



Building Permit Application

Howard County Maryland
 Department of Inspections, Licenses and Permits
 3430 Court House Drive
 Permits: 410-313-2455
 www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 14055 HOWARD ROAD
 City: DAYTON State: MD Zip Code: 21036
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: _____
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: SINGLE FAMILY RESIDENCE
 Proposed Use: SAME
 Estimated Construction Cost: \$ 200,000
 Description of Work: 300 sq ft addition for 1/2 bath, mudroom, laundry rm + closets, 12x10 ft porch + 75 sq ft patio, modification of driveway to accommodate addition.
 Occupant or Tenant: MARY VIENNA
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: GERHARD + MARY VIENNA
 Address: 14055 HOWARD ROAD
 City: DAYTON State: MD Zip Code: 21036
 Phone: 443-538-1272 Fax: _____
 Email: gvienna@verizon.net

Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: James Graves Construction
 Contact Person: Jim Graves
 Address: _____
 City: _____ State: _____ Zip Code: _____
 License No.: _____
 Phone: 443-904-7419 Fax: _____
 Email: _____

Engineer/Architect Company: Black Dog Architects
 Responsible Design Prof.: Don Margulies
 Address: 18905 Brook Rd.
 City: Abington State: PA Zip Code: _____
 Phone: 215-886-6416 Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor: <u>1800 sq ft</u>	2 nd floor: <u>NONE</u>
Area of construction (sq. ft.):	Basement:	
Use group:	<input type="checkbox"/> Finished Basement	
Construction type:	<input checked="" type="checkbox"/> Unfinished Basement	
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Crawl Space	
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Masonry	No. of Bedrooms: <u>3</u>	
<input type="checkbox"/> Wood Frame	Multi-family Dwelling	
<input type="checkbox"/> State Certified Modular	No. of efficiency units:	
	No. of 1 BR units:	
	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input type="checkbox"/> No
Heating System	
<input type="checkbox"/> Electric	<input checked="" type="checkbox"/> Oil
<input type="checkbox"/> Natural Gas	<input type="checkbox"/> Propane Gas
Other:	
Sprinkler System:	
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Grading Permit Number:	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Mary R. Vienna
 Applicant's Signature
gvienna@verizon.net
 Email Address

 Title/Company

MARY R. VIENNA
 Print Name
March 12, 2015
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

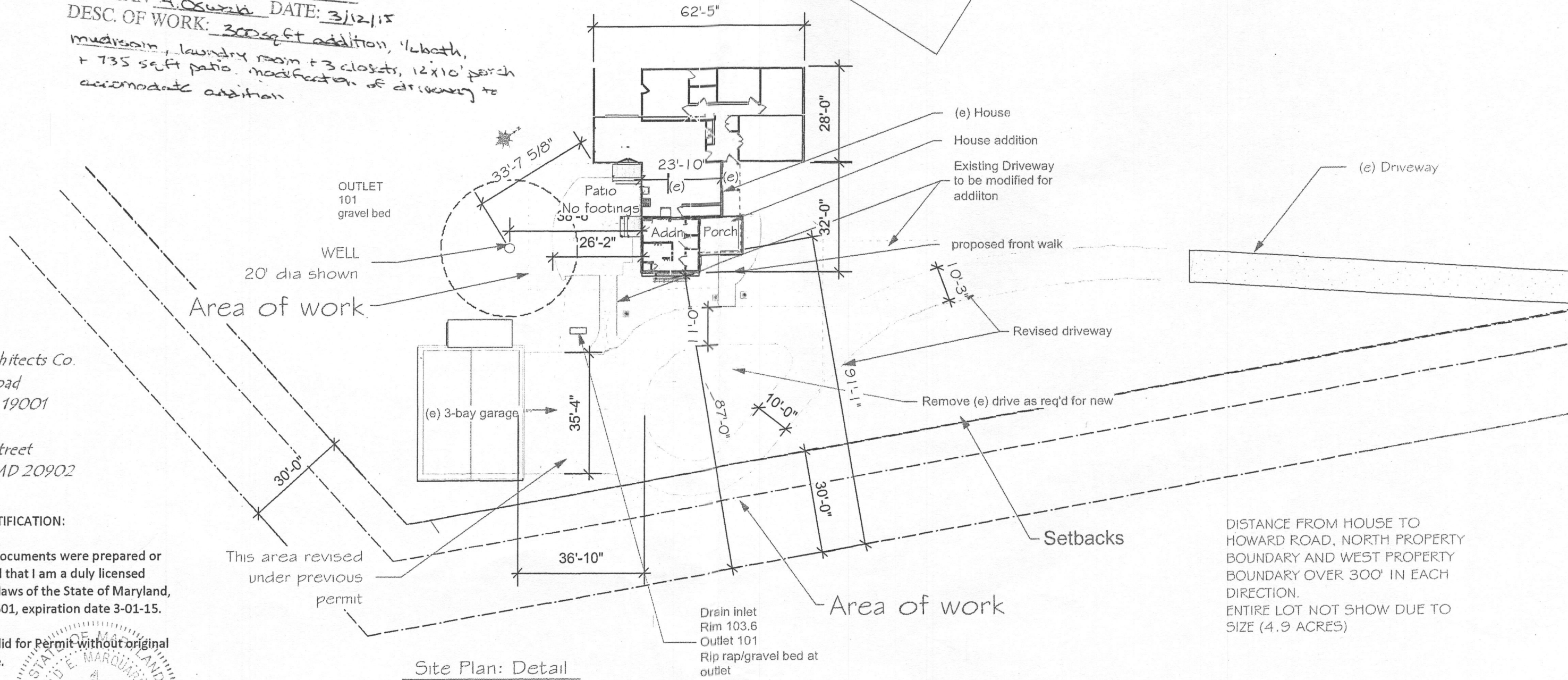
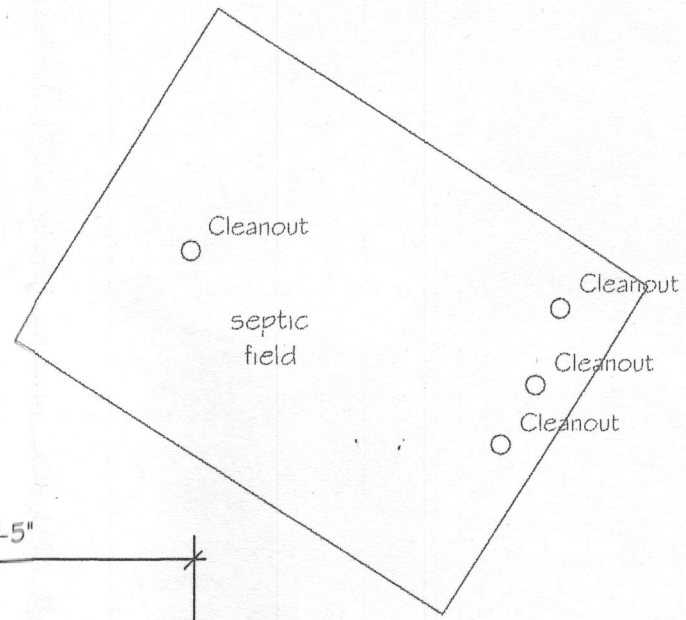
AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>3/12/15</u>	<u>H. Oswald</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION
Front:
Rear:
Side:
Side St.:
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:
SDP/Red-line approval date:

Filing Fee	\$
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	#

APPROVED
WALK-THRU BUILDING PERMIT
 BP# _____ A# _____
 APP. SAN 4.05226 DATE: 3/12/15
 DESC. OF WORK: 300 sqft addition, 1/2 bath,
mudroom, laundry room + 3 closets, 12x10' porch
+ 735 sqft patio. modification of driveway to
accommodate addition.



