

APPLICATION

PERCOLATION TESTING

A 516945

P _____

HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH
3525-H ELLICOTT MILLS DRIVE/ELLICOTT CITY, MARYLAND 21043
TELEPHONE: 313-2840

DISTRICT _____

DATE 4/22/2002

TO: THE COUNTY HEALTH OFFICER
ELLICOTT CITY, MARYLAND

I HEREBY APPLY FOR THE NECESSARY TEST PRIOR TO APPLICATION FOR PERMIT TO CONSTRUCT (OR RECONSTRUCT) A SEWAGE DISPOSAL SYSTEM.

PROPERTY OWNER RICHARD E & PAULINE F. MYRTLE

ADDRESS 10611 BROWNS FARM RD. WOODSTOCK MD, 21163 PHONE 410-265-8551

AGENT OR PROSPECTIVE BUYER DANIEL & SHANNON HANAN

ADDRESS 2434 Quitting Bee Rd PHONE 410-747-9757
CATONSVILLE, MD. 21228

PROPERTY LOCATION:

SUBDIVISION Breezwood Farms Sec 4 LOT NO. 16

ROAD AND DESCRIPTION Breezwood Dr.

RIGHT SIDE CIRCLE at ENDS Breezwood Dr. 207 STAROD

TAX MAP 10 PARCEL # 287 acct# 03-305422

SIZE OF LOT 102,828⁺ SQ Feet TYPE BLDG. Single Fam Dwelling
(SINGLE FAMILY DWELLING OR COMMERCIAL)

THE SYSTEM INSTALLED UNDER THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC FACILITIES BECOME AVAILABLE. I FULLY UNDERSTAND THE FEE CONNECTED WITH THE FILING OF THIS PERC TEST APPLICATION IS NON-REFUNDABLE UNDER ANY CIRCUMSTANCES. I ALSO AGREE TO COMPLY WITH ALL M.O.S.H.A. REQUIREMENTS IN TESTING THIS LOT.

Richard Myrtle

(SIGNATURE OF APPLICANT)

