL SET 2/16/15



NOTE: WINDOW HEADERS ARE 2-2x10'S WITH 2x4 BLOCKING BELOW, AND ROUGH HEAD HEIGHTS ARE AT 7'-11 5/8" UNLESS NOTED OTHERWISE

NOTE: EXTERIOR WALLS ARE 2x6 @ 16" oc. INTERIOR AND UNINSULATED WALLS ARE 2x4 @ 16" oc.

FINAL SET 2/16/15

Plymouth Road Architects
 640 Plymouth Road, Baltimore, MD 21229, 410-788-0281
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Notes:

Drawing: SECOND FLOOR PLAN

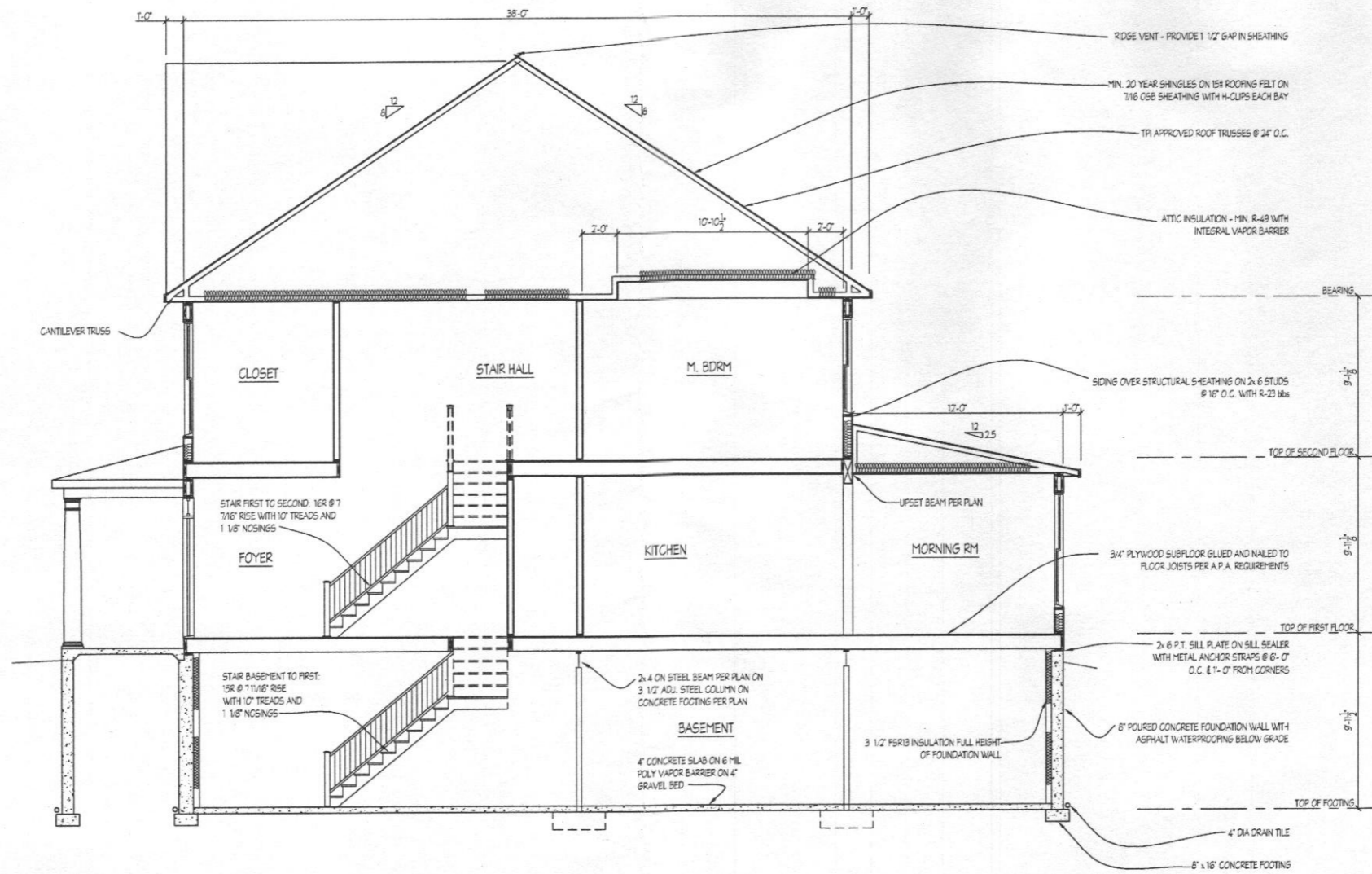
Project: **CATONSVILLE HOMES**
 DEVONSHIRE
 CLOVERFIELD II LOT 10