Black Dog Architects Co.
 1805 Brook Road
 Abington, PA 19001

636 Brisbane Street
 Silver Spring, MD 20902

PROFESSIONAL CERTIFICATION:
 I certify that these documents were prepared or approved by me and that I am a duly licensed architect under the laws of the State of Maryland, License Number 16501, expiration date 3-01-15.

Drawings are not valid for Permit without original stamp and signature.



This area revised under previous permit

Site Plan: Detail
 Scale: 1" = 30 ft

DISTANCE FROM HOUSE TO HOWARD ROAD, NORTH PROPERTY BOUNDARY AND WEST PROPERTY BOUNDARY OVER 300' IN EACH DIRECTION.
 ENTIRE LOT NOT SHOWN DUE TO SIZE (4.9 ACRES)

Design Firm Black Dog Architects Co. 1805 Brook Road Abington, PA 215-886-6916	Project Title Vienna Addition 14055 Howard Road Dayton, MD	Project Manager DM	Project ID Vienna Addn
	Drawing Title Plot Plan	Drawn By dm	Drawing No. Site-2 of _____
		Date March 3, 2015	



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 8-15-14

Permit No.: B14003009

Building Address: 14055 Howard Road
 City: Dayton State: MD Zip Code: 21036
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: _____
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Existing Use: SFD
 Proposed Use: SFD with garage
 Estimated Construction Cost: \$ 100,000
 Description of Work: 3-car constructing a 1-story, 3-car garage with loft above for storage, unconditioned space, 1008 sq ft covered entry (8x17ft)
 Occupant or Tenant: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: GERHARD + MARY VIENNA
 Address: 14055 Howard Road
 City: Dayton State: MD Zip Code: 21036
 Phone: 443-530-1272 Fax: _____
 Email: gvienna@verizon.net

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: James L. Graves Construction
 Contact Person: Jim Graves
 Address: 750 Rt 3 South, Suite 2
 City: Gambrells State: MD Zip Code: 21054
 License No.: MHC # 93524
 Phone: 410-721-9019 Fax: _____
 Email: jgraves@comcast.net

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth: _____ Width: _____
Gross area, sq. ft./floor: _____	1 st floor: <u>20 ft</u> 36 ft
Area of construction (sq. ft.): _____	2 nd floor: <u>Storage loft</u>
Use group: _____	Basement: _____
Construction type:	<input type="checkbox"/> Finished Basement
<input type="checkbox"/> Reinforced Concrete	<input type="checkbox"/> Unfinished Basement
<input type="checkbox"/> Structural Steel	<input type="checkbox"/> Crawl Space
<input type="checkbox"/> Masonry	<input checked="" type="checkbox"/> Slab on Grade
<input type="checkbox"/> Wood Frame	No. of Bedrooms: _____
<input type="checkbox"/> State Certified Modular	<u>Multi-family Dwelling</u>
	No. of efficiency units: _____
	No. of 1 BR units: _____
	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structural: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other: <u>N/A</u>	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

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Applicant's Signature: Mary R. Vienna
 Email Address: gvienna@verizon.net
 Title/Company: _____

Print Name: Mary R. Vienna
 Date: August 15, 2014

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 FOR OFFICE USE ONLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health	<u>10/13/14</u>	<u>H. OSWICK</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

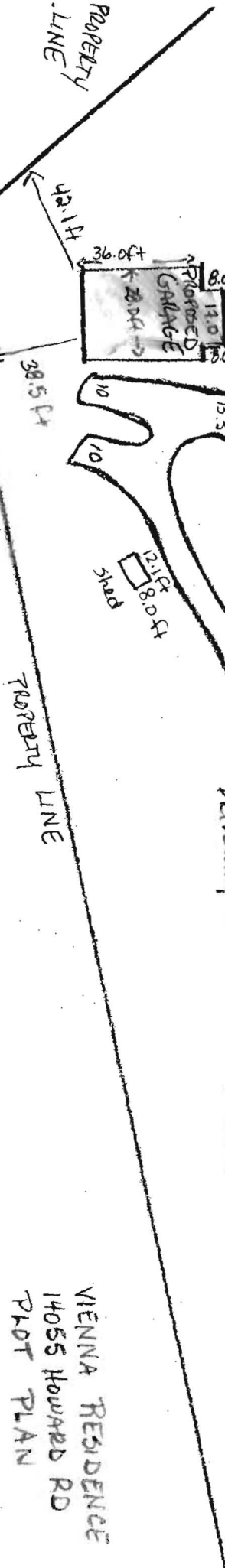
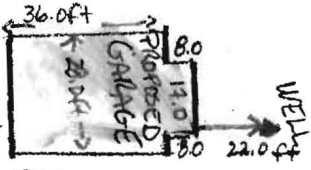
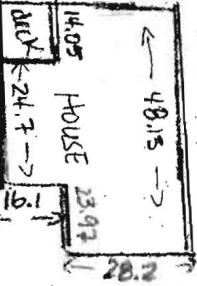
DPZ SETBACK INFORMATION
Front: _____
Rear: _____
Side: _____
Side St.: _____
All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone: _____
SDP/Red-line approval date: _____

Filing Fee	\$ <u>25.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check #	<u>2799</u>

NORTH

13.3
PAVEMENT STRIPS
36.7

64.2 x 15.8
SHOBBLE REMOVED



DISTANCE OF PROPOSED GARAGE TO HOWARD ROAD, NORTH PROPERTY BOUNDARILY & WEST PROPERTY BOUNDARILY OVER 300 FT EACH DIRECTION

