

# APPLICATION

## PERCOLATION TESTING

HOWARD COUNTY HEALTH DEPARTMENT  
BUREAU OF ENVIRONMENTAL HEALTH  
3525-H ELLICOTT MILLS DRIVE/ELLICOTT CITY, MARYLAND 21043  
TELEPHONE: 410-313-2640

A \_\_\_\_\_  
P \_\_\_\_\_  
DISTRICT \_\_\_\_\_  
DATE \_\_\_\_\_

TO: THE COUNTY HEALTH OFFICER  
ELLICOTT CITY, MARYLAND

I HEREBY APPLY FOR THE NECESSARY TEST PRIOR TO APPLICATION FOR PERMIT TO CONSTRUCT (OR RECONSTRUCT) A SEWAGE DISPOSAL SYSTEM.

PROPERTY OWNER Robert T. Matthews Revocable Trust  
ADDRESS c/o Cloverfield/Pfefferkorn, LLC, 10705 Charter Drive, Suite 320, Columbia, MD 21044 PHONE 410-997-7400

AGENT OR PROSPECTIVE BUYER Heritage Land Development  
ADDRESS 3060 Washington Rd., Suite 220, Glenwood, MD 21738 PHONE 410-489-7900

PROPERTY LOCATION:  
SUBDIVISION Matthews Property LOT NO. 1

ROAD AND DESCRIPTION \_\_\_\_\_  
2400 Pfefferkorn Road, West Friendship, MD 21794

TAX MAP NO. 15 PARCEL # 4  
SIZE OF LOT 1 acre TYPE OF BLDG. SFD  
(SINGLE FAMILY DWELLING OR COMMERCIAL)

THE SYSTEM INSTALLED UNDER THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC FACILITIES BECOME AVAILABLE. I FULLY UNDERSTAND THE FEE CONNECTED WITH THE FILING OF THIS PERC TEST APPLICATION IS NON-REFUNDABLE UNDER ANY CIRCUMSTANCES. I ALSO AGREE TO COMPLY WITH ALL M.O.S.H.A. REQUIREMENTS IN TESTING THIS LOT.

\_\_\_\_\_  
(SIGNATURE OF APPLICANT)

APPROVED BY \_\_\_\_\_ FOR \_\_\_\_\_ DATE \_\_\_\_\_  
DISAPPROVED BY \_\_\_\_\_ FOR \_\_\_\_\_ DATE \_\_\_\_\_

HOLD PENDING FURTHER TESTS \_\_\_\_\_  
REASONS FOR REJECTION OR HOLDING \_\_\_\_\_

PERCOLATION TEST PLAT/PRELIMINARY PLAT - TITLE OR I.D. # \_\_\_\_\_ DATE \_\_\_\_\_  
SITE DEVELOPMENT PLAN/FINAL PLAT - TITLE OR I.D. # \_\_\_\_\_ DATE \_\_\_\_\_

# THIS IS NOT A PERMIT

COUNTY #

SOIL PROFILE

0' 8103

1' topsoil

red  
brn  
cl lm

3.5'

4' tan  
si lm

5-10%  
rock

13.5'

0' 8102/8099

1' topsoil

red  
brn  
cl lm

3.5'

tan  
si lm

5-10%  
rock

13'

