



DUPLICATE

Building Permit Application
Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 10/22/14
Permit No. B14003883

Health Copy

Building Address: 2791 Florence Rd.
City: Woodbine State: MD Zip Code: 21797
Subdivision: Layton Knoll
Area: 58973 Lot: 6
Parcel: 112 Grid:
Zoning: Map Coordinates: Lot Size: 58973

Property Owner's Name: Jan E Gordon
Address: 1775 St. Michel Rd.
City: Woodbine State: MD Zip Code: 21797
Phone: Fax:

Existing Use: Vacant lot
Proposed Use: New 4 bed, unfinished basement SF
Estimated Construction Cost: \$ 250K
Description of Work: Build 2 story, 4 bed,
2.5 bath, unfinish basement,
2 car garage
Occupant or Tenant:
Was tenant space previously occupied? [] Yes [X] No
Contact Name: Curtis Cumberland
Address: 16391 A.E. Mullin Rd
City: Woodbine State: MD Zip Code: 21797
Phone: 301 252-1122 Fax:
Email: Cumberlanddev@gmail.com

Applicant's Name & Mailing Address (if other than stated herein)
Applicant's Name: Cumberland Dev
Address:
City: State: Zip Code:
Phone: 301 252-1122 Fax:

Contractor Company: Cumberland Dev
Contact Person: Curtis Cumberland
Address: 16391 A.E. Mullin Rd.
City: Woodbine State: MD Zip Code: 21797
License No.: MHB 2012
Phone: 301 252-1122 Fax: 301 8546325
Email: Cumberlanddev@gmail.com

Engineer/Architect Company: Caddworks
Responsible Design Prof.:
Address: 332 West Patric St. Fredrick
City: State: MD Zip Code: 21701
Phone: 301 695 41868 Fax:
Email:

Table with 2 columns: Commercial Building Characteristics and Residential Building Characteristics. Includes fields for Height, No. of stories, Gross area, Area of construction, Use group, Construction type, No. of Bedrooms, etc.

Table with 2 columns: Utilities and Building Shell. Includes sections for Water Supply, Sewage Disposal, Heating System, Sprinkler System, and Grading Permit Number.

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.
Applicant's Signature: Curtis Cumberland
Print Name: Curtis Cumberland
Email Address: Cumberlanddev@gmail.com
Date: 10/22/14
Title/Company: Pres.

RECEIVED
OCT 22 2014

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

LICENSES & PERMITS DIVISION

Table with 3 columns: AGENCY, DATE, SIGNATURE OF APPROVAL. Includes rows for State Highways, Building Officials, PSZA (Zoning), PSZA (Engineering), and Health.

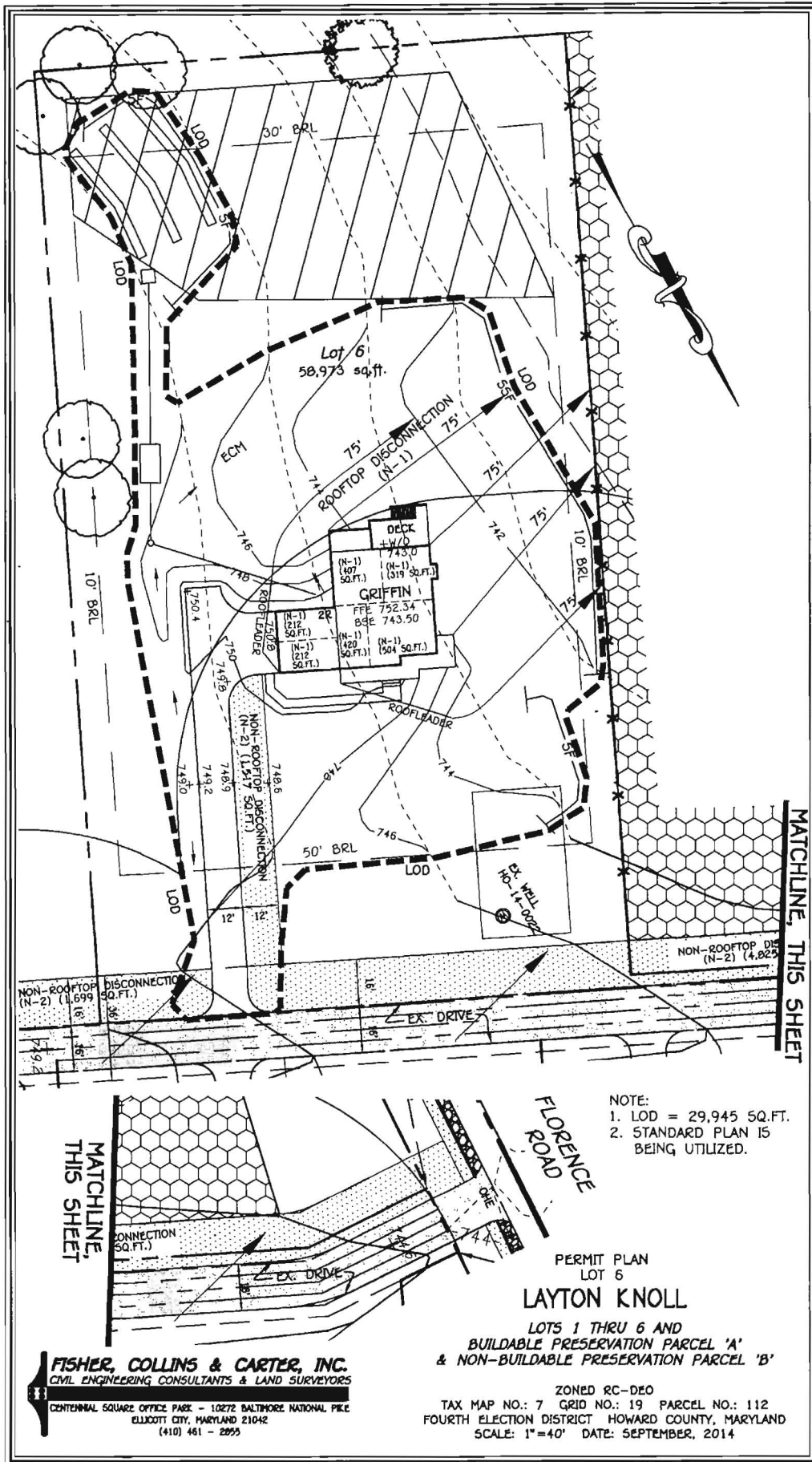
Table with 2 columns: DPZ SETBACK INFORMATION and SDP/Red-line approval date. Includes rows for Front, Rear, Side, Side St., All minimum setbacks met?, Is Entrance Permit Required?, Historic District?, Lot Coverage for New Town Zone.

Table with 2 columns: Fee/Category and Amount. Includes rows for Filing Fee, Permit Fee, Tech Fee, Excise Tax, PSFS, Guaranty Fund, Add'l per Fee, Total Fees, Sub-Total Paid, Balance Due, Check.

Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

T:\Operations\Updated Forms\Building applmp 8.2012.docx

Send Second Copy Per Curtis Cumberland to Health 12-9-14



MATCHLINE THIS SHEET

MATCHLINE THIS SHEET

- NOTE:
1. LOD = 29,945 SQ.FT.
 2. STANDARD PLAN 15 BEING UTILIZED.

FLORENCE ROAD

PERMIT PLAN
LOT 6
LAYTON KNOLL

LOTS 1 THRU 6 AND
BUILDABLE PRESERVATION PARCEL 'A'
& NON-BUILDABLE PRESERVATION PARCEL 'B'

ZONED RC-DEO
TAX MAP NO.: 7 GRID NO.: 19 PARCEL NO.: 112
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1"=40' DATE: SEPTEMBER, 2014

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELIJAH CITY, MARYLAND 21042
(410) 461 - 2895

ENTRANCE PERMIT

(410) 313-1810

HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES & PERMITS

Permission is hereby granted by the Howard County Department of Inspections, Licenses & Permits for an entrance permit:

Owner Cumberbund Deerp. Phone 301 252-1122
Address 16391 A.F. Mullinix Rd Woodbine MD 21797
New Building Address 2791 Florence Rd., Woodbine MD. 21797
For what use: Entrance To New SFD
Name of Contractor or Builder Same
Address _____

The applicant hereby certifies and agrees as follows: (1) that he is the owner or the duly authorized agent of the owner to make this application; (2) that he has read all of the information set forth and that the same is correct; (3) that the permit, when issued, may be declared void should said information be incorrect; (4) that he will comply with all rules and regulations of Howard County Bureau of Highways; (5) that he will perform no work on the entrance not specifically described in this permit.

It must be noted that a use & occupancy permit will not be issued until entrance is completed to Bureau of Highways Standards & Specifications.

It is agreed and understood by the acceptance of this permit, the following conditions will be followed.

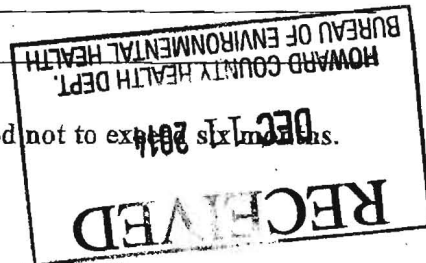
- A. The construction of the entrance or approach will, in no way, change the grade/and or alignment of any existing drainage ditches or structures. In the event same are damaged or destroyed, they shall be replaced to the satisfaction of the Howard County Department of Public Works representative.
- B. The right-of-way, affected by this permit, will be left in a neat and clean condition and no excess material will be permitted to remain on or adjacent to the right-of-way. Shoulders and flow-line areas disturbed shall be shaped up according to the Howard County Bureau of Highways Standards and Specifications. (For Driveway and Flow-line area.)

In consideration of the issuance of this permit, the applicant agrees that if he fails to comply with the above set-out standards and thereby causes damage to the Howard County Road System, that the applicant will be responsible to Howard County for such damage to its road system.

Sign Curt Cumberbund 301 252-1122
(Name of applicant)
Address _____

Date _____ Approved _____

ATTENTION: The permit, when issued, is valid for period not to exceed six months.





Office of the Health Officer

7178 Columbia Gateway Drive, Columbia, MD 21046-2147

Main: 410-313-6300 | Fax: 410-313-6303

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Acting Health Officer

DATE: November 13, 2014

TO: Cumberland Development
C/o Curtis Cumberland
Via-e-mail: cumberlanddev@gmail.com

RE: **Building Permit # B14003883**
2791 Florence Road
Woodbine, Maryland 21797

Mr. Cumberland,

Further review is contingent upon submission of a revised building plan showing the following:

- Floor plans are needed to determine if the septic system design can support the proposed house.
- BAT plan must be submitted for building permit approval.

Your building permit will be placed "on hold" until all Health Department requirements are met. If you have any questions or correspondence, I can be reached at the above address or by telephone at (410) 313-2775.

Respectfully,

Dana Bernard, REHS/RS
Environmental Specialist II
Bureau of Environmental Health
Well and Septic Program
Phone (410) 313-2775
E-mail: DBernard@howardcountymd.gov

cc: Well & Septic program file

Bernard, Dana

From: Bernard, Dana
Sent: Monday, December 15, 2014 2:38 PM
To: 'Stephanie Tuite'
Cc: 'cumberlanddev@gmail.com'
Subject: 2791 Florence Road

Stephanie,

Your building permit for 2791 Florence Road cannot be approved at this time because you have the potential for 5 bedrooms. Your septic design has been calculated for 4 bedrooms. Even though your basement is not finished your plan shows the ability to create five bedrooms because of the full bathroom with a rough in. Part of the basement can be transformed into a bedroom with drywall. Please make adjustments and resubmit. If you would like to have the permit approved as is. We must submit a revised building site plan to the department of planning and zoning stating the following : (The note must also be shown on your BAT plan and submitted to the HCHD.)

“ At any time in the future, if a building permit is submitted to finish the basement area, then a septic system upgrade will be required as finishing the basement may create new living space.” The current septic system design is for a 4 bedroom house and cannot accommodate a 5 bedroom design.”

If you would like to revised your system for a 5 bedroom house, please resubmit the site plan revisions to DPZ. And the revised BAT plan to the Howard County Health Department.

Thank you & Have a*~)

.:.:~*~) .:.:~*~)

(.:.:~*~) * Wonderful Day !

Dana Bernard

Dana Bernard, REHS/RS

Environmental Specialist II

Bureau of Environmental Health

Well and Septic Program

Phone (410) 313-2775

E-mail: DBernard@howardcountymd.gov



Permit No.: B1400329

Building Address: 2791 Florence Rd.
 City: Woodbine State: MD Zip Code: 21797
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: Layton Knoll
 Section: _____ Area: 52973 Lot: 6
 Tax Map: 7 Parcel: 112 Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: 52973

Property Owner's Name: Jan E Garden
 Address: 1775 St. Michel Rd.
 City: Woodbine State: MD Zip Code: 21797
 Phone: _____ Fax: _____
 Email: _____

Existing Use: Vacant lot
 Proposed Use: New Home
 Estimated Construction Cost: \$ 250K
 Description of Work: 2 car garage

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: Cumberland Devp.
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: 301 252-7122 Fax: _____
 Email: _____

Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: Curtis Cumberland
 Address: 16391 A.E. Mullinix Rd
 City: Woodbine State: MD Zip Code: 21797
 Phone: 301 252-1192 Fax: _____
 Email: Cumberlanddevp@gmail.com

Contractor Company: Cumberland Devp.
 Contact Person: Curtis Cumberland
 Address: 16391 A.E. Mullinix Rd.
 City: Woodbine State: MD Zip Code: 21797
 License No.: M HB 2042
 Phone: 301 252-1192 Fax: 301 252-16325
 Email: _____

Engineer/Architect Company: Goldman
 Responsible Design Prof.: _____
 Address: 332 West Valley St. Frederick
 City: _____ State: MD Zip Code: 21701
 Phone: 301 695-4800 Fax: _____
 Email: _____

| Commercial Building Characteristics | Residential Building Characteristics | |
|---|--|-----------|
| Height: | <input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse | |
| No. of stories: | Depth | Width |
| Gross area, sq. ft./floor: | 1 st floor: <u>414</u> | <u>53</u> |
| Area of construction (sq. ft.): | 2 nd floor: <u>414</u> | <u>53</u> |
| Use group: | Basement: | |
| | <input type="checkbox"/> Finished Basement | |
| | <input type="checkbox"/> Unfinished Basement | |
| | <input type="checkbox"/> Crawl Space | |
| | <input type="checkbox"/> Slab on Grade | |
| Construction type: | No. of Bedrooms: <u>4</u> | |
| <input type="checkbox"/> Reinforced Concrete | Multi-family Dwelling | |
| <input type="checkbox"/> Structural Steel | No. of efficiency units: | |
| <input type="checkbox"/> Masonry | No. of 1 BR units: | |
| <input type="checkbox"/> Wood Frame | No. of 2 BR units: | |
| <input type="checkbox"/> State Certified Modular | No. of 3 BR units: | |
| | Other Structure: | |
| | Dimensions: | |
| ➤ Roadside Tree Project Permit | Footings: | |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Roof: | |
| Roadside Tree Project Permit # | <input type="checkbox"/> State Certified Modular | |
| | <input type="checkbox"/> Manufactured Home | |

| Utilities | |
|--|--|
| Water Supply | |
| <input type="checkbox"/> Public | |
| <input checked="" type="checkbox"/> Private | |
| Sewage Disposal | |
| <input type="checkbox"/> Public | |
| <input checked="" type="checkbox"/> Private | |
| Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | |
| Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| Heating System | |
| <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil | |
| <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas | |
| <input type="checkbox"/> Other: | |
| Sprinkler System: | |
| <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | |
| Grading Permit Number: <u>617000329</u> | |
| Building Shell Permit Number: | |