PROPERTY LINE

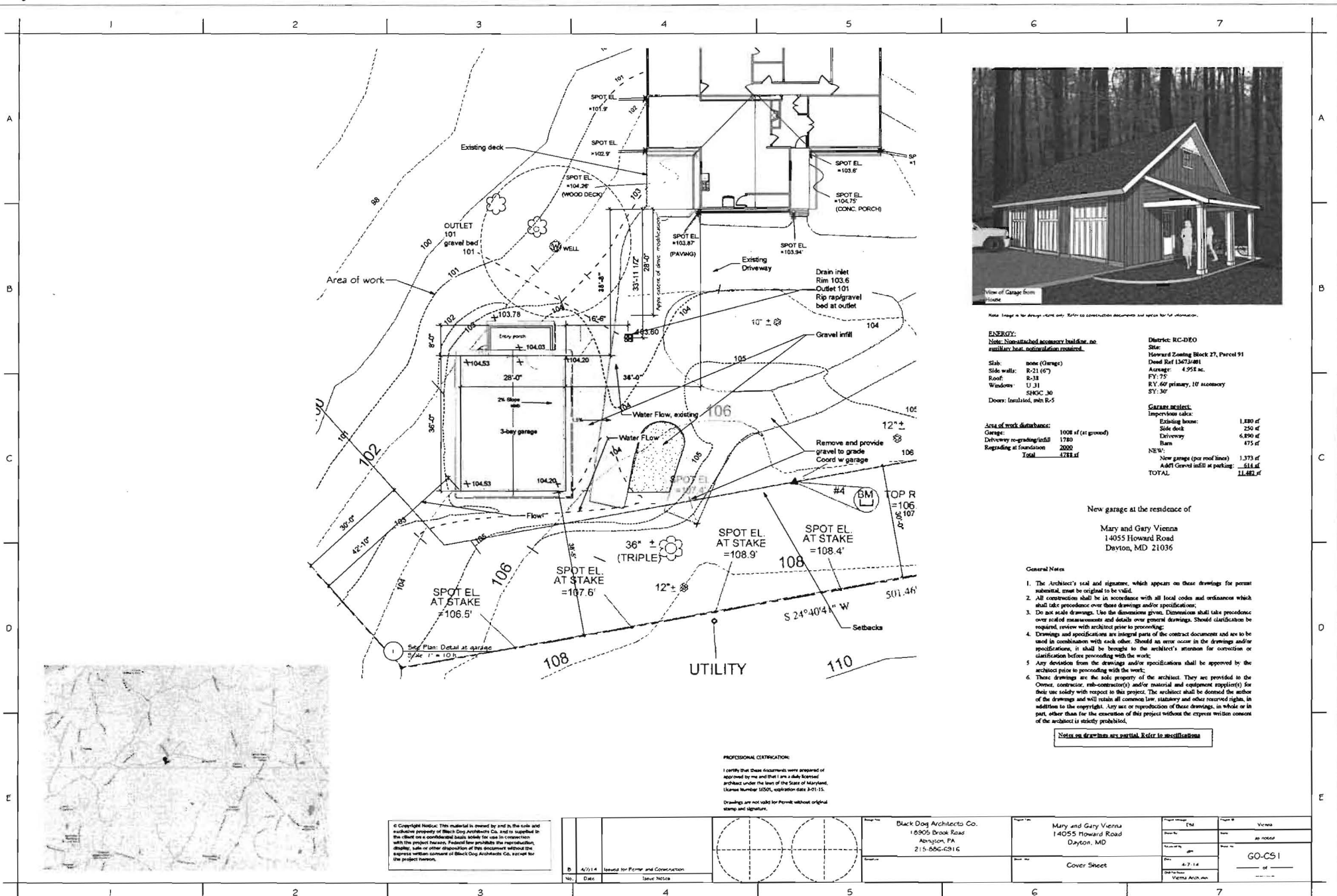
10/17/14 Plan approved for driveway alterations
B14003009 (3 car garage)
N.D.

SCALE: 1" = 50 FT

VIENNA RESIDENCE
14055 HOWARD RD
PLOT PLAN

ENTIRE LOT NOT SHOWN
DUE TO SIZE (14.9 ACRES)

B1400300A (3 car garage FP's)



View of Garage from House

ENERGY:
 Note: Non-attached accessory building, no auxiliary heat, no natural gas required.

District: RC-DEO
 Site:
 Howard Zoning Block 27, Parcel 91
 Deed Ref 13673481
 Acreage: 4.956 ac.
 FY: 75
 R.Y. 60 primary, 10 accessory
 SY: 30

Slab: none (Garage)
 Side walls: R-21 (6")
 Roof: R-38
 Windows: U-31
 SINK: 30
 Doors: Insulated, min R-5

Area of work disturbance:
 Garage: 1008 sf (at ground)
 Driveway re-grading/infill: 1780
 Regrading at foundation: 2000
 Total: 4788 sf

Garage project:
 Impervious surface:
 Existing house: 1,890 sf
 Side deck: 250 sf
 Driveway: 6,890 sf
 Barn: 875 sf

NEW:
 New garage (per roof lines): 1,373 sf
 Adult Gravel Infill w/ parking: 514 sf
 TOTAL: 11,462 sf

New garage at the residence of

Mary and Gary Vienna
 14055 Howard Road
 Dayton, MD 21036

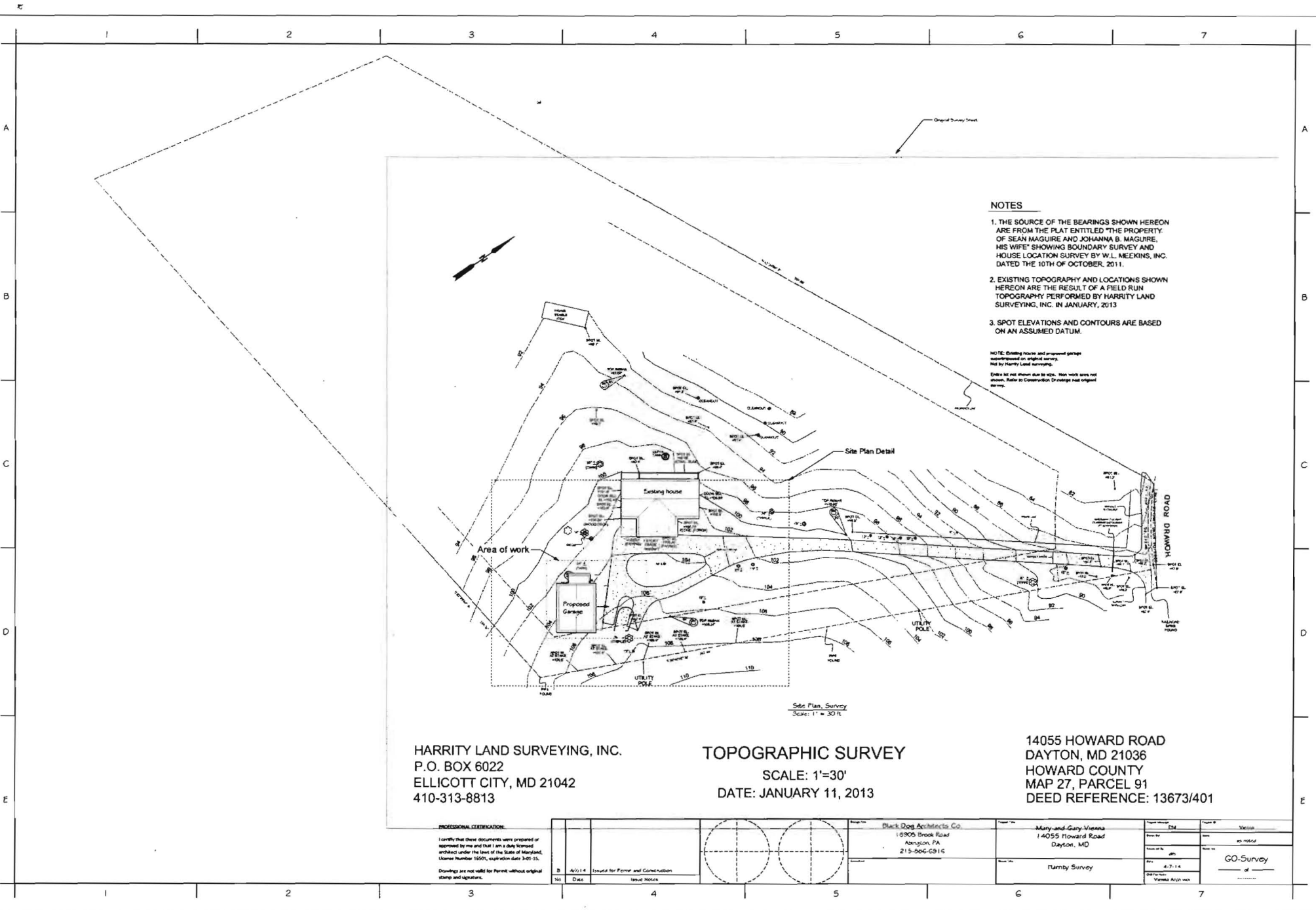
- General Notes
- The Architect's seal and signature, which appears on these drawings for permit submission, must be original to be valid.
 - All construction shall be in accordance with all local codes and ordinances which shall take precedence over these drawings and/or specifications.
 - Do not scale drawings. Use the dimensions given. Dimensions shall take precedence over scale of measurements and details over general drawings. Should clarification be required, review with architect prior to proceeding.
 - Drawings and specifications are integral parts of the contract documents and are to be used in combination with each other. Should an error occur in the drawings and/or specifications, it shall be brought to the architect's attention for correction or clarification before proceeding with the work.
 - Any deviation from the drawings and/or specifications shall be approved by the architect prior to proceeding with the work.
 - These drawings are the sole property of the architect. They are provided to the Owner, contractor, sub-contractor(s) and/or material and equipment supplier(s) for their use solely with respect to this project. The architect shall be deemed the author of the drawings and will retain all common law, statutory and other reserved rights, in addition to the copyright. Any use or reproduction of these drawings, in whole or in part, other than for the execution of this project without the express written consent of the architect is strictly prohibited.

