



5/7

Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: BF001400

Building Address: 11901 Evening Court
 City: Chicksville State: MD Zip Code: 21027
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: _____
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Property Owner's Name: Gerald Apollon
 Address: 11901 Evening Court
 City: Chicksville State: MD Zip Code: 21027
 Phone: 443-604-0568 Fax: _____
 Email: joetga@msn.com

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Existing Use: Residential
 Proposed Use: add a garage
 Estimated Construction Cost: \$ 20,000.00
 Description of Work: Add garage, 2 cars / 10' existing 3 cars garage, 23' x 24'
 Occupant or Tenant: Gerald Apollon
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: OWAC
 Contact Person: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 License No.: _____
 Phone: _____ Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth Width	
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
➤ Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Gerald Apollon
Applicant's Signature
joetga@msn.com
Email Address

Title/Company

Gerald Apollon
Print Name
4-77-2015
Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>6-22-15</u>	<u>Dana Bernard</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$	<u>25</u>
Permit Fee	\$	
Tech Fee	\$	
Excise Tax	\$	
PSFS	\$	
Guaranty Fund	\$	
Add'l per Fee	\$	
Total Fees	\$	
Sub-Total Paid	\$	
Balance Due	\$	
Check	#	<u>1132</u>

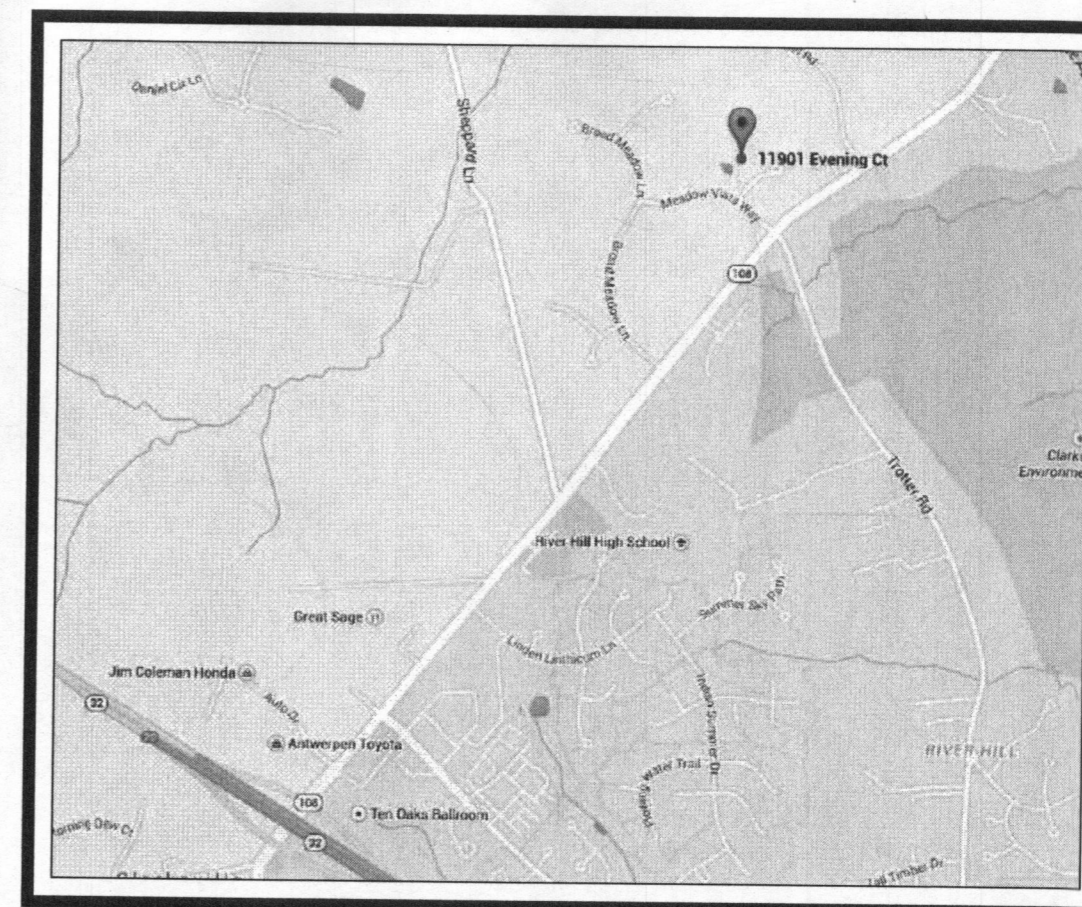
Garage addition for:
Apollon Residence

11901 Evening Court
 Clarksville, MD



THIS DRAWING IS FOR ARTISTIC REPRESENTATION ONLY.
 SEE PLANS FOR ACTUAL ELEVATIONS AND NOTATIONS.

VICINITY MAP



DRAWING INDEX	
GENERAL INFORMATION	
G1	GENERAL NOTES
ARCHITECTURAL	
A1	FOUNDATION PLAN & FLOOR PLAN
A2	ELEVATIONS
A3	SECTIONS & DETAILS
A4	SECTIONS & DETAILS
STRUCTURAL	
F1	WALL BRACING & DETAILS



RESIDENTIAL DESIGN
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SUBMITTALS

ISSUE DATE	DRAWN BY	REMARKS
1-28-15	CAL	CONCEPT DRAWINGS
2-4-15	CAL	UPDATED CONCEPT DRAWINGS
3-4-15	CAL	PERMIT DRAWINGS

COVER SHEET

GARAGE ADDITION FOR:
APOLLON RESIDENCE
 11901 EVENING COURT
 CLARKSVILLE, MD

SHEET NO.
CVR

PROJ. NO.: 1327

PERMIT DRAWINGS ISSUED: MARCH 9, 2015

GENERAL NOTES

(HOWARD CO., MD)

BUILDING CODES:

- ALL CONSTRUCTION SHALL CONFORM WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC).
- ALL CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE LOCAL CODES/AMENDMENTS

DESIGN LOADS: (PER SECTION R301 OF IRC 2012)

- THE DESIGN DEAD LOADS FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS AND INDICATED IN THE GENERAL NOTES.
- THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADS FOR ALL NEW FRAMING SHALL BE AS FOLLOWS:

FLOOR LOAD (U.O.N.)	LL=40 PSF / DL=10 PSF
SLEEPING RMS. / ATTIC WITH FIXED STAIR	LL=30 PSF / DL=10 PSF
GARAGE FLOOR	LL=50 PSF / 2000# POINT
ROOF LIVE LOAD	MIN. 30 PSF
ATTIC AND TRUSS BOTTOM CHORD	LL=20 PSF (LIMITED STORAGE)
	LL=10 PSF (NO STORAGE)
- ROOF SNOW LOAD DESIGN CRITERIA:

GROUND SNOW LOAD (Pg)	30 PSF
FLAT ROOF SNOW LOAD (Pf)=	21 PSF
EXPOSURE FACTOR (Ce)=	1
IMPORTANCE FACTOR (I)=	1
- WIND LOAD DESIGN CRITERIA:

BASIC WIND SPEED=	90 MPH
WIND EXPOSURE=	B
IMPORTANCE FACTOR (I)=	1
- EARTHQUAKE LOAD DESIGN CRITERIA:

SEISMIC DESIGN CATEGORY=	B
SPECTRAL RESPONSE COEFFICIENT (SDS)=	0.199
SITE CLASS=	(SD1)= 0.101
	D
- SUBJECT TO DAMAGE FROM:

WEATHERING	SEVERE
FROST LINE DEPTH	24"
TERMITE	MODERATE TO HEAVY
DECAY	SLIGHT TO MODERATE
- TEMPERATURE AND FLOODING:

WINTER DESIGN TEMPERATURE	13° F
ICE BARRIER REQUIRED	YES
FLOOD HAZARDS	JULY 2, 1979
AIR FREEZING INDEX	300
MEAN ANNUAL TEMPERATURE	55° F
- THE STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF THE FLOORS AND ROOF. THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE STRUCTURE AND TO SUPPORT CONSTRUCTION LOADS DURING CONSTRUCTION, INCLUDING SOILS ON WALLS FROM BACK FILLING PRIOR TO PLACING SLABS ON GRADE. DESIGN OF ALL BRACING IS THE CONTRACTOR'S RESPONSIBILITY.

SPREAD FOOTING FOUNDATIONS:

- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 24" BELOW FINISH GRADE FOR FROST PROTECTION.
- ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED IN THE CONTRACT DOCUMENTS.

