



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: _____

Permit No.: _____

Building Address: 15308 Dps Hill Ct.
 City: Woodbine State: MD Zip Code: 21797
 Suite/Apt. #: _____ SDP/WP/BA #: _____
 Census Tract: _____ Subdivision: _____
 Section: _____ Area: _____ Lot: _____
 Tax Map: _____ Parcel: _____ Grid: _____
 Zoning: _____ Map Coordinates: _____ Lot Size: _____

Property Owner's Name: VENIA HASSANEIN
 Address: 15308 Dps Hill Ct.
 City: Woodbine State: MD Zip Code: 21797
 Phone: 240-483-7160 Fax: _____
 Email: _____

Existing Use: SFD
 Proposed Use: SFD WITH ADDITION
 Estimated Construction Cost: \$ 160,000
 Description of Work: EXTEND EXISTING KITCHEN 27'X10'
ADD NEW MASTER CLOSET ABOVE - EXTEND EXISTING
SUNROOM 16'X10' AND ENCLOSE UNDER EXISTING AND
OCCUPANT OR TENANT: NEW SUNROOM 45'X16'
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: SUNQUEST, INC
 Contact Person: MIKE FRALAN
 Address: 2902 BACK ALLEN CIR
 City: MT. AIRY State: MD Zip Code: 21791
 License No.: 48477
 Phone: 301-829-1313 Fax: 301-829-1511
 Email: MIKE@MARYLANDSUNROOMS.COM

Engineer/Architect Company: _____
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	Depth	Width
Gross area, sq. ft./floor:	1 st floor:	
	2 nd floor:	
Area of construction (sq. ft.):	Basement:	
	<input type="checkbox"/> Finished Basement	
Use group:	<input type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms:	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Grading Permit Number: _____	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: [Signature] Print Name: Michael Fralan
 Email Address: MIKE@MARYLANDSUNROOMS.COM Date: 4/15/15
 Title/Company: Passiveair / Sunquest

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
 -FOR OFFICE USE ONLY-

AGENCY	DATE	SIGNATURE OF APPROVAL	DPZ SETBACK INFORMATION	Filing Fee	\$
State Highways			Front:	Permit Fee	\$
Building Officials			Rear:	Tech Fee	\$
PSZA (Zoning)			Side:	Excise Tax	\$
PSZA (Engineering)			Side St.:	PSFS	\$
Health	<u>4/29/15</u>	<u>H. Oswald</u>	All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No	Guaranty Fund	\$
			Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No	Add'l per Fee	\$
			Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No	Total Fees	\$
			Lot Coverage for New Town Zone:	Sub- Total Paid	\$
			SDP/Red-line approval date:	Balance Due	\$
				Check	#

April 2, 2015

Michael Davis
Deputy Director /Howard County Well & Septic
8930 Stanford Boulevard
Columbia, MD 21045

RE: Waiver request
Hassanein Residence
15308 Doe Hill Ct.
Woodbine MD 21797

4/20/15
Approved
Smith J. Davis

Dear Mr. Davis,

We are constructing a sunroom and kitchen extension on our home. I am requesting a waiver to the set back limit to the septic tank so that we may proceed with obtaining the necessary building permits.

There is an existing permitted sunroom on our home which is elevated approximately 8' above grade. This sunroom is currently 76" +/- from our current septic tank. We intend to enclose under this existing sunroom and extend the elevated current sunroom approximately 15' on the opposite side from the current tank location. (we are also extended our kitchen approximately 9' which is well away from the tank) We met with Hank Oswald from your department and he informed us that we would need to request this waiver because we were now enclosing below the existing sunroom which would put us inside the 10' minimum requirement.

This new enclosure beneath the existing sunroom will be built on a monolithic concrete slab. Given that it is under the current sunroom all of the excavation work will be done by hand. We clearly know where the existing tank is so there is no potential of damage to the tank or the drain lines as they exit the house and the tank beyond the foot print of the new slab area. The existing septic system has functioned without issue and the result of this construction will not add any further usage to our current septic system.

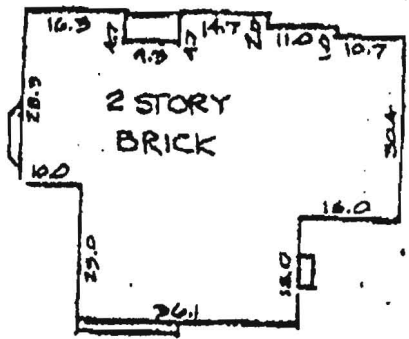
Feel free to contact me with further questions. 240-483-7160

Sincerely,



Yehia Hassanein

THIS LOCATION DRAWING IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY, OR ITS AGENTS, IN CONNECTION WITH FINANCING THE PROPERTY LINES OR THE CONSTRUCTION OF IMPROVEMENTS SUCH AS FENCES, GARAGES, OR BUILDING ADDITIONS. THIS DRAWING SHOWS THE CONFIGURATION AS CURRENTLY RECORDED, BEING SUFFICIENT FOR SETTLEMENT PURPOSES, BUT BEING INSUFFICIENT FOR THE SETTING OF PROPERTY CORNER PINS ON THE GROUND.



FOUNDATION DETAIL
SCALE: 1" = 30'

3/7/01 (ML)
PROPOSED DECK
OK, LEAVES LOT 32
7-10' TO EX.
SEPTIC
TRENCH

Proposed Kitchen
Extension + Sunroom
Extension -
Kitchen = 27' x 10'
Sunroom = 16' x 10'

24' PRIVATE
USE - 11 - COMM
INGRESS/EGRESS
EASEMENT FOR
LOTS 30 THRU 31
AND LOT 17 IN
WELLINGTON WEST
SECTION AREA 1

19' WIDE ASPH. D/W
Site plan approved
for proposed kitchen extension
& sunroom extension +
sunroom enclosure under
existing.

Proposed Sunroom
(Enclose under existing)
45' x 16'

