

August 3, 2015

Mr. Jeff Williams  
Howard County Health Department  
Bureau of Environmental Health  
7178 Columbia Gateway Drive  
Columbia, Maryland 21046-4544

Re: CLARKS MEADOW,  
Lot 10  
Percolation Certification Plat  
Waiver Request

Dear Mr. Williams:

We are requesting a variance for the proposed septic easement on Lot 10 for the above referenced project. The variance we are requesting is for a reduction from 10' off the property line to 5' with adjustments to the boundary of the septic easement as shown on the drawing submitted herewith. The reason for this request is to create an area large enough to accommodate a swimming pool.

Thank you for your consideration of this request.

Very truly yours,



Robert G. Ross

Robert G. Ross  
3926 Clarks Meadow Drive  
Glenwood, MD 21738

(H) 443-266-7568

**FISHER, COLLINS  
& CARTER, INC.**

**CIVIL ENGINEERING CONSULTANTS  
and LAND SURVEYORS**

Terrell A. Fisher, P.E., L.S.  
Earl D. Collins, P.E.  
Charles J. Crovo, Sr., P.E., L.S.

Paul W. Kriebel, P.E.  
Mark L. Robel, P.L.S.  
Aldo M. Vitucci, P.E.

# Transmittal

Via:  Fax  Mail  Messenger  E-Mail  To Be Picked Up  
 Fax (original to follow via U.S. Mail)

To: <b>Bureau of Environmental Health</b>	Attn: <b>Jeff</b>
<b>Columbia, MD 21046-4544</b>	Fax: <b>(410) 313-2648</b>
	Phone: <b>(410) 313-2640</b>

From: <b>Tony Fertitta</b>	CC:
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Re: <b>Clarks Meadow</b>	W.O.# <b>15007</b>
Date: <b>August 4, 2015</b>	Pages: <b>4</b> Page(s) Including this cover

We are forwarding:	<input checked="" type="checkbox"/> Prints	<input type="checkbox"/> Copy of Letter	<input type="checkbox"/> Specifications	<input type="checkbox"/> Shop drawings	<input type="checkbox"/> Other
	<input type="checkbox"/> Urgent	<input type="checkbox"/> For your use	<input type="checkbox"/> As requested	<input type="checkbox"/> For Review & Comment	

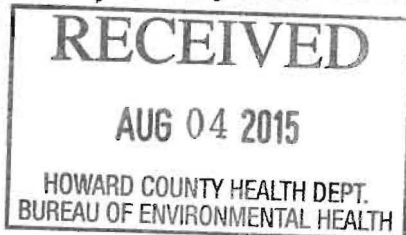
Remarks:

**Jeff:**

Enclosed please find Two (2) prints and a maylar of the drawing entitled " Percolation Certification Plan- Clarks Meadow Lot 10" and a waiver request dated August 3, 2015

If we may be of any further assistance, please do not hesitate to call.

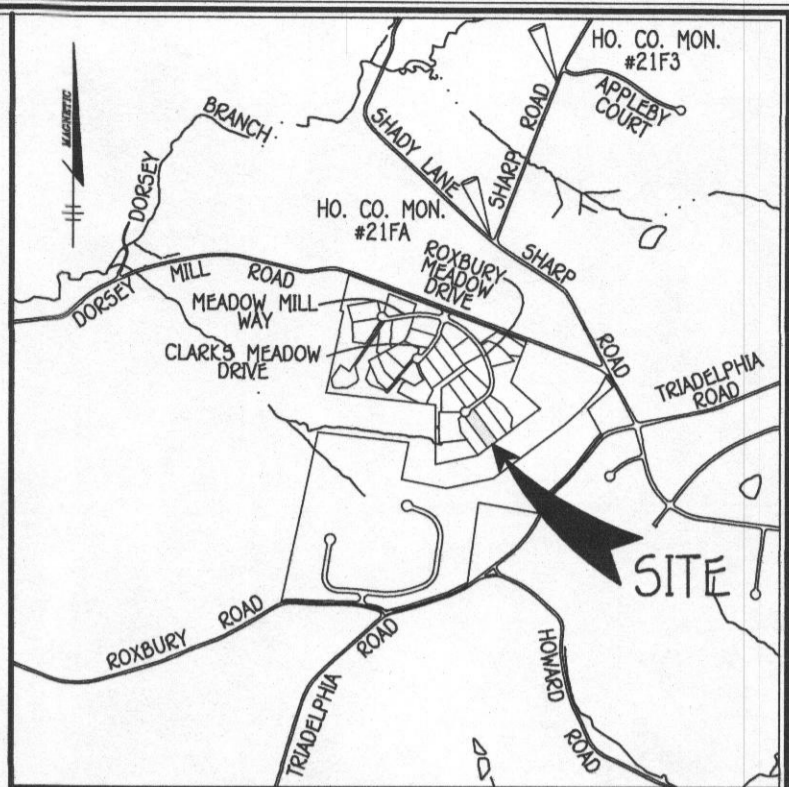
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**CONFIDENTIALITY NOTICE**