CONCRETE SLAB-ON-GRADE:

- ALL SLABS ON GRADE, UNLESS OTHERWISE NOTED, SHALL CONSIST OF A 4 INCH THICK CONCRETE SLAB REINFORCED WITH ONE LAYER OF 6"x6"-W4.4xN1.4 WELDED WIRE FABRIC AND PLACED OVER A 6 MIL POLYETHYLENE VAPOR RETARDER AND 4 INCHES OF COMPACTED GRANULAR BASE. ALL EDGES OF VAPOR RETARDER SHALL BE LAPPED A MINIMUM OF 6 INCHES AND TAPED. MAXIMUM AGGREGATE SIZE OF GRANULAR BASE SHALL BE 1/2 INCH.
- FILL DEPTHS UNDER SLAB SHALL NOT EXCEED 24 INCHES FOR CLEAN SAND OR GRAVEL AND 8 INCHES FOR COMPACTED SOIL. SLABS ON GREATER FILL SHALL BE ENGINEERED SUPPORTED SLABS. COORDINATE WITH ENGINEER WHERE REQUIRED.
- PLACE CONCRETE PER ACI 302. CONTRACTOR SHALL READ, UNDERSTAND & FOLLOW GUIDELINES SET FORTH FOR PREPARING SUBGRADE, PLACING, CONSOLIDATING, FINISHING AND CURING CONCRETE SLABS.

CAST IN PLACE CONCRETE:

- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301)" AND TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)".
- IN ADDITION TO THE ABOVE, ALL CONCRETE WORK SHALL CONFORM TO THE FOLLOWING:
 - RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING (ACI 305).
 - RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING (ACI 306).
 - RECOMMENDED PRACTICE FOR CONCRETE FORM WORK (ACI 347).
- ALL CONCRETE, UNLESS OTHERWISE NOTED, SHALL BE STONE AGGREGATE CONCRETE HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 5%-7%. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. MAXIMUM AGGREGATE SIZE SHALL BE 1" AND MAXIMUM SLUMP SHALL BE 4" (3" FOR SLABS ON GRADE). ALL CONCRETE, EXCEPT FOOTINGS, SHALL CONTAIN A WATER REDUCING ADMIXTURE. PORTLAND CEMENT SHALL CONFORM TO ASTM C150 AND NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C33.
- ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A615 GRADE 60. ALL WELDED WIRE FABRIC (W.W.F.) SHALL CONFORM TO ASTM A185. LAP ALL REINFORCING BARS A MINIMUM OF 48xBAR DIA. (EX. - LAP 1/2" BAR 24") AND ALL W.W.F. A MINIMUM OF TWO FULL GRIDS, UNLESS OTHERWISE INDICATED.

STRUCTURAL AND MISCELLANEOUS STEEL:

- ALL STEEL CONSTRUCTION SHALL CONFORM TO THE THIRTEENTH EDITION OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN" AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
- ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A992 GRADE 50 OR ASTM A36 AT THE CONTRACTORS OPTION.
- ALL MISCELLANEOUS STEEL (ANGLES, PLATES, ETC.) SHALL CONFORM TO ASTM A36 HAVING A MINIMUM YIELD STRENGTH OF Fy=36,000 PSI.
- ALL STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A501 HAVING A MINIMUM YIELD STRENGTH OF Fy=36,000 PSI OR TO ASTM A53, TYPE "E" OR "S" GRADE "B", HAVING A MINIMUM YIELD STRENGTH OF Fy=35,000 PSI.
- ALL STRUCTURAL STEEL TUBES SHALL CONFORM TO ASTM A500, GRADE "B", HAVING A MINIMUM YIELD STRENGTH OF Fy=46,000 PSI.
- ALL CONNECTIONS, UNLESS OTHERWISE NOTED, SHALL BE DOUBLE ANGLE OR SINGLE PLATE SHEAR CONNECTIONS DESIGNED AND DETAILED IN ACCORDANCE WITH THE AISC "STEEL CONSTRUCTION MANUAL" WITH A MINIMUM EDGE DISTANCE OF 1-1/2 INCHES AND BOLT SPACING OF 3 INCHES.
- THE CONTRACTOR SHALL NOT SPLICE OR CUT OPENINGS IN STEEL MEMBERS NOT SHOWN ON CONTRACT DRAWINGS WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER.

WOOD FRAMING:

- ALL WOOD FRAMING SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- ALL NEW LUMBER SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER. ALL NEW PRESSURE TREATED LUMBER SHALL BE SOUTHERN PINE NO. 2 OR BETTER.
- NAILING OF ALL WOOD FRAMING SHALL MEET THE MINIMUM RECOMMENDED REQUIREMENTS PROVIDED IN THE NAILING SCHEDULE OF THE IRC BUILDING CODE.
- PROVIDE DOUBLE JOISTS OR HEADERS ALONG EACH SIDE OF FLOOR OR ROOF OPENINGS, UNDER THE CENTERLINE OF PARTITION WALLS PARALLEL TO JOIST SPANS, AND ABOVE ALL WALL OPENINGS UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL CUT OR NOTCH THE WOOD FRAMING ONLY AS REQUIRED AND IN ACCORDANCE WITH THE IRC BUILDING CODE, THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", OR AS SHOWN ON THE CONTRACT DRAWINGS.
- PROVIDE DOUBLE OR TRIPLE STUDS AT ALL CORNERS, SIDES OF OPENINGS, AND BENEATH ALL WOOD BEAMS AND LINTELS, UNLESS OTHERWISE INDICATED.
- WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTES "NATIONAL DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" FOR THE DESIGN LOADS INDICATED ON THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ALL WOOD TRUSSES INCLUDING MEMBER LAYOUT, WOOD SPECIES AND GRADE, MEMBER SIZES, TRUSS BEARING CONNECTION DETAILS, CAPACITY OF CONNECTOR PLATES AND THE SIZE AND LOCATION OF ALL REQUIRED BRIDGING. THE CALCULATIONS AND SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND.
- THE CONTRACTOR SHALL PROVIDE TRUSS TIES EQUIVALENT TO OR BETTER THAN THE UPLIFT LOADS INDICATED ON THE TRUSS SHOP DRAWINGS.

INSULATION & MOISTURE PROTECTION:

- PROVIDE 30 lb. BUILDING FELT OR PAPER AT BRICK VENEER WITH FLASHING AT OPENING TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER.
- PROVIDE MINIMUM ONE LAYER OF 15 lb. ROOFING FELT AT THE ROOF TO PROVIDE A WATER-RESISTANT BASE FOR FIBERGLASS COMPOSITION ROOF SHINGLES.
- AN ICE BARRIER, IF REQUIRED, THAT CONSISTS OF TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET, SHALL BE USED IN LIEU OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.
- PROVIDE INSULATION TO ACHIEVE MINIMUM R-VALUES AS FOLLOWS:

CEILING:	R-49 (R-39 IF UNCOMPRESSED EXTENDS OVER WALL TOP PLATE)
EXTERIOR FRAME WALLS:	R-20
BASEMENT (CONCRETE) WALLS:	R-10 CONTINUOUS
FLOORS OVER UNCONDITIONED SPACE:	R-19
WINDOWS / GLASS DOORS:	U-FACTOR ≤ 0.35
SKYLIGHTS:	U-FACTOR ≤ 0.55
- THE CONTRACTOR SHALL PROVIDE CORROSION-RESISTANT METAL FLASHING ABOVE ALL WINDOW AND DOOR OPENINGS TO PREVENT MOISTURE PENETRATION. SIMILAR FLASHING SHALL BE PROVIDED AT ROOF VALLEYS AND ROOF OPENINGS, WOOD OR METAL COPINGS AND SILLS.
- THE CONTRACTOR SHALL PROVIDE PERFORATED SOFFITS AT THE ROOF EAVES AND A CONTINUOUS RIDGE VENT AT THE ROOF TO PROVIDE REQUIRED ATTIC VENTILATION.

STAIRS, HANDRAILS and GUARDS:

- STAIRS SHALL COMPLY WITH SECTION R311 OF THE IRC. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQ'D HEADROOM HEIGHT; 31.5 INCHES WHERE A HANDRAIL IS INSTALLED ON ONE SIDE; 27 INCHES WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.
- MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FEET 8 INCHES.
- MAXIMUM STAIR RISER HEIGHT SHALL BE 7-3/4 INCHES AND MINIMUM TREAD DEPTH SHALL BE 10 INCHES. (UNLESS NOTED OTHERWISE IN CONTRACT DRAWINGS.)
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS. HANDRAILS SHALL BE A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES ABOVE TREAD NOSING.
- PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT.
- REQUIRED GUARDS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER.