0' 8100

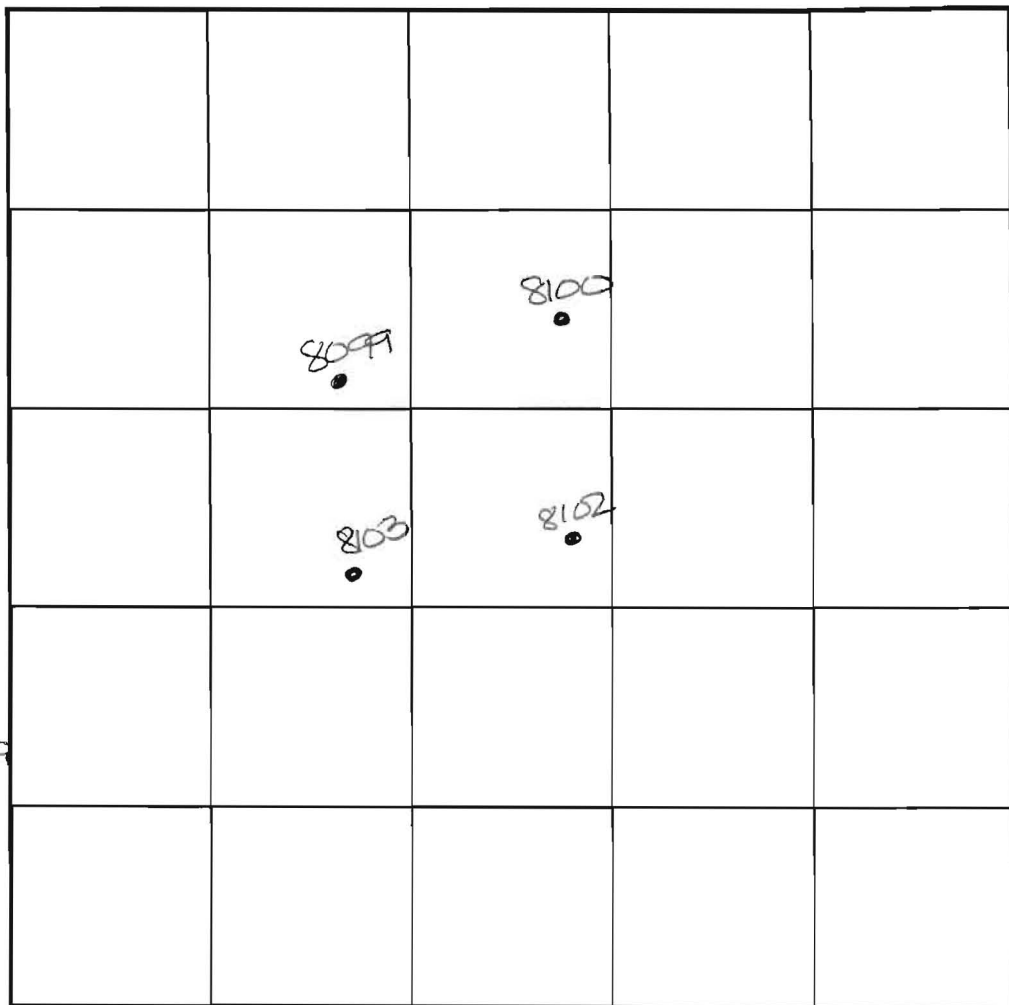
1' topsoil

org  
brn  
cl lm

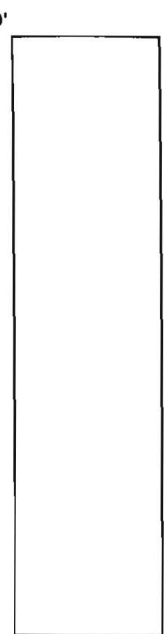
4' 14 brn  
si lm

10%  
rock

13'



SOIL PROFILE



INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE.

DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1" DROP		TIME
			START	STOP	START	STOP	
5-10-03	8103	4.5'S	8:07	8:11	8:11	8:16	S
		13.5'D	Visual	-see profile			P
	8102	4.5'S	8:33	8:35	8:35	8:38	B
		13.0'D	Visual	-see profile			P
	8099	4.0'S	8:36	8:40	8:40	8:45	S
		13'9 D	Visual	-see profile			P
	8100	4.5'S	8:55	8:57	8:57	9:04	7
		6.5'M	8:56	9:01	9:01	9:05	4
		13.0'D	Visual	-see profile			P

REMARKS \_\_\_\_\_

TYPE OF SOIL \_\_\_\_\_

TESTED BY K. Clark

ALSO PRESENT \_\_\_\_\_

TRENCH DESIGN DATA: AVG. PERCOLATION TIME \_\_\_\_\_ TRENCH WIDTH \_\_\_\_\_

INLET DEPTH \_\_\_\_\_ MAXIMUM BOTTOM DEPTH \_\_\_\_\_ SQ. FT./BEDROOM \_\_\_\_\_

The Requirements B-3-100, The Real Property Article, Annotated Code of Maryland, 1998 Replacement Volume, As Supplemented As Far As They Relate To The Making Of This Plat And The Setting Of Markers Have Been Complied With

Terrell A. Fisher, L.S. 10692  
(Registered Land Surveyor)

Decided 11/24/04  
Robert T. Matthews Revocable Trust  
Robert T. Matthews, Trustee  
(Owner)

Decided 1/19/07  
Thomas Paul Lyons, Trustee  
Thomas Paul Lyons, Trustee  
(Owner)