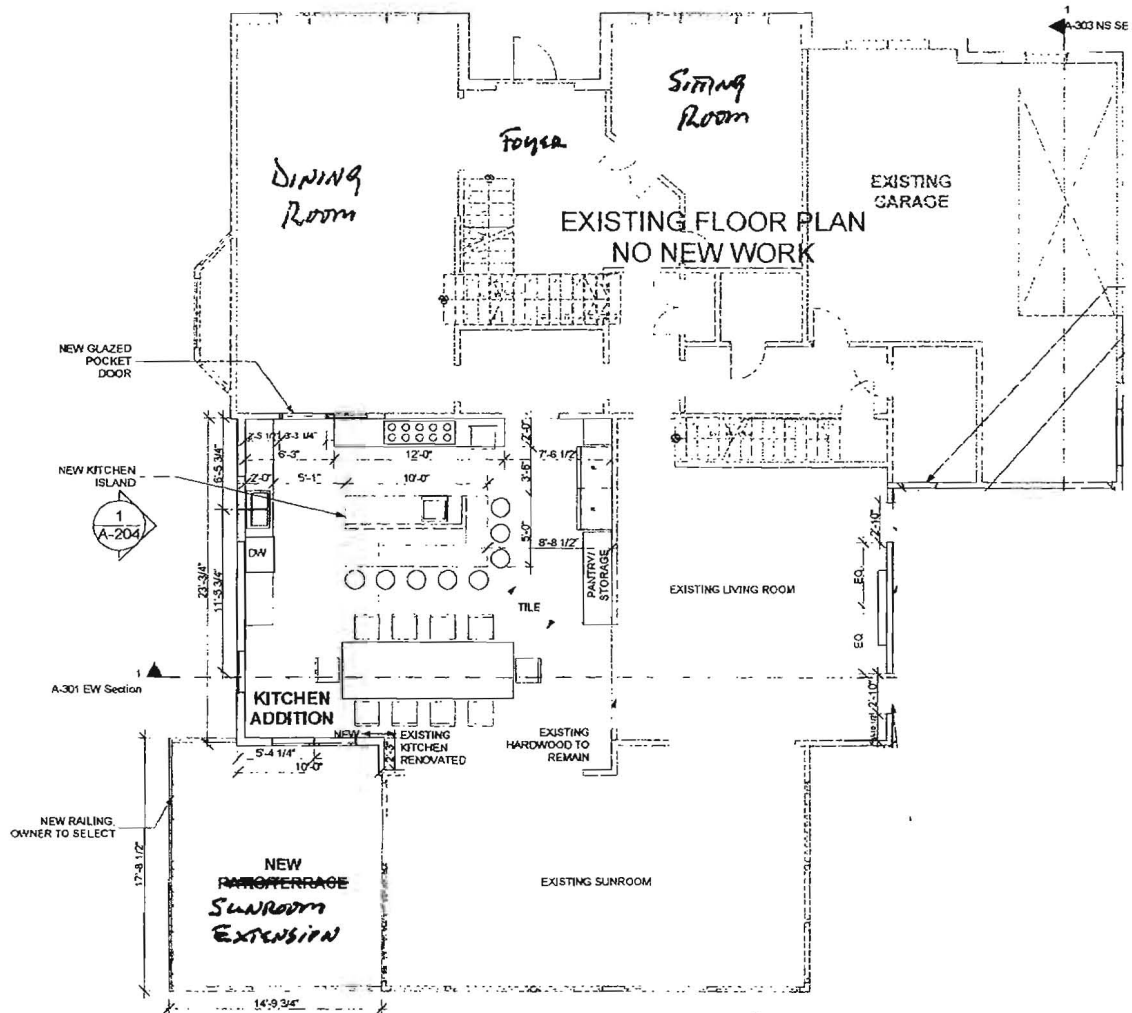
PARCEL 237
PLAT No 6738
LOT 1

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE LOCATION DRAWING SHOWN HEREON IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT THE IMPROVEMENTS HAVE BEEN LOCATED AS THE RESULT OF A FIELD SURVEY, AND THAT THERE ARE NO VISIBLE ENCROACHMENTS UNLESS SHOWN. THE PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA ON THE FEMA F.I.R.M. IDENTIFIED BELOW, AT THE

1" = 60'

1
A-201



1
A-202

1st FLOOR

**SUSTAINABLE
DESIGN GROUP**

22923 WILDCAT RD
GAITHERSBURG, MD
20882

301 428 1040

CONSULTANTS

**STRUCTURAL
ENGINEERING
UNLIMITED, LLC**

1380 URBANA PKE, SUITE 101
HANOVER, MD 21754
PH: 410-442-4400



**YEHIA
HASSANEIN
RESIDENCE**

15308 DOE HILL, C.T
WOODBINE, MD 21797

MARK	DATE	DESCRIPTION
	3/1/12	REVISIONS
	1/24/12	REVISIONS
	1/22/11	HWA REVS
	1/18/11	"W ELEV REV
	1/18/11	STRUCT REVS
	10/14/11	PERMIT
	9/29/11	PRELIM REVS
	9/27/11	PRELIM STRUCT
	9/14/11	PRELIMINARY

PROJECT NO:
MODEL FILE:

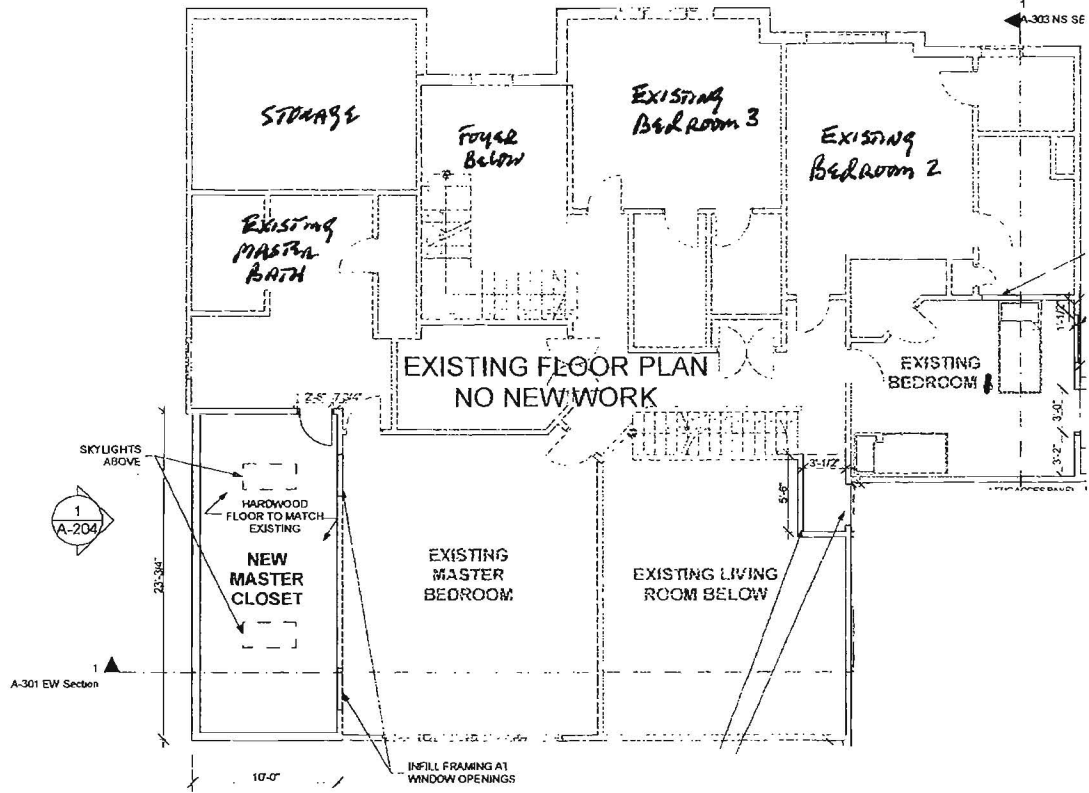
CHKD BY: JOHN SPEARS
DRAWN BY: AUDRA HARLEMAN
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SHEET TITLE