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Curtis Cumberland
 Email Address: Cumberlanddevp@gmail.com
 Title/Company: _____

Print Name: Curtis Cumberland
 Date: 10/22/14

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

| AGENCY | DATE | SIGNATURE OF APPROVAL |
|--------------------|-----------------|-----------------------|
| State Highways | | |
| Building Officials | | |
| PSZA (Zoning) | | |
| PSZA (Engineering) | | |
| Health | <u>10-18-14</u> | <u>Dana Benson</u> |

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

| DPZ SETBACK INFORMATION |
|---|
| Front: |
| Rear: |
| Side: |
| Side St.: |
| All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Lot Coverage for New Town Zone: |
| SDP/Red-line approval date: |

| | |
|----------------|------------------|
| Filing Fee | \$ <u>100.00</u> |
| Permit Fee | \$ |
| Tech Fee | \$ |
| Excise Tax | \$ |
| PSFS | \$ |
| Guaranty Fund | \$ <u>50.00</u> |
| Add'l per Fee | \$ |
| Total Fees | \$ |
| Sub-Total Paid | \$ |
| Balance Due | \$ |
| Check | # <u>9521</u> |

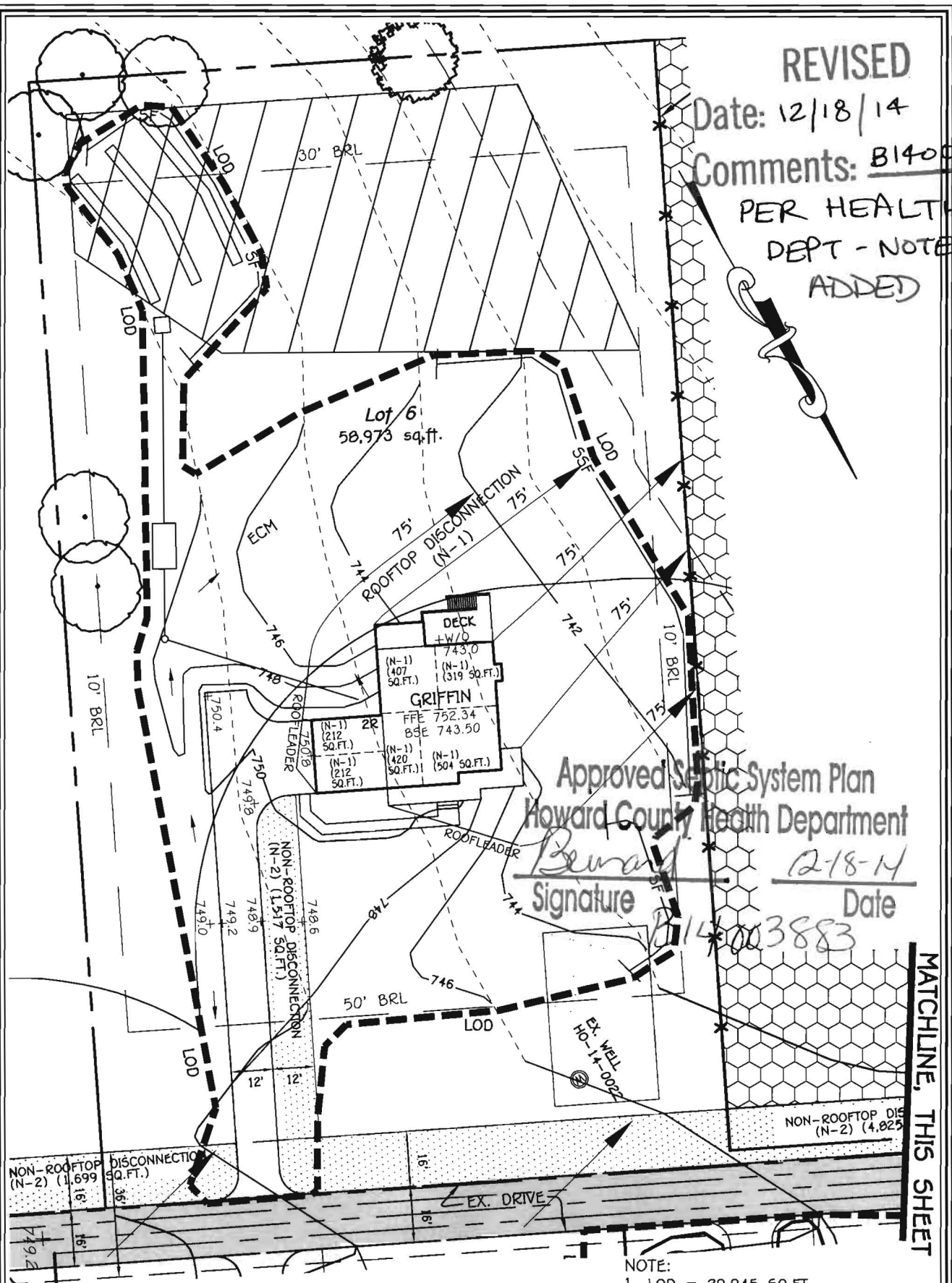
Distribution of Copies: White: Building Officials Green: PSZA,Zoning Yellow: PSZA,Engineering Pink: Health Gold: SHA

REVISED

Date: 12/18/14

Comments: B14003883

PER HEALTH DEPT - NOTE ADDED

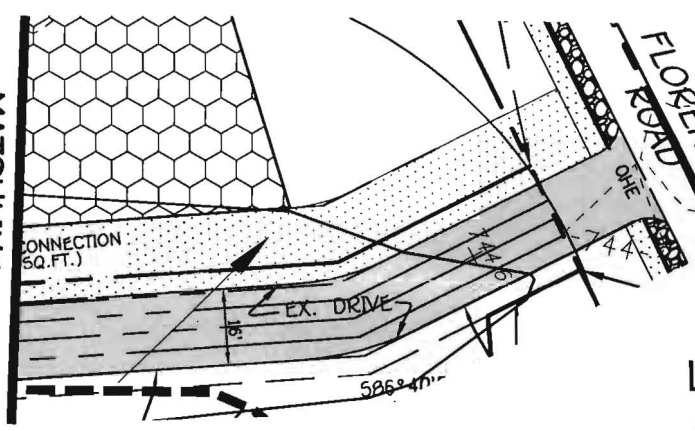


Approved Septic System Plan
 Howard County Health Department
Bewany
 Signature Date 12-18-14
 B14003883

MATCHLINE, THIS SHEET

- NOTE:
1. LOD = 29,945 SQ.FT.
 2. STANDARD PLAN IS BEING UTILIZED.
 3. AT ANY TIME IN THE FUTURE, IF A BUILDING PERMIT IS SUBMITTED TO FINISH THE BASEMENT AREA, THEN A SEPTIC SYSTEM UPGRADE WILL BE REQUIRED AS FINISHING THE BASEMENT MAY CREATE NEW LIVING SPACE. THE CURRENT SEPTIC SYSTEM DESIGN IS FOR A 4 BEDROOM HOUSE AND CANNOT ACCOMMODATE A 5 BEDROOM DESIGN.

MATCHLINE, THIS SHEET

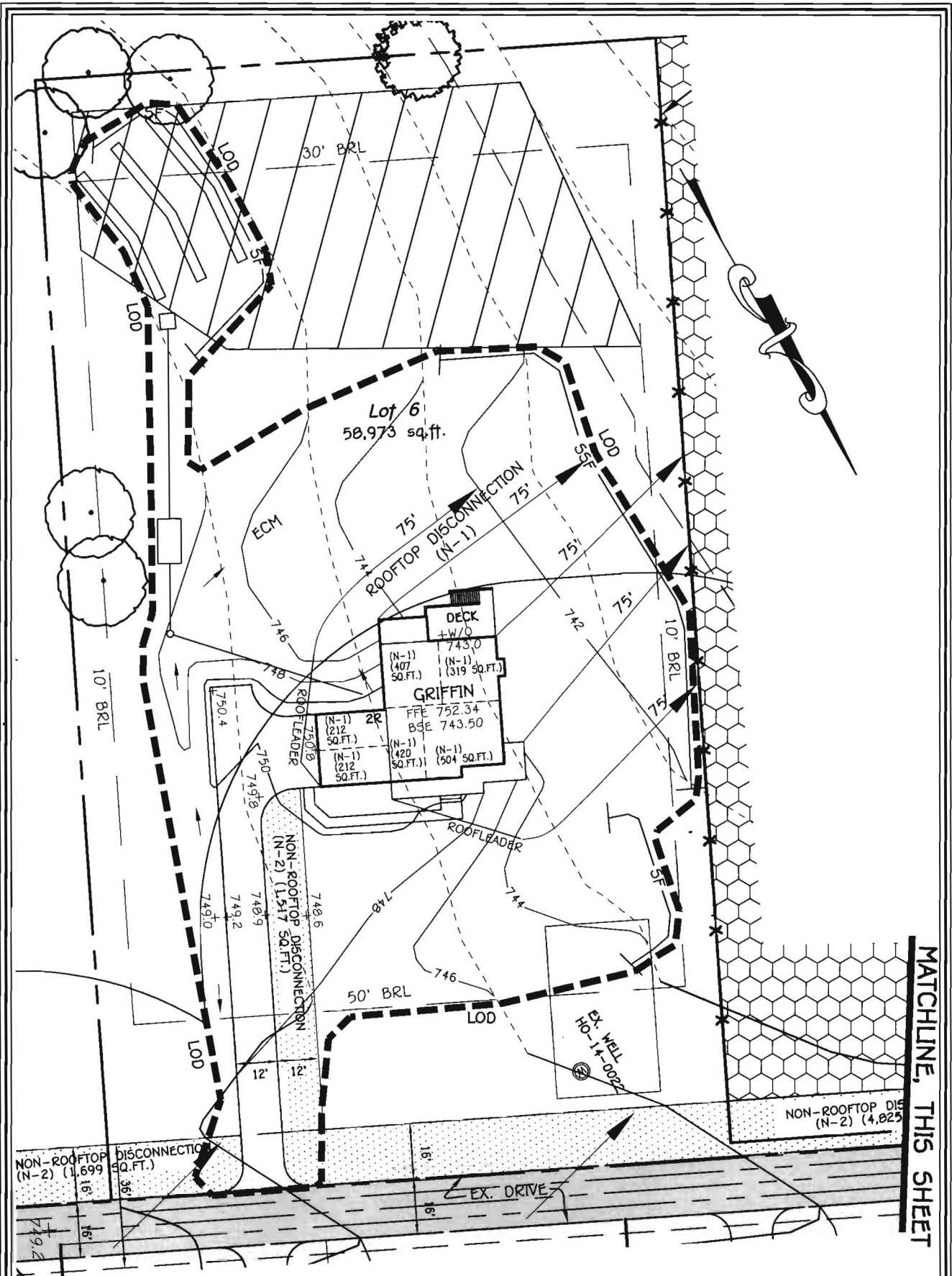


PERMIT PLAN
 LOT 6
LAYTON KNOLL

LOTS 1 THRU 6 AND
 BUILDABLE PRESERVATION PARCEL 'A'
 & NON-BUILDABLE PRESERVATION PARCEL 'B'

ZONED RC-DEO
 TAX MAP NO.: 7 GRID NO.: 19 PARCEL NO.: 112
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1"=40' DATE: SEPTEMBER, 2014

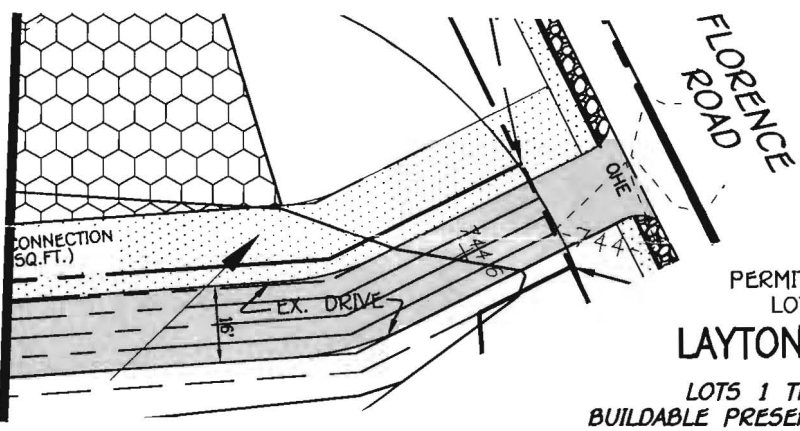
FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461 - 2895



MATCHLINE, THIS SHEET

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- NOTE:
1. LOD = 29,945 SQ.FT.
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PERMIT PLAN
LOT 6
LAYTON KNOLL

LOTS 1 THRU 6 AND
BUILDABLE PRESERVATION PARCEL 'A'
& NON-BUILDABLE PRESERVATION PARCEL 'B'

ZONED RC-DEO
TAX MAP NO.: 7 GRID NO.: 19 PARCEL NO.: 112
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1"=40' DATE: SEPTEMBER, 2014

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461 - 2855



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 4-6-15

Permit No.: B15001176

Building Address: 2791 Florence Road
 City: Greenbelt State: MD Zip Code: 21747
 Suite/Apt. #: _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: Greenbelt
 Section: _____ Area: _____ Lot: 6
 Tax Map: 7 Parcel: 112 Grid: 19
 Zoning: _____ Map Coordinates: _____ Lot Size: 1550

Existing Use: RD
 Proposed Use: SD w/ Propane Tank
 Estimated Construction Cost: \$ 8000
 Description of Work:
install 1000 gal in-ground propane tank

Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: Owner
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

| Commercial Building Characteristics | Residential Building Characteristics |
|---|--|
| Height: _____ | <input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse |
| No. of stories: _____ | Depth _____ Width _____ |
| Gross area, sq. ft./floor: _____ | 1 st floor: _____ |
| Area of construction (sq. ft.): _____ | 2 nd floor: _____ |
| Use group: _____ | Basement: _____ |
| Construction type: | <input type="checkbox"/> Finished Basement |
| <input type="checkbox"/> Reinforced Concrete | <input type="checkbox"/> Unfinished Basement |
| <input type="checkbox"/> Structural Steel | <input type="checkbox"/> Crawl Space |
| <input type="checkbox"/> Masonry | <input type="checkbox"/> Slab on Grade |
| <input type="checkbox"/> Wood Frame | No. of Bedrooms: _____ |
| <input type="checkbox"/> State Certified Modular | Multi-family Dwelling |
| <input type="checkbox"/> Roadside Tree Project Permit | No. of efficiency units: _____ |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | No. of 1 BR units: _____ |
| Roadside Tree Project Permit # _____ | No. of 2 BR units: _____ |
| | No. of 3 BR units: _____ |
| | Other Structure: _____ |
| | Dimensions: _____ |
| | Footings: _____ |
| | Roof: _____ |
| | <input type="checkbox"/> State Certified Modular |
| | <input type="checkbox"/> Manufactured Home |

Property Owner's Name: Jeremy Clancy
 Address: 2792 Florence Road
 City: Greenbelt State: MD Zip Code: 21747
 Phone: _____ Fax: _____
 Email: _____

Applicant's Name & Mailing Address; (if other than stated herein)
 Applicant's Name: Jeremy Clancy
 Address: PO Box 1253
 City: Edwardsburg State: MD Zip Code: 21747
 Phone: 410-310-1227 Fax: _____
 Email: Jeremy.Clancy@AppliedAndApp.com

Contractor Company: TECH AIR
 Contact Person: Jeff Kenney
 Address: 1560 A-D Canton Center Dr
 City: Baltimore State: MD Zip Code: 21227
 License No.: CB164
 Phone: 410-545-4393 Fax: _____
 Email: _____

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: Contractor
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

| Utilities |
|---|
| Water Supply |
| <input type="checkbox"/> Public |
| <input checked="" type="checkbox"/> Private |
| Sewage Disposal |
| <input type="checkbox"/> Public |
| <input checked="" type="checkbox"/> Private |
| Electric: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Heating System |
| <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil |
| <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas |
| <input type="checkbox"/> Other: _____ |
| Sprinkler System: |
| <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Grading Permit Number: _____ |
| Building Shell Permit Number: _____ |

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature]
 Email Address: Jeremy.Clancy@AppliedAndApp.com
 Title/Company: Permits

Print Name: Jeremy Clancy
 Date: 3/15/15

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

| AGENCY | DATE | SIGNATURE OF APPROVAL |
|----------------------|------|-----------------------|
| State Highways | | |
| Building Officials | | |
| PSZA (Zoning) | | |
| PSZA (Engineering) | | |
| Health | | <u>420 SP Bernard</u> |

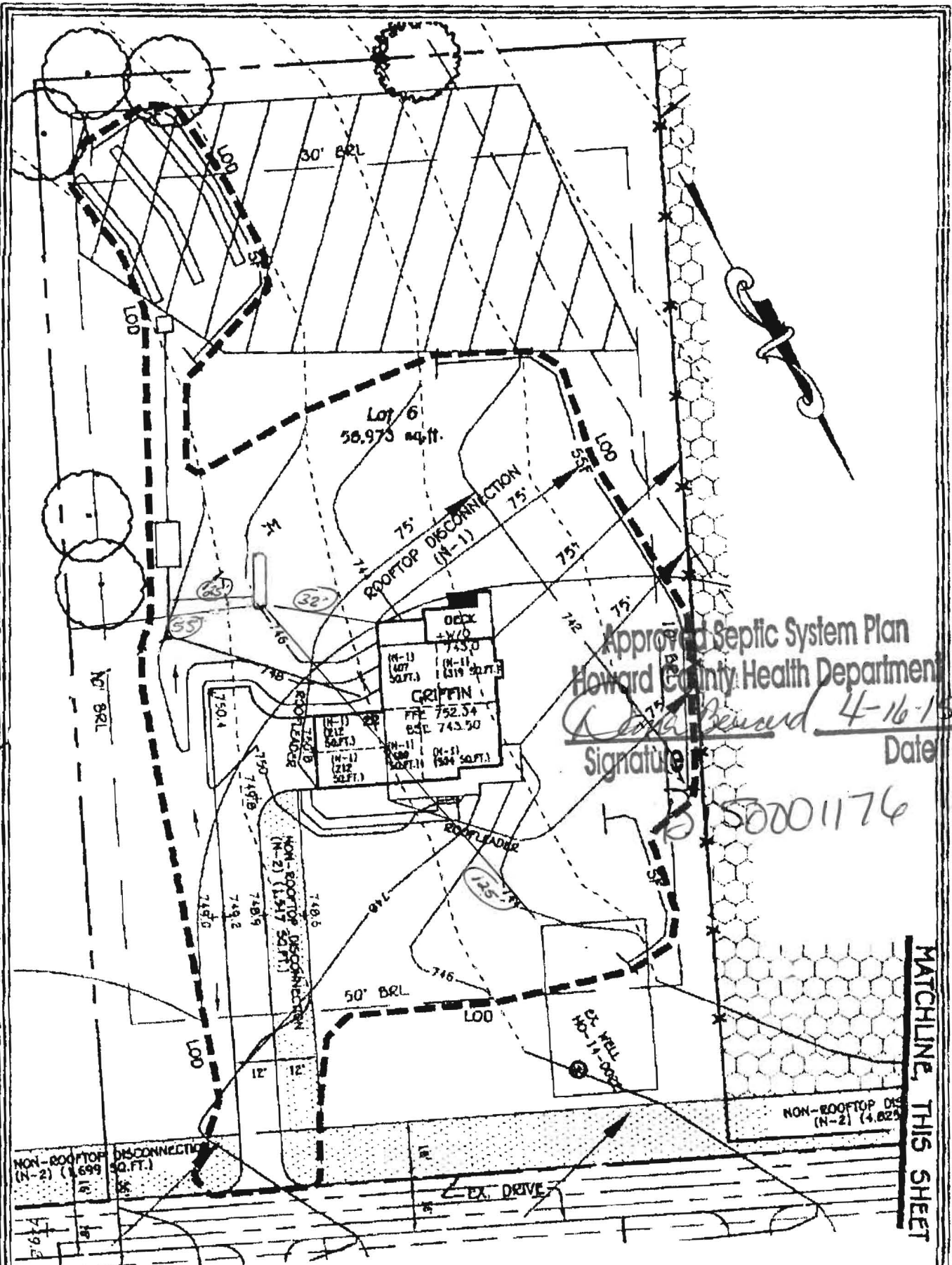
Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION

Front: _____
 Rear: _____
 Side: _____
 Side St.: _____
 All minimum setbacks met? Yes No
 Is Entrance Permit Required? Yes No
 Historic District? Yes No
 Lot Coverage for New Town Zone: _____
 SDP/Red-line approval date: _____

| | |
|---------------------|---------------|
| Filing Fee | \$ |
| Permit Fee | \$ |
| Tech Fee | \$ |
| Excise Tax | \$ |
| PSFS | \$ |
| Guaranty Fund | \$ <u>110</u> |
| Add'l per Fee | \$ |
| Total Fees | \$ |
| Sub-Total Paid | \$ |
| Balance Due | \$ |
| Check # <u>7110</u> | # <u>4378</u> |

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA



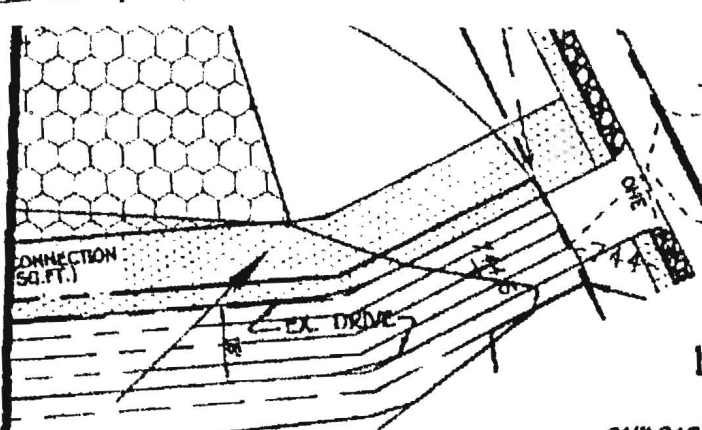
Approved Septic System Plan
 Howard County Health Department
Robert Bernard 4-16-15
 Signature Date

50001176

MATCHLINE, THIS SHEET

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- NOTE:
1. LOO = 29,945 SQ.FT.
 2. STANDARD PLAN IS BEING UTILIZED.



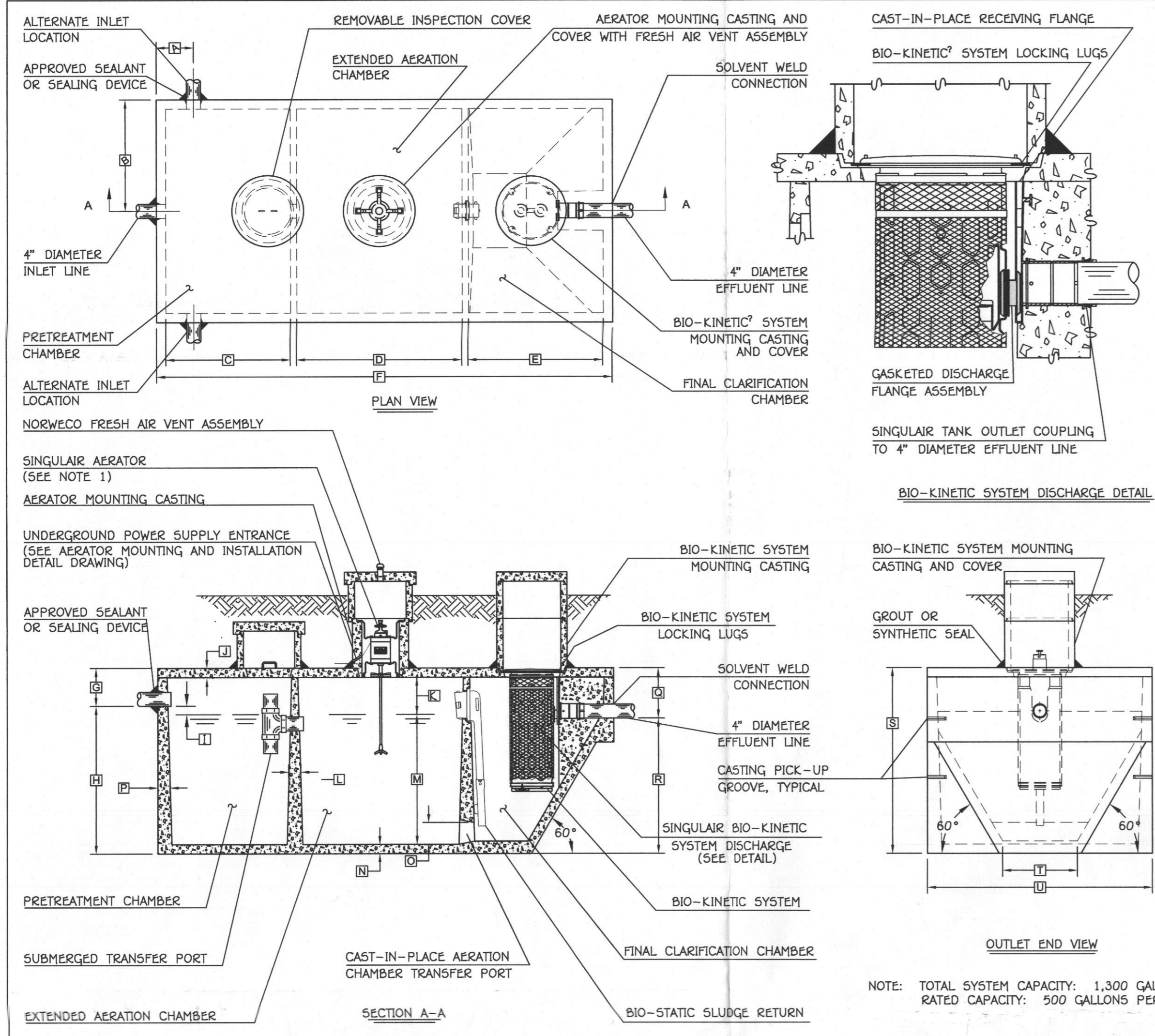
PERMIT PLAN
 LOT 6
LAYTON KNOLL

LOTS 1 THRU 6 AND
 BUILDABLE PRESERVATION PARCEL 'A'
 & NON-BUILDABLE PRESERVATION PARCEL 'B'

ZONED RC-020
 TAX MAP NO.: 7 GRID NO.: 19 PARCEL NO.: 112
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1"=40' DATE: SEPTEMBER, 2014

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 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALDWIN NATIONAL PIKE
 ELLESDORT CITY, MARYLAND 21042
 (410) 441-2899

2791 Florence Rd



GENERAL NOTES:

- SINGULAR AERATOR, AS TESTED AND ACCEPTED BY NSF, OPERATING 60 MINUTES ON / 60 MINUTES OFF.
- FALL THROUGH SINGULAR[®] PLANT FROM INLET INVERT TO OUTLET INVERT IS FOUR INCHES. INLET INVERT IS TWELVE INCHES BELOW TANK TOP.
- ON DEEPER INSTALLATIONS, PRECAST RISERS MUST BE USED TO EXTEND AERATOR MOUNTING CASTING AND BIO-KINETIC SYSTEM MOUNTING CASTING TO GRADE.
- TANK REINFORCED PER ACI STD. 318-05.
- REMOVABLE COVERS ON RISERS WEIGH IN EXCESS OF SEVENTY-FIVE POUNDS EACH TO PREVENT UNAUTHORIZED ACCESS.
- CONTACT THE LOCAL LICENSED SINGULAR DISTRIBUTOR FOR ELECTRICAL REQUIREMENTS.

PROJECT ENGINEER'S APPROVAL:
I (WE) HEREBY CERTIFY THAT THIS DRAWING HAS BEEN CHECKED AND IS APPROVED FOR USE IN CONFORMITY WITH THE CONTRACT DOCUMENTS.

DATE: _____
NAME: _____

CONTRACTOR'S CERTIFICATION:
I (WE) HEREBY CERTIFY THAT THIS DRAWING HAS BEEN CHECKED AND IS APPROVED FOR USE IN CONFORMITY WITH THE CONTRACT DOCUMENTS.