Project No.: C15.01

Date: 2/15

Scale: 1/4" = 1'-0"

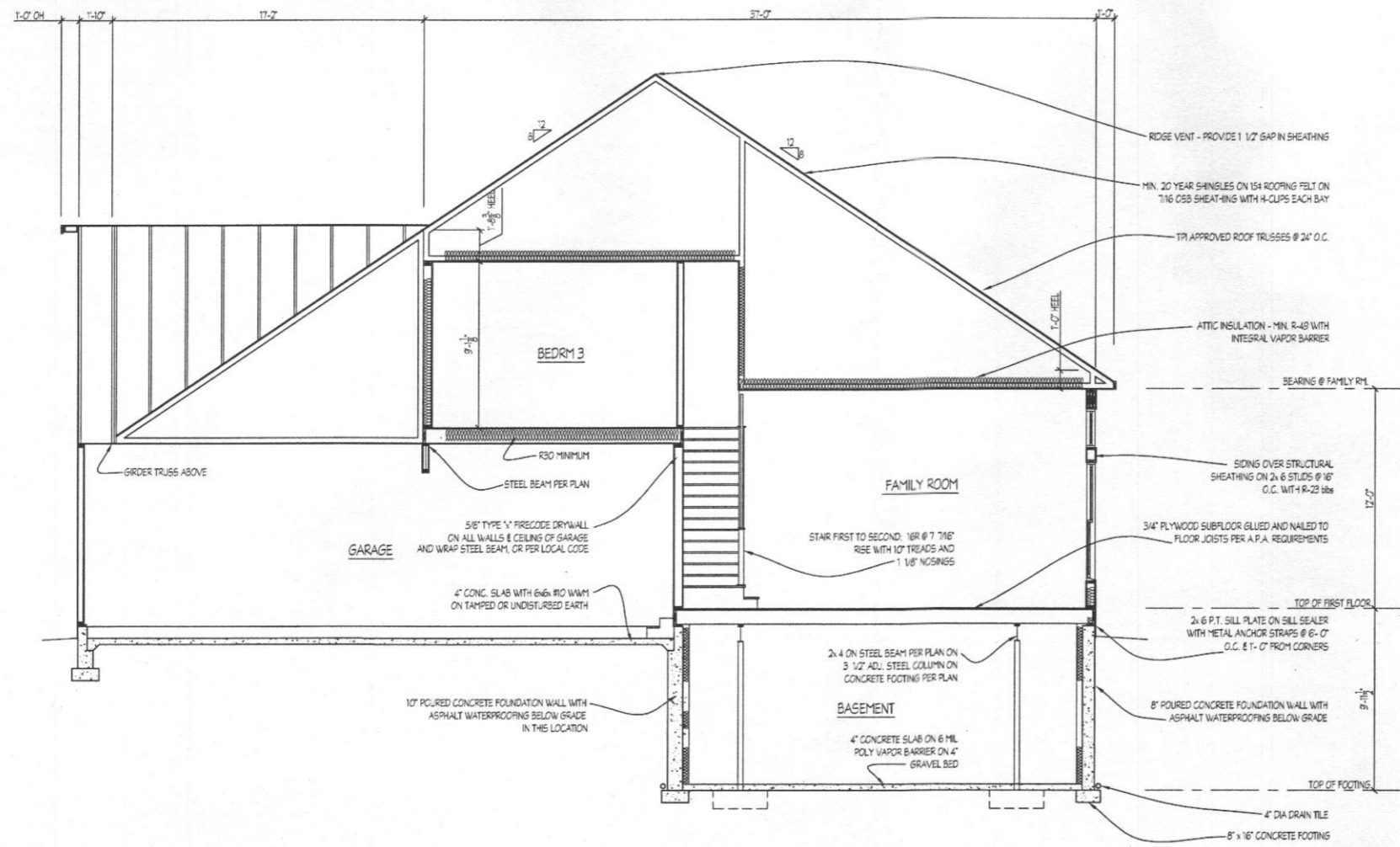
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Notes:

Drawing: SECTION A
 Project: CATONSVILLE HOMES
 DEVONSHIRE CLOVERFIELD II LOT 10

Project No.: C15.01
 Date: 2/15
 Scale: 1/4" = 1'-0"



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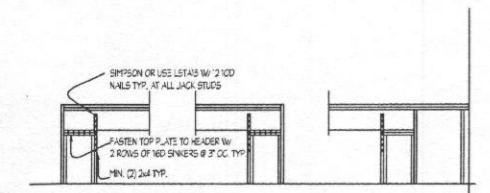
Notes:

Drawing: SECTION B
 Project: CATONSVILLE HOMES
 DEVONSHIRE
 CLOVERFIELD II LOT 10

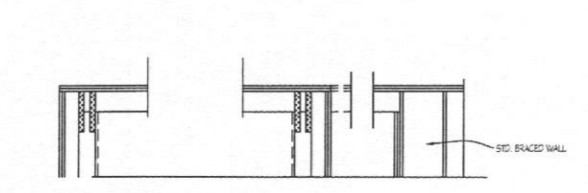
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 Date: 2/15
 Scale: 1/4" = 1'-0"

6

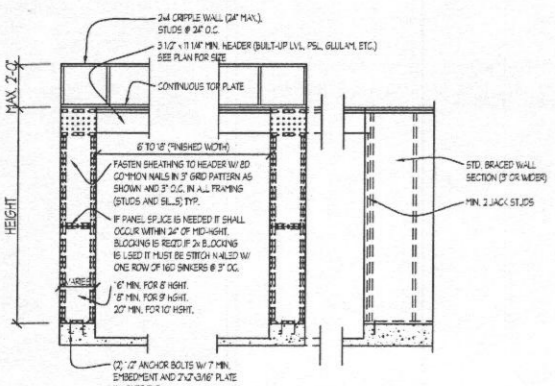
FINAL SET 2/16/15



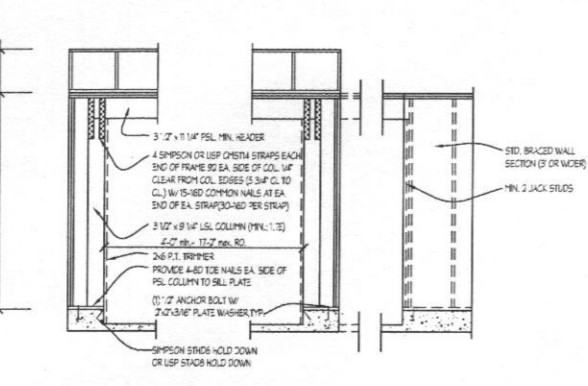
INTERIOR ELEVATION



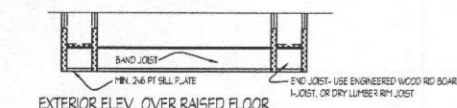
INTERIOR ELEVATION



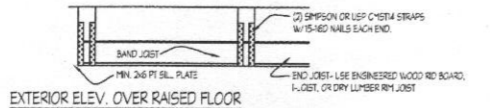
EXTERIOR ELEV. DIRECT TO FOUNDATION



EXTERIOR ELEV. DIRECT TO FOUNDATION



EXTERIOR ELEV. OVER RAISED FLOOR



EXTERIOR ELEV. OVER RAISED FLOOR

NARROW WALL PORTAL DETAILS - TYPE 1

LSL COLUMN PORTAL DETAILS - TYPE 2

NARROW WALL BRACING DETAILS, SCALE: 1/4"=1'-0"

NOTE: PORTAL FRAME ARE DESIGNED TO REPLACE THE REQD. BRACED WALL SEGMENT UP TO 40' LONG, FOR 3PT. WALL & 2PT. FOR OPT. WALL ADJACENT TO BRN OPENING. LOCATIONS ARE SPACING TO FOLLOW IRC REQUIREMENTS.