FIRST FLOOR
PLAN: NEW WORK

A-102

1
A-201



1
A-202

SUSTAINABLE DESIGN GROUP

22923 WILCAT RD
GAITHERSBURG, MD
20882

301 428 1040

CONSULTANTS

STRUCTURAL ENGINEERING UNLIMITED, LLC

3220 URBANA PIKE, SUITE 101
HAMPSHIRE, MD 21754
PH 410-442-1400



YEHIA HASSANEIN RESIDENCE
15308 DOB HILL CT
WOODBRINE, MD 21797

MARK	DATE	DESCRIPTION
	3/1/12	REVISIONS
	1/23/12	REVISIONS
	1/23/11	HOM REVS
	11/18/11	W ELEV REV
	1/18/11	STRUCT REVS
	10/14/11	PERMIT
	9/29/11	PRELIM REVS
	9/27/11	PRELIM STRUCT
	9/14/11	PRELIMINARY

PROJECT NO:
MODEL FILE:
CHKD BY: JOHN SPEARS
DRAWN BY: AUDRA HARLEMAN
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SHEET TITLE
SECOND FLOOR PLAN: NEW WORK

A-103

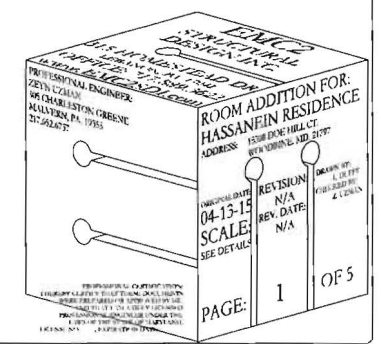
CONVENTIONAL CONSTRUCTION
BASEMENT: GAMEROOM ENCLOSURE, STORAGE AREA
MAIN FLOOR: SUNROOM EXTENSION, KITCHEN EXTENSION
SECOND FLOOR: MASTER CLOSET EXTENSION
(CONDITIONED)

CLIMATIC AND GEPGRAPHIC DESIGN CRITERIA										
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE SHEILD UNDERLYMENT REQUIRED	FLOOD HAZARD	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
			WEATHERING	FRYTY LINE DPTH	TURBULENCE					
NO PSF	115.8	B	SEVERE	24"	MOD. TO HEAVY	SLIGHT TO MOD.	15	YES	YES	50