Note on drawings are partial. Refer to specifications

PROFESSIONAL CERTIFICATION:
 I certify that these documents were prepared or approved by me and that I am a duly licensed architect under the laws of the State of Maryland. License Number: 10501, expiration date 3-01-15.
 Drawings are not valid for permit without original stamp and signature.

© Copyright Notice: This material is owned by and is the sole and exclusive property of Black Dog Architects Co. and is supplied to the client on a confidential basis solely for use in connection with the project herein. Federal law prohibits the reproduction, display, sale or other distribution of this document without the express written consent of Black Dog Architects Co. except for the project herein.

No.	Disc.	Issued for Permit and Construction	Issue Notice		Black Dog Architects Co. 18905 Brook Road Abington, PA 215-866-6916	Mary and Gary Vienna 14055 Howard Road Dayton, MD	Project Name: EM Project No.: Date: 4-7-14 Drawn by: Victoria Arch. Inc.	Sheet No.: Version:



- NOTES**
1. THE SOURCE OF THE BEARINGS SHOWN HEREON ARE FROM THE PLAT ENTITLED "THE PROPERTY OF SEAN MAGUIRE AND JOHANNA B. MAGUIRE, HIS WIFE" SHOWING BOUNDARY SURVEY AND HOUSE LOCATION SURVEY BY W.L. NEEDKINS, INC. DATED THE 10TH OF OCTOBER, 2011.
 2. EXISTING TOPOGRAPHY AND LOCATIONS SHOWN HEREON ARE THE RESULT OF A FIELD RUN TOPOGRAPHY PERFORMED BY HARRITY LAND SURVEYING, INC. IN JANUARY, 2013
 3. SPOT ELEVATIONS AND CONTOURS ARE BASED ON AN ASSUMED DATUM.

NOTE: Existing house and proposed garage superimposed on original survey.
 Not by Harrity Land surveying.
 Eriks lot not shown due to vep. Non work area not shown. Refer to Construction Drawings and original survey.

Site Plan, Survey
 Scale: 1" = 30' ft

HARRITY LAND SURVEYING, INC.
 P.O. BOX 6022
 ELLICOTT CITY, MD 21042
 410-313-8813

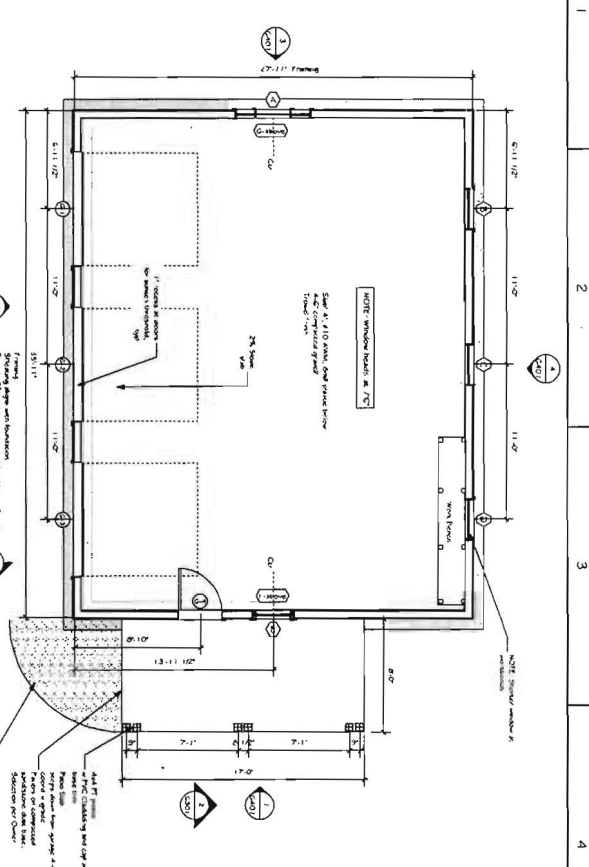
TOPOGRAPHIC SURVEY
 SCALE: 1"=30'
 DATE: JANUARY 11, 2013

14055 HOWARD ROAD
 DAYTON, MD 21036
 HOWARD COUNTY
 MAP 27, PARCEL 91
 DEED REFERENCE: 13673/401

PROFESSIONAL CERTIFICATION:
 I certify that these documents were prepared or approved by me and that I am a duly licensed architect under the laws of the State of Maryland, License Number 16501, expiration date 3-31-15.
 Drawings are not valid for permit without original stamp and signature.

No. Date B 4/7/14 Issued for Permit and Construction Issue Notice		Prepared by Black Dog Architects Co. 15905 Brook Road Abingdon, PA 215-566-6914	Checked by Mary and Gary Vienna 14055 Howard Road Dayton, MD	Date 4-7-14	Scale Vertical Axis only
		Drawn by Harrity Survey	Date 4-7-14	Project # 13673/401	