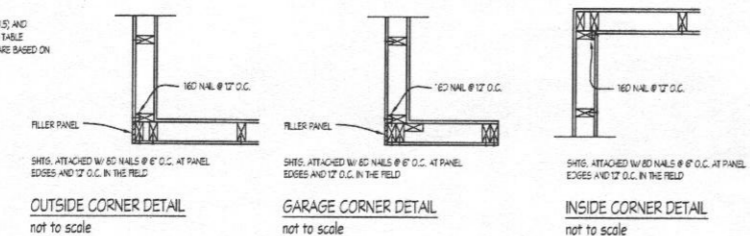
LENGTH REQUIREMENTS FOR BRACED WALL PANELS IN A CONTINUOUSLY SHEATHED WALL.
 A. LINEAR INTERPOLATIONS SHALL BE PERMITTED
 B. FULL-HEIGHT SHEATHED WALL SEGMENTS TO EITHER SIDE OF GARAGE OPENINGS THAT SUPPORT LIGHT FRAME ROOFS ONLY, WITH ROOF COVERING DEAD LOADS OF 3PSF OR LESS SHALL BE PERMITTED TO HAVE A 4:1 ASPECT RATIO.

MINIMUM LENGTH OF BRACED WALL PANEL (IN'-EQS)			MAXIMUM OPENING HEIGHT NEXT TO THE BRACED WALL PANEL (% OF WALL HEIGHT)
48	54	60	
32	36	40	85%
24	27	30	65%