DATE: _____
NAME: _____

CRITICAL DIMENSIONS

| | | | |
|---|--------|---|-------|
| A | 1'-0" | N | 0'-3" |
| B | 3'-0" | O | 0'-6" |
| C | 3'-4" | P | 0'-3" |
| D | 4'-5" | Q | 1'-4" |
| E | 3'-7" | R | 3'-8" |
| F | 12'-2" | S | 5'-0" |
| G | 1'-0" | T | 2'-0" |
| H | 4'-0" | U | 6'-0" |
| I | 0'-3" | V | |
| J | 0'-3" | W | |
| K | 1'-0" | X | |
| L | 0'-2" | Y | |
| M | 3'-6" | Z | |

USE AND FOREIGN PATENTS PENDING

norweco 3-25-07 B
BOS
JMM
10-16-06
NTS
PC-S-7091

NOTE: TOTAL SYSTEM CAPACITY: 1,300 GALLONS
RATED CAPACITY: 500 GALLONS PER DAY

BAT NOTES

- ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
- FOR THE MAXIMUM COVER OVER THE BAT SHALL BE 3 FEET.
- THE BAT SYSTEM SHALL BE MAINTAINED AND OPERATED FOR THE LIFE OF THE SYSTEM.
- THE BAT SHALL BE OPERATED BY AND MAINTAINED BY A CERTIFIED SERVICE PROVIDER.
- WITHIN ONE MONTH OF INSTALLATION, A PERSON INSTALLING THE BAT SYSTEM SHALL REPORT TO THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (HDE) IN A MANNER ACCEPTABLE TO HDE, THE ADDRESS AND DATE OF COMPLETION OF THE BAT INSTALLATION AND THE TYPE OF BAT INSTALLED.
- ANY ELECTRICAL WORK FOR THE BAT INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
- AN AGREEMENT AND EASEMENT HAS BEEN COMPLETED AND SIGNED BY ALL APPLICABLE PARTIES, AND RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, LIBER # FOLD #.
- THE HEALTH DEPARTMENT REQUIRES DOCUMENTATION FOR THE START-UP CERTIFICATION FROM THE MANUFACTURER PRIOR TO FINAL APPROVAL OF THE INSTALLATION.
- SURFACE RUNOFF SHALL BE DIRECTED AROUND THE BAT TANK.

SEPTIC SYSTEM DESIGN
4 BEDROOM HOUSE
LOADING RATE = 600 GPD
APPLICATION RATE = 0.8
EFFECTIVE SIDEWALL BEGINS AT 4 FEET
TRENCH DEPTH = 6 FEET
TRENCH WIDTH (W) = 3 FEET
EFFECTIVE DEPTH (D) = 2 FEET
COEFFICIENT OF REDUCTION OF TRENCH LENGTH = 0.625
(W+2) / (W+1+2D) = (3+2) / (3+1+2x2)
SF OF DRAINFIELD = 600 GPD / 0.8 = 750 SF
TRENCH LENGTH = 750 SF x 0.625 / 3 = 156 FEET
TRENCH SPACING = 2D+W = 2(2)+3 = 7 (USE 10 FEET)

SEPTIC SYSTEM ELEVATIONS
FFE = 752.34
LOADING RATE = 600 GPD
BSE = 743.50
INV. OUT OF HOUSE = 746.79
PROP. GROUND AT CLEANOUT = 747.5
INV INTO CLEANOUT = 745.51
INVERT OUT OF CLEANOUT = 745.41
EX. GROUND AT BAT TANK = 748.2
TOP OF BAT TANK = 746.03
COVER OVER BAT TANK = 2.17 FT
INVERT INTO BAT TANK = 745.03
INVERT OUT OF BAT TANK = 744.70
EX. GRADE AT DIST BOX = 747.8
INVERT INTO DISTRIBUTION BOX = 743.91
INVERT OUT OF DISTRIBUTION BOX = 743.6
* BASEMENT SEWERAGE TO BE PUMPED

TRENCH DESIGN

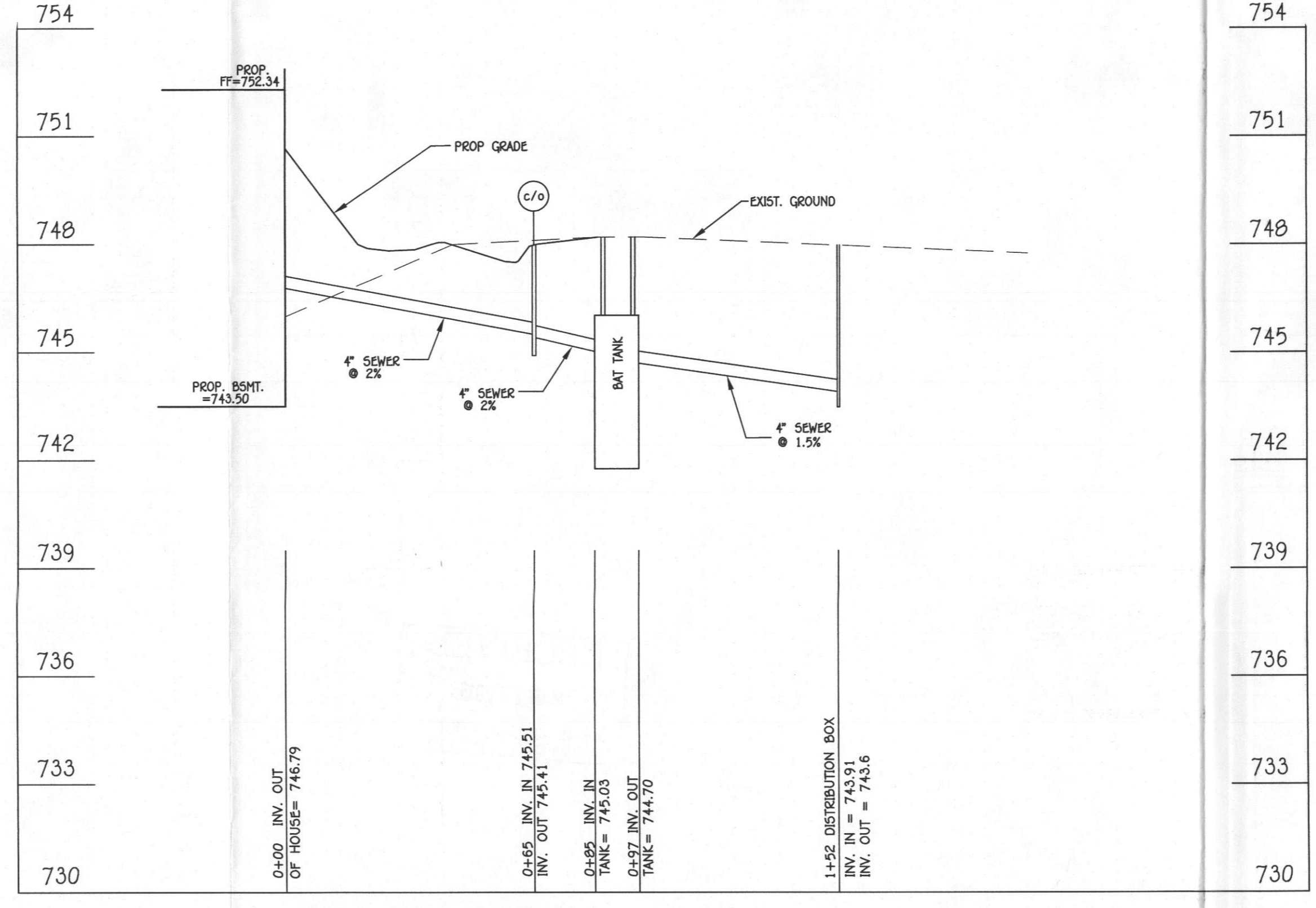
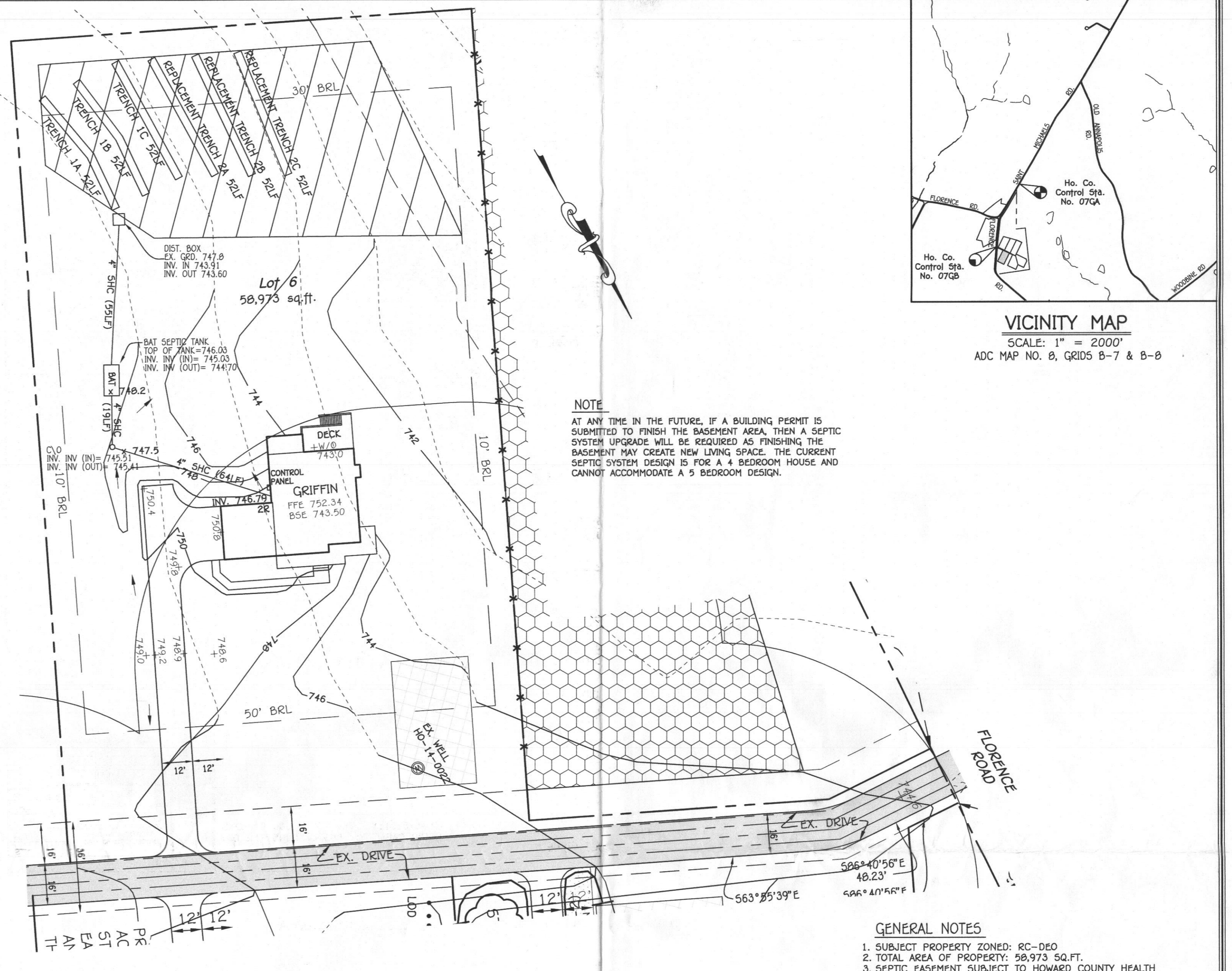
| TRENCH | GROUND ELEV. | TOP OF STONE ELEV. | INVERT INTO TRENCH | DEPTH TO STONE FROM GROUND | DEPTH OF TRENCH (FT) | BOTTOM OF TRENCH ELEV. | EFFECTIVE DEPTH AT | EFFECTIVE DEPTH (D) | WIDTH OF TRENCHES (W) | TRENCH SPACING |
|--------|--------------|--------------------|--------------------|----------------------------|----------------------|------------------------|--------------------|---------------------|-----------------------|----------------|
| 1A | 747.6 | 744.1 | 743.6 | 3.5' | 2.5 | 741.6 | 4.0' | 2.0' | 3.0 | 10 |
| 1B | 747.0 | 743.5 | 743.0 | 3.5' | 2.5 | 741.0 | 4.0' | 2.0' | 3.0 | 10 |
| 1C | 746.2 | 742.7 | 742.2 | 3.5' | 2.5 | 740.2 | 4.0' | 2.0' | 3.0 | 10 |

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 38366, EXPIRATION DATE: 01/12/2016.

Signature of Professional Engineer DATE: 3/16/15

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CONTINENTAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2999



GENERAL NOTES

- SUBJECT PROPERTY ZONED: RC-DEO
- TOTAL AREA OF PROPERTY: 58,973 SQ. FT.
- SEPTIC EASEMENT SUBJECT TO HOWARD COUNTY HEALTH DEPARTMENT REVIEW.
- LENGTH OF TRENCH TO BE DETERMINED AT TIME OF SEPTIC PERMIT ISSUANCE.
- CONTRACTOR/BUILDER TO VERIFY ELEVATION IN THE FIELD BEFORE BEGINNING ANY CONSTRUCTION.
- EXISTING TOPOGRAPHY SHOWN IS BASED ON A FIELD RUN SURVEY ALONG FLORENCE ROAD & SAINT MICHAELS ROAD WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY FISHER, COLLINS & CARTER, INC. DATED AUGUST, 2014, SUPPLEMENTED WITH HOWARD COUNTY GIS TOPOGRAPHY ON-SITE AND OFF-SITE.
- NO WETLANDS CURRENTLY EXIST ON THE PROPERTY.

NOTE
THE EXISTING WELL SHOWN ON THIS PLAN, TAG NO. HO 14-0022 HAS BEEN FIELD LOCATED BY FISHER, COLLINS & CARTER, INC., PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

Approved Septic System Plan
Howard County Health Department
Dana Bevan 4-1-15
Signature Date
B1400 388.3

SITE PLAN
FOR BAT SYSTEM INSTALLATION
LAYTON KNOLL
LOT 6
2791 FLORENCE ROAD
ZONED RC-DEO

TAX MAP NO.: 7 GRID NO.: 19 PARCEL NO.: 112
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: DECEMBER, 2014
SHEET 1 OF 1

K:\SOS\PROJ\60787\DDOT5\DELIGHT\dwg\60787-6 BAT Plan Lot 6.dwg, 3/16/2015, 3:24:33 PM, 1:1

GENERAL NOTES

BUILDING CODES:

- A. ALL CONSTRUCTION SHALL CONFORM WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC).
- B. ALL CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE LOCAL GOVERNMENT ORDINANCES.