APPROVED BY _____ FOR _____ DATE _____

DISAPPROVED BY _____ FOR _____ DATE _____

HOLD PENDING FURTHER TESTS _____

REASONS FOR REJECTION OR HOLDING _____

PERCOLATION TEST PLAT/PRELIMINARY PLAT - TITLE OR I.D. # _____ DATE _____

SITE DEVELOPMENT PLAN/FINAL PLAT - TITLE OR I.D. # _____ DATE _____

THIS IS NOT A PERMIT

516945

COUNTY #

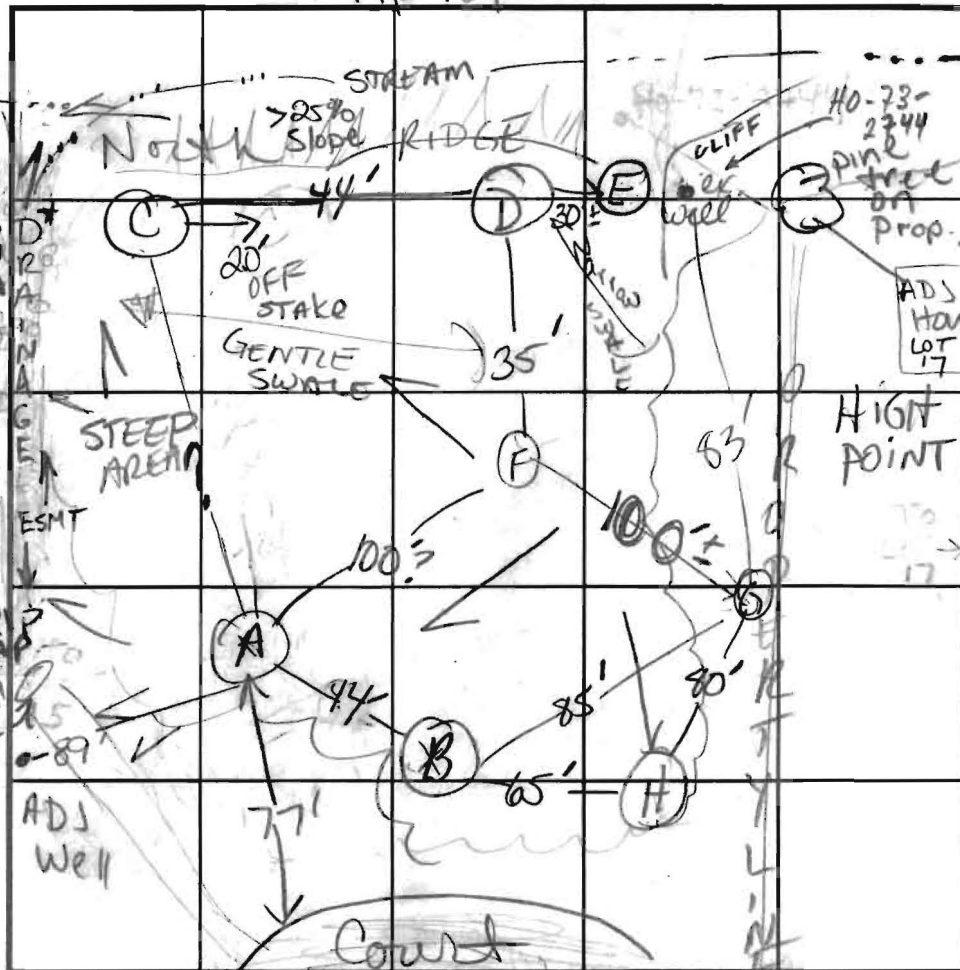
* Steep swale with rip rap

SOIL PROFILE

0' (A)
 Topsoil 6"
 Vry weak Structure SAND 3 1/2"
 Massive struct SAND Trace RY Strong brn DK brn gritty med grained SAND
 14' Bottom

(B)
 Topsoil 6"
 DK brn, brown SAND MASSIVE structure y brown
 HARD Bottom 10'

(C)
 DK brn Strong brn Yellow brn MOIST SAND MOIST med grained mini boulders 25-35% Flaggy HARD Bottom 8'



SOIL PROFILE

0' (D)
 org brn wet coarse sand Lg frags moist
 Rx mini boulders 30-35% HARD Bottom 3' Rd begins

(E)
 Strong brn sand boulders 20-30% 7 1/2'

INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE.

Brewwood Drive

DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1" DROP		TIME
			START	STOP	START	STOP	
6-7-02	(A) 12x12	2 1/2' / 14' v	1:26:48	1:27:50	1:27:50	1:29:32	2 min OK
	(B)	2' / 10' H/B	1:41:45	1:44:00	1:44:00	1:47:37	3 1/2 min OK
	(C)	Excessive Rock					(F)
	(D)	Excessive Rock					(E)
	(E)	Representative of C & D Poured @ 7 1/2' TOO FAST					(F)
	(F)	H. Bottom @ 7 1/2'					
		2'	3:18:09	TOO SLOW - Pulled			
		6' 2" M	3:28	3:31	3:31	3:37	6 min OK
		2' 2' 1/2'	3:37:25	3:40	3:40	3:45	5 min OK
	(H) v	10' fine sand Trace RY					OK

REMARKS Holes not staked per plan - A ~65' to (C) from (F)

TYPE OF SOIL _____
 TESTED BY Kacie ALSO PRESENT Del - Jim Grimes Mr. HAGEN
 TRENCH DESIGN DATA: AVERAGE PERCOLATION TIME _____ TRENCH WIDTH _____
 INLET DEPTH 2 MAXIMUM BOTTOM DEPTH 3 1/2 SQ. FT./BEDROOM 180