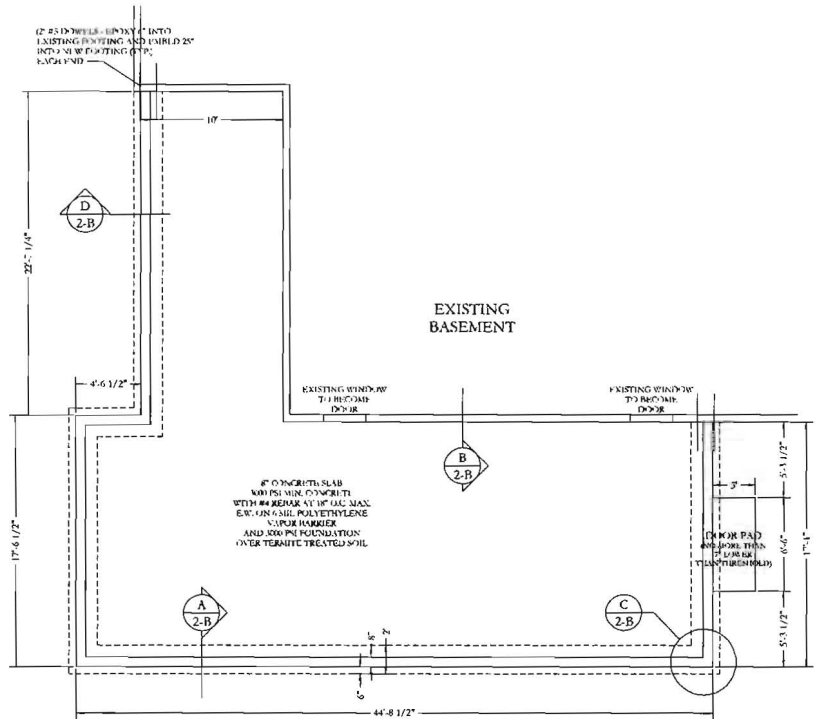
GENERAL NOTES

- A. WOOD**
- ALL LUMBER ON OR BELOW GRADE WITHIN 18" OF FINISHED GRADE SHALL BE DIRECTLY BEARING ON CONCRETE OR MASONRY SHALL BE ACQ PRESSURE TREATED SOUTHERN YELLOW PINE #2 GRADE
 - ALL LUMBER ABOVE GRADE (NON-DECKING) SHALL BE SOUTHERN YELLOW PINE #2 GRADE
 - ALL FRAMING LUMBER SHALL BE HEM-FIR #2 GRADE OR EQUIVALENT
 - WOOD STRUCTURAL PANELS SHALL BE 1/2" MIN. THICKNESS, EXPOSURE 1 STRUCTURAL SHEATHING
 - IN ALL INSTANCES WHERE ALUMINUM COMES INTO CONTACT WITH PRESSURE TREATED WOOD, PROVIDE DIELECTRIC SEPARATION
- WARNING:** DRILLING, SAWING, SANDING OR MACHINING WOOD PRODUCTS GENERATES WOOD DUST, A SUBSTANCE KNOWN TO CAUSE CANCER. AVOID INHALING WOOD DUST, OR USE A DUST MASK OR OTHER SAFEGUARDS FOR PERSONAL PROTECTION.
- DECKING:**
- ALL EXTERIOR DECKING SHALL BE ACQ PRESSURE TREATED SOUTHERN YELLOW PINE #2 GRADE
 - ALL INTERIOR DECKING SHALL BE ACQ PRESSURE TREATED SOUTHERN YELLOW PINE #2 GRADE OR HEM-FIR #2 GRADE OR EQUIVALENT
 - FLOOR LOAD: 10 PSF DEAD LOAD, 40 PSF LIVE LOAD
 - DEFLECTION: L/360
 - FLOOR SHEATHING SHALL CONSIST OF A MINIMUM OF 1 LAYER OF 3/4" CDX EXTERIOR PLYWOOD
 - FINISH PLYWOOD TO FRAMING WITH 8d GALVANIZED NAILS AT 6" O.C. ALONG PANEL EDGE AND 12" ON INTERMEDIATE FRAMING
 - SOIL BEARING PRESSURE SHALL BE A MINIMUM OF 1500 PSF
- B. CONCRETE:**
- ALL CONCRETE GRADE BEAMS AND FOOTING SHALL BE 3000 PSI MIN. 12"x24" DIMENSIONS
 - ALL CONCRETE FILLED SUPPORTED SLABS SHALL BE 3000 PSI MIN., 4" MIN. THICKNESS
 - FIBERMESH (3/4" PER CUBIC YARD MIN.) MEETING APPROPRIATE ACI AND ASTM REQUIREMENTS MAY BE USED IN LIEU OF WELDED WIRE MESH
 - ALL SLABS ON GRADE SHALL BE 4" THICK WITH FIBERMESH ON 6 MIL POLYETHYLENE VAPOR BARRIER
 - ALL REINFORCING SHALL BE GRADE 50 (50 KSI MIN.) DEFORMED BARS, #3 BARS MAY BE GRADE 40
 - ALL OVERPOUR CONCRETE FILLED SUPPORTED SLABS SHALL BE 3000 PSI MIN., 2" MIN. THICKNESS
 - SOIL BEARING PRESSURE SHALL BE A MINIMUM OF 1500 PSF
- C. ALUMINUM**
- ALL STRUCTURAL ALUMINUM CONFORMS TO THE MINIMUM REQUIREMENTS OF 6005-T5 FOR ALLOY AND TEMPER EXCEPT AS NOTED BELOW:
 GREAT ROOM 12 RIDGE BEAM.....6063-T6
 CORNER COLUMN.....6063-T6
 H-COLUMN.....6105-T5
 - ALL STRUCTURAL ALUMINUM WORK CONFORMS TO PART 1-A - SPECIFICATIONS FOR ALUMINUM STRUCTURES - ALLOWABLE STRESS DESIGN OR PART 1-B - SPECIFICATIONS FOR ALUMINUM STRUCTURES - BUILDING LOAD AND RESISTANCE FACTOR DESIGN OF THE ALUMINUM ASSOCIATION, INC. SEVENTH EDITION, EFFECTIVE JANUARY 2000
 - IN ALL INSTANCES WHERE ALUMINUM COMES INTO CONTACT WITH STEEL OR PRESSURE TREATED LUMBER PROVIDE DIELECTRIC SEPARATION
 - ALL ALUMINUM MUST NOT HAVE DIRECT CONTACT WITH CONCRETE.
 - ALL FLASHING SHALL BE CORROSION RESISTANT IN ALL AREAS
- D. GLASS**
- GLASS UNITS CONSISTS OF TWO PAGES OF 1/8" THICK TEMPERED GLASS WITH A 5/8" STAINLESS STEEL SPACER BETWEEN PAGES WITH AN ARGON FILL
 - GLASS CONFORMS TO ASTM E1300.
 - ALL CLEAR ROOM ROOF GLASS HAS THE FOLLOWING MINIMUM PROPERTIES:
 ASHRAE WINTER R VALUE = 2.9
 ASHRAE WINTER R VALUE = 4.0
 *AS PER FOUR SEASONS SUNROOMS GLASS SPECIFICATIONS
- ROOF AND SOLID WALL PANELS**
- ALUMINUM PANEL SKIN IS ALLOY 3105-H14/H24 AND IS 0.024" THICK MIN.
 - PANEL CORE FOAM IS PREFORMED EXPANDED POLYSTYRENE BOARD (EPS) WITH A NOMINAL DENSITY OF 1.5 POUNDS PER CUBIC FOOT UNLESS OTHERWISE NOTED
 - PANEL COMPONENTS ARE BONDED TOGETHER BY MORD M-840 SERIES
 - THE 4" THICK 0.024" ALUMINUM SKIN 1.5PCF FOAM DENSITY PANELS MEET THE CONDITIONS OF ACCEPTANCE COMPLYING WITH UL713.
 - PANELS HAVE THE FOLLOWING MINIMUM PROPERTIES:
 3" (1.0 PCF FOAM DENSITY) 3" (1.5 PCF FOAM DENSITY)
 U-VALUE = 0.07 U-VALUE = 0.07
 R-VALUE = 13.4 R-VALUE = 14.5
- E. SEALANT**
- ALL SEALANT CONFORMS TO TT-S-001543-A, TT-S-002306, ASTM C-920 TYPE S, GRADE NS, CLASS 25.
- F. GASKETS**
- ALL GASKETS ARE CO-EXTRUDED AND ARE NON-MIGRATORY.
- G. BUILDING SPECIFICATIONS**
- SMOKE DETECTORS TO BE INSTALLED PER IRC E013
 - FIRE BLOCKING SHALL BE PROVIDED PER IRC SECTION R802.8
 - WATER RESISTANT GYPSUM BOARD TO BE INSTALLED AROUND BATHTUBS AND SHOWERS
 - PROVIDE A MIN. OF 21" WALKING SPACE IN FRONT OF ALL PLUMBING FIXTURES IN BATHROOMS AND 14" X 30" ACCESS PANEL AT THE CONNECTIONS WHERE REQUIRED BY LOCAL CODE. ALL SHOWER STALLS SHALL HAVE A MIN. FINISHED AREA OF 102.4 SQM. WITH A MIN. OF 30" IN EACH DIRECTION.
 - BATHROOMS WITH NO WINDOWS SHALL BE VENTED TO THE EXTERIOR OF THE BUILDING
 - ATTIC SPACES SHALL BE VENTILATED WITH RIDGE AND SOFFIT VENTS PER MIN. CLASS U.O.M.
 - ROOFING MATERIAL SHALL BE A MIN. OF CLASS C
 - ALL FLASHING SHALL BE CORROSION-RESISTANT
 - INSULATION REQUIREMENTS PER CHAPTER 11, ENERGY EFFICIENCY, 2015 IRC OR REQUIREMENTS OF THE IECC FOR RESIDENTIAL BUILDINGS. COMPLIANCE METHOD WILL BE BY TOTAL ENVELOPE PERFORMANCE AS SPECIFIED IN SECTION R02.2.2 OF THE IECC. R-VALUES SHOWN ARE MIN. AND MAY BE INCREASED PER ENERGY CALCULATION REQUIREMENTS (BY OTHERS)
 - CEILING INSULATION R-VALUE: 38 MIN.
 EXTERIOR WALL INSULATION R-VALUE: 21 MIN.