GO-Survey

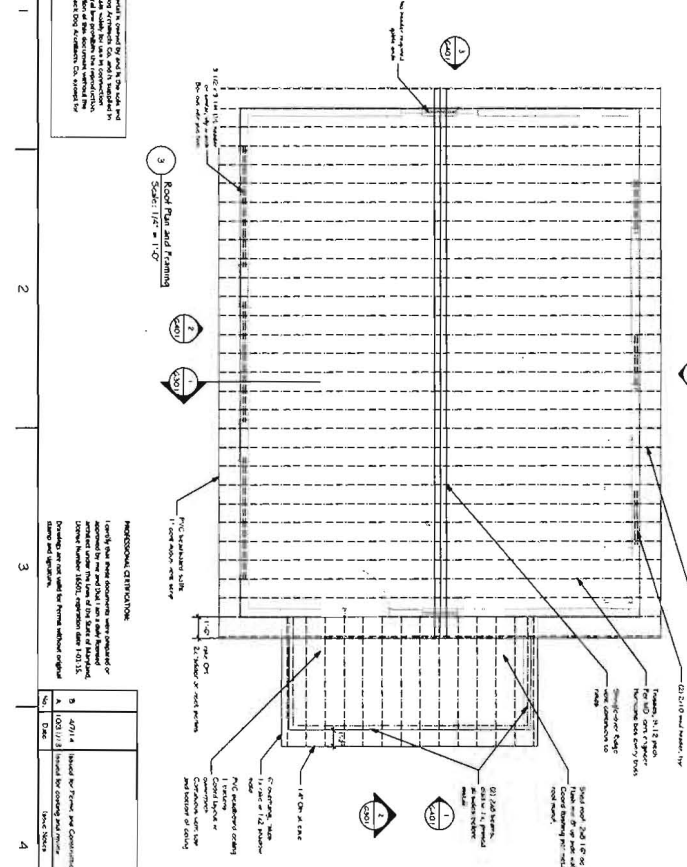


1 Floor Slab Foundation
Scale: 1/4" = 1'-0"

2 Plan Garage Slab Foundation
Scale: 1/4" = 1'-0"

3 Decked Wall Plan
Scale: 1/4" = 1'-0"

4 Decked Wall Plan
Scale: 1/4" = 1'-0"



5 Roof Raft and Framing
Scale: 1/4" = 1'-0"

6 Decked Wall Plan
Scale: 1/4" = 1'-0"

7 Decked Wall Plan
Scale: 1/4" = 1'-0"

8 Decked Wall Plan
Scale: 1/4" = 1'-0"

9 Decked Wall Plan
Scale: 1/4" = 1'-0"

10 Decked Wall Plan
Scale: 1/4" = 1'-0"

11 Decked Wall Plan
Scale: 1/4" = 1'-0"

12 Decked Wall Plan
Scale: 1/4" = 1'-0"

13 Decked Wall Plan
Scale: 1/4" = 1'-0"

COMPLETION NOTES: This installation is covered by local building codes and regulations. The contractor is responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for ensuring that all materials and workmanship meet the requirements of the applicable building codes and regulations. The contractor shall be responsible for ensuring that all materials and workmanship meet the requirements of the applicable building codes and regulations. The contractor shall be responsible for ensuring that all materials and workmanship meet the requirements of the applicable building codes and regulations.

REVISIONS:

No.	Date	Description
1	01/15/2024	Initial Issue
2	01/20/2024	Revised Decked Wall Plan
3	01/25/2024	Revised Decked Wall Plan
4	02/01/2024	Revised Decked Wall Plan
5	02/05/2024	Revised Decked Wall Plan
6	02/10/2024	Revised Decked Wall Plan
7	02/15/2024	Revised Decked Wall Plan
8	02/20/2024	Revised Decked Wall Plan
9	02/25/2024	Revised Decked Wall Plan
10	03/01/2024	Revised Decked Wall Plan
11	03/05/2024	Revised Decked Wall Plan
12	03/10/2024	Revised Decked Wall Plan
13	03/15/2024	Revised Decked Wall Plan

PROJECT INFORMATION:

Project Name: Garage Slab Foundation
 Project Address: 1234 Main St, Anytown, PA 12345
 Project Owner: John Doe
 Project Manager: Jane Smith
 Project Start Date: 01/15/2024
 Project End Date: 03/15/2024

DESIGNER INFORMATION:

Design Firm: ABC Engineering & Architecture
 Design Team: John Doe, Jane Smith, Bob Johnson
 Design Date: 01/15/2024

CONTRACTOR INFORMATION:

Contractor Name: XYZ Construction Co.
 Contractor Address: 5678 Elm St, Anytown, PA 12345
 Contractor Phone: (123) 456-7890
 Contractor Email: info@xyzconstruction.com

NOTES:

1. All dimensions are in feet and inches. Round all dimensions to the nearest 1/8".

2. All materials shall be of the highest quality and shall meet the requirements of the applicable building codes and regulations.

3. The contractor shall be responsible for ensuring that all materials and workmanship meet the requirements of the applicable building codes and regulations.

4. The contractor shall be responsible for ensuring that all materials and workmanship meet the requirements of the applicable building codes and regulations.

5. The contractor shall be responsible for ensuring that all materials and workmanship meet the requirements of the applicable building codes and regulations.

APPENDIX:

Appendix A: Material Specifications
 Appendix B: Construction Details
 Appendix C: Foundation Details
 Appendix D: Decked Wall Details

CONTACT INFORMATION:

Project Manager: Jane Smith
 Phone: (123) 456-7890
 Email: jane.smith@xyzconstruction.com

DATE: 01/15/2024

SCALE: 1/4" = 1'-0"

PROJECT NO.: G-101

DESIGNER: ABC Engineering & Architecture

CONTRACTOR: XYZ Construction Co.

