



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 8-6-14
Permit No.: B14002851

Building Address: 2034 DROVERS LN.
City: Cookville State: MD Zip Code: 21723
Suite/Apt. # - SDP/WP/BA #: GP-09-86
Census Tract: _____ Subdivision: VISTA RIDGE
Section: _____ Area: _____ Lot: 10
Tax Map: 8 Parcel: 176 Grid: 23
Zoning: _____ Map Coordinates: 4692-H9 Lot Size: _____

Property Owner's Name: DR HORTON INC.
Address: 1356 BEVERLY RD.
City: McLEAN State: VA Zip Code: 22101
Phone: 571-723-0813 Fax: 800-551-5015
Email: _____

Existing Use: VACANT LOT
Proposed Use: NEW SFD
Estimated Construction Cost: \$ 300,000 (ELEV. H.)
Description of Work: SOMERSET w/4' FAM. RM EXT., REM SUNROOM + 3 CAR GARAGE 2 STORY, FULL BSMT., 13R, 3FB
Occupant or Tenant: 1 HB, FP, & 3 CAR GARAGE
Was tenant space previously occupied? Yes No
Contact Name: 111 (48R)
Address: FIN 4L BSMT. ROL RM
City: _____ State: _____ Zip Code: 208
Phone: _____ Fax: HOWARD COUNTY
Email: FULL BATH RM

Applicant's Name & Mailing Address (if other than stated herein)
Applicant's Name: Vicky Meyer
Address: 1602 PINNACLE RD
City: TOWSON State: MD Zip Code: 21286
Phone: 410-296-6100 Fax: _____
Email: MDBldgPermits@comcast.net

Contractor Company: DR HORTON INC.
Contact Person: MELANIE COOKE
Address: 1356 BEVERLY RD.
City: McLEAN State: VA Zip Code: 22101
License No.: 535
Phone: 571-723-0813 Fax: 800-551-5015
Email: ML.COOKE@DR.HORTON.COM

Engineer/Architect Company: BENCHUNK ENGINEERING
Responsible Design Prof.: JOHN CAMEY
Address: 8480 BATHO N'L PIKE
City: ELICOTT CITY State: MD Zip Code: 21043
Phone: 410-465-6105 Fax: _____
Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories:	Depth Width
Gross area, sq. ft./floor:	1 st floor:
	2 nd floor:
Area of construction (sq. ft.):	Basement:
	<input checked="" type="checkbox"/> Finished Basement
Use group:	<input type="checkbox"/> Unfinished Basement
	<input type="checkbox"/> Crawl Space
	<input type="checkbox"/> Slab on Grade
Construction type:	No. of Bedrooms:
<input type="checkbox"/> Reinforced Concrete	Multi-family Dwelling
<input type="checkbox"/> Structural Steel	No. of efficiency units:
<input type="checkbox"/> Masonry	No. of 1 BR units:
<input checked="" type="checkbox"/> Wood Frame	No. of 2 BR units:
<input type="checkbox"/> State Certified Modular	No. of 3 BR units:
	Other Structure:
	Dimensions:
	Footings:
	Roof:
	<input type="checkbox"/> State Certified Modular
	<input type="checkbox"/> Manufactured Home

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewer Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>G12000277</u>	
Building Shell Permit Number:	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERE TO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: V. Meyer
Email Address: mdBldgPermits@comcast.net
Title/Company: AGENT

Print Name: Vicky Meyer
Date: 8/6/14

CR# 502387

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
PLEASE WRITE NEATLY & LEGIBLY

AGENCY	DATE	SIGNATURE OF APPROVAL
State Highways		
Building Officials		
PSZA (Zoning)		
PSZA (Engineering)		
Health		<u>[Signature]</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DIPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>100</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50</u>
Add'l per Fee	\$
Total Fees	\$
Sub-Total Paid	\$
Balance Due	\$
Check	# <u>502387</u>

SOILS LEGEND		
MAP SYMBOL	SOIL GROUP	SOIL TYPE
GnB2	C	GLENVILLE, SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED
MgC2	B	MANOR GRAVELLY LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED
-	-	-

* INDICATES HYDRIC SOILS
TAKEN FROM SOILS SURVEY, ISSUED JULY 1968, MAP NO. 33



INITIAL SYSTEM		
Number of Bedrooms	5	
Application Rate	0.8	gpd/sf
Effective Area Beginning Depth	6	ft
Bottom Max Depth	9	ft
Design Flow	750	gpd
Drainage Field square footage	937.5	sf
Sidewall reduction credit	0.5	
Trench width	3	
Effective Area Depth	3	
Linear Length of trench Required	156	lf

1st REPLACEMENT SYSTEM		
Number of Bedrooms	5	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	6	ft
Bottom Max Depth	9	ft
Design Flow	750	gpd
Drainage Field square footage	625	sf
Sidewall reduction credit	0.5	
Trench width	3	
Effective Area Depth	3	
Linear Length of trench Required	104	lf