- H. FASTENERS**
- ALL LAG BOLTS SHALL CONFORM TO STAINLESS STEEL TYPE 300 10-8, WITH STANDARD FLAT WASHER UNLESS MANUFACTURER GALVANIZED BOLTS SPECIFIED FOR USE WITH ACQ PRESSURE TREATED WOOD
 - HEX BOLTS HAS BE ASTM A325, PLATED WITH STANDARD FLAT WASHERS AND NUTS
 - ALL CONCRETE SCREWS SHALL BE 1/4" X 2 1/2 MIN. SIMPSON, HILL, RAWL, TAPCON, REDHEAD, DYNABOLT, OR APPROVED EQUAL
 - ALL METAL TIES AND ASSOCIATED ACCESSORIES SHALL BE HOT DIPPED GALVANIZED
 - ALL LAG BOLTS SHALL HAVE A MINIMUM EMBEDMENT OF 8x BOLT DIAMETER INTO STRUCTURAL FRAMING (6x42 MIN.)
 - LAG BOLTS AND SCREWS INTO WOOD FRAMING SHALL BE PROVIDED WITH PILOT HOLES HAVING A DIAMETER NOT GREATER THAN 70 PERCENT OF THE THREAD DIAMETER OF THE BOLT OR SCREW. ALL LAG BOLTS AND SCREWS SHALL BE INSERTED IN PILOT HOLES BY TURNING AND UNDER NO CIRCUMSTANCES BY DRIVING WITH A HAMMER
 - ALL EXPANSION ANCHORS SHALL BE DESIGNED IN ACCORDANCE WITH THE SPECIFIC MANUFACTURER'S REQUIREMENTS AND ALLOWABLE LOADS AND SHALL ONLY BE APPLIED IN CONDITIONS ACCEPTABLE TO MANUFACTURER
 - ALL FASTENERS CONNECTING ALUMINUM COMPONENTS OR PRESSURE TREATED LUMBER ARE STAINLESS STEEL TYPE 300 10-8 UNLESS MANUFACTURER GALVANIZED BOLTS SPECIFIED FOR USE WITH ACQ PRESSURE TREATED WOOD, OR OTHERWISE NOTED
 - ALL FASTENERS SHALL COMPLY WITH ASTM A153
 - ALL CONNECTORS SHALL COMPLY WITH ASTM A553 CLASS C-185
- I. SITE PREPARATION**
- ALL FOUNDATION SYSTEMS MUST BE IN PLACED ON CLEAN, COMPACTED, TERMITES-TREATED FILL/SOIL WITH VAPOR BARRIER
 - IF EXISTING FOUNDATION IS TO REMAIN, FOOTING AND SLAB MUST BE VERIFIED AS ADEQUATE PER ENGINEERING DOCUMENTATION
 - IF EXISTING FOUNDATION HAS ADEQUATE FOOTING AND SLAB, DRILL (12" O.C.) AND TRENCH WITHOUT UNDERCUTTING FOOTING TO PROVIDE TERMITES-TREATMENT AS REQUIRED. EPOXY PATCH ALL OPENINGS
- J. REFERENCE STANDARDS:**
- ASTM E 119
 ASTM E 1300
 ASCE 7
- K. DESIGN LOADS**
- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH AND MEETS THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2012, INTERNATIONAL RESIDENTIAL CODE, 2012
- DEAD LOAD (ROOF): 10 PSF
 - DEAD LOAD (WALLS): 8 PSF ALUMINUM SUNROOM, 10 PSF CONVENTIONAL AREAS
 - DEAD LOAD (FLOORING): 10 PSF
 - FLOOR LOAD: 40 PSF
 - BASIC WIND SPEED: 115 MPH
 - IMPORTANCE FACTOR: 1.0
 - WIND EXPOSURE CATEGORY: B
 - VELOCITY PRESSURE EXPOSURE COEFFICIENT: D.7
 - INTERNAL PRESSURE COEFFICIENT: +/-0.18 ENCLOSED DESIGN
 - GUST EFFECT FACTOR: 0.85
 - DIRECTIONALITY FACTOR: 0.85
 - DESIGN WIND PRESSURE:
 WALL: 17.32 PSF
 ROOF (UPWIND): 19.05 PSF
 - GROUND SNOW LOAD: 30 PSF MIN.
 - EXPOSURE FACTOR: 1.0
 - THERMAL FACTOR: 1.2
 - IMPORTANCE FACTOR: 1.0
 - SLOPE FACTOR: 1.0 (WORST CASE)
 - STANDARD REDUCTION: 0.7
 - DESIGN ROOF LOAD: 25 PSF MIN.
 - DRIFT LOAD: 35 PSF OVER 6'-0" PROJECTION
- L. ABBREVIATIONS**
- THE FOLLOWING LIST OF ABBREVIATIONS IS NOT INTENDED TO REPRESENT ALL THOSE USED ON THESE DRAWINGS, BUT TO SUPPLEMENT THE MORE COMMON ABBREVIATIONS USED:
- TYP. - TYPICAL
 - SDM - SIMILAR
 - UN - UNLESS OTHERWISE NOTED
 - CONT. - CONTINUOUS
 - V.I.F. - VERIFY IN FIELD
- M. RESPONSIBILITY**
- ALL SITE WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH APPLICABLE BUILDING CODES, LOCAL ORDINANCES, ETC.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS, NOTIFYING ENGINEER OF ANY DISCREPANCIES BETWEEN DRAWINGS, FABRICATED ITEMS, OR ACTUAL FIELD CONDITIONS
 - THESE DRAWINGS REPRESENT THE ACCEPTABILITY OF THE ADDITIONS ELEMENTS AS PROVIDED BY THE CONTRACTOR
 - ALL DETAILS ON THESE DRAWINGS ARE ENGINEERED BASED ON INFORMATION PROVIDED BY THE CONTRACTOR
 - ALL ELECTRICAL PLANS ARE SCHEMATIC ONLY. THESE PLANS REPRESENT THE DESIGN INTENT FOR ROOM LOCATIONS. ADDITIONAL WORK, IF REQUIRED, SHALL BE PROVIDED BY A LICENSED ELECTRICAL SUBCONTRACTOR OR ENGINEER.
 - REFER TO FOUR SEASONS SUNROOMS SHOP DRAWINGS FOR FURTHER DETAILS FOR THE SUNROOM WALL SYSTEM
 - ANY DETAILS NOT SHOWN ARE TO BE ENGINEERED IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICES
- N. MISCELLANEOUS**
- ADDITIONS ARE NOT TO BE INSTALLED ON A MANUFACTURED HOME TRAILER
 - HOWS OR PRE-PAB HOWS IF THE EXISTING STRUCTURE IS ONE OF THESE, A SEPARATE SUPPORT SYSTEM MUST BE ENGINEERED SO THAT NO ADDITIONAL LOADING IS PLACED ON THE STRUCTURE.



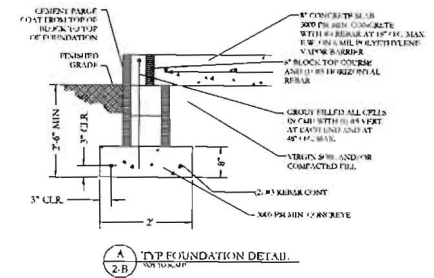
These plans are the property of EMC2 Structural Design, Inc. Any use or reproduction of these plans, in whole or in part, without the written permission from EMC2 Structural Design, Inc. is forbidden. Plans not valid without original engineer signature. Plans are not for use as "Generic" or "Master" Plans.