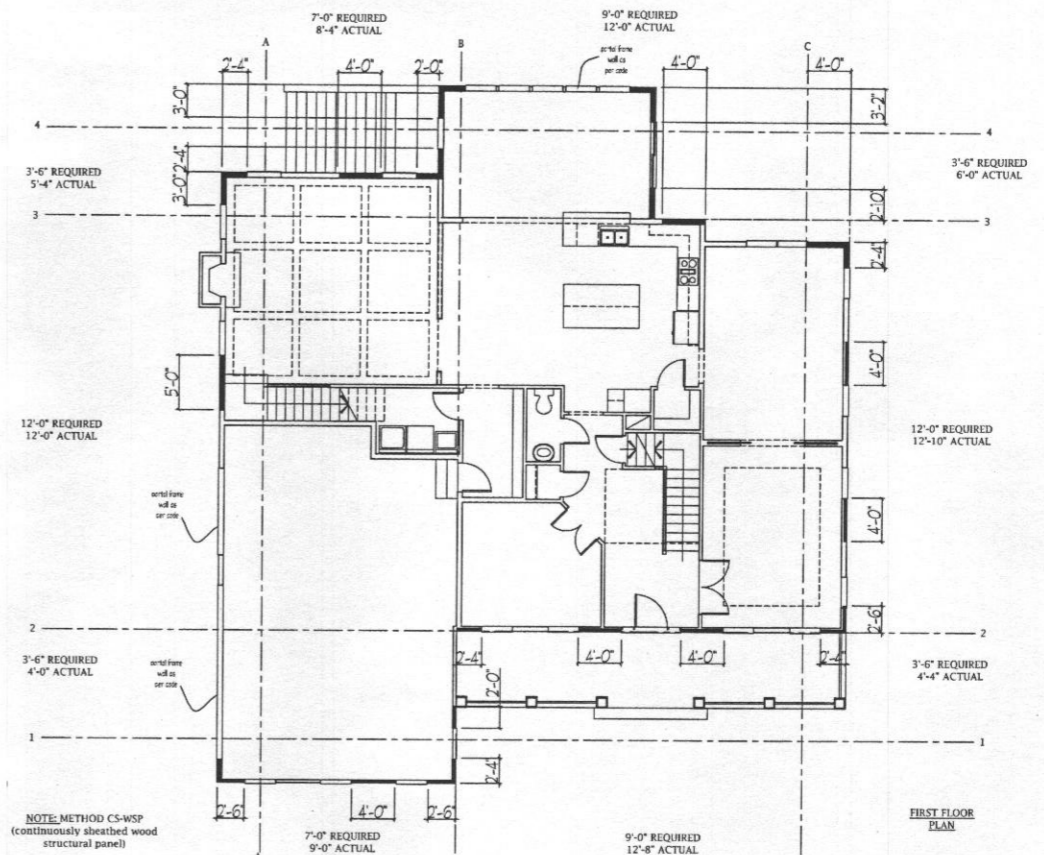
NOTE:
 WALL BRACING:
 ALL EXTERIOR WALLS SHALL BE BRACED IN ACCORDANCE WITH THIS SECTION. IN ADDITION, INTERIOR BRACED WALL LINES SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R602.10.1.1. FOR BUILDINGS IN SEISMIC DESIGN CATEGORIES, D1 AND D2, WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ADDITIONAL REQUIREMENTS OF R602.10.9, R602.10.11, AND R602.11.
 R602.10.1
 BRACED WALL LINES SHALL CONSIST OF BRACED WALL PANEL CONSTRUCTION METHODS IN ACCORDANCE WITH SECTION R602.10.3. THE AMOUNT AND LOCATION OF BRACING SHALL BE IN ACCORDANCE WITH TABLE R602.10.1 AND THE AMOUNT OF BRACING SHALL BE THE GREATER OF THAT REQUIRED BY THE SEISMIC DESIGN CATEGORY OR THE DESIGN WIND SPEED. BRACED WALL PANELS SHALL BEGIN NO MORE THAN 12.5' (3810 MM) FROM EACH END OF A BRACED WALL LINE. BRACED WALL PANELS THAT ARE COUNTED AS PART OF A BRACED WALL LINE, EXCEPT THAT OFFSETS OUT-OF-PLANE OF UP TO 4 FEET (1219 MM) SHALL BE PERMITTED PROVIDED THAT THE TOTAL OUT-TO-CUT OFFSET DIMENSION IN ANY BRACED WALL LINE IS NOT MORE THAN 8' (2438 MM). A DESIGNED COLLECTOR SHALL BE PROVIDED IF THE BRACING BEGINS MORE THAN 12' (3658 MM) FROM EACH END OF A BRACED WALL LINE.
 R602.10.1.1 SPACING:
 SPACING OF BRACED WALL LINES SHALL NOT EXCEED 35' (10,668 MM) ON CENTER IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTIONS IN EACH STORY.
 EXCEPTION:
 SPACING OF BRACED WALL LINES NOT EXCEEDING 50' SHALL BE PERMITTED WHERE:
 1. THE WALL BRACING PROVIDED EQUALS OR EXCEEDS THE AMOUNT OF BRACING REQUIRED BY TABLE R602.10.1 MULTIPLIED BY A FACTOR EQUAL TO THE BRACED WALL LINE SPACING DIVIDED BY 35; AND
 2. THE LENGTH-TO-WIDTH RATIO FOR THE FLOOR/WALL DIAPHRAGM DOES NOT EXCEED 3:1.

NOTE: WIND BRACING DESIGN AS REQUIRED BY SECTION 602.10.1 OF THE IRC HAS BEEN SUBSTITUTED BY THE ALTERNATIVE CONTINUOUS STRUCTURAL PANEL SHEATHING METHOD (R602.10.5) AND NARROW WALL PORTAL FRAME BRACING REFER TO MIN. CONSTRUCTION DETAILS SHEET. ADDITIONALLY, ALL STRUCTURAL MEMBERS SHALL BE FASTENED IN ACCORDANCE WITH TABLE R602.3(3) OF THE INTERNATIONAL RESIDENTIAL CODE, AND THE MANUFACTURER'S RECOMMENDATIONS IN THE CASE OF ENGINEERED COMPONENTS. MINIMUM BRACED WALL LENGTHS ARE BASED ON THE TABLE BELOW.