SPECIALTIES:

- SMOKE ALARMS SHALL COMPLY WITH SECTION R314 OF THE IRC. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL AREA OF THE HOUSE INCLUDING THE BASEMENT.
- SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE HOUSE WIRING. WHEN PRIMARY POWER IS INTERRUPTED, SMOKE ALARMS SHALL RECEIVE POWER FROM A BATTERY.
- CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTION R315 OF THE IRC. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- CARBON MONOXIDE ALARMS ARE REQUIRED IN DWELLING UNITS WHICH HAVE FUEL-FIRED APPLIANCES OR ATTACHED GARAGES.

MECHANICAL, ELECTRICAL & PLUMBING:

- H.V.A.C. DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED MECHANICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.
- ELECTRICAL DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED ELECTRICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.
- PLUMBING DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED PLUMBING CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.
- IF REQUIRED, FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED BY LICENSED SPRINKLER CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.

MASONRY - BRICK VENEER

- ALL BRICK VENEER CONSTRUCTION TO BE IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENTS FOR ENGINEERED BRICK MASONRY" BY THE BRICK INSTITUTE OF AMERICA AND IRC 2012 REQUIREMENTS.

VENEER BRICK	ASTM C216, GRADE 5W
MORTAR	ASTM C270, TYPE S
- BRICK VENEER SHALL BE ATTACHED TO WOOD FRAMING WITH 7/8" x 7" LONG 22 GAUGE STANDARD CORRUGATED WALL TIES. THE TIES SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION CONFORMING TO ASTM A-153 CLASS B2. SPACING OF ANCHORS AND TIES SHALL BE 16" O.C. MAX. VERTICAL AND 24" O.C. MAX. HORIZONTAL. FOR BRICK VENEER WALLS TALLER THAN 25'-0" BUT NOT EXCEEDING 40'-0" IN HEIGHT, PROVIDE "DN-10" SERIES VENEER ANCHORS BY HOHMANN AND BARNARD OR APPROVED EQUIVALENT AT 16" O.C. VERTICAL AND 24" O.C. HORIZONTAL. ATTACH ALL TIES WITH (2) #6 x 1-1/4" SCREWS PER STUD. PROVIDE WEEP HOLES HORIZONTALLY AT 2'-0" O.C.
- COORDINATE OPENINGS WITH LINTEL SCHEDULE.
- ALL MASONRY CONSTRUCTION TO BE IN ACCORDANCE WITH THE NATIONAL CONCRETE MASONRY ASSOCIATION'S STANDARD PRACTICES AND "SPECIFICATION FOR THE DESIGN AND CONSTRUCTION OF LOAD-BEARING CONCRETE MASONRY" OR ACI 531 "BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES". ALL MASONRY TO CONFORM TO THE FOLLOWING SPECIFICATIONS:

- HOLLOW LOAD-BEARING C.M.U.	ASTM C90
- SOLID LOAD-BEARING C.M.U.	ASTM C145
- MORTAR	ASTM C270, TYPE M OR S
- C.M.U. UNITS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF FM = 1500 PSI. CONTRACTOR SHALL PROVIDE SPECIAL TEST AND INSPECTION FOR THE LOCATION OF THE REINFORCEMENT AND DURING CONSTRUCTION OF C.M.U. WALL.
- JOINT REINFORCING: PROVIDE TRUSS TYPE ZINC COATED, COLD DRAWN STEEL WIRE CONFORMING TO ASTM A82 DUOWALL OR EQUIVALENT AT EVERY OTHER BLOCK COURSE ABOVE GRADE. REINFORCEMENT SHOULD CONSIST OF TWO OR MORE LONGITUDINAL WIRES NO. 4 GAUGE OR LARGER, WELD CONNECTED WITH NO. 12 GAUGE OR LARGER CROSS WIRES. ZINC COATING
- GROUT OR FEA GRAVEL CONCRETE USED FOR FILLING UNIT CELLS OF MASONRY SHALL CONFORM TO ASTM C476 AND SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI ON THE NET AREA AT 28 DAYS.

WINDOWS AND DOORS:

- ALL WINDOW NUMBERS INDICATE MODEL NUMBERS FOR "ANDERSEN" WINDOW UNITS.
- WINDOWS INDICATED ON DRAWINGS AS "EGRESS" SHOULD MEET BUILDING CODE REQUIREMENTS PER SECTION R310 OF THE IRC.
- WINDOWS IN DOORS, SIDE LIGHTS AND WINDOWS WITHIN 24" OF DOORS SHALL BE PROVIDED WITH SAFETY GLASS TO COMPLY WITH SECTION R308 OF THE IRC.
- GLASS AT TUBS AND SHOWER ENCLOSURES SHALL BE PROVIDED WITH SAFETY GLASS TO COMPLY WITH SECTION R308 OF THE IRC.

PROJECT GENERAL NOTES:

- WALL DIMENSIONS ARE FROM OUTSIDE FACE OF FRAMING AND ARE AS FOLLOWS (U.O.N.):

INTERIOR PARTITIONS =	3-1/2" (2x4 WOOD STUDS @ 16" O.C.) or
	5-1/2" (2x6 WOOD STUDS @ 16" O.C.) WHERE INDICATED
EXTERIOR WALLS =	6" (2x6 STUDS @ 16" O.C. PLUS 1/2" SHEATHING)
- THE CONTRACTOR AND HIS ASSOCIATED SUBCONTRACTORS ARE RESPONSIBLE TO THOROUGHLY REVIEW ALL DRAWINGS. ANY INCONSISTENCIES OR ERRORS ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION OR CORRECTION PRIOR TO THE START OF CONSTRUCTION OR MANUFACTURING OF PRE-FABRICATED COMPONENTS.
- IF THE CONTRACTOR MODIFIES OR DEVIATES FROM THESE PLANS FOR ANY REASON WITHOUT NOTIFYING CADDWORKS, INC., THE PLAN'S CODE COMPLIANCE BECOMES THE CONTRACTOR'S RESPONSIBILITY.
- SIZING/SPACING OF ALL PRE-ENGINEERED WOOD FRAMING PRODUCTS (MICROLAMS, PARALLAMS, & FLOOR/ROOF TRUSSES) TO BE ENGINEERED/VERIFIED BY MANUFACTURER.
- FLOOR FRAMING TO BE ACCOMPLISHED WITH PRE-ENGINEERED WOOD "I" JOISTS; MANUFACTURER'S AGENT TO DESIGN JOIST LAYOUT AND PROVIDE ENGINEERED SHOP DRAWINGS; FLOOR SYSTEM TO BE DESIGNED WITH 1480 LIVE LOAD DEFLECTION MIN. (L/600 IN AREAS TO BE FINISHED WITH TILE).
- ROOF FRAMING TO BE ACCOMPLISHED WITH PRE-ENGINEERED WOOD TRUSSES; MANUFACTURER'S AGENT TO DESIGN TRUSS LAYOUT AND PROVIDE ENGINEERED SHOP DRAWINGS.
- THE STAIR MANUFACTURER SHALL VERIFY EXISTING FIELD CONDITIONS PRIOR TO FABRICATION OF STAIR; STAIR TO BE BUILT IN COMPLIANCE WITH ALL APPLICABLE CODES.
- THESE DOCUMENTS ARE NOT TO BE SCALED. DIMENSIONS SHALL GOVERN ON ALL DRAWINGS. ANY OMISSIONS OR AREAS OF DISCREPANCY SHALL BE REFERRED TO CADDWORKS, INC. PRIOR TO CONSTRUCTION.