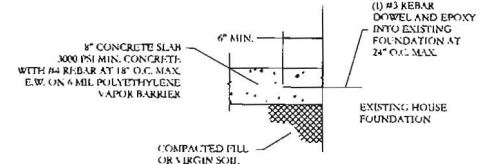
ALL CONDITIONS/DIMENSIONS TO BE VERIFIED IN THE FIELD

SCALE:
1" = 4'

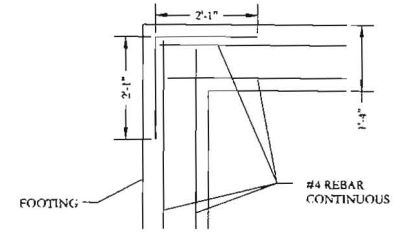
FOUNDATION LAYOUT



A TYP. FOUNDATION DETAIL
04/13/11



B TYP. SLAB CONNECTIONS TO EXISTING FOUNDATION
04/13/11



C TYP. FOOTING CORNER DETAIL
04/13/11

EMC2 STRUCTURAL DESIGN, INC.
PROFESSIONAL ENGINEER
CENTRO COMPANY
380 CALAMITAS BLVD. SUITE 200
MILL VALLEY, CA 94541
TEL: 925.938.2200
WWW.EMC2STRUCTURALDESIGN.COM

ROOM ADDITION FOR HASSANIN RESIDENCE
15740 FROM THE LAKE
ADDRESS: WOODBURN, AND 2197

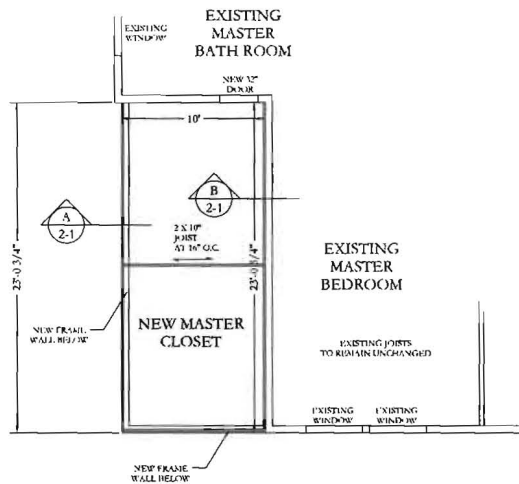
DATE: 04-13-11
SCALE: SEE DETAILS

REVISION: N/A
REV. DATE: N/A

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 4/13/11

PAGE: **2-B** OF 5

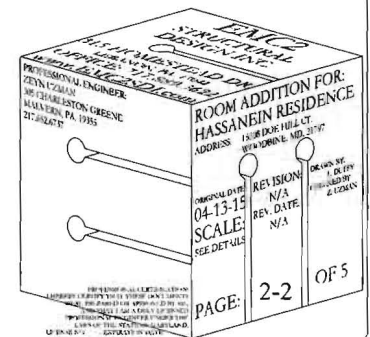
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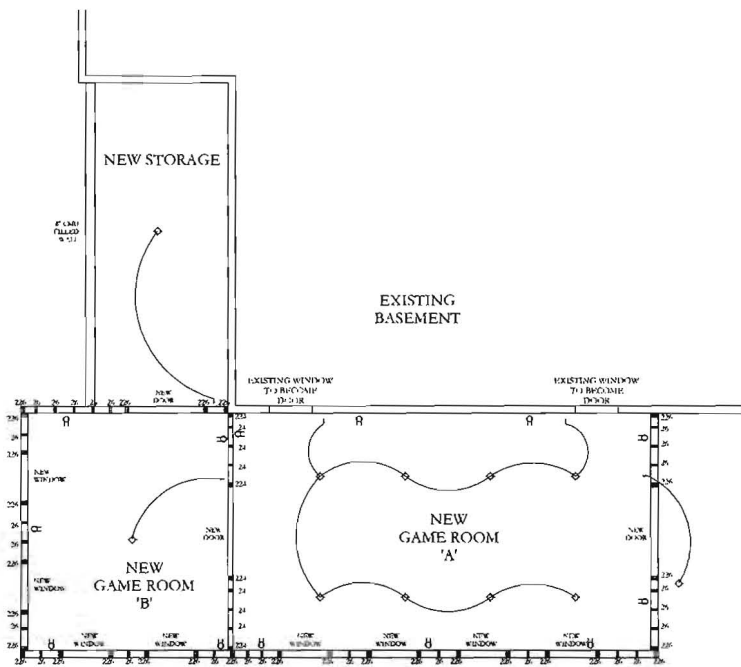


ALL CONDITIONS/DIMENSIONS
TO BE VERIFIED IN THE FIELD

SCALE:
1" = 4'

SECOND FLOOR
LAYOUT





BASEMENT

FLOOR PLAN AND ELECTRICAL PLAN

ALL CONDITIONS/DIMENSIONS TO BE VERIFIED IN THE FIELD

SCALE:
1" = 4'

NOTES:

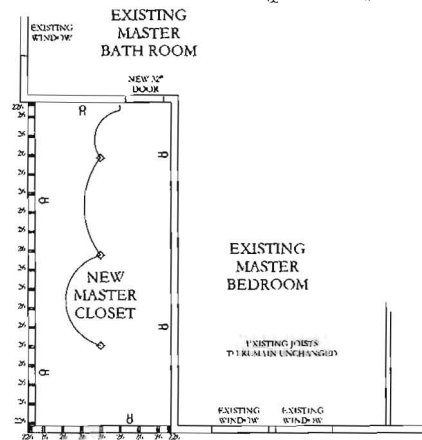
1. THIS ELECTRICAL LAYOUT HAS BEEN DESIGNED IN ACCORDANCE WITH, AND MEETS THE REQUIREMENTS OF THE 2011 NEC.
2. OUTLETS SPACED AT 6" MAX FROM EACH DOOR, AND 12" MAX BETWEEN.
2. ALL KITCHEN AND SUNROOM CIRCUITS MUST BE GFCI.

MEMBER LEGEND

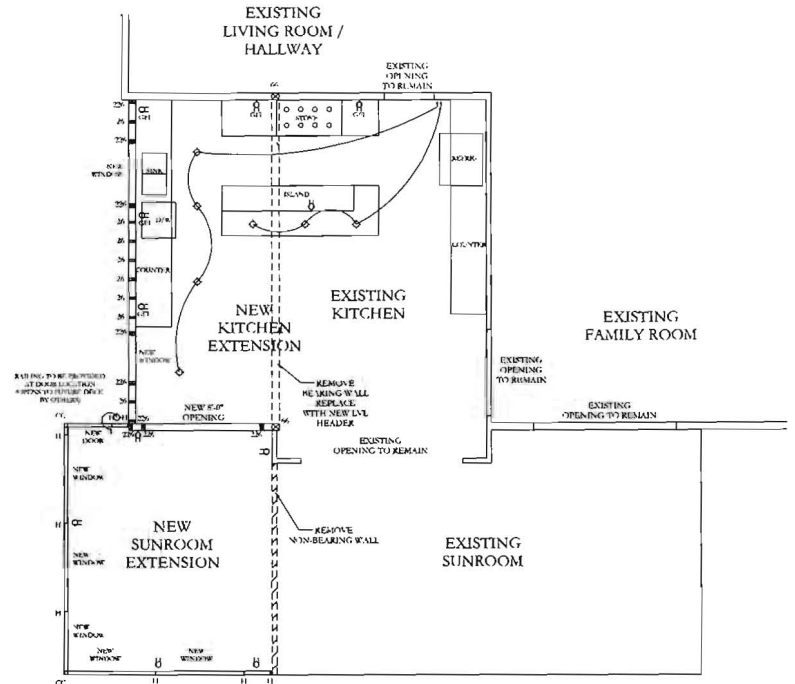
- 24 - 2 X 4" WOOD STUD COLUMN
- 224 - (2) 2 X 4" WOOD STUD COLUMN
- 26 - 2 X 6" WOOD STUD COLUMN
- 226 - (2) 2 X 6" WOOD STUD COLUMN
- 66 - 6 X 6" WOOD POST
- H - ALUMINUM H COLUMN
- CC - ALUMINUM CORNER COLUMN