HOWARD COUNTY HEALTH DEPARTMENT

Bureau of Environmental Health
3525-H Ellicott Mills Drive, Ellicott City, Maryland 21043-4544
(410) 313-2640 Fax (410) 313-2648
TDD (410) 313-2323 Toll Free 1-877-4MD-DHMH

Penny E. Borenstein, M.D., M.P.H., Acting County Health Officer

July 10, 2002

Mr. and Mrs. Hagen
2434 Quilting Bee Road
Catonsville, MD 21228

RE: Percolation test results –**A516945**
Breezewood Farms, Sec.4
Lot 16, Breezewood Drive
Re-test of Non-buildable Lot

Dear Mr. and Mrs. Hagen:

Percolation testing conducted Friday, June 7, 2002 on the referenced property yielded limited satisfactory soil conditions. The test holes encountered boulders, shallow depths due to hard rock, and sandy soils. Copies of the percolation test notes enclosed.


Further review is contingent upon submission of a percolation certification plan by a professional engineer or a licensed surveyor. This plan must include the following:

- actual locations and aerial topography of all excavated test holes
- the existing well (at least 30 feet from existing and proposed structures) and proposed building site
- **locations of any streams, drainage swales, or springs on the property**
field matched contour lines at 2-foot intervals with clearly defined elevation labels
- locations of any wells or septic systems within 100 feet of the property laterally and any wells or down slope of the proposed septic area up to 200 feet away
- required MDE sewage easement language (see attached example)
- distance from the well site to the septic area of 100 feet, by either relocating the well to a suitable site or trimming the septic area to meet the requirements (must maintain 10,000 square feet)
- proposed sewage disposal area at least 100 feet from all existing wells to be maintained, and any surrounding property well locations
- location of driveway (bear in mind that COMAR 26.04.02.04 states...
“The 10,000 square-foot area shall be exclusive of buildings, easements, rights of way,
and any other permanent or physical objects.”

Also, please note that the locations of test hole excavations on the plan are not representative of staked locations out in the field (as verified by field measurements). Ensure locations of all test hole locations and calculate the area of the proposed SDA.

The plan should be submitted within sixty (60) days. If you have any questions regarding this matter, please contact me at the address below or by calling (410) 313-2640. Thank you in advance for your time and cooperation.

Respectfully,


Kacie Noonan, Sanitarian
Water and Sewerage Program

KN
Enclosures
Cc: File

High Hold

FIELD LOCATE WELL

SHOW WELL & SEPTIC

SHOW PROPOSED HOUSE

SHOW SEPTIC & WELL

SHOW WELL

EASEMENT

FLOOD

SUBMISSION

S 24° 51' E 1370' 45'

S 44° 44' E 1650'