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- LEGEND**
- EXISTING 2' CONTOURS
  - EXISTING 10' CONTOURS
  - EXISTING TREE LINE
  - CLB2  
MLC2 SOIL LINES AND TYPES
  - ⊙ DENOTES PROPOSED WELL
  - DENOTES FAILED PERC
  - DENOTES PASSED PERC
  - DENOTES 1500 Sq.Ft. ALTERNATE WELL SITE
  - ▨ EXISTING SEPTIC AREA 10,002 SQ.FT.
  - ▨ PROPOSED SEPTIC AREA 10,041.5Q.FT.



**VICINITY MAP**  
SCALE: 1" = 1200'

**GENERAL NOTES:**

1. THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.
2. ADJUSTMENTS TO SEPTIC EASEMENT AREA IS NOT PERMITTED WITHOUT ADDITIONAL TESTING.
3. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
4. EXISTING WELLS AND/OR SEWERAGE EASEMENTS WITHIN 100 FEET OF THE PROPERTY HAVE BEEN SHOWN FROM ALL REASONABLE EFFORTS.
5. ALL HOUSE SITES SHOWN COMPLY WITH MINIMUM BUILDING RESTRICTION REGULATIONS.
6. BOUNDARY OUTLINE BASED ON AVAILABLE DEED OF RECORD WITHOUT THE BENEFIT OF A FIELD SURVEY AT THIS TIME.
7. ANY CHANGES TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERC CERTIFICATION PLAN
8. PLAT REFERENCE 18482-18484.
9. FIELD RUN TOPOGRAPHIC SURVEY WAS PREPARED BY, AIR SURVEY, INC. IN MARCH, 2001.

SOILS LEGEND		
SOIL	NAME	CLASS
GgB	Glencg loam, 3 to 8 percent slopes	B

- NOTES:**
- \* Hydric soils and/or contains hydric inclusions
  - \*\* May contain hydric inclusions
  - † Generally only within 100-year floodplain areas

**PERC CERTIFICATION**

I certify that the locations shown hereon are based on field locations done under my direct supervision and are correct to the best of my professional knowledge and belief.

Signature of Professional Land Surveyor: *Terrell A. Fisher*  
 Terrell A. Fisher, Professional Land Surveyor No. 10693 Expires 12/13/15

Date: 8/4/15

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS,  
 HOWARD COUNTY HEALTH DEPARTMENT.