**Reservation of Public Utility And Forest Conservation Easements**

Developer Reserves unto itself, its Successors And Assigns, All Easements Shown On This Plan For Water, Sewer, Storm Drainage, Other Public Utilities And Forest Conservation (Designated As Forest Conservation Areas), Located In, On, Over, And Through Lots 1 Thru 21 And Buildable Preservation Parcel 'A', Non-Buildable Preservation Parcels 'B' - 'E' & Non-Buildable Bulk Parcel 'F'. Any Conveyances Of The Aforesaid Lots Shall Be Subject To The Easements Herein Reserved, Whether Or Not Expressly Stated In The Deed(s) Conveying Said Lot(s). Developer Shall Execute And Deliver Deeds For The Easements Herein Reserved To Howard County, With A Metes And Bounds Description Of The Forest Conservation Area. Upon Completion Of The Public Utilities And Their Acceptance By Howard County, And In The Case Of The Forest Conservation Easement(s), Upon Completion Of The Developer's Obligations Under The Forest Conservation Installation And Maintenance Agreement Executed By Developer And The County, And The Release Of Developer's Surety Posted With Said Agreement, The County Shall Accept The Easements And Record The Deed(s) Of Easement In The Land Records Of Howard County.

**Area Tabulation For Sheet 4**

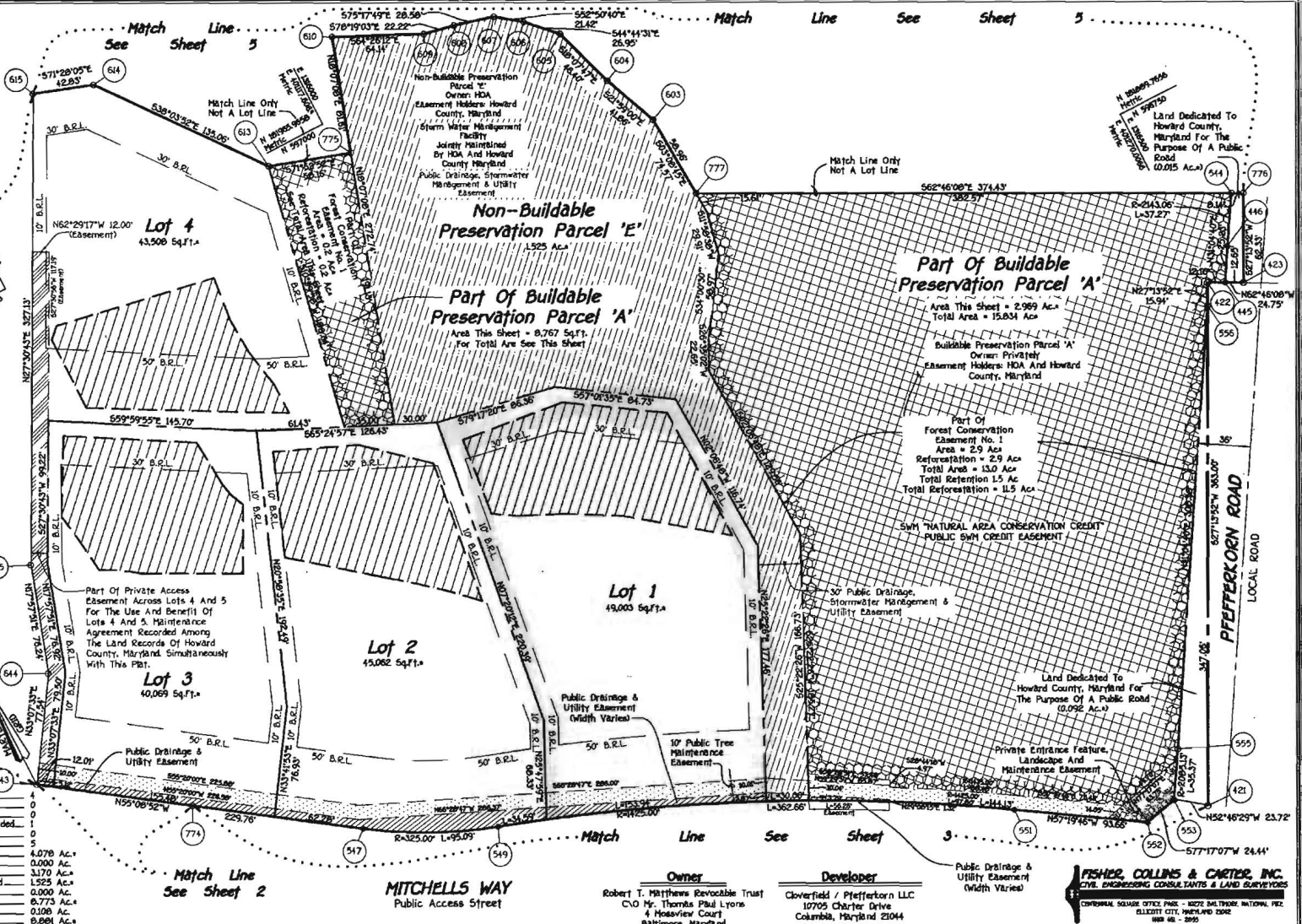
Total Number Of Buildable Lots To Be Recorded	4
Total Number Of Open Space Lots To Be Recorded	0
Total Number Of Buildable Preservation Parcels To Be Recorded	0
Total Number Of Non-Buildable Preservation Parcels To Be Recorded	1
Total Number Of Non-Buildable Bulk Parcels To Be Recorded	0
Total Number Of Lots/Parcels To Be Recorded	5
Total Area Of Buildable Lots To Be Recorded	4,078 Ac.
Total Area Of Open Space Lots To Be Recorded	0.000 Ac.
Total Area Of Buildable Preservation Parcels To Be Recorded	3,170 Ac.
Total Area Of Non-Buildable Preservation Parcels To Be Recorded	1,925 Ac.
Total Area Of Non-Buildable Bulk Parcels To Be Recorded	0.000 Ac.
Total Area Of Lots/Parcels To Be Recorded	9,173 Ac.
Total Area Of Buildable To Be Recorded	0.000 Ac.
Total Area Of Lots/Parcels To Be Recorded	9,098 Ac.