DESIGN LOADS: (PER SECTION 3003 OF IRC 2009)

- A. THE DESIGN DEAD LOADS FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS AND INDICATED IN THE GENERAL NOTES.
- B. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADS FOR ALL NEW FRAMING SHALL BE AS FOLLOWS:
 - FLOOR LOAD (L₁)
 - SLEEPING PORCH, LANDING WITH FIXED STAIR LL-40 PSF / DL-10 PSF
 - GARAGE FLOOR LL-50 PSF / 2000LB POINT
 - ROOF LIVE LOAD LL-30 PSF (LIMITED STORAGE)
 - ATTIC AND TRUSS BOTTOM CHORD LL-10 PSF (NO STORAGE)

C. ROOF SNOW LOAD DESIGN CRITERIA:

- GROUND SNOW LOAD (P_s)
- FLAT ROOF SNOW LOAD (P_f)
- WIND EXPOSURE FACTOR (E_w)
- IMPORTANCE FACTOR (I_m)

D. WIND LOAD DESIGN CRITERIA:

- WIND EXPOSURE
- IMPORTANCE FACTOR (I_m)

E. EARTHQUAKE LOAD DESIGN CRITERIA:

- SEISMIC DESIGN CATEGORY
- SPECTRAL RESPONSE COEFFICIENT (S_s)
- SOIL CLASS
- WEIGHTING FACTOR (W_p)

F. SUBJECT TO DAMAGE FROM WEATHERING:

- PROST LINE DEPTH
- DECAY

G. TEMPERATURE AND FLOODING:

- WINTER DESIGN TEMPERATURE
- ICE SHEED UNDERLATHING REQUIRED
- FLOOD HAZARD
- AIR FREEZING INDEX
- MEAN ANNUAL TEMPERATURE

- H. THE STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF THE FLOORS AND ROOF. THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE STRUCTURE AND TO SUPPORT CONSTRUCTION LOADS DURING CONSTRUCTION INCLUDING SOILS ON WALLS FROM BACK FILLING PRIOR TO PLACING SLABS ON GRADE. DESIGN OF ALL BRACING IS THE CONTRACTOR'S RESPONSIBILITY.

SPREAD FOOTING FOUNDATIONS:

- A. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 30" BELOW FINISH GRADE FOR PROST PROTECTION.
- B. ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 3000 PSF.
- C. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED IN THE CONTRACT DOCUMENTS.

CONCRETE SLAB-ON-GRADE:

- A. ALL SLABS ON GRADE UNLESS OTHERWISE NOTED SHALL CONSIST OF A 4" THICK CONCRETE SLAB REINFORCED WITH ONE LAYER OF 6"x6" IN AN 18" x 18" MESH REINFORCING FABRIC AND PLACED OVER A 4" MIN. POLYSTYRENE WAPOR BARRIER AND 4" INCHES OF COMPACTED GRANULAR BASE. ALL EDGES OF VAPOR BARRIER SHALL BE LAPPED A MINIMUM OF 6" INCHES AND TAPPED. MAXIMUM AGGREGATE SIZE OF GRANULAR BASE SHALL BE 1/2" INCH.
- B. FILL DEPTHS UNDER SLAB SHALL NOT EXCEED 24 INCHES FOR CLEAN SAND OR GRAVEL AND 8 INCHES FOR COMPACTED SOIL. SLABS ON GREATER FILL SHALL BE ENGINEERED SUPPORTED SLABS. COORDINATE WITH ENGINEER WHERE REQUIRED.
- C. PLACE CONCRETE PER ACI 302. CONTRACTOR SHALL READ, UNDERSTAND & FOLLOW CAREFULLY SET NORTH FOR PREPARING SUBGRADE, PLACING, CONSOLIDATING, FINISHING AND CURING CONCRETE SLABS.

CAST IN PLACE CONCRETE:

- A. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 308) AND TO THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 307).
- B. IN ADDITION TO THE ABOVE, ALL CONCRETE WORK SHALL CONFORM TO THE FOLLOWING:
 1. RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING (ACI 308).
 2. RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING (ACI 308).
 3. RECOMMENDED PRACTICE FOR CONCRETE FORM WORK (ACI 347).
- C. ALL CONCRETE, UNLESS OTHERWISE NOTED, SHALL BE STONE AGGREGATE CONCRETE HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR ENTRAINMENT OF 5%-7%. NO ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL BE PROHIBITED. MAXIMUM AGGREGATE SIZE SHALL BE 1" AND MAXIMUM SLUMP SHALL BE 4" (9") FOR SLABS ON GRADE. ALL CONCRETE EXCEPT FOOTINGS SHALL CONTAIN A WATER REDUCING ADMIXTURE. FOOTING CONCRETE SHALL CONFORM TO ASTM C150 AND NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C33.
- D. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A601 GRADE 60. ALL WELDED WIRE FABRIC (WFW) SHALL CONFORM TO ASTM A601. LAP ALL REINFORCING BARS A MINIMUM OF 48 BAR DIA. (E.G., 12" LAP (2' BAR, 24" WFW) A MINIMUM OF TWO LAP GRIPS, UNLESS OTHERWISE INDICATED.

STRUCTURAL AND MISCELLANEOUS STEEL:

- A. ALL STEEL CONSTRUCTION SHALL CONFORM TO THE THIRTEENTH EDITION OF THE AISC SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN AND THE AISC CODE OF STANDARD PRACTICES FOR STEEL BUILDINGS AND BRIDGES.
- B. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A992 GRADE 50 OR ASTM A588 AT THE CONTRACTOR'S OPTION.
- C. ALL MISCELLANEOUS STEEL (ANGLES, PLATES, ETC.) SHALL CONFORM TO ASTM A588 HAVING A MINIMUM YIELD STRENGTH OF F_y 50,000 PSI.
- D. ALL STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A500 HAVING A MINIMUM YIELD STRENGTH OF F_y 43,000 PSI OR TO ASTM A501, TYPE "B" OR "D" GRADE "B", HAVING A MINIMUM YIELD STRENGTH OF F_y 35,000 PSI.
- E. ALL STRUCTURAL STEEL TUBES SHALL CONFORM TO ASTM A500, GRADE "B", HAVING A MINIMUM YIELD STRENGTH OF F_y 43,000 PSI.
- F. ALL CONNECTIONS, UNLESS OTHERWISE NOTED, SHALL BE DOUBLE ANGLE OR SINGLE PLATE SHEAR CONNECTIONS DESIGNED AND DETAILED IN ACCORDANCE WITH THE AISC STEEL CONSTRUCTION MANUAL WITH A MINIMUM EDGE DISTANCE OF 1-1/2 INCHES AND BOLT SPACING OF 3 INCHES.
- G. THE CONTRACTOR SHALL NOT SPLICE OR CUT OPENINGS IN STEEL MEMBERS NOT SHOWN ON CONTRACT DRAWINGS WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER.

WOOD FRAMING:

- A. ALL WOOD FRAMING SHALL BE FABRICATED AND ERRECTED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION PUBLISHED BY THE NATIONAL WOOD PRODUCTS ASSOCIATION.
- B. ALL NEW LUMBER SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER. ALL NEW PRESSURE TREATED LUMBER SHALL BE SOUTHERN PINE NO. 2 OR BETTER.
- C. NAILING OF ALL WOOD FRAMING SHALL MEET THE MINIMUM RECOMMENDED REQUIREMENTS PROVIDED IN THE NAILING SCHEDULE OF THE IRC BUILDING CODE.
- D. PROVIDE DOUBLE JOISTS OR HEADERS ALONG EACH SIDE OF FLOOR OR ROOF OPENINGS, UNDER THE CENTERLINE OF PARTITION WALLS PARALLEL TO JOIST SPANS, AND ABOVE ALL WALL OPENINGS UNLESS OTHERWISE INDICATED.
- E. THE CONTRACTOR SHALL CUT OR NOTCH THE WOOD FRAMING ONLY AS REQUIRED AND IN ACCORDANCE WITH THE IRC BUILDING CODE, THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, OR AS SHOWN ON THE CONTRACT DRAWINGS.
- F. PROVIDE DOUBLE OR TRIPLE STUDS AT ALL CORNERS, SIDES OF OPENINGS, AND BENEATH ALL WOOD BEAMS AND LINTELS UNLESS OTHERWISE INDICATED.
- G. WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERRECTED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE'S NATIONAL DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION FOR THE DESIGN LOADS INDICATED ON THE CONTRACT DOCUMENTS.
- H. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ALL WOOD TRUSSES INCLUDING MEMBER SIZES, TRUSS BEARING CONNECTION DETAILS, CAPACITY OF CONNECTION PLATES AND THE SIZE AND LOCATION OF ALL REQUIRED BRIDGING. THE CALCULATIONS AND SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND.
- I. THE CONTRACTOR SHALL PROVIDE TRUSS TIES EQUIVALENT TO OR BETTER THAN THE UPLIFT LOADS INDICATED ON THE TRUSS SHOP DRAWINGS.

WINDOWS AND DOORS:

- A. ALL WINDOW NUMBERS INDICATE MODEL NUMBERS FOR "ANDERSEN" WINDOW UNITS.
- B. WINDOWS INDICATED ON DRAWINGS AS "BRIGGS" SHOULD MEET BUILDING CODE REQUIREMENTS PER SECTION 609 OF THE IRC.
- C. WINDOWS IN DOOR, SIDE LIGHTS AND WINDOWS WITHIN 24" OF DOORS SHALL BE PROVIDED WITH SAFETY GLASS TO COMPLY WITH SECTION 609B OF THE IRC.
- D. GLASS AT TUBS AND SHOWER ENCLOSURES SHALL BE PROVIDED WITH SAFETY GLASS TO COMPLY WITH SECTION 300B OF THE IRC.

INSULATION & MOISTURE PROTECTION:

- A. R-19
- B. PROVIDE MINIMUM ONE LAYER OF 15 LB. ROOFING FELT AT THE ROOF TO PROVIDE A WATER-RESISTANT BASE FOR FIBERGLASS COMPOSITION ROOF SHINGLES.
- C. PROVIDE INSULATION AS FOLLOWS:
 - ROOFING: 2" MIN. R-19 FIBERGLASS BATT OR BLOKH
 - EXTERIOR WALLS: R-13 UNFACED FIBERGLASS BATT
 - FOUNDATION EXTERIOR WALLS: R-10 UNFACED FIBERGLASS BATT
 - WINDOWS / GLASS DOORS: U-FACTOR 0.40
 - SKYLIGHTS: U-FACTOR 0.40
- D. THE CONTRACTOR SHALL PROVIDE CORROSION-RESISTANT METAL FLASHING ABOVE ALL WINDOWS AND DOOR CASINGS TO PREVENT MOISTURE PENETRATION. SIMILAR FLASHING SHALL BE PROVIDED AT ROOF VALLEYS AND ROOF OPENINGS, ROOF OR METAL CASINGS AND WALLS.
- E. THE CONTRACTOR SHALL PROVIDE PREPARED SORFITS AT THE ROOF EAVES AND A CONTINUOUS RIDGE VENT AT THE ROOF TO PROVIDE REQUIRED A.I.C. VENTILATION.

STAIRS, HANDRAILS AND GUARDS:

- A. STAIRS SHALL COMPLY WITH SECTION R301.5 OF THE IRC. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED MINIMUM HEIGHT AND BELOW THE PERMITTED HEADROOM HEIGHT, 80 INCHES. WHERE A HANDRAIL IS INSTALLED ON ONE SIDE, 27 INCHES WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.
- B. MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6' 8" NET HEIGHT.
- C. MAXIMUM STAIR RISE HEIGHT SHALL BE 7-3/4" INCHES AND MINIMUM TREAD DEPTH SHALL BE 10" INCHES (UNLESS NOTED OTHERWISE IN CONTRACT DRAWINGS).
- D. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISES. HANDRAILS SHALL BE A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES ABOVE TREAD NOSING.
- E. PORCHES, BALCONIES, RAMPS OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT.
- F. REQUIRED GUARDS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES OR MORE IN DIAMETER.

SPECIALTIES:

- A. SMOKE ALARMS SHALL COMPLY WITH SECTION 903.5 OF THE IRC. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE HOUSE INCLUDING THE BASEMENT.
- B. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE HOUSE BATTERY. WHEN PRIMARY POWER IS INTERRUPTED, SMOKE ALARMS SHALL RECEIVE POWER FROM A BATTERY.

MECHANICAL, ELECTRICAL & PLUMBING:

- A. HVAC DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED MECHANICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.
- B. ELECTRICAL DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED ELECTRICAL CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.
- C. PLUMBING DESIGN AND INSTALLATION TO BE PERFORMED BY LICENSED PLUMBING CONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.
- D. IF REQUIRED, FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED BY LICENSED SUBCONTRACTOR IN COMPLIANCE WITH ALL APPLICABLE CODES.

PROJECT GENERAL NOTES:

- A. WALL DIMENSIONS ARE FROM OUTSIDE FACE OF FRAMING AND ARE AS FOLLOWS (NOTED):
 - INTERIOR PARTITIONS = 3-1/2" (24" MOUD STUDS @ 16" O.C.)
 - EXTERIOR WALLS = 6" (2x6 STUDS @ 16" O.C. PLUS 1/2" SHEATHING)
- B. THE CONTRACTOR AND HIS ASSOCIATED SUBCONTRACTORS ARE RESPONSIBLE TO THOROUGHLY REVIEW ALL DRAWINGS. ANY INCONSISTENCIES OR ERRORS ARE TO BE REPORTED TO THE DESIGNER FOR CLARIFICATION OR CORRECTION PRIOR TO THE START OF CONSTRUCTION OR MANUFACTURING OF PRE-FABRICATED COMPONENTS.
- C. IF THE CONTRACTOR ADDITIONS OR DEVIATES FROM THESE PLANS FOR ANY REASON WITHOUT NOTIFYING CADDWORKS, INC., THE PLAN'S CODE COMPLIANCE BECOMES THE CONTRACTOR'S RESPONSIBILITY.
- D. SUBCONTRACTORS OF ALL PRE-ENGINEERED WOOD FRAMING PRODUCTS (DIAPHRAGMS, PARALLALS, & FLOOR/ROOF TRUSSES) TO BE ENGINEERED/VERIFIED BY MANUFACTURER.
- E. FLOOR FRAMING TO BE ACCOMPLISHED WITH PRE-ENGINEERED WOOD JOIST. MANUFACTURER'S AGENT TO DESIGN JOIST LAYOUT AND PROVIDE ENGINEERED SHOP DRAWINGS FLOOR SYSTEM TO BE DESIGNED WITH L480 LIVE LOAD DEFLECTION MIN. (L480 IN AREAS TO BE FINISHED WITH TILE).
- F. ROOF FRAMING TO BE ACCOMPLISHED WITH PRE-ENGINEERED WOOD TRUSSES. MANUFACTURER'S AGENT TO DESIGN TRUSS LAYOUT AND PROVIDE ENGINEERED SHOP DRAWINGS.
- G. THE STAIR MANUFACTURER SHALL VERIFY EXISTING FIELD CONDITIONS PRIOR TO FABRICATION OF STAIR STAIR TO BE BUILT IN COMPLIANCE WITH ALL APPLICABLE CODES.
- H. THESE DOCUMENTS ARE NOT TO BE SCALED. DIMENSIONS SHALL GOVERN ON ALL DRAWINGS. ANY DISCREPANCY OR AREAS OF DISCREPANCY SHALL BE REFERRED TO CADDWORKS, INC. PRIOR TO CONSTRUCTION.