Signature for Maura Rossman  
 COUNTY HEALTH OFFICER

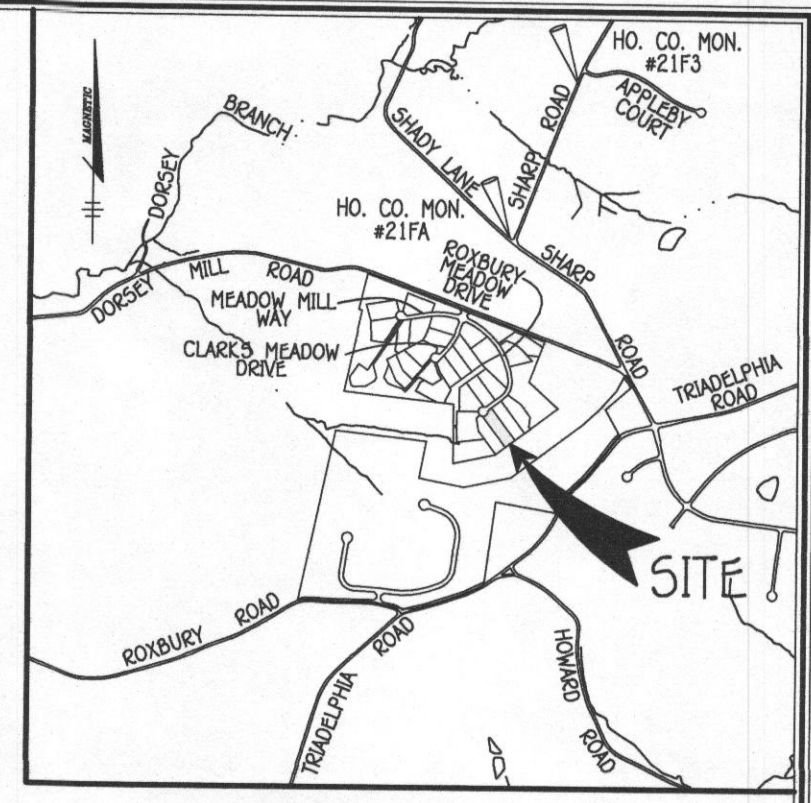
Date: 8/10/2015

Certification  
**PERC APPLICATION PLAT**  
**CLARKS MEADOW**  
 LOT 10

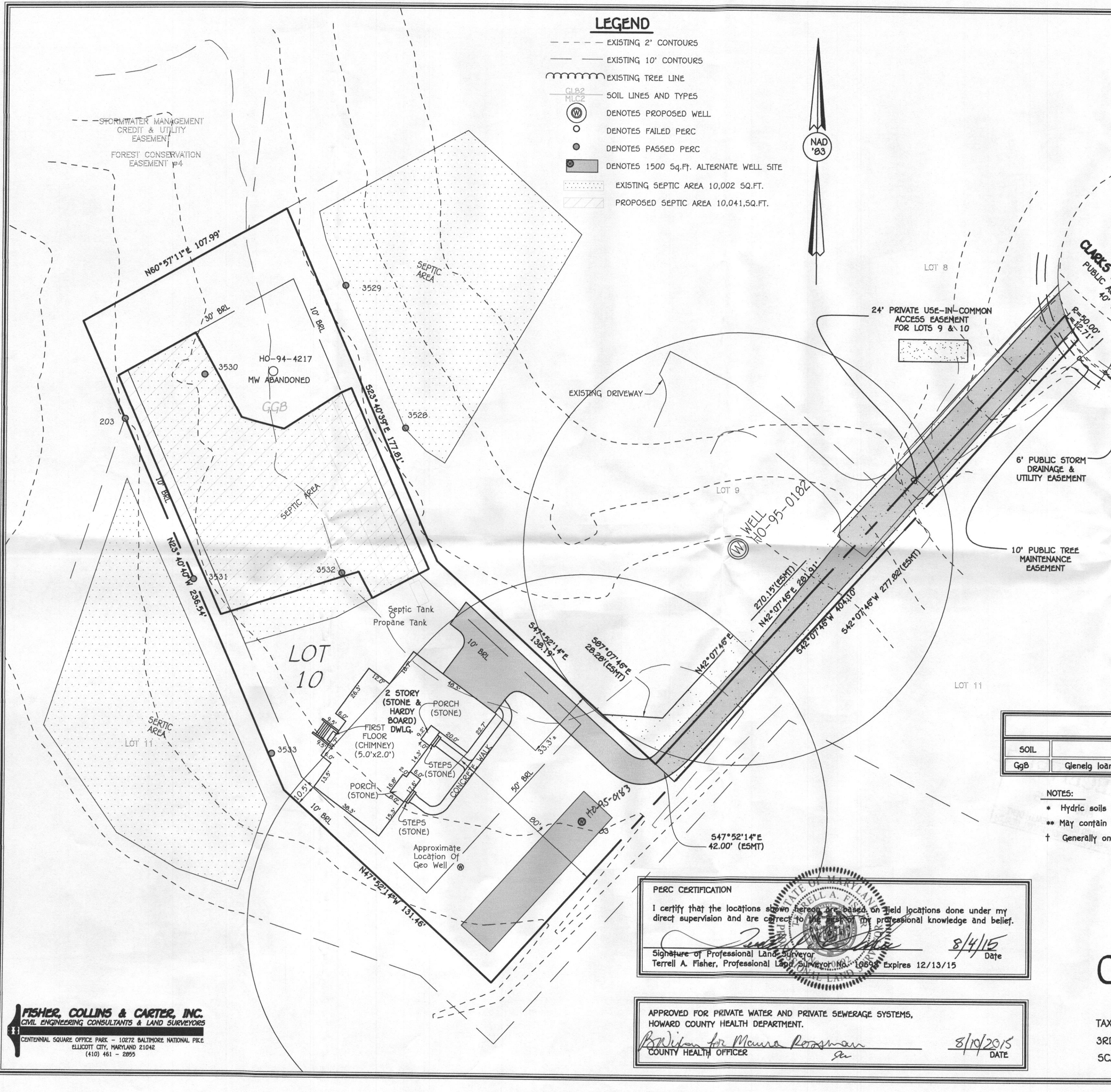
TAX MAP #17  
 3RD ELECTION DISTRICT  
 SCALE: 1"=30'

PARCEL: 227  
 HOWARD COUNTY, MARYLAND  
 DATE: JULY 23, 2015

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  - - - - - EXISTING 10' CONTOURS
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Signature of Professional Land Surveyor: *Terrell A. Fisher* Date: **8/4/15**

Terrell A. Fisher, Professional Land Surveyor, No. 10693 Expires 12/13/15

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT.

Signature for Maureen Roasman  
COUNTY HEALTH OFFICER Date: **8/19/2015**

Certification  
**PERC APPLICATION PLAT**  
**CLARKS MEADOW**  
LOT 10

TAX MAP #17  
3RD ELECTION DISTRICT  
SCALE: 1"=30'

PARCEL: 227  
HOWARD COUNTY, MARYLAND  
DATE: JULY 23, 2015

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