PROJECT ADDRESS: 1234 Main St, Anytown, PA 12345

PROJECT OWNER: John Doe

PROJECT MANAGER: Jane Smith

PROJECT START DATE: 01/15/2024

PROJECT END DATE: 03/15/2024

PROJECT STATUS: In Progress

PROJECT BUDGET: \$100,000

PROJECT RISK: Low

PROJECT COMPLETION DATE: 03/15/2024

PROJECT CONTACT: Jane Smith

PROJECT PHONE: (123) 456-7890

PROJECT EMAIL: jane.smith@xyzconstruction.com

PROJECT WEBSITE: www.xyzconstruction.com

PROJECT ADDRESS: 1234 Main St, Anytown, PA 12345

PROJECT OWNER: John Doe

PROJECT MANAGER: Jane Smith

PROJECT START DATE: 01/15/2024

PROJECT END DATE: 03/15/2024

PROJECT STATUS: In Progress

PROJECT BUDGET: \$100,000

PROJECT RISK: Low

PROJECT COMPLETION DATE: 03/15/2024

PROJECT CONTACT: Jane Smith

PROJECT PHONE: (123) 456-7890

PROJECT EMAIL: jane.smith@xyzconstruction.com

PROJECT WEBSITE: www.xyzconstruction.com

PROJECT ADDRESS: 1234 Main St, Anytown, PA 12345

PROJECT OWNER: John Doe

PROJECT MANAGER: Jane Smith

PROJECT START DATE: 01/15/2024

PROJECT END DATE: 03/15/2024

PROJECT STATUS: In Progress

PROJECT BUDGET: \$100,000

PROJECT RISK: Low

PROJECT COMPLETION DATE: 03/15/2024

PROJECT CONTACT: Jane Smith

PROJECT PHONE: (123) 456-7890

PROJECT EMAIL: jane.smith@xyzconstruction.com

PROJECT WEBSITE: www.xyzconstruction.com

PROJECT ADDRESS: 1234 Main St, Anytown, PA 12345

PROJECT OWNER: John Doe

PROJECT MANAGER: Jane Smith

PROJECT START DATE: 01/15/2024

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PROJECT CONTACT: Jane Smith

PROJECT PHONE: (123) 456-7890

PROJECT EMAIL: jane.smith@xyzconstruction.com

PROJECT WEBSITE: www.xyzconstruction.com

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PROJECT OWNER: John Doe

PROJECT MANAGER: Jane Smith

PROJECT START DATE: 01/15/2024

PROJECT END DATE: 03/15/2024

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PROJECT CONTACT: Jane Smith

PROJECT PHONE: (123) 456-7890

PROJECT EMAIL: jane.smith@xyzconstruction.com

PROJECT WEBSITE: www.xyzconstruction.com

PROJECT ADDRESS: 1234 Main St, Anytown, PA 12345

PROJECT OWNER: John Doe

PROJECT MANAGER: Jane Smith

PROJECT START DATE: 01/15/2024

PROJECT END DATE: 03/15/2024

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PROJECT CONTACT: Jane Smith

PROJECT PHONE: (123) 456-7890

PROJECT EMAIL: jane.smith@xyzconstruction.com

PROJECT WEBSITE: www.xyzconstruction.com

PROJECT ADDRESS: 1234 Main St, Anytown, PA 12345

PROJECT OWNER: John Doe

PROJECT MANAGER: Jane Smith

PROJECT START DATE: 01/15/2024

PROJECT END DATE: 03/15/2024

PROJECT STATUS: In Progress

PROJECT BUDGET: \$100,000

PROJECT RISK: Low

PROJECT COMPLETION DATE: 03/15/2024

PROJECT CONTACT: Jane Smith

PROJECT PHONE: (123) 456-7890

PROJECT EMAIL: jane.smith@xyzconstruction.com

PROJECT WEBSITE: www.xyzconstruction.com

PROJECT ADDRESS: 1234 Main St, Anytown, PA 12345

PROJECT OWNER: John Doe

PROJECT MANAGER: Jane Smith

PROJECT START DATE: 01/15/2024

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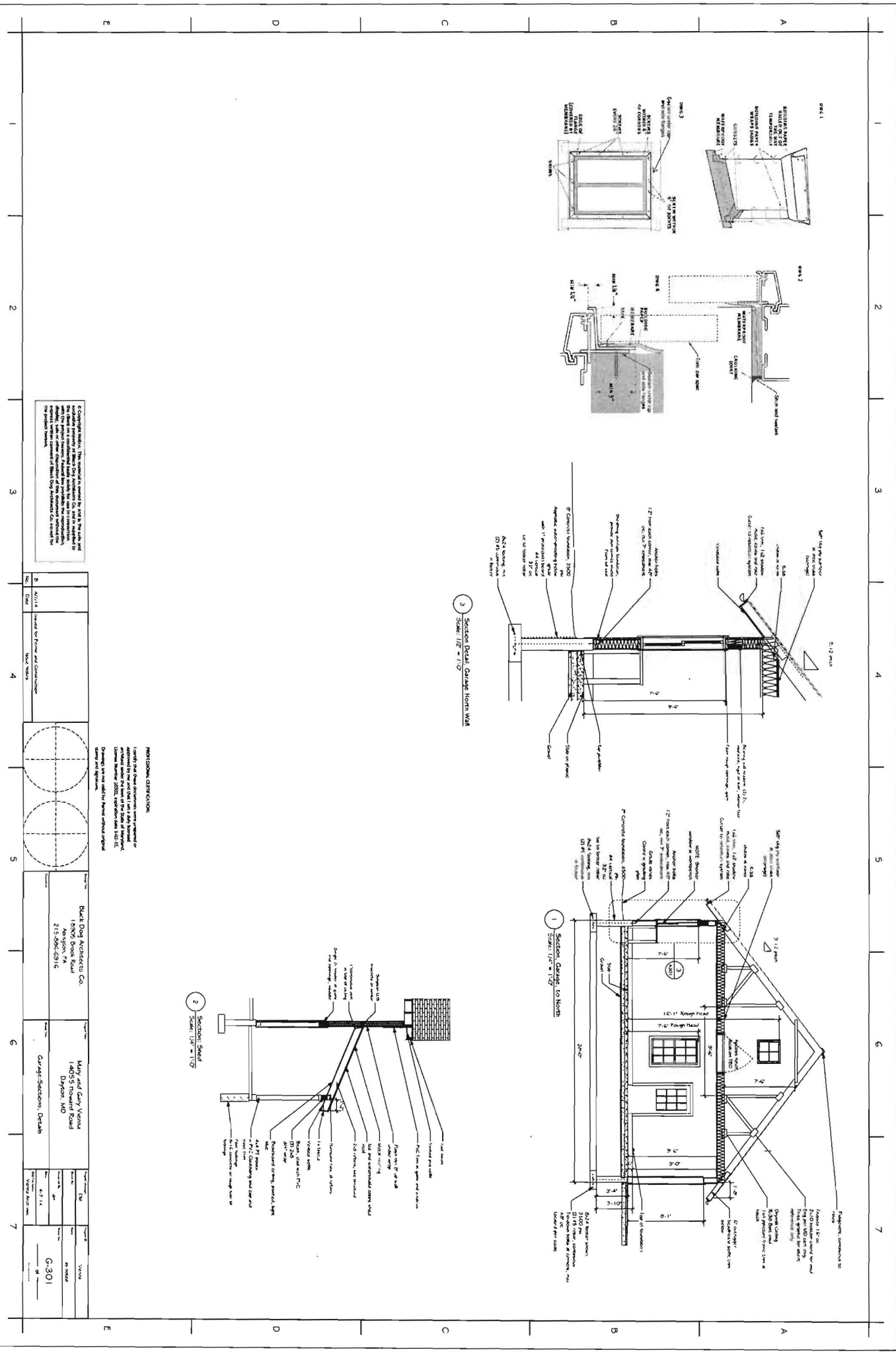
PROJECT COMPLETION DATE: 03/15/2024

PROJECT CONTACT: Jane Smith

PROJECT PHONE: (123) 456-7890

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Project information: Project Name, Location, Date, and other relevant details.

Architect information: Name, Address, Phone, and Website of the architect.

Client information: Name, Address, Phone, and Website of the client.

Project title: Garage Section Details.

Revision table: A table with columns for revision number, description, and date.

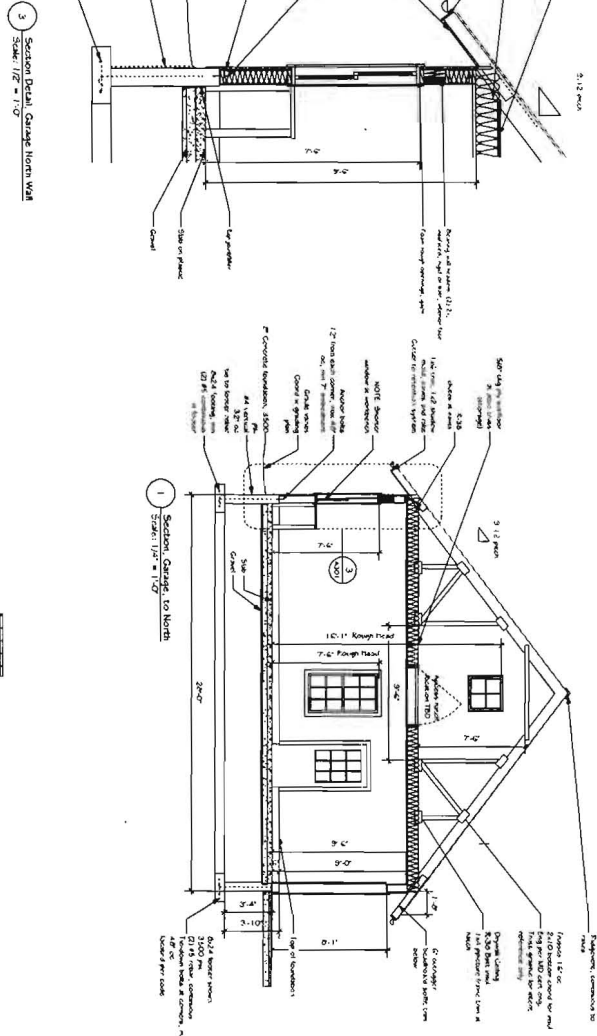
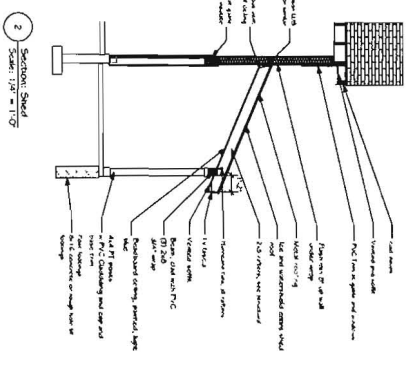
Project number: G-301.