CUMBERLAND DEVELOPMENT
MODIFIED OLIVIA SPEC
HOWARD COUNTY, MD



CADDWORKS, INC.
RESIDENTIAL DESIGN
332 WEST PATRICK STREET / FREDERICK, MD / 21701
(V) 301.492.9121 | (F) 301.492.9121 | WWW.CADDWORKS.NET
(P) 301.492.4668 | (M) WWW.CADDWORKS.NET

SUBMITTALS

| DATE | BY | REVISIONS |
|---------|-----|------------------|
| 2-28-14 | DWP | PRELIM PLANS |
| 3-24-14 | DWP | PERMIT SET PLANS |
| 3-24-14 | DWP | NOTED PLANS |

GENERAL NOTES

DRAWING INDEX

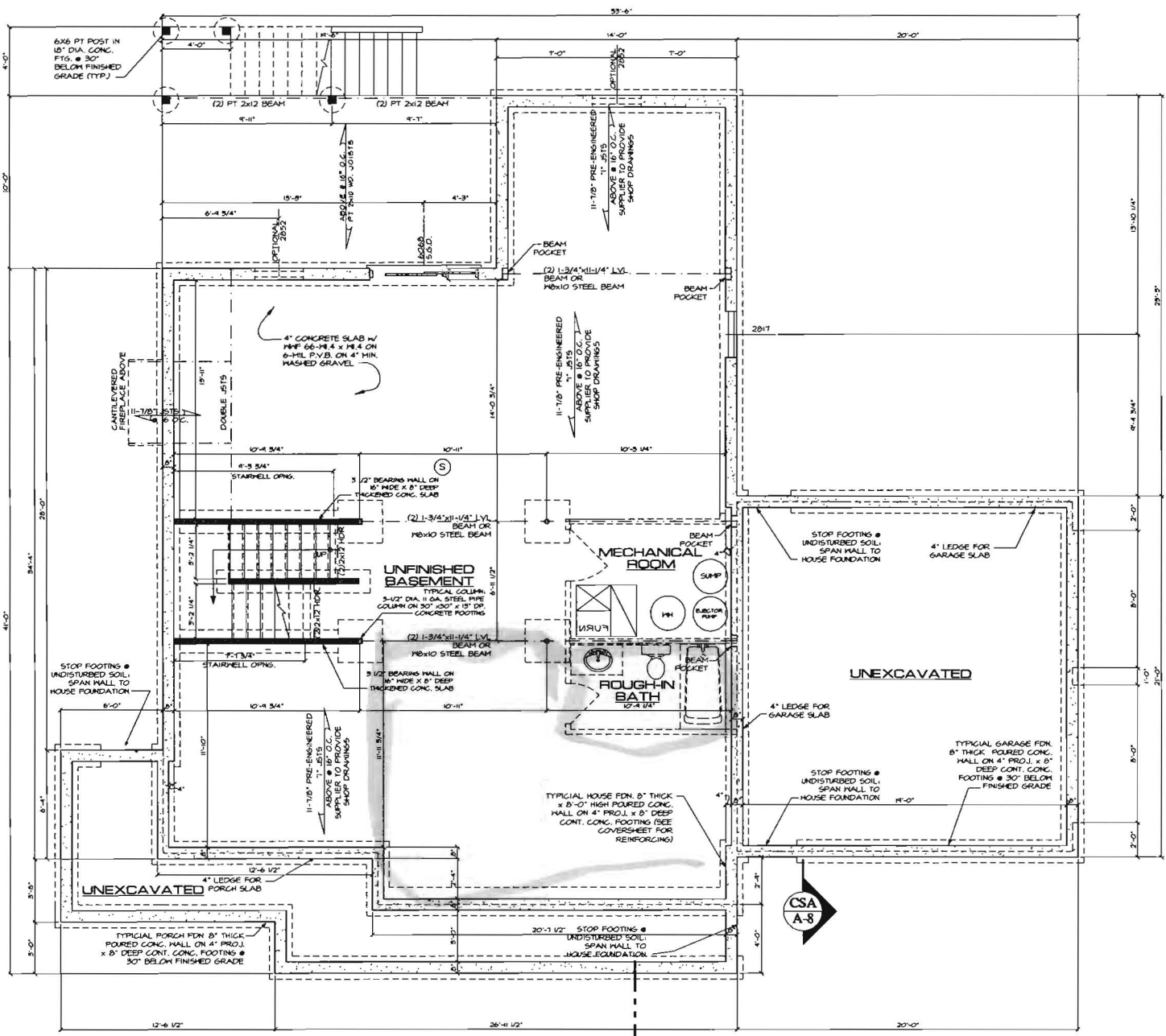
GENERAL INFORMATION

- G-1 GENERAL NOTES
- G-2 GENERAL NOTES

ARCHITECTURAL

- A-1 FOUNDATION PLAN
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 FRONT ELEVATION
- A-5 RIGHT SIDE ELEVATION
- A-6 REAR ELEVATION
- A-7 LEFT SIDE ELEVATION
- A-8 TYP. SECTION & SECTION "A"
- A-9 SECTION "B"
- B-1 FIRST FLOOR WALL BRACE PLAN
- B-2 SECOND FLOOR WALL BRACE PLAN
- B-3 WALL BRACE DETAILS

CUMBERLAND DEVELOPMENT
MODIFIED OLIVIA
Spec. House
HOWARD COUNTY, MARYLAND



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

cadaworks inc.
RESIDENTIAL DESIGN
332 WEST PATRICK STREET / FREDRICK, MD / 21701
(M) 301.695.9721 (E) DESIGN@CADWORKS.NET
(F) 301.695.4848 (W) WWW.CADWORKS.NET

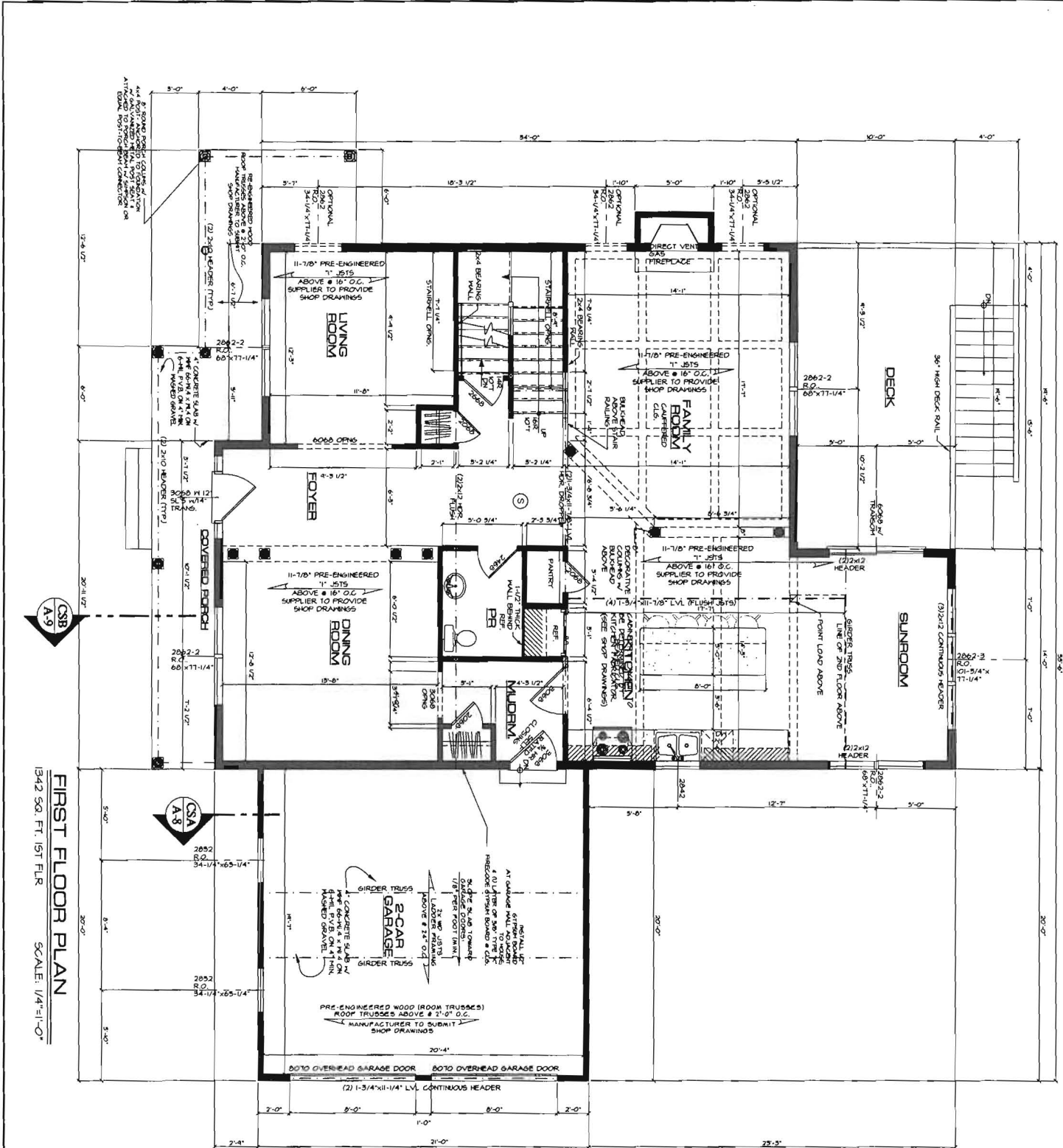
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SUBMITTALS

| ISSUE | DATE | DRAWN | BY | REVISIONS |
|-------|----------|-------|-----|-----------------|
| 1 | 12-28-11 | DMR | DMR | FRESH PLAN |
| 2 | 12-21-11 | DMR | DMR | ADJUST FOOTINGS |
| 3 | 12-21-11 | DMR | DMR | FOOTING DET. |

FOUNDATION PLAN

CUMBERLAND DEVELOPMENT
MODIFIED OLIVIA
Spec. House
HOWARD COUNTY, MARYLAND



FIRST FLOOR PLAN
 1342 SQ. FT. 1ST FLR
 SCALE: 1/4"=1'-0"

CUMBERLAND DEVELOPMENT
 MODIFIED OLIVIA
 Spec. House
 HOWARD COUNTY, MARYLAND

FIRST FLOOR PLAN

SUBMITTALS

| ISSUE DATE | DRAWN BY | REMARKS |
|------------|----------|------------------|
| 1-29-14 | CHW | PRELIM. PLAN |
| 8-24-14 | CHW | PERMIT SET PLANS |
| 8-24-14 | CHW | ADDED DECK |