ELECTRICAL LEGEND

- ⊖ 110 VOLT OUTLET
- ⊙ LIGHT FIXTURE
- ⚡ SWITCH



SECOND FLOOR



FIRST FLOOR

EMC2 STRUCTURAL DESIGN, INC.
 211 AND 100 BROADWAY
 2ND FLOOR
 PHILADELPHIA, PA 19102
 (215) 562-1000
 WWW.EMC2SD.COM

PROFESSIONAL ENGINEER
 ZEVIN LYMAN
 1500 CHESTNUT GROVE
 MALDEN, PA 17325
 217-461-0777

**ROOM ADDITION FOR:
 HASSANEIN RESIDENCE**
 ADDRESS: 1500 CHESTNUT CT.
 CITY/STATE: MD 21777

ORIGINAL DATE: 04-13-11
 SCALE: SEE DETAILS

REVISION: N/A
 REV. DATE: N/A

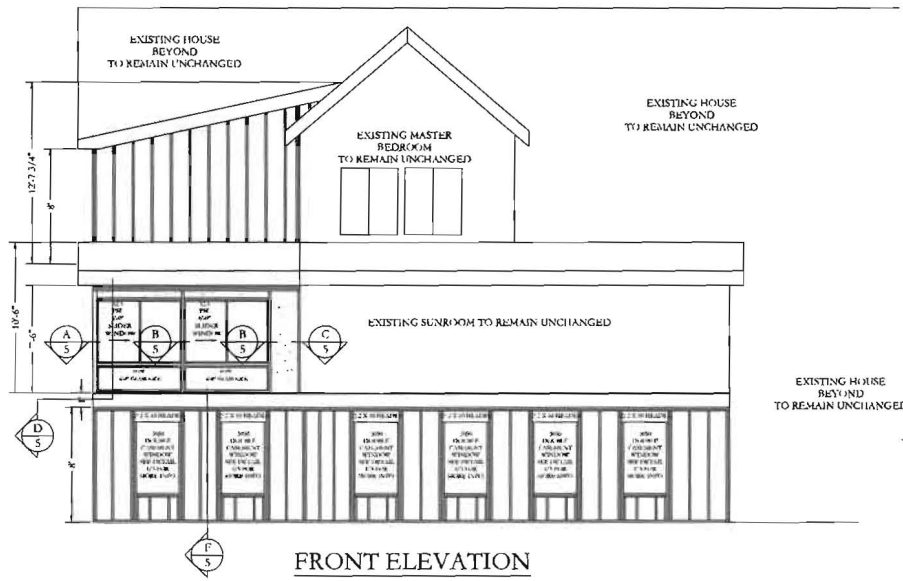
DESIGNED BY: ZEVIN LYMAN
 CHECKED BY: J. VERMA

PAGE: 3 OF 5

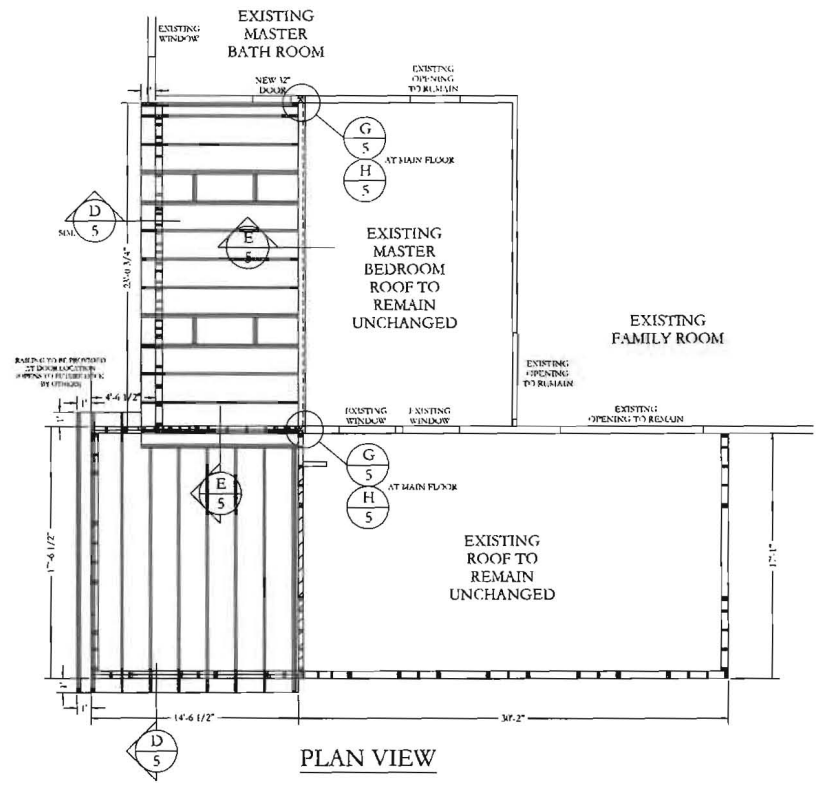
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- NOTES:**
- 1.-ALL CONDITIONS/DIMENSIONS TO BE VERIFIED IN THE FIELD.
 - 2.-ACTUAL FILL MAY DIFFER FROM AMOUNT SHOWN.
 - 3.-ROOM IS TO BE HEATED

SCALE:
1" = 4'



FRONT ELEVATION



PLAN VIEW

EMC2 Structural Design, Inc.
Professional Engineer
2525 Lyell Ave.
Malvern, PA 19355
215-667-1100