NOTES: A list of notes providing additional information and instructions for the construction of the garage.

Section 2: Garage Floor and Wall Detail. Scale: 1/2" = 1'-0"

Section 3: Garage Header Wall Detail. Scale: 1/2" = 1'-0"

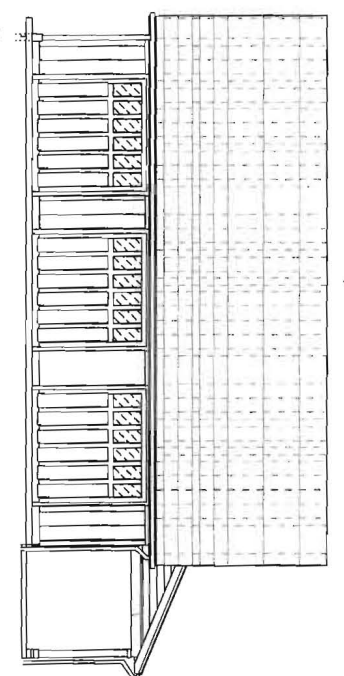
Section 1: Garage Cross Section. Scale: 1/4" = 1'-0"



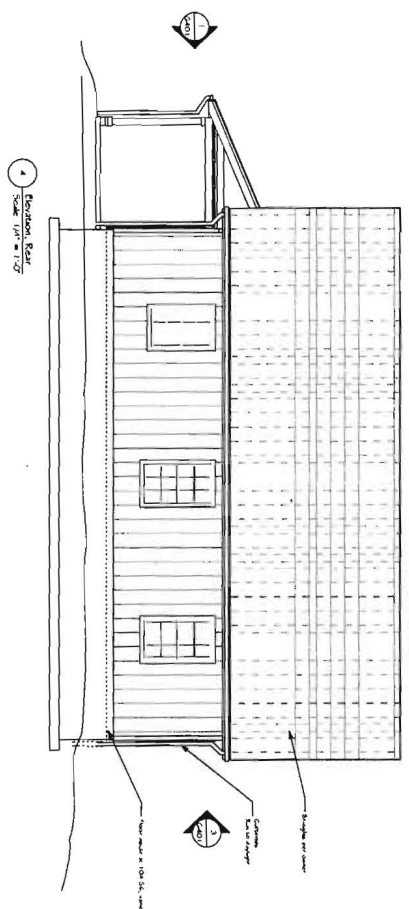
Section 2: Garage Floor and Wall Detail. Scale: 1/2" = 1'-0"

Section 3: Garage Header Wall Detail. Scale: 1/2" = 1'-0"

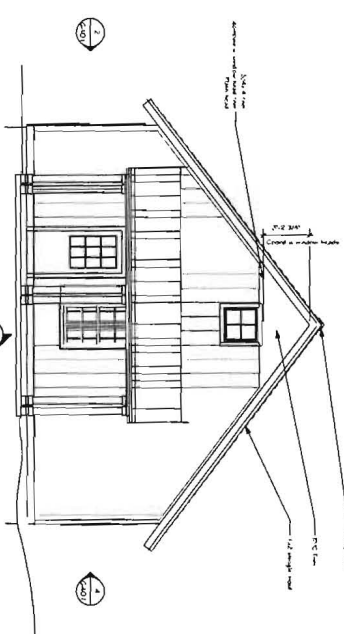
Section 1: Garage Cross Section. Scale: 1/4" = 1'-0"



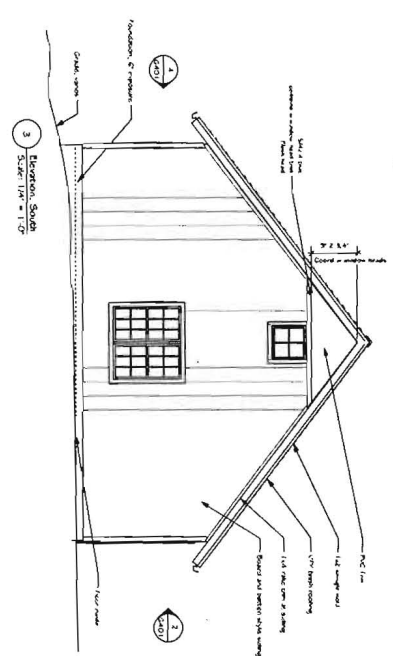
2 Elevation, Garage Front
Scale: 1/8"



4 Elevation, Rear
Scale: 1/8"



1 Elevation, North (Sided)
Scale: 1/8"



3 Elevation, South
Scale: 1/8"

PROFESSIONAL CERTIFICATION:
I certify that these documents were prepared or reviewed by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Maryland, License Number: 180015, expiration date: 12/31/15.
Drawings are not valid for use without original stamp and signature.

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No.	Date	Description	By	Checked
1	03/11/15	Initial Design and Construction		
2	03/11/15	Revised Design and Construction		
3	03/11/15	Final Design and Construction		

Richard Dog Architects, Inc. 14000 Old Orchard Road Suite 100 Chevy Chase, MD 20815 301-251-1111	Richard Dog Architects, Inc. 14000 Old Orchard Road Suite 100 Chevy Chase, MD 20815 301-251-1111
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Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

September 2, 2014

JAMES L GRAVES CONSTRUCTION
750 RT 3 SOUTH STE 2
GAMBRILLS, MD 21054

Sent via email to: JGRAVES@COMCAST.NET

Resent 10/13/14 - H.O.

RE: B14003009
14055 HOWARD RD
DAYTON, MD 21036

JAMES GRAVES:

This letter is in response to building permit B14003009. Our office did not receive a set of floor plans for the proposed garage. Please forward a set of floor plans for the proposed garage so this office can confirm the presence or absence of plumbing and living space.

Building permit approval is being withheld until confirmation is forwarded to the Health Department. I may be reached at (410) 313-1786 if you would like to discuss the project.