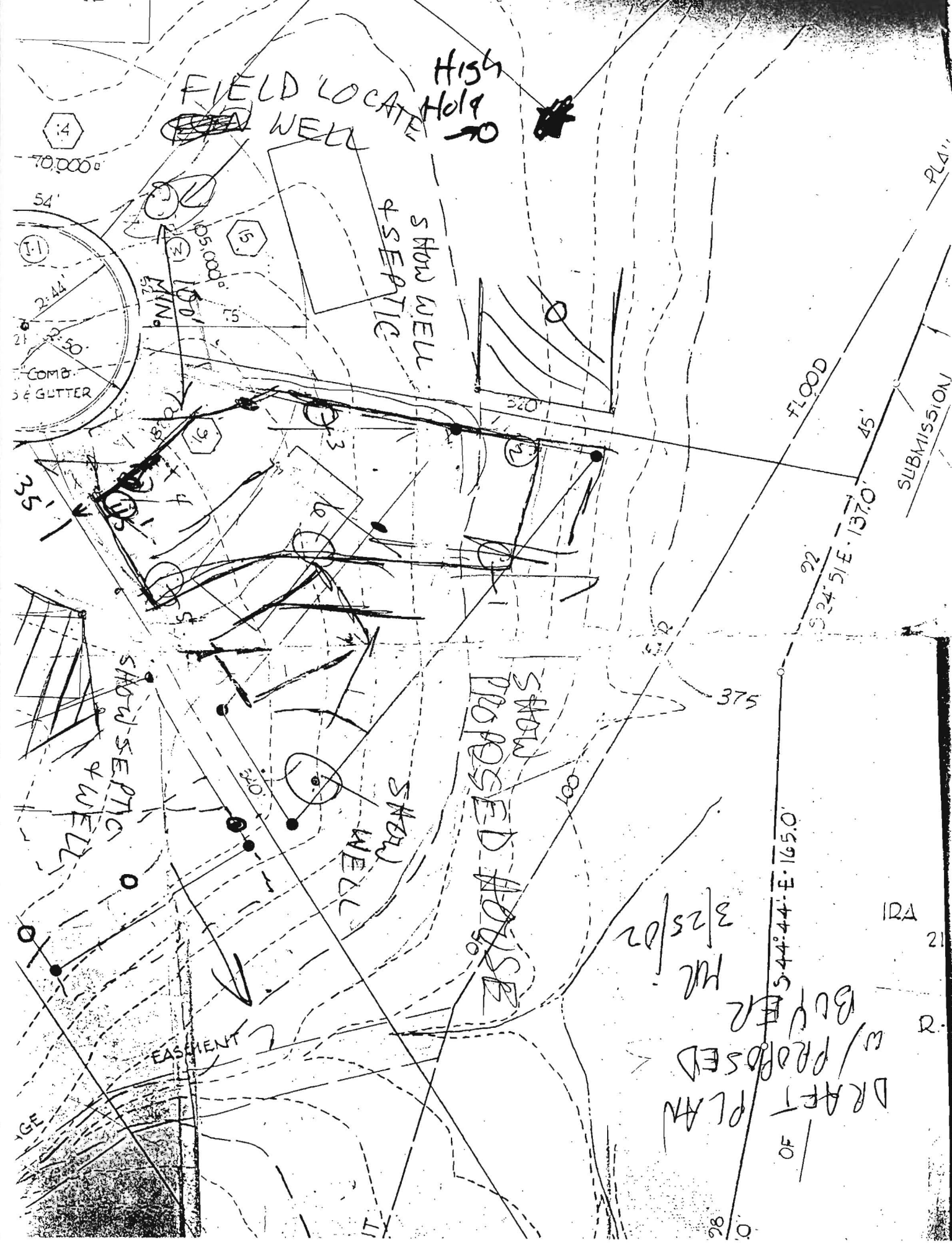
DRAFT PLAN
w/ PROPOSED
BUV PER
MIL
3/25/02

IRA

21

R.

0/86



APPLICATION

PERCOLATION TESTING

A _____

P _____

HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH
3525-H ELLICOTT MILLS DRIVE/ELLICOTT CITY, MARYLAND 21043
TELEPHONE: 313-2640

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TO: THE COUNTY HEALTH OFFICER
ELLICOTT CITY, MARYLAND

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PROPERTY OWNER _____

ADDRESS _____ PHONE _____

AGENT OR PROSPECTIVE BUYER _____

ADDRESS _____ PHONE _____

PROPERTY LOCATION:

SUBDIVISION _____ LOT NO. _____

ROAD AND DESCRIPTION _____

TAX MAP _____ PARCEL # _____

SIZE OF LOT _____ TYPE BLDG. _____
(SINGLE FAMILY DWELLING OR COMMERCIAL)

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HOWARD COUNTY HEALTH DEPARTMENT

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Penny E. Borenstein, M.D., M.P.H., Acting County Health Officer

May 15, 2002

Daniel Hagan
2434 Quilting Bee Road
Catonsville, MD 21228

RE: **Percolation Test Date – A516945**
Breezewood Farms, Sec. 4, Lot 16, Breezewood Drive
Re-test of Non-buildable Lot

Dear Mr. Hagan:

Percolation testing has been tentatively scheduled for the referenced proposal for **Friday, June 7, 2002 at 1:30 p.m.** Please call this office at (410) 313-2640 to confirm this test date.