APPROVED: For Private Water And Private Sewerage Systems  
Howard County Health Department.

Robert J. Weber 3/6/07  
Howard County Health Officer AT 700 Date

APPROVED: Howard County Department Of Planning And Zoning

Chief, Development Engineering Division 3/12/07  
Director 1/22/07



**OWNER'S CERTIFICATE**

Robert T. Matthews, Trustee And Thomas Paul Lyons, Trustee, Owners Of The Property Shown And Described Hereon, Hereby Adopt This Plan Of Subdivision, And In Consideration Of The Approval Of This Final Plat By The Department Of Planning And Zoning, Establish The Minimum Building Restriction Lines And Grant Unto Howard County, Maryland, Its Successors And Assigns, (1) The Right To Lay, Construct And Maintain Sewers, Drains, Water Pipes And Other Municipal Utilities And Services In And Under All Roads And Street Rights-Of-Way And The Specific Easement Areas Shown Hereon; (2) The Right To Require Dedication For Public Use The Beds Of The Streets And/Or Roads And Floodplains And Open Space Where Applicable And For Good And Other Valuable Consideration, Hereby Grant The Right And Option To Howard County To Acquire The Fee Simple Title To The Beds Of The Streets And/Or Roads And Floodplains, Storm Drainage Facilities And Open Space Where Applicable; (3) The Right To Require Dedication Of Waterways And Drainage Easements For The Specific Purpose Of Their Construction, Repair And Maintenance; And (4) That No Building Or Similar Structure Of Any Kind Shall Be Erected On Or Over The Said Easements And Rights-Of-Way. Witness My Hand This 19th Day Of January, 2007.

Decided 11/24/04  
Robert T. Matthews, Trustee  
Robert T. Matthews Revocable Trust

Decided 1/19/07  
Thomas Paul Lyons, Trustee  
Robert T. Matthews Revocable Trust

**SURVEYOR'S CERTIFICATE**

I Herby Certify To The Best Of My Knowledge, That The Final Plat Shown Hereon Is Correct; That It Is A Subdivision Of All Of The Lands Covered By Robert T. Matthews, Settlor And Robert T. Matthews And Jeanne M. Lyons, Trustee Of The Robert T. Matthews Revocable Trust By Deed Dated March 11, 2003 And Recorded Among The Land Records Of Howard County, Maryland In Liber No. 7029 At Folio 665, And That All Monuments Are In Place Or Will Be In Place Prior To Acceptance Of The Streets In The Subdivision By Howard County, Maryland As Shown In Accordance With The Annotated Code Of Maryland, As Amended, And Monumentation Is In Accordance With The Howard County Subdivision Regulations.

MDR PLAT NO. 18956  
RECEIVED FOR RECORD MAR 29 2007

Terrell A. Fisher, L.S. 10692  
Date 1/19/07

RECORDED AS PLAT NO. 18956 ON AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND.

**CLOVERFIELD**  
Lots 1 - 21, Buildable Preservation Parcel 'A', Non-Buildable Preservation Parcels 'B' - 'E' & Non-Buildable Bulk Parcel 'F'

Zoned RC-DEO  
Tax Map 15 Parcel 4 Grid B  
Third Election District  
Howard County, Maryland

Scale 1" = 50'  
Date November 15, 2006  
Sheet 4 of 7

Vertical Scale: 1 2 3 4 5 6  
Horizontal Scale: 1 2 3 4 5 6

K:\Drawings\310757 Matthews Property\310757 Cloverfield Record Plat composite.dwg, 1/17/2007 2:38:30 PM, 11

3106300 F-06-111 MSA CMA 2125 27144