Approved Septic System Plan
Howard County Health Department
Dana Bueced 9-29-14
Signature Date
B14002851

- BUILDING PERMIT PLAN NOTES:**
1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR VISTA RIDGE, PLAT Nos. 22430-22435. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
 2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER A GRADING PLAN AND MODIFIED FOR THIS SPECIFIC HOUSE.
 3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS AND TOPOGRAPHIC INFORMATION PROVIDED BY ACCUBID, INC., ON OR ABOUT JUNE 27, 2013.
 4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
 5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
 6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-95-2385, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
 7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
 8. ANY CHANGES TO A PRIVATE SEWAGE EASEMENT OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
 9. STORMWATER MANAGEMENT FOR THIS LOT WAS DESIGNED TO BE PROVIDED BY BOTH POND #1, A POCKET POND, AND IN POND #2, A MICROPOND ED POND.
 10. THE DRIVEWAY CULVERT REQUIRED FOR THIS LOT, IS SIZED IN ACCORDANCE WITH THE DRIVEWAY CULVERT REPORT SUBMITTED TO DEVELOPMENT ENGINEERING DIVISION IN CONJUNCTION WITH THIS PERMIT PLAN.
 11. THIS PLAN HAS BEEN REVISED TO REFLECT THE LIMITS OF GRADING AS SHOWN ON F-08-136.

BENCHMARK
ENGINEERS • LAND SURVEYORS • PLANNERS
ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE • SUITE 315
ELLCOTT CITY, MARYLAND 21043
PHONE: 410-465-6105 • FAX: 410-465-6644
BEI@BEI-CIVILENGINEERING.COM

OWNER/BUILDER:
DR HORTON, INC.
1356 BEVERLY ROAD
SUITE 300
McLEAN, VA 22101
PHONE: 571-723-0813
FAX: 800-551-5015

PROJECT: **VISTA RIDGE LOT 10**

LOCATION: 2034 DROVERS LANE
COOKSVILLE, MD 21723
TAX MAP No. 8 - BLOCK No. 23 - PARCEL No. 176
4TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

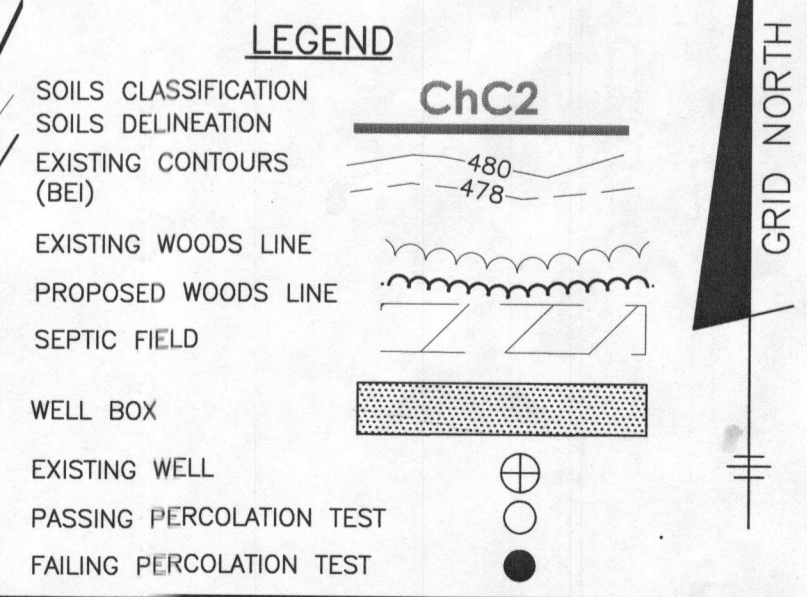
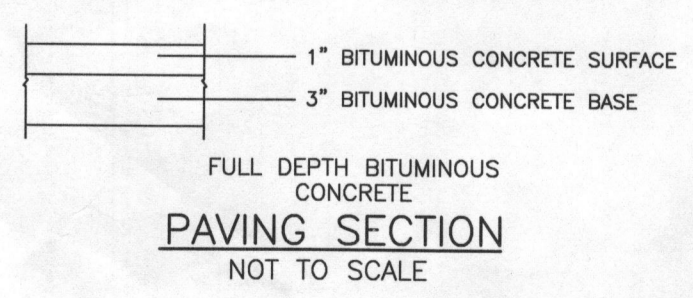
TITLE: BUILDING PERMIT PLAN AND BAT SITE PLAN

HOUSE TYPE: SOMERSET

DATE: JULY 29, 2014	PROJECT NO. 1635
SEPTEMBER 13, 2014	

SCALE: 1" = 30'

DESIGN: JMC	DRAFT: JMC	DRAWING 1 OF 2
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D.R. HORTON CAPITAL DIVISION

#4426 - SOMERSET

Lot 10
2034 Drivers Ln

1 in Basement
4 on 2nd Floor
5 total Bedrooms
LIST OF DRAWINGS

GENERAL REQUIREMENTS

BUILDER, CONTRACTOR, SUB-CONTRACTOR RESPONSIBILITIES
The term Work as used in construction documents shall include all provisions as drawn or specified in these documents as well as other provisions specifically included by the Architect in the form of drawings, specifications, written and other instructions issued by the Architect.