Test holes should be excavated in the locations shown on the attached site plan.

The applicant is responsible for having a backhoe on site to excavate the percolation test holes to a minimum depth of 14 feet. It is expected that all proposed percolation test holes will be staked and excavated at the corners of the proposed septic reserve area depicted on the recently submitted percolation test plan, subject to the field inspector's modification.

In the event of uncertain weather (i.e., precipitation or temperature extremes), please contact this office prior to 9:00 a.m. on the test date to determine whether or not percolation testing can be performed on that date. If it is not feasible to perform the test, a new test date will be assigned.

Percolation test results will be available for distribution by mail approximately one month after the completion of the percolation testing. Thank you in advance for your cooperation in this matter.

Sincerely,

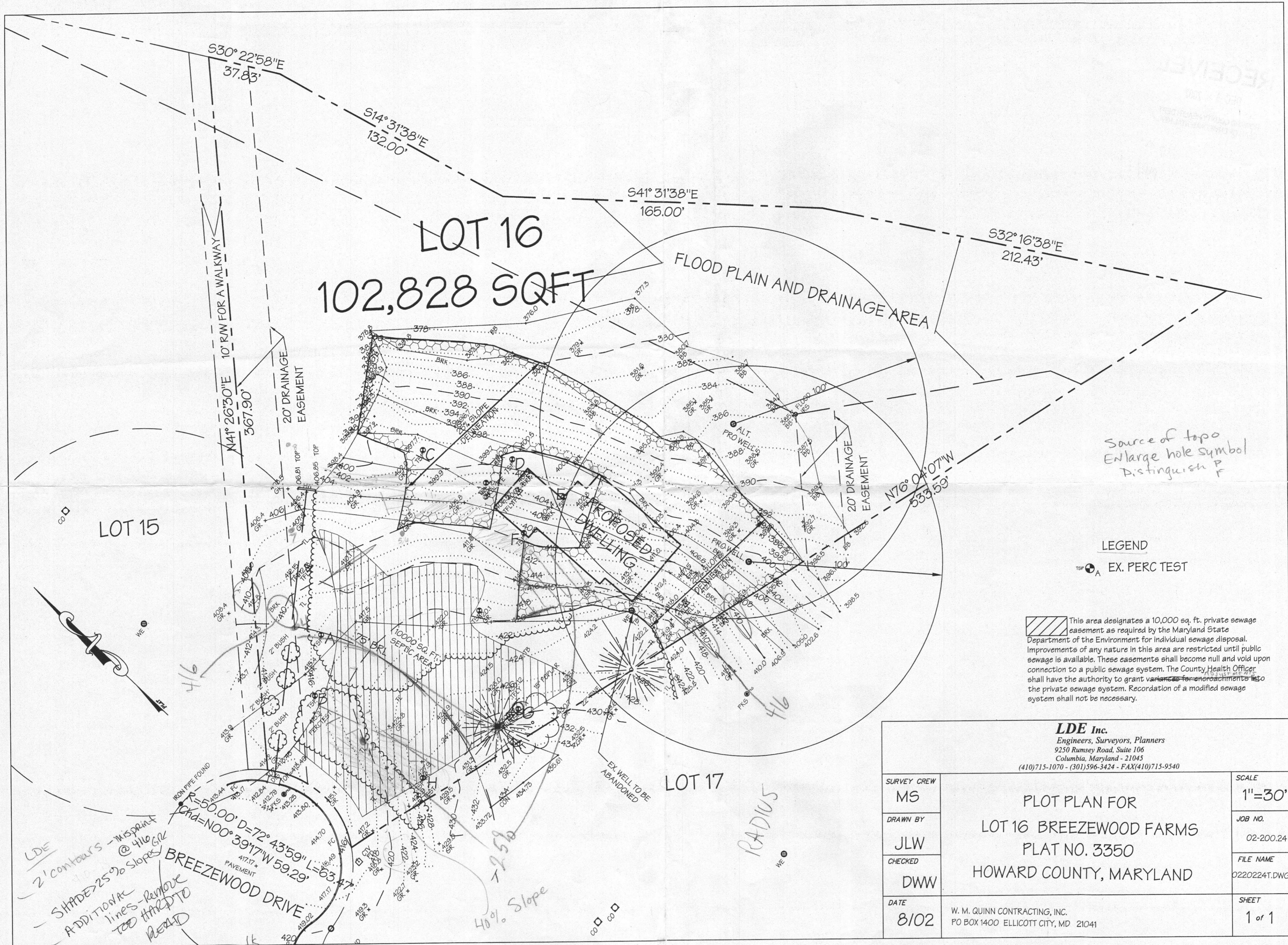
Mark E. Rifkin, R.S.