RESIDENTIAL DESIGN
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1-28-15	CAL	CONCEPT DRAWINGS
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GENERAL NOTES

GARAGE ADDITION FOR:

APOLLON RESIDENCE

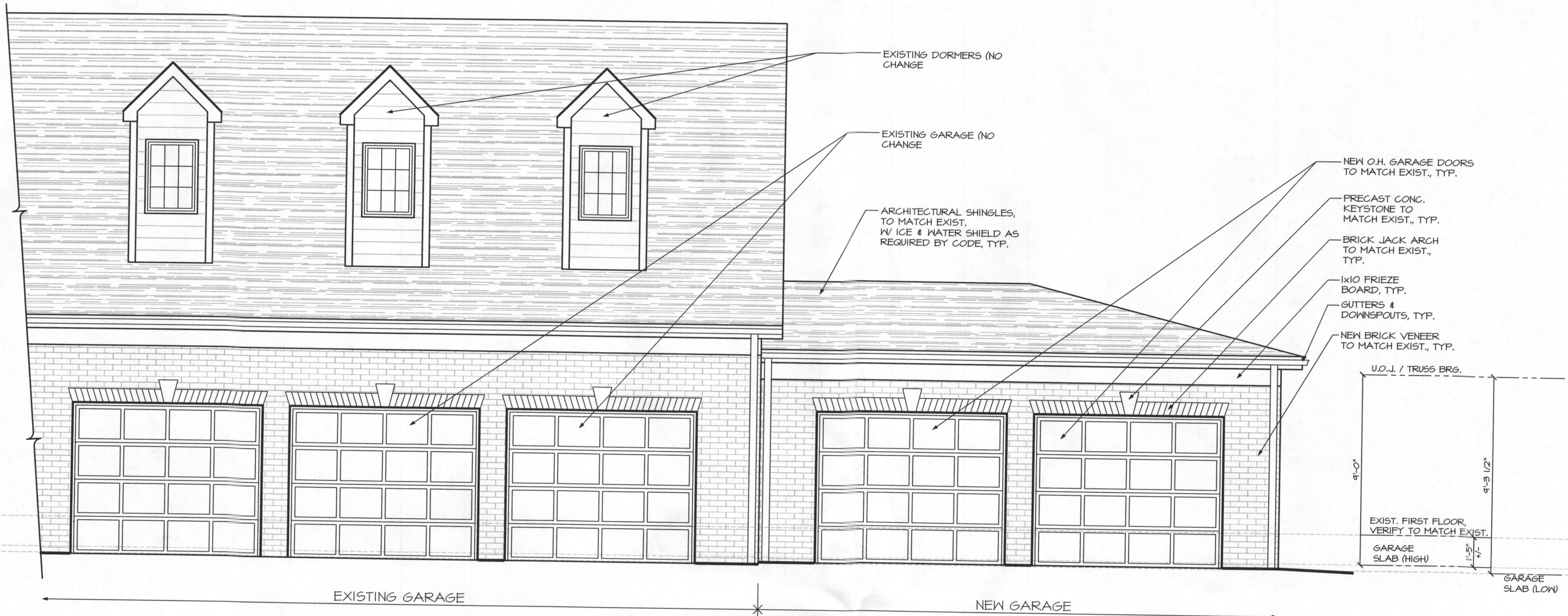
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PROJ. NO.: 1327

PERMIT DRAWINGS ISSUED: MARCH 9, 2015



EXISTING DORMERS (NO CHANGE)

EXISTING GARAGE (NO CHANGE)

ARCHITECTURAL SHINGLES, TO MATCH EXIST. W/ ICE & WATER SHIELD AS REQUIRED BY CODE, TYP.

NEW O.H. GARAGE DOORS TO MATCH EXIST., TYP.

PRECAST CONC. KEYSTONE TO MATCH EXIST., TYP.

BRICK JACK ARCH TO MATCH EXIST., TYP.

1x10 FRIEZE BOARD, TYP.

GUTTERS & DOWNSPOUTS, TYP.

NEW BRICK VENEER TO MATCH EXIST., TYP.

U.O.J. / TRUSS BRG.

9'-0"
EXIST. FIRST FLOOR, VERIFY TO MATCH EXIST.

1'-8"
4"
GARAGE SLAB (HIGH)

9'-3 1/2"

GARAGE SLAB (LOW)

EXISTING GARAGE

NEW GARAGE

FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ARCHITECTURAL SHINGLES, TO MATCH EXIST. W/ ICE & WATER SHIELD AS REQUIRED BY CODE, TYP.

GALV. MTL. STEP FLASHING REGLET INTO BRICK, TYP.

FASCIA TO MATCH EXISTING, TYP.

GUTTERS & DOWNSPOUTS, TYP.

1'-0" OVERHANG AT HOUSE, TYP.

SYNTHETIC FRIEZE BOARD

NEW BRICK TO MATCH EXISTING, TYP.

NEW BRICK STAIRS, 7-3/4" MAX RISE, 10" MIN. TREAD

SIDE ELEVATION

SCALE: 1/4" = 1'-0"



BRICK ROWLOCK SILL TO MATCH EXISTING

SIDE ELEVATION

SCALE: 1/4" = 1'-0"



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1-28-15	CAL	CONCEPT DRAWINGS
2-4-15	CAL	UPDATED CONCEPT DRAWINGS
3-4-15	CAL	PERMIT DRAWINGS

ELEVATIONS

GARAGE ADDITION FOR:

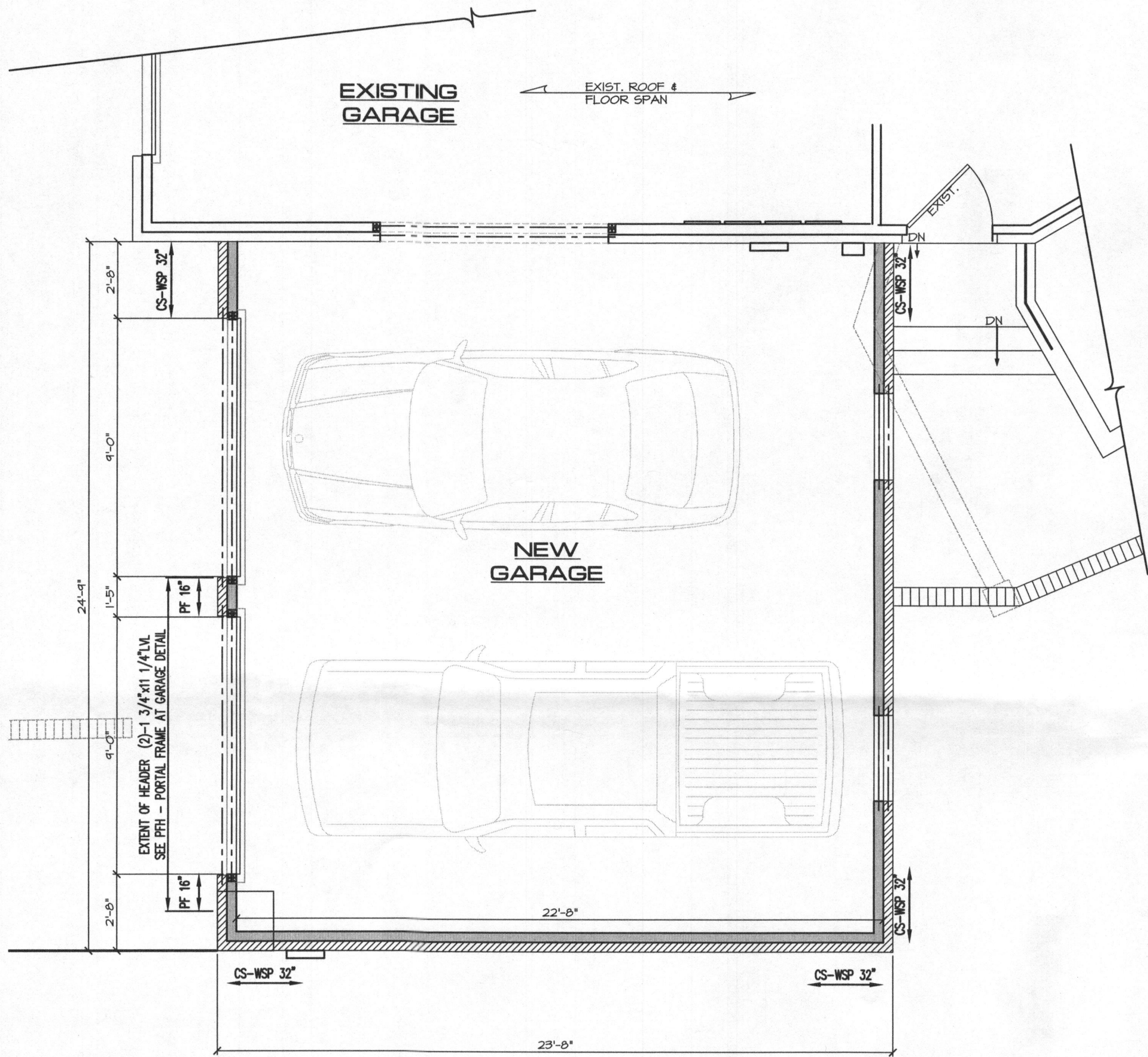
APOLLON RESIDENCE

11901 EVENING COURT
CLARKSVILLE, MD

SHEET NO.
A-2

PROJ. NO.: 1327

PERMIT DRAWINGS ISSUED: MARCH 9, 2015

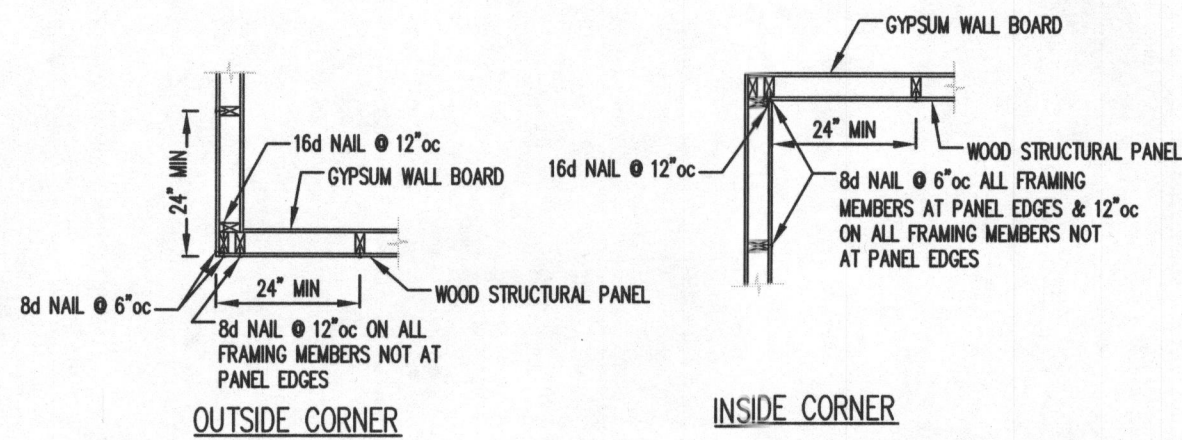


FRAMING CARPENTER NOTE:

SEE DETAIL SHEET FOR FRAMING AND NAILING INSTRUCTIONS REQUIRED AT LOCATIONS LABELED "CS-WSP #\"/>

WALL BRACING

SCALE: 1/4" = 1'-0"



TYPICAL EXTERIOR CORNER DETAIL FOR CONTINUOUS SHEATHING - CS-WSP

LATERAL BRACING NOTES:
BRACING MEETS THE REQUIREMENTS OF 2012 IRC R602.10 AND APPROPRIATE ENGINEERING PRINCIPLES AS SIGNED AND SEALED BY THE PROFESSIONAL ENGINEER

1/8" OSB OR 1/2" PLYWOOD WOOD STRUCTURAL PANELS (CS-WSP) MUST BE APPLIED TO ALL EXTERIOR SHEATHABLE SURFACES INCLUDING GABLE END WALLS & ABOVE & BELOW ALL OPENINGS. THE SHEATHING IS TO BE FASTENED w/ 8d NAILS AT 6"oc @ EDGES & @ 12"oc AT ALL INTERMEDIATE SUPPORTS.

INTERIOR GYPSUM BOARD (GB) BRACED WALLS WHERE INDICATED TO BE FASTENED AT ALL EDGES w/ SCREWS OR NAILS @ 7"oc.

BRACED PANELS "WSP #\"/>

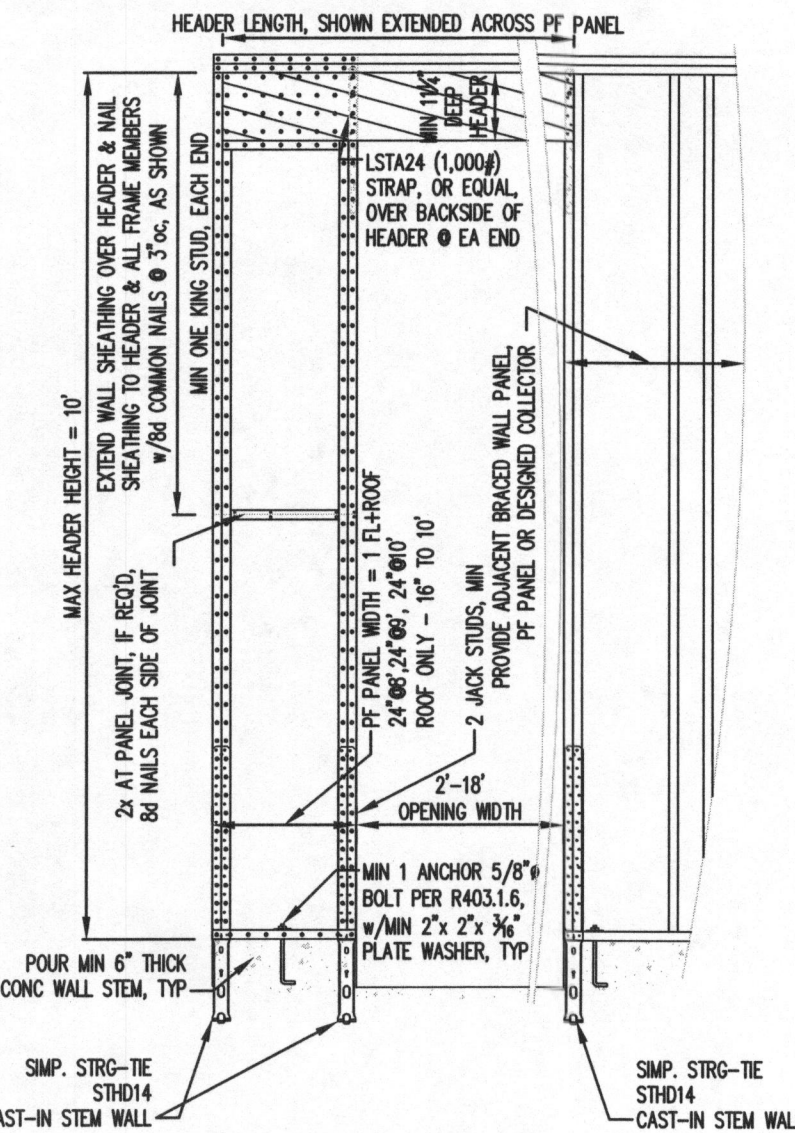
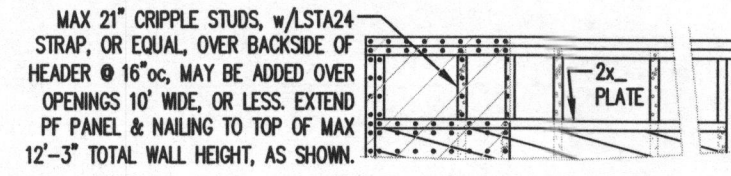
BRACED PANELS "GB #\"/>