Respectfully,

Hank Oswald

Hank Oswald, L.E.H.S
Bureau of Environmental Health
Well & Septic Program

remove siding

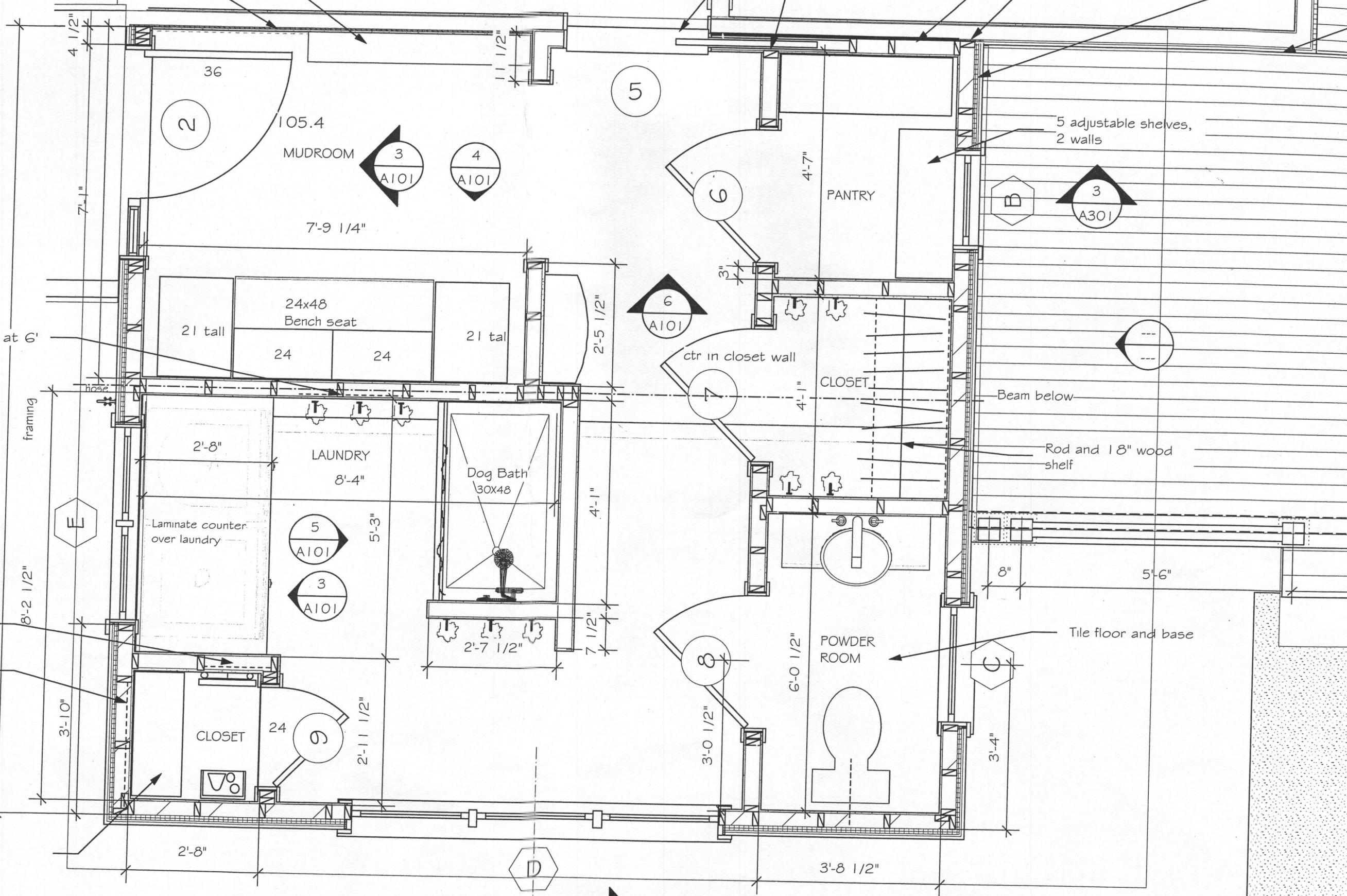
Pocket door

Sealant at jct old/new

A

B

C



Blocking at 6'

15'-10 1/2"

framing

3
A401

Blocking at 6'

1/2" ply full height for blocking

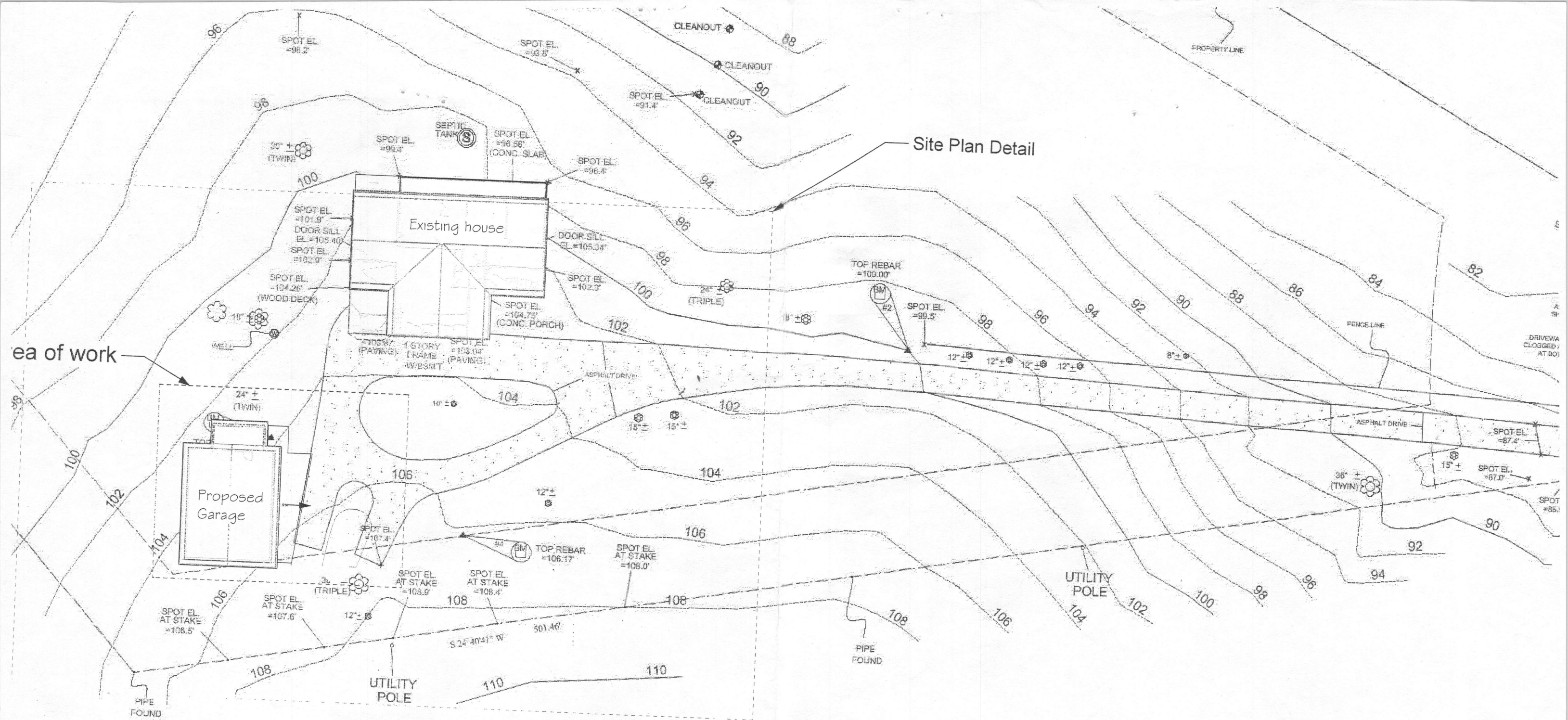
(5) 12" shelves, adjustable HD standards

2 Enlarged Plan, 1st Floor

New exterior walls: 2x4, 1/2" ...

2
A401

2
A301



Site Plan Detail

Area of work

Site Plan, Survey
Scale: 1" = 30 ft

ND SURVEYING, INC.
12
TY, MD 21042

TOPOGRAPHIC SURVEY
SCALE: 1"=30'
DATE: JANUARY 11, 2013

14055 HOWAR
DAYTON, MD 2
HOWARD COU
MAP 27, PARC
DEED