Water and Sewerage Program

MER

cc: Richard Myrtue

File



LOT 16
102,828 SQFT

FLOOD PLAIN AND DRAINAGE AREA

PROPOSED DWELLING

10,000 SQ. FT. SEPTIC AREA

BREEZWOOD DRIVE
PAVEMENT

Source of topo
Enlarge hole symbol
Distinguish P

LEGEND
EX. PERC TEST

This area designates a 10,000 sq. ft. private sewage easement as required by the Maryland State Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted until public sewage is available. These easements shall become null and void upon connection to a public sewage system. The County Health Officer shall have the authority to grant variances for encroachments into the private sewage system. Recordation of a modified sewage system shall not be necessary.

LDE Inc.
Engineers, Surveyors, Planners
9250 Rumsey Road, Suite 106
Columbia, Maryland - 21045
(410)715-1070 - (301)596-3424 - FAX(410)715-9540

SURVEY CREW MS	PLOT PLAN FOR LOT 16 BREEZWOOD FARMS PLAT NO. 3350 HOWARD COUNTY, MARYLAND	SCALE 1"=30'
DRAWN BY JLW		JOB NO. 02-200.24
CHECKED DWW		FILE NAME 0220224T.DWG
DATE 8/02		W. M. QUINN CONTRACTING, INC. PO BOX 1400 ELLICOTT CITY, MD 21041

LDE
2' contours - misprint
SHADE 25% slopes
ADDITIONAL lines - remove
TOP HOLE TO READ

Topo for area toward adj lots - wells

• = approx location of 1973 test holes (2, 4, 7, 56, 8)