BRACED PANEL "PF #\"/>

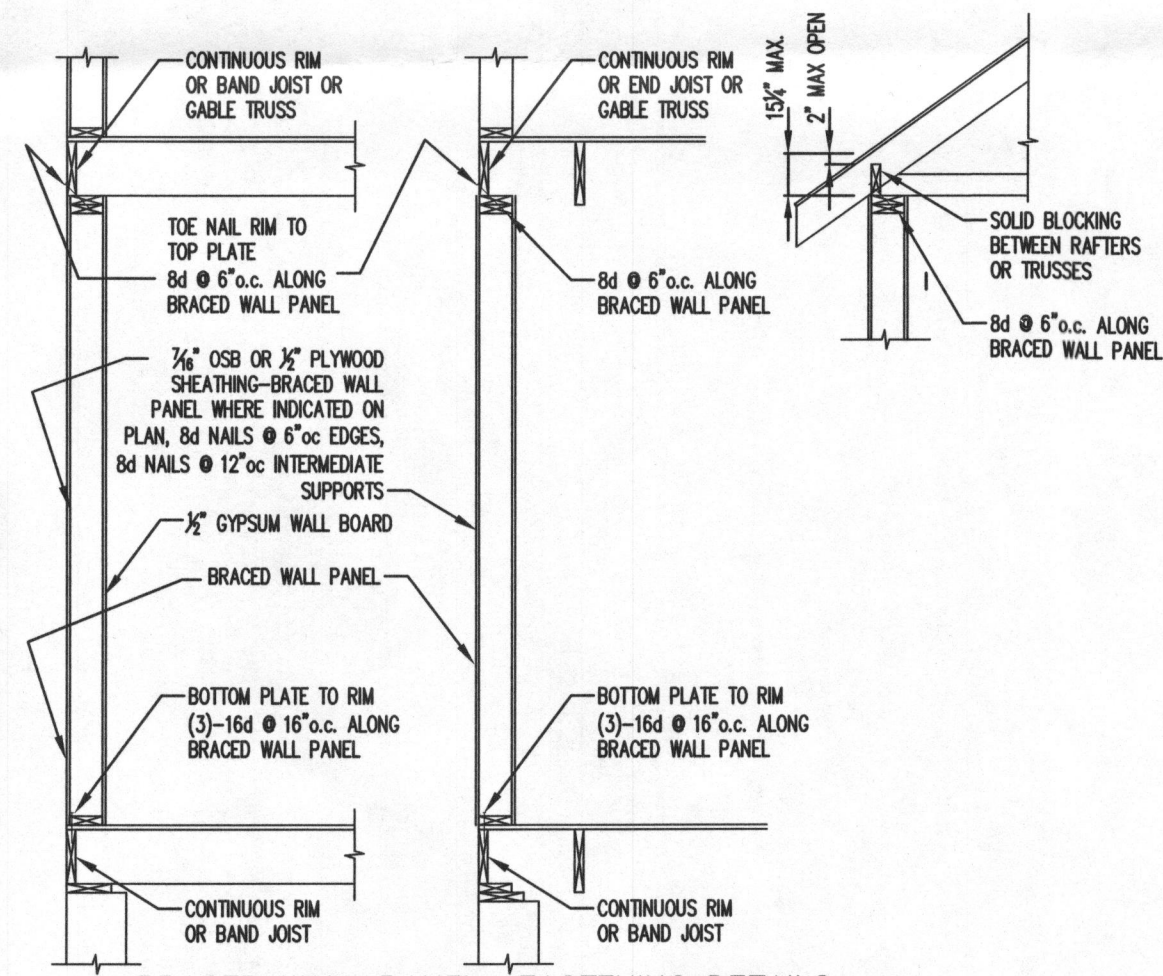
EXTERIOR WALL CORNERS, INSIDE & OUTSIDE, MUST BE CONSTRUCTED PER TYPICAL DETAILS.

BWL - INDICATES BRACED WALL LINE

STRAPS, HANGERS, & ANCHORS INDICATED ARE TO BE SIMPSON STRONG-TIE OR EQUAL.

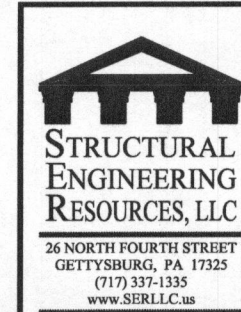


PFH - PORTAL FRAME w/ HOLD-DOWNS NTS



BRACED WALL PANEL FASTENING DETAILS

DETAIL APPLIES ONLY WHERE INDICATED ON PLAN "WSP #\"/>



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 24342, Expiration Date: 11-17-2015.
NOTE: ENGINEER'S SEAL FOR STRUCTURAL INFORMATION ONLY



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WALL BRACING & FRAMING DETAILS

GARAGE ADDITION FOR:

APOLLON RESIDENCE

11901 EVENING COURT
CLARKSVILLE, MD

SHEET NO.
F-1

PROJ. NO.: 1327

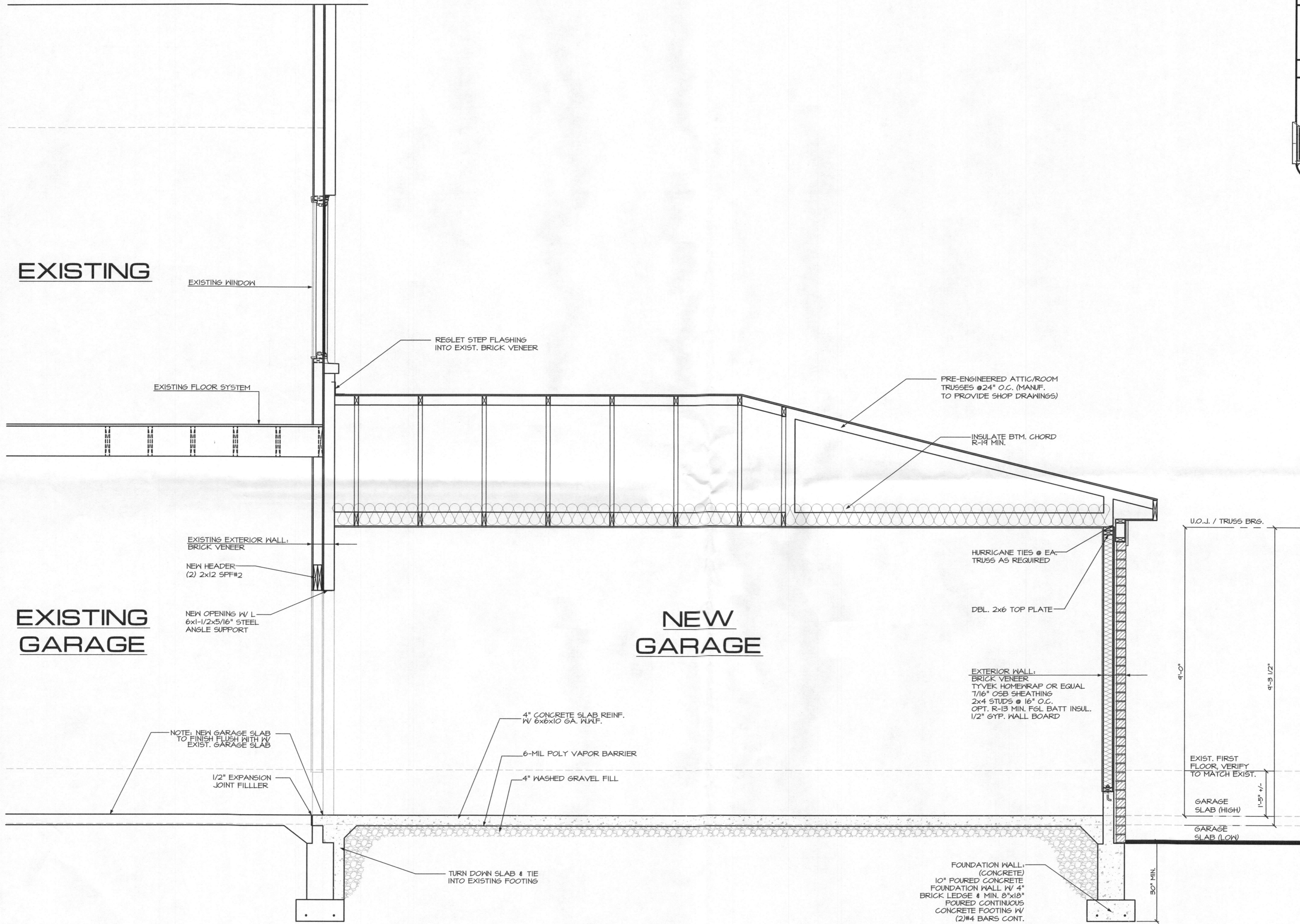
EXISTING

EXISTING GARAGE

NEW GARAGE

SECTION B

SCALE: 1/2" = 1'-0"



EXISTING WINDOW

EXISTING FLOOR SYSTEM

REGLET STEP FLASHING INTO EXIST. BRICK VENEER

PRE-ENGINEERED ATTIC/ROOM TRUSSES @ 24" O.C. (MANUF. TO PROVIDE SHOP DRAWINGS)

INSULATE BTM. CHORD R-14 MIN.

EXISTING EXTERIOR WALL: BRICK VENEER

NEW HEADER (2) 2x12 SPF#2

NEW OPENING W/ L 6x1-1/2x5/16" STEEL ANGLE SUPPORT

HURRICANE TIES @ EA. TRUSS AS REQUIRED

DBL. 2x6 TOP PLATE

EXTERIOR WALL: BRICK VENEER TYVEK HOMEWRAP OR EQUAL 7/16" OSB SHEATHING 2x4 STUDS @ 16" O.C. OPT. R-13 MIN. FOL BATT INSUL. 1/2" GYP. WALL BOARD

NOTE: NEW GARAGE SLAB TO FINISH FLUSH WITH W/ EXIST. GARAGE SLAB

1/2" EXPANSION JOINT FILLER

4" CONCRETE SLAB REINF. W/ 6x6x10 GA. W/WF.