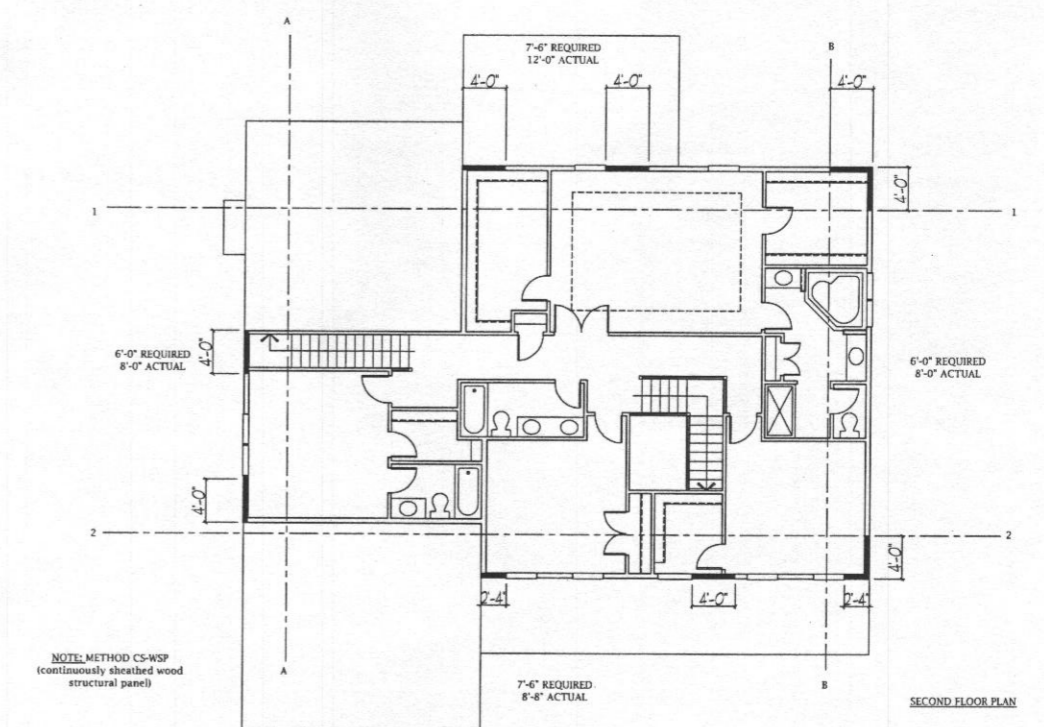
MAX. ADJACENT OPENING HEIGHT EQUIVALENT TO	MINIMUM LENGTH OF BRACED WALL PANELS							
	30' TYP. WINDOW	33' HIGH WINDOW	36' HIGH WINDOW	39' HIGH WINDOW	42' HIGH WINDOW	45' HIGH WINDOW	48' HIGH WINDOW	51' HIGH WINDOW
6" WALL	24'	27'	30'	33'	36'	39'	42'	45'
8" WALL	27'	30'	33'	36'	39'	42'	45'	48'
10" WALL	30'	33'	36'	39'	42'	45'	48'	51'



ALL BRACED EXTERIOR WALLS SHALL BE MIN. 1/2" OSB PANEL SHEATHING ATTACHED TO FRAMING WITH 8d COMMON NAILS 3" @ P.C. AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE FRAMING MEMBERS. SOLE PLATES SHALL BE FASTENED TO JOIST OR SOLID BLOOMS WITH 6d NAILS @ 16" O.C., RIM JOIST TO PLATE OR SILL W/ 8d @ 2" O.C. TIEWALL. ALL EXTERIOR WALL CORNERS SHALL BE FRAMED PER DETAIL. INTERIOR BRACED WALLS SHALL BE MIN. 1/2" OSB, BO. APPLIED TO EACH SIDE OF FRAMING W/ ADHESIVE AND 5 OR W. SCREWS @ 24" O.C.



NOTE: METHOD CS-WSP (continuously sheathed wood structural panel)



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 640 Plymouth Road
 Baltimore, MD 21229
 Phone: 410-788-0281
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DATE	REVISION

Date: 2/15
 Scale: 1/8"=1'-0"
 Drawn: TIM

Drawing: SHEATHING DETAILS
 Project: CATONVILLE HOMES
 DEVONSHIRE
 CLOVERFIELD II LOT 10

C15.01
 Project No.

D1