25' sep. to slopes drainage easent. #40-405-8551

SOA Extending past holes 2-A and 3-A Approx 10-12! LOT 15

to 25' separation to drainage way

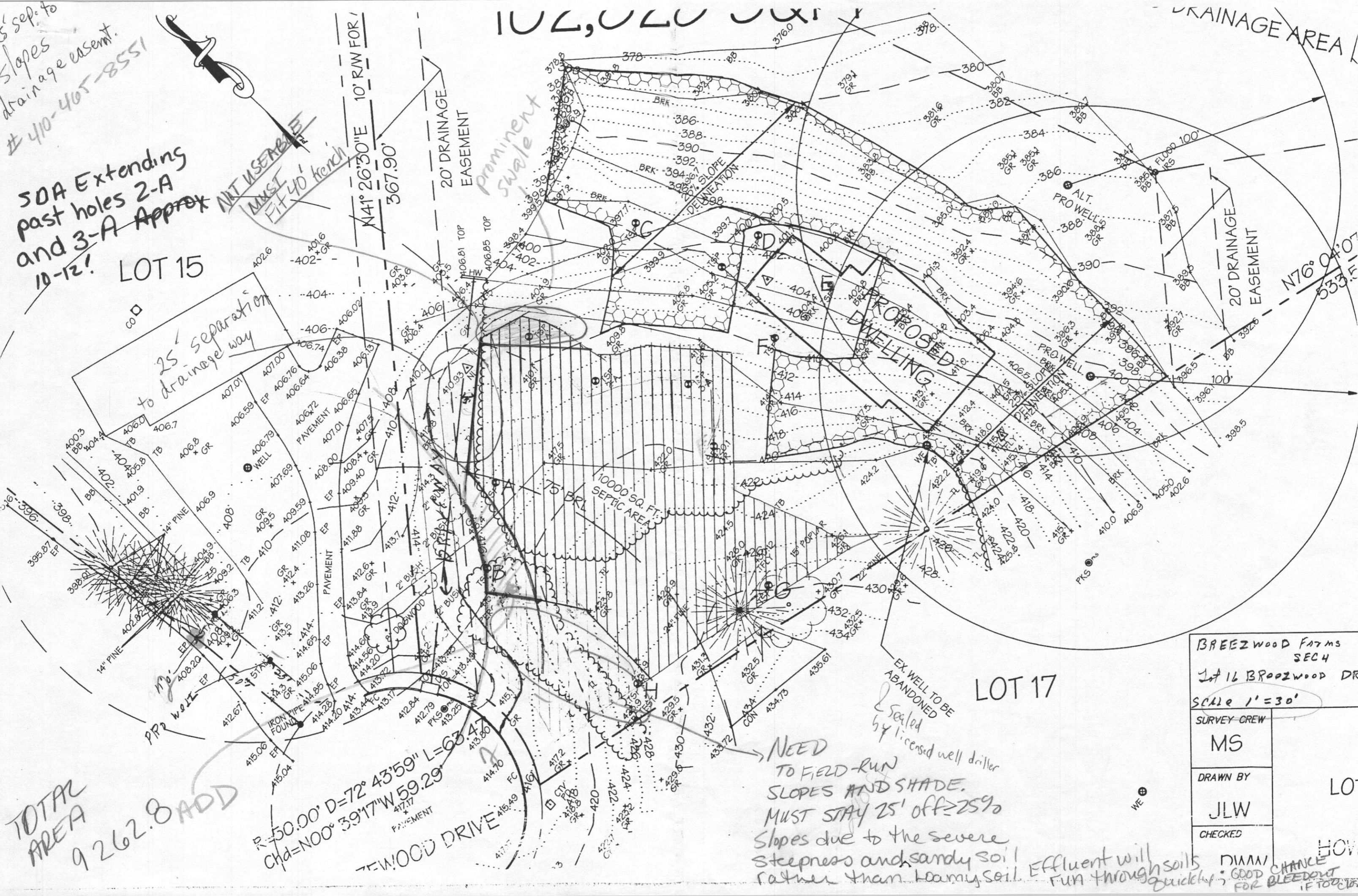
TOTAL AREA 9262.8 ADD

$R=50.00'$ $D=72^\circ 43'59''$ $L=63.4'$
 $Chd=N00^\circ 39'17''W 59.29'$

TEWWOOD DRIVE

102,020 001

RAINAGE AREA



NEED TO FIELD-RUN SLOPES AND SHADE. MUST STAY 25' off 25% slopes due to the severe steepness and sandy soil rather than loamy soil.

Effluent will run through soils quickly. GOOD CHANCE FOR BLEEDOUT IF TOO DEEP.

BREEZWOOD FARMS SEC 4	
Lot 16 BREEZWOOD DR	
SCALE 1"=30'	
SURVEY-GREW	MS
DRAWN BY	JLW
CHECKED	
DIAAM/	HOV.
GOOD CHANCE FOR BLEEDOUT IF TOO DEEP.	