**ROOM ADDITION FOR:
HASSANEIN RESIDENCE**
ADDRESS: 4500 D'NE HILL CT
MILFORD, OHIO 45137

PROFESSIONAL ENGINEER
04-13-13
SCALE: N/A
SEE DETAILS

REVISION: N/A
REV. DATE: N/A

PAGE: 4 OF 5

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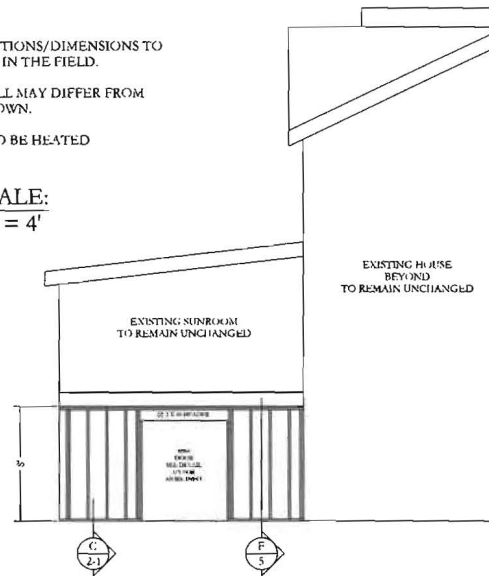


LEFT GABLE ELEVATION

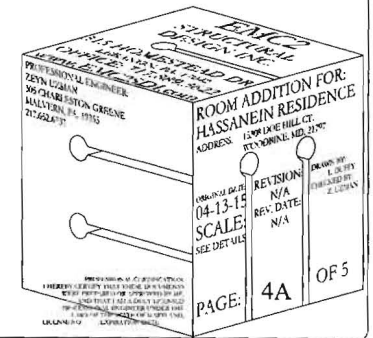
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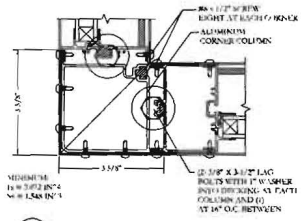
1. ALL CONDITIONS/DIMENSIONS TO BE VERIFIED IN THE FIELD.
2. ACTUAL FILL MAY DIFFER FROM AMOUNT SHOWN.
3. ROOM IS TO BE HEATED

SCALE:
1" = 4'

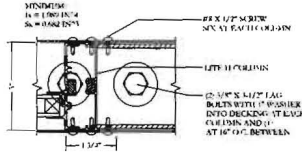


RIGHT GABLE ELEVATION

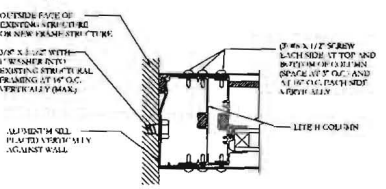




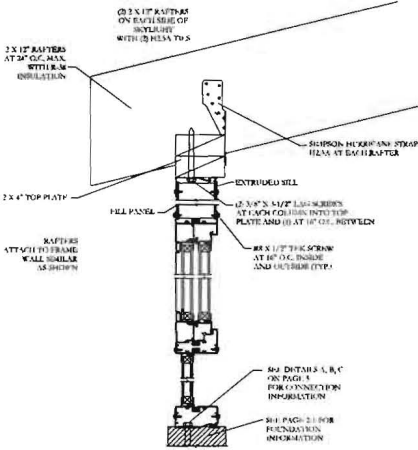
A CORNER POST CONNECTION AT SILL
S4110122



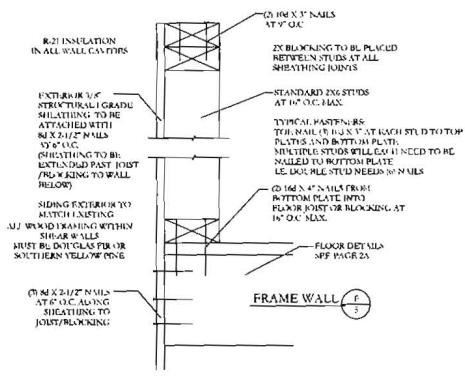
B H COLUMN CONNECTION AT SILL
S4110122



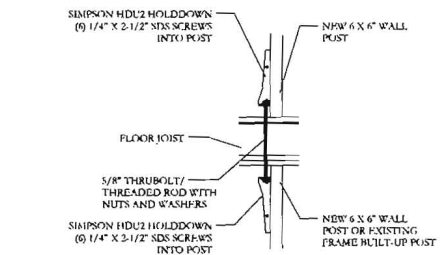
C GABLE ATTACHMENT TO EXISTING STRUCTURE
S4110122



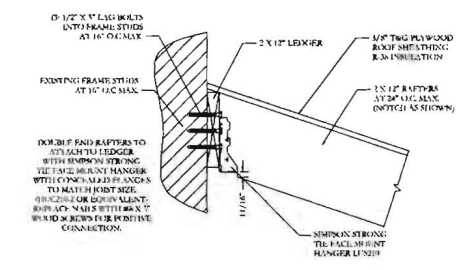
D GLASS PANELS - WINDOW FRAME DETAIL
S4110122



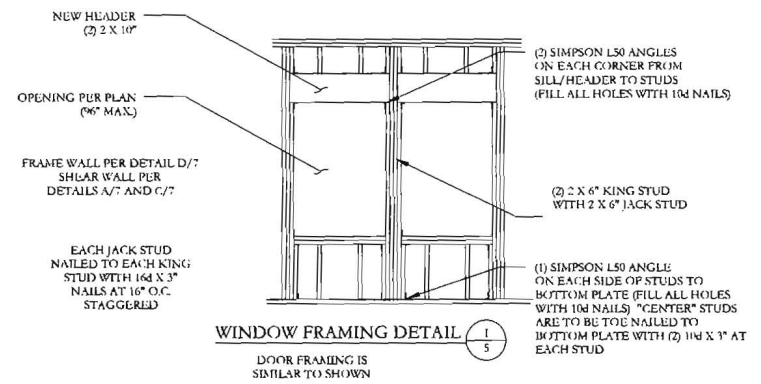
E FRAME WALL
S4110122



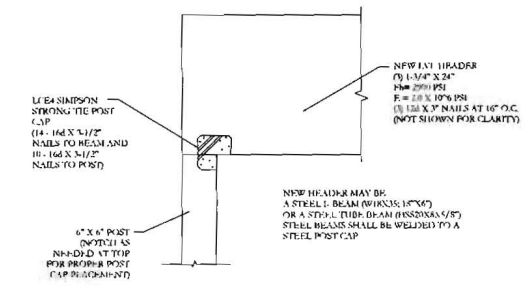
F HOLD-DOWN BETWEEN FLOORS
S4110122



G RAILER TO LEDGER TO WALL
S4110122



H WINDOW FRAMING DETAIL
S4110122



I RIDGE TO POST
NOT TO SCALE

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EAC2
Structural Design, Inc.
Professional Engineer
190 CHERRY ESTABLISHMENT
MILLSBORO, PA. 19966
237-662-6137

**ROOM ADDITION FOR:
HASSANEIN RESIDENCE**
ADDRESS: 1500 W. HILL CT.
MILLSBORO, DE 19966

APPROVAL DATE: 04-13-15
SCALE: SEE DETAILS
PAGE: 5 OF 5

REVISION: N/A
REV. DATE: N/A

DESIGNED BY: EAC2
CHECKED BY: EAC2