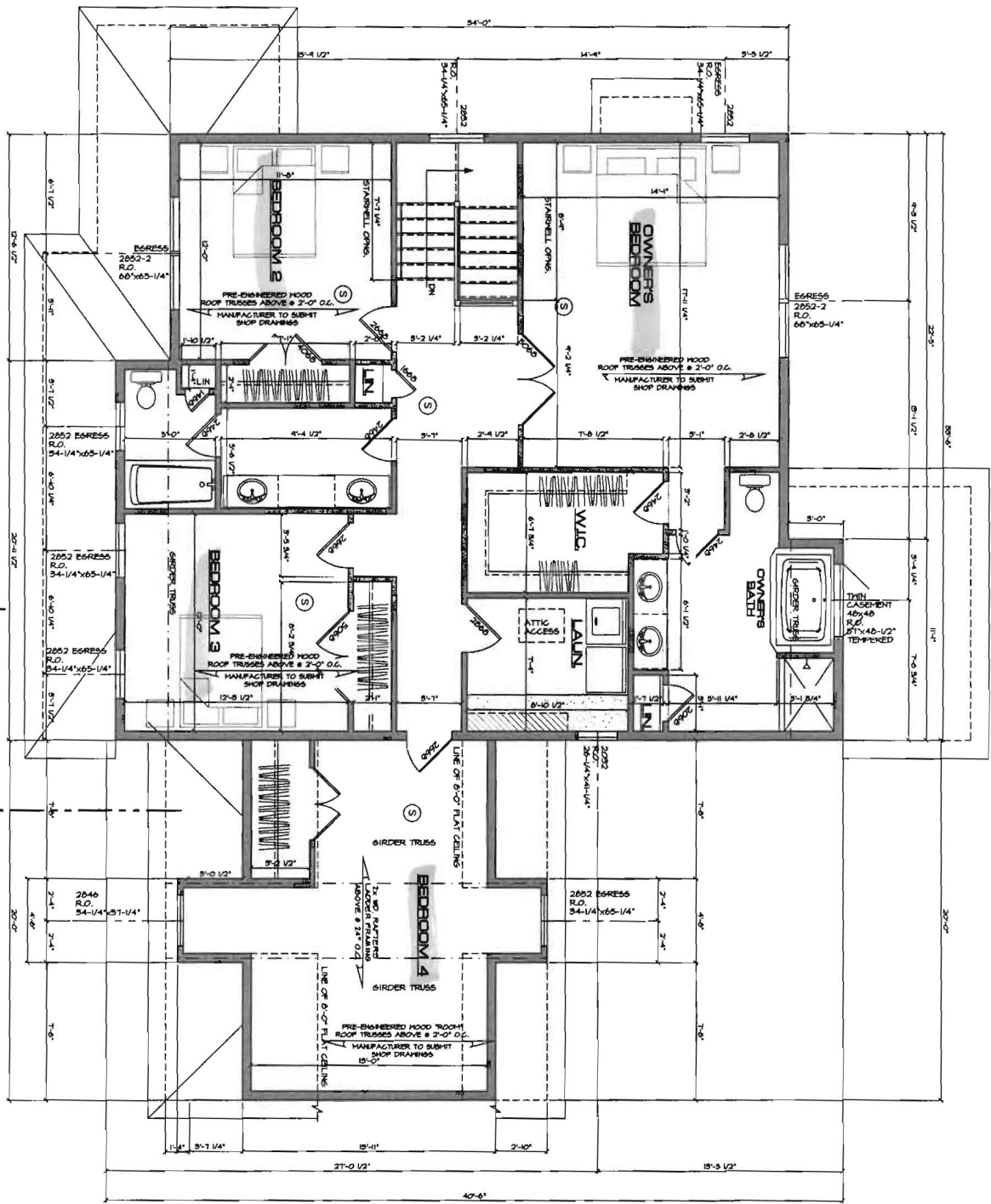


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SHEET NO.
A-2

PROJ. NO.: 1003-31



1494 SQ. FT. 2ND FLR
SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"



CUMBERLAND DEVELOPMENT
 MODIFIED OLIVIA
 Spec. House
 HOWARD COUNTY, MARYLAND

SECOND FLOOR PLAN

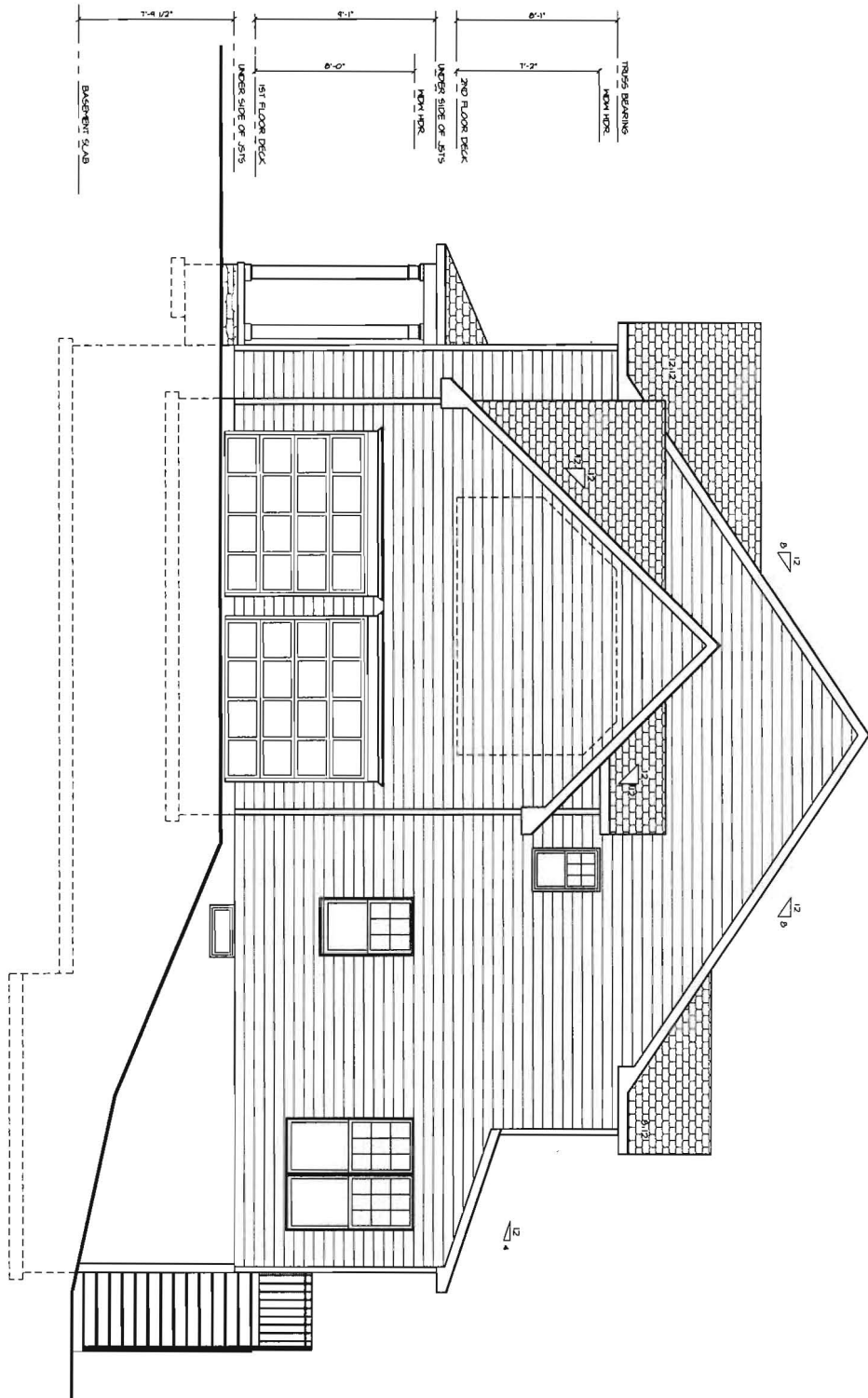
| SUBMITTALS | | |
|------------|----------|------------------|
| ISSUE DATE | DRAWN BY | REMARKS |
| 1-28-14 | DWR | FINAL PLANS |
| 3-24-14 | DWR | PERMIT SET PLANS |



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SHEET NO.
A-3



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

CUMBERLAND DEVELOPMENT
 MODIFIED OLIVIA
 Spec. House
 HOWARD COUNTY, MARYLAND

**RIGHT SIDE
 ELEVATION**

| SUBMITTALS | | |
|------------|----------|------------------|
| ISSUE DATE | DRAWN BY | REMARKS |
| 1-25-14 | CHR | PRELIM PLANS |
| 8-24-14 | CHR | PERMIT SET PLANS |
| 8-24-14 | CHR | ADDED DECK |
| | | |
| | | |

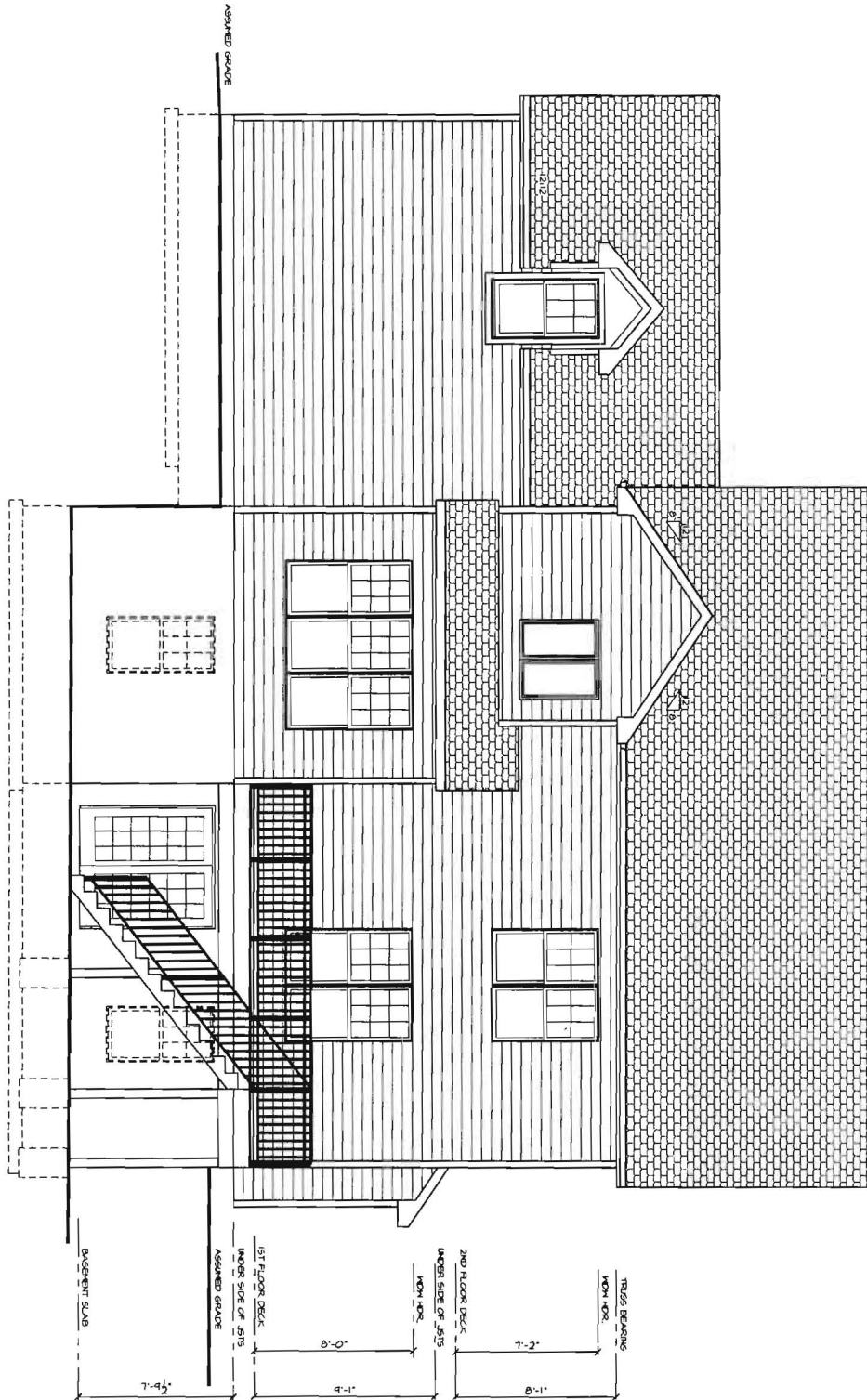


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Sheet No.
A-5

Plan No. 1008-31



REAR ELEVATION

SCALE: 1/4"=1'-0"

CUMBERLAND DEVELOPMENT

MODIFIED OLIVIA
Spec. House

HOWARD COUNTY, MARYLAND

REAR
ELEVATION

SUBMITTALS

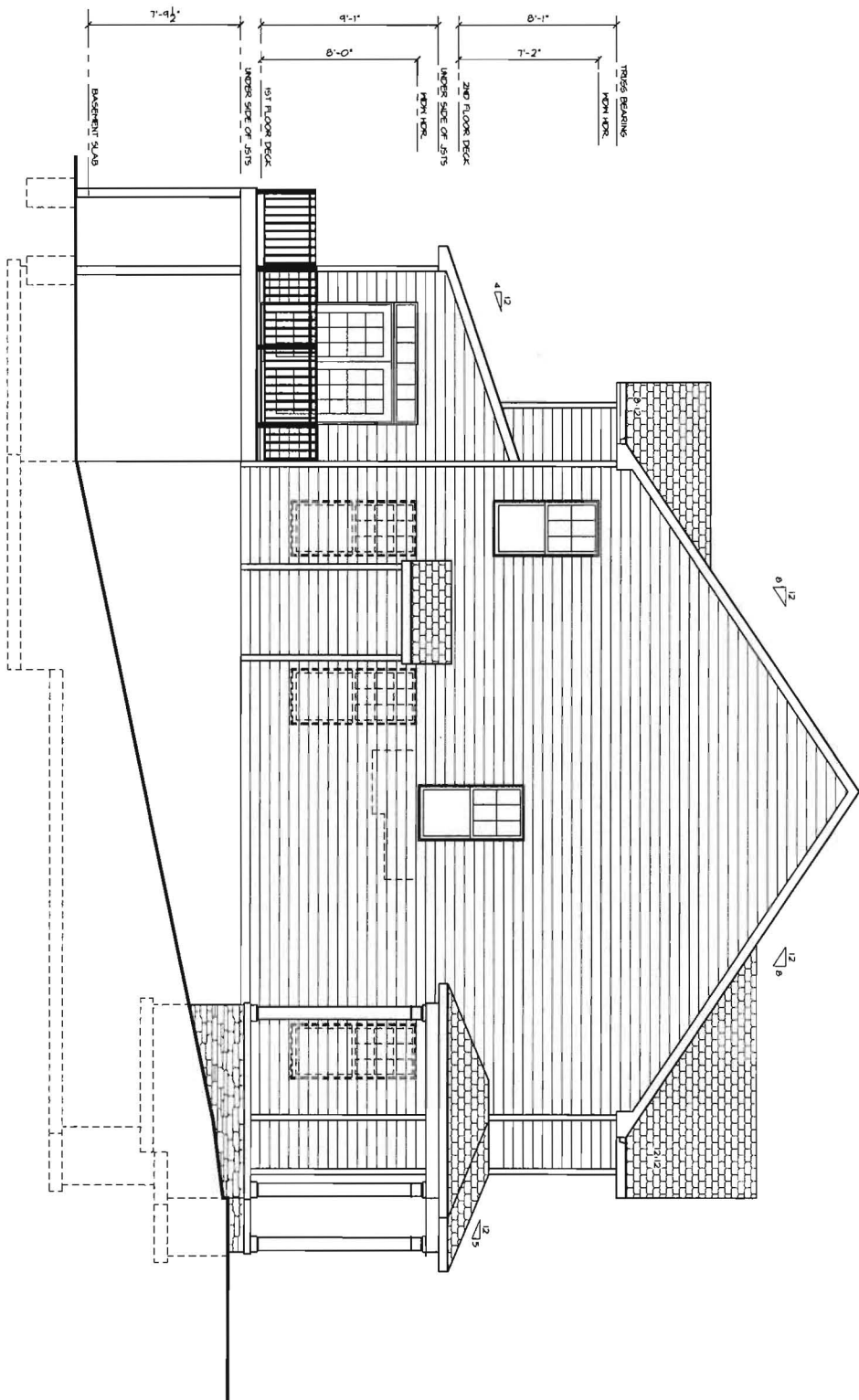
| ISSUE DATE | DRAWN BY | REMARKS |
|------------|----------|------------------|
| 1-23-14 | DWR | PRELIM PLANS |
| 8-24-14 | DWR | PERMIT SET PLANS |
| 8-24-14 | DWR | ADDED DECK |