6-MIL POLY VAPOR BARRIER

4" WASHED GRAVEL FILL

TURN DOWN SLAB & TIE INTO EXISTING FOOTING

FOUNDATION WALL: (CONCRETE) 10" POURED CONCRETE FOUNDATION WALL W/ 4" BRICK LEDGE & MIN. 8"x18" POURED CONTINUOUS CONCRETE FOOTING W/ (2)#4 BARS CONT.

U.O.J. / TRUSS BRG.

9'-0"

9'-3 1/2"

EXIST. FIRST FLOOR, VERIFY TO MATCH EXIST.

GARAGE SLAB (HIGH)

GARAGE SLAB (LOW)

30" MIN.

SUBMITTALS

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2-4-15	CAL UPDATED CONCEPT DRAWINGS
3-4-15	CAL PERMIT DRAWINGS

SECTIONS

GARAGE ADDITION FOR:

APOLLON RESIDENCE

11901 EVENING COURT
CLARKSVILLE, MD

SHEET NO.

A-4

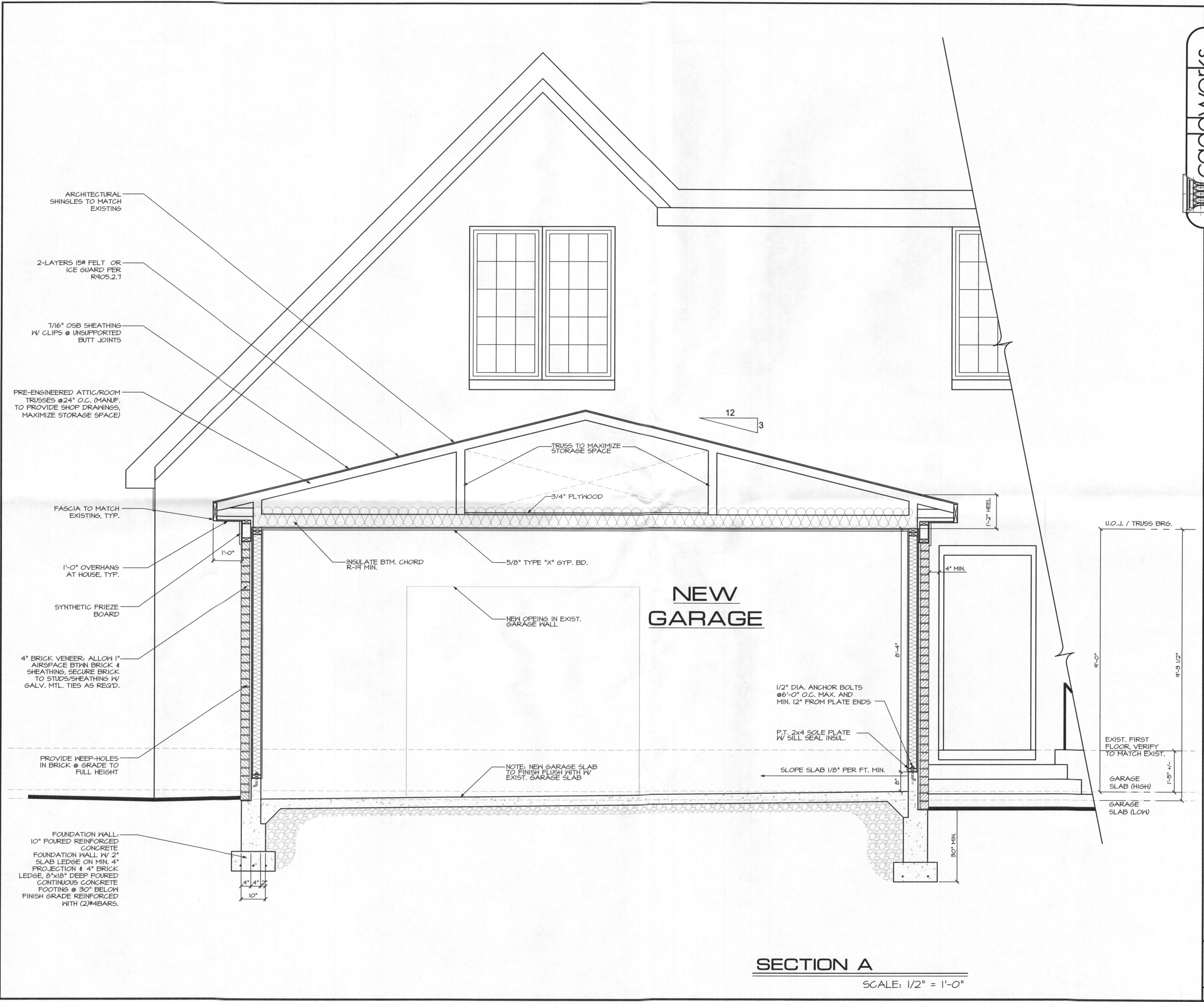
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SECTIONS

GARAGE ADDITION FOR:
APOLLON RESIDENCE
 11901 EVENING COURT
 CLARKSVILLE, MD

SHEET NO.
A-3
 PROJ. NO.: 1327

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SECTION A
 SCALE: 1/2" = 1'-0"

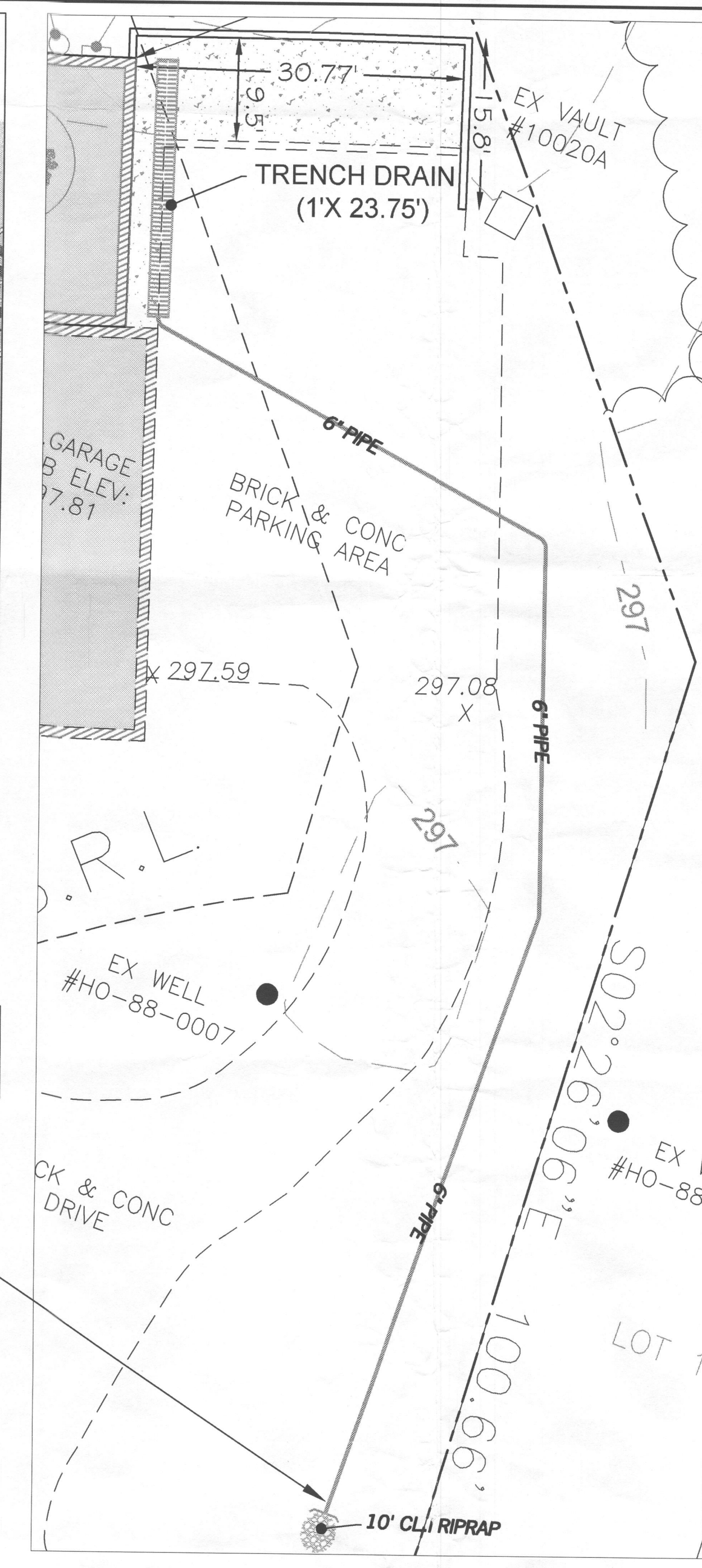


Self-Forming Trench Pan
Heavy Duty

Figure 7

Illustrating R-4996-B frame with 6" outlet

Standard Cover Dimensions				Outlet Location/Sizes				Available Grate/Cover	
Catalog Number	A	B	C	D	Frame Length	Side	Bottom		End
R-4996-B	10	1	8	10-3/8	30	4,6,8	4,6	4,6	Q**