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Sheet No. 1008-31

A-6



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

CUMBERLAND DEVELOPMENT
MODIFIED OLIVIA
Spec. House
HOWARD COUNTY, MARYLAND

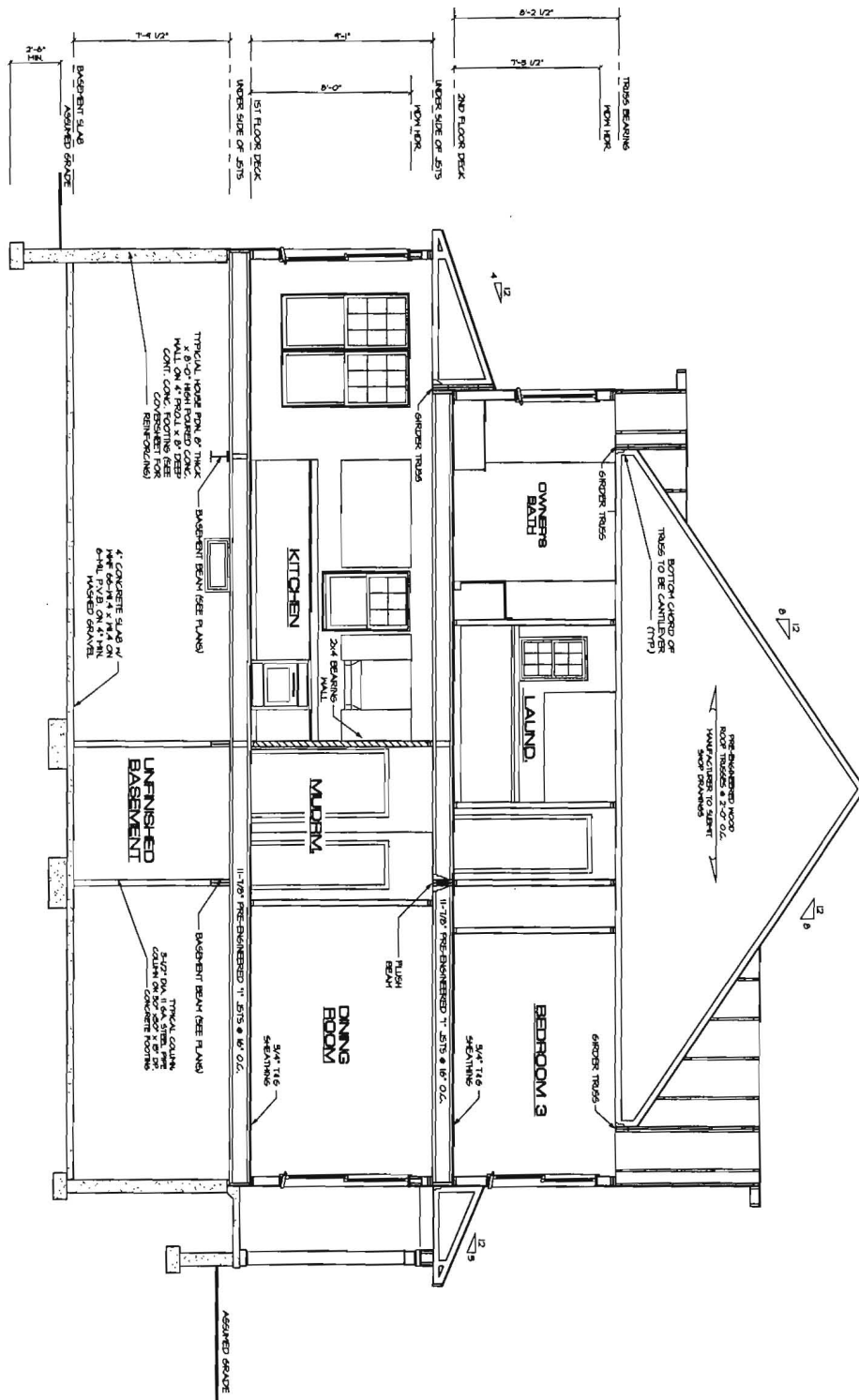
LEFT SIDE
ELEVATION

| SUBMITTALS | | |
|------------|----------|------------------|
| ISSUE DATE | DRAWN BY | REMARKS |
| 1-23-14 | OWR | PRELIM PLANS |
| 8-24-14 | OWR | PERMIT SET PLANS |
| 8-24-14 | OWR | ADDED DECK |
| | | |
| | | |

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SHEET NO.
A-7
PROJ. NO.: 1004-31



CROSS SECTION AT 'B'
SCALE: 1/4" = 1'-0"

CUMBERLAND DEVELOPMENT
MODIFIED OLIVIA
Spec. House
HOWARD COUNTY, MARYLAND

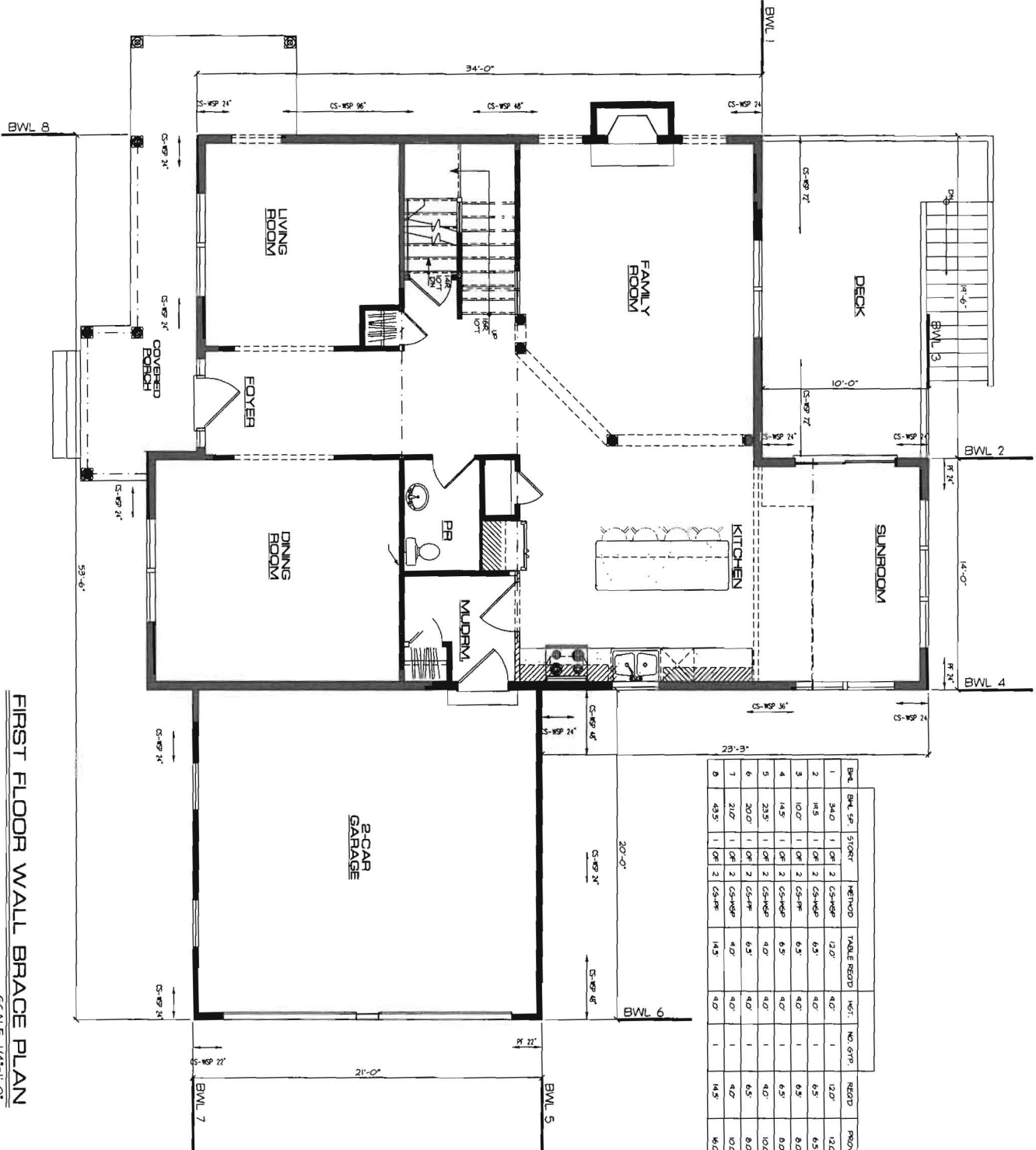
SECTION
@ "B"

| SUBMITTALS | | |
|------------|----------|------------------|
| ISSUE DATE | DRAWN BY | REMARKS |
| 1-25-14 | DWR | PRELIM PLANS |
| 5-24-14 | DWR | PERMIT SET PLANS |
| | | |
| | | |
| | | |

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SHEET NO.
A-9
FORM NO. 1008-18



| BWL | BWL SH | STORY | METHOD | TABLE HEIGHT | NO. | NO. OF IN. | HEIGHT | PROVIDED |
|-----|--------|-------|--------|--------------|-----|------------|--------|----------|
| 1 | 34.0 | 1 | CS-WSP | 12.0 | 1 | 12.0 | 12.0 | 6.5 |
| 2 | 14.5 | 1 | CS-WSP | 6.5 | 1 | 6.5 | 6.5 | 6.5 |
| 3 | 10.0 | 1 | CS-WSP | 6.5 | 1 | 6.5 | 6.5 | 6.5 |
| 4 | 14.5 | 1 | CS-WSP | 6.5 | 1 | 6.5 | 6.5 | 6.5 |
| 5 | 20.5 | 1 | CS-WSP | 4.0 | 1 | 4.0 | 10.0 | 10.0 |
| 6 | 20.0 | 1 | CS-WSP | 6.5 | 1 | 4.0 | 6.0 | 6.0 |
| 7 | 21.0 | 1 | CS-WSP | 4.0 | 1 | 4.0 | 10.0 | 10.0 |
| 8 | 4.5 | 1 | CS-WSP | 14.5 | 1 | 14.5 | 6.0 | 6.0 |

FIRST FLOOR WALL BRACE PLAN
SCALE 1/4"=1'-0"

CUMBERLAND DEVELOPMENT
MODIFIED OLIVIA
Spec. House
HOWARD COUNTY, MARYLAND

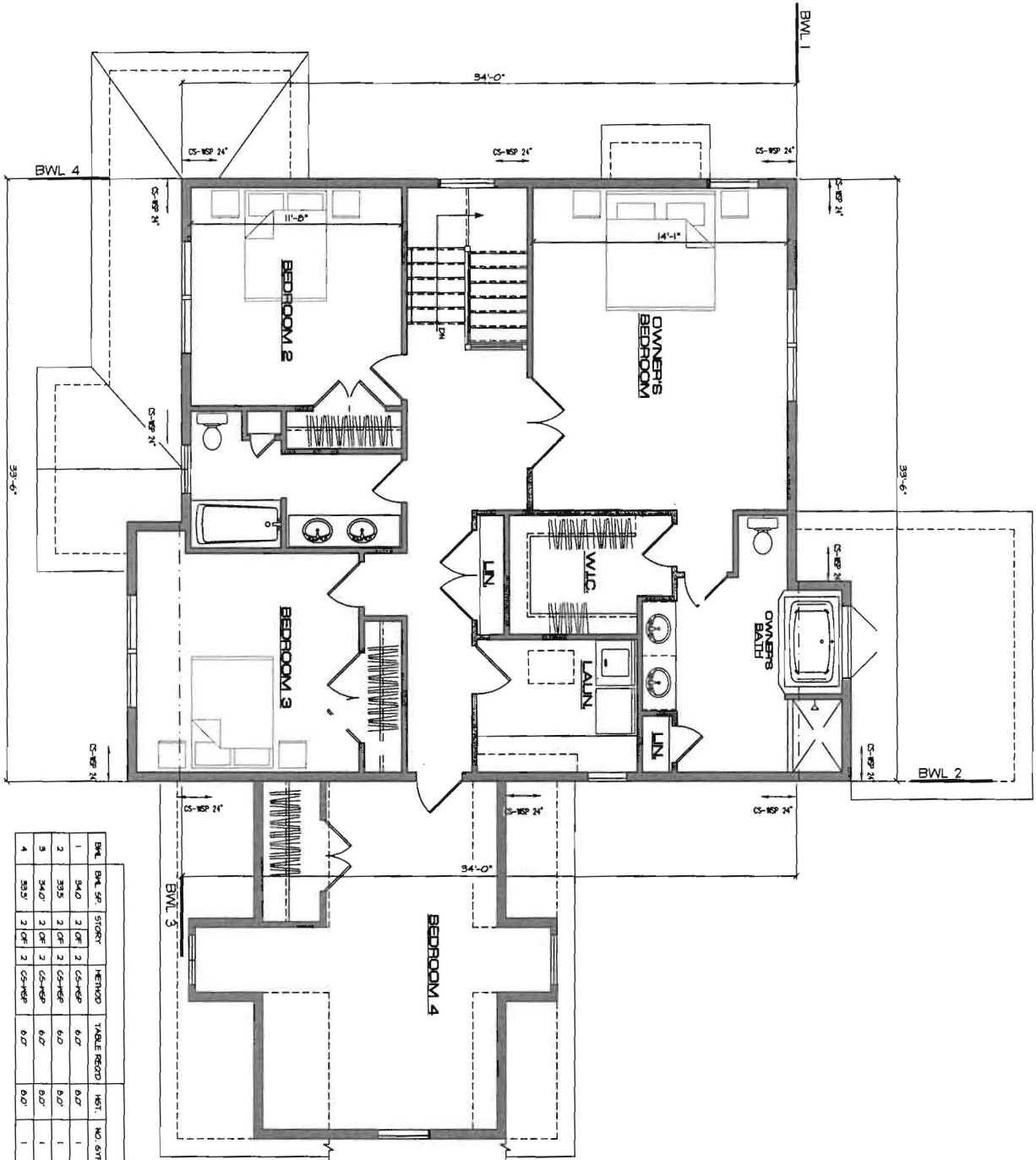
FIRST FLOOR
BRACE WALL
PLAN

| SUBMITTALS | | REMARKS |
|------------|----------|------------------|
| ISSUE DATE | DRAWN BY | |
| 1-25-14 | DWR | PRELIM PLANS |
| 8-24-14 | DWR | PERMIT SET PLANS |
| 8-24-14 | DWR | ADDED DECK |

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SHEET NO.
B-1
TOTAL NO. 1008-31



| BWL | BWL SFR | STORY | METHOD | TABLE RECORD | HGT. | NO. STR. | RECORD | PROVIDED |
|-----|---------|--------|--------|--------------|------|----------|--------|----------|
| 1 | 34.0 | 2 OF 2 | CS-WSP | 6.0' | 8.0' | 1 | 6.0' | 6.0' |
| 2 | 39.5 | 2 OF 2 | CS-WSP | 6.0 | 8.0' | 1 | 6.0' | 6.0' |
| 3 | 34.0 | 2 OF 2 | CS-WSP | 6.0' | 8.0' | 1 | 6.0' | 6.0' |
| 4 | 33.5 | 2 OF 2 | CS-WSP | 6.0' | 8.0' | 1 | 6.0' | 6.0' |

SECOND FLOOR WALL BRACE PLAN
SCALE: 1/4"=1'-0"

CUMBERLAND DEVELOPMENT
 MODIFIED OLIVIA
 Spec. House
 HOWARD COUNTY, MARYLAND

SECOND FLOOR WALL BRACE PLAN

| SUBMITTALS | | |
|------------|----------|------------------|
| ISSUE DATE | DRAWN BY | REMARKS |
| 1-25-14 | DWR | PRELIM PLANS |
| 8-24-14 | DWR | PERMIT SET PLANS |

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SHEET NO.
B-2
 FINAL NO. 1008-19