SITE PLAN LEGEND

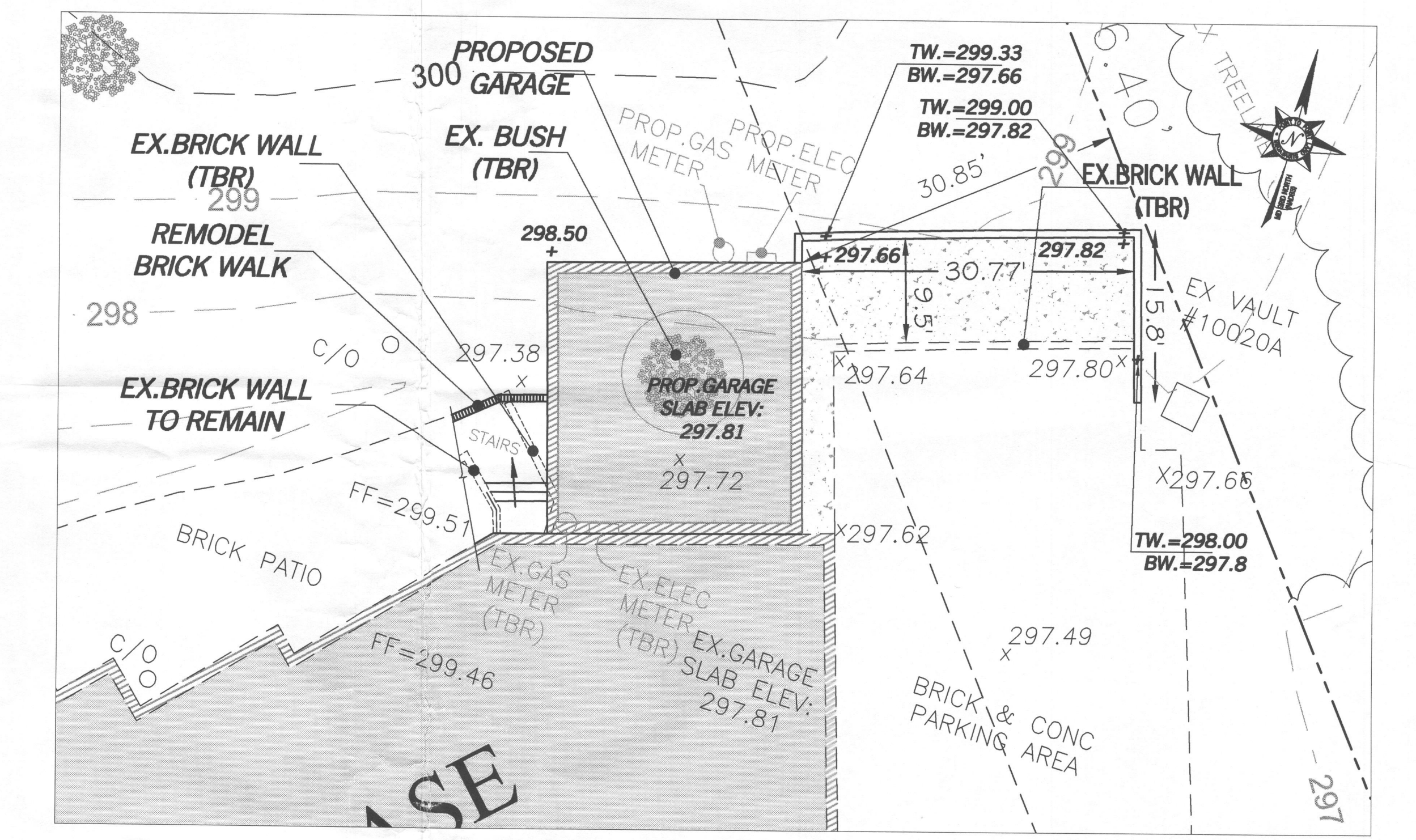
EXISTING FEATURE	SYMBOL	PROPOSED STRUCTURE	SYMBOL
SUBJECT SITE BOUNDARY	---	LIMITS OF DISTURBANCE	---
ADJOINING PROPERTY BOUNDARY	---	PROP. BUILDING	---
EXISTING ROAD CENTERLINE	---	PROP. CONC. PAVEMENT	---
BUILDING RESTRICTION LINE	---	PROP. CONTOUR	---
EXISTING STRUCTURES	---	PROP. SPOT ELEVATION	---
EXISTING CONTOURS (MINOR)	---	TO BE REMOVED	(TBR)
EXISTING CONTOURS (INDEX)	---		
EXISTING SPOT ELEVATION	X100		

- SITE DATA:**
- Address: 11901 EVENING CT, CLARKSVILLE, HOWARD COUNTY, MD 21029
 - Plat: 8941
 - Lot Area = 278834 S.F. (6.401 Acres)
 - Site Description: LOT 19
 - Existing Use: Single Family
 - Proposed Use: Residential
 - Tax Map: 29
 - Grid: 19
 - Zoning: RC-DEO
 - Maximum Building Height: 40'
 - Required Setbacks:

Front	75'	Provided Setbacks:
Side- 30'		Front
Rear- 60'		Side- 30'
		Rear- 60'

NOTE: DRAIN PIPE TO DISCHARGE TO SUITABLE DOWN SLOPE, LOCATION TO BE DETERMINED BY CONTRACTOR.

1 PROPOSED TRENCH DRAIN SCALE: 1"=10'



2 PROPOSED GARAGE GARAGE AREA: 583 S.F. SCALE: 1"=10'

1 PROPOSED CONDITIONS SCALE: 1"=30'

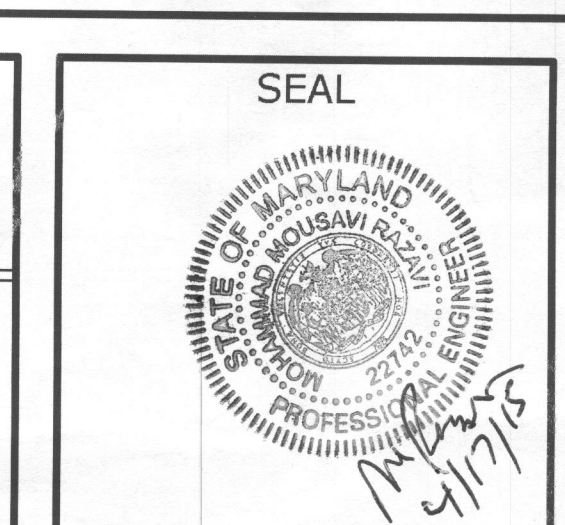
PROFESSIONALS' REVIEW STATEMENT:
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER: 22742 EXPIRES: JUNE 15, 2016

- NOTE:**
- Topography was field run by B&R Design Group on February 3, 2015; vertical datum is assumed; contour interval: 2'
 - Horizontal datum is based on a plat entitled 'Clearview Estates, Section One, Lots 15 thru 26', and recorded in Plat #8941 of the Howard County Land Records.

REV#	DATE

OWNER
GERALD & JOCELYN E APOLLON
11901 EVENING CT, CLARKSVILLE,
HOWARD COUNTY, MD

RAZTEC ASSOCIATES, INC.
civil engineers & planners
3280 Urbana Pike
Ijamsville, Maryland 21754
Tel (301) 775-4394
Fax (301) 831-8978
email: raztecengr@comcast.net



SITE PLAN FOR GARAGE ADDITION
11901 EVENING CT, CLARKSVILLE,
HOWARD COUNTY, MD 21029
5TH ELECTION DISTRICT
ZONE: RC-DEO
TAX MAP: 29
GRID: 19
LOT 19, PLAT #8941, HOWARD COUNTY, MARYLAND

SCALE
1" = 30'
CHECKED BY:
MR
DRAWN BY:
MP

DATE
MARCH, 2015
SHEET NUMBER
1 of 1

A
B
C
D
E
F
G
H
I
J
K
L
M
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O
P



FIRST FLOOR PLAN