1. Contractor/Builder understands that drawings graphically depict design intent of the project. Locations and dimensions shown on drawings are diagrammatic. Builder/Contractor understands that drawings show the general arrangement, design and extent of Work and are not intended to be scaled for measurements or serve as shop drawings.

2. Contractor/Builder shall properly fabricate, transport, fabricate, install erect, construct and test, finish and supply all labor materials, labor, equipment, apparatus, appurtenances, and all other items and expenses necessary to properly complete the Work in place and ready for operation or use as intended for by the Architect.

3. Contractor/Builder shall be familiar with provisions of all applicable codes, shall ensure compliance with same and shall be responsible for and be required to discover, through exercising care, skill and diligence in reviewing the Construction Drawings, any omissions, and discrepancies and shall bring same to the attention of the Architect prior to construction.

4. By executing the Contract, the Contractor/Builder warrants that he has closely inspected the site and its environs, and has determined to his satisfaction the physical condition of such, furnished himself with the local conditions under which the Work is to be performed, correlated his observations with the requirements of the Construction Drawings, and knows of no other information required to complete the Work as intended for by the Architect, and as per local jurisdiction requirements.

5. If any item or material is not shown or omitted on the drawings, but is otherwise reasonably inferable therefrom, the Contractor shall inform Architect, and be required to furnish and install such item or material which conforms to the type and quality of similar items otherwise established in the Construction Drawings and Specifications.

6. Where a typical detail is shown or indicated on the drawings, that condition shall be representative of and shall constitute the standard for workmanship, materials, and performance for conditions and materials and workmanship throughout corresponding and similar conditions throughout the Work.

7. The Contractor/Builder are responsible for thoroughly examining all drawings, specifications and applicable codes, as well as making all actual measurements and establishing all actual dimensions for each particular type of Work, and for co-ordinating the Work described, and also responsible for determining the exact scope of Work for each section, as well as checking cross references of Work, and any Work excluded from any section.

8. By making substitution of products or procedures in the Work, the Contractor/Builder represents that he has personally investigated the proposed substitute and determined that it is equal or superior in all respects to that specified; represents that he will provide equal or better warranty for the substitution; represents that he will co-ordinate the installation of the approved substitute, making all changes as may be required.

9. Where reference is made in these documents to Builder/Contractor, it shall refer to Builder, General Contractor, and all Sub-Contractors and their employees.

10. Nothing hereunder shall create any contractual relationship between the Architect and any sub-contractor.

11. These documents do not include the necessary components for construction safety, care of adjacent properties during construction, compliance with state and federal regulations regarding safety. Compliance with all safety requirements shall be the Contractor's responsibility. Contractor/Builder shall supervise and direct the Work and be solely responsible for all construction means, methods, techniques and safety procedures, and for coordinating all portions of the Work.

OWNER

D.R. HORTON CAPITAL DIVISION
856 BEVERLY RD., SUITE 300
MCLEAN, VA 22101
703.385.8001
703.385.8002 - FAX

ARCHITECT

KTCY GROUP, INC.
8605 WESTWOOD CENTER DR., SUITE #300
TYSON CORNER, VA 22182
703.922.6116
703.922.6428 - FAX

STRUCTURAL ENGINEER

ALLIANCE STRUCTURAL ENGINEERS, Inc.
12355 SUNRISE VALLEY DRIVE, SUITE 220
RESTON, VA 20191
703.749.7941
703.749.7942 - FAX

CODE INFORMATION

GOVERNING CODE BOOK: IBC 2002 AS AMENDED BY LOCAL JURISDICTION

SQUARE FOOTAGE

AS PER IWB'S STANDARDS
STANDARD FIRST FLOOR: 2,346 SF.
STANDARD SECOND FLOOR: 2,269 SF.
TOTAL: 4,615 SF.

FIRST FLOOR OPTION:
SEAR SANDBOOM: 272 SF.
SIDE SANDBOOM: 1' x 20' = 200 SF.
1' x 20' = 200 SF.

COVER SHEET	
SP1	SPECIFICATIONS
SP2	NOTIFICATIONS
SP3	MONTCOMERY COUNTY CHECKLIST & RESPONSE REPORT
A1	FOUNDATION/BASINMENT PLAN
A2	FIRST FLOOR PLAN
A2A	OPTIONAL FIRST FLOOR PLAN
A3	PARTIAL FLOOR PLAN @ SERV. B
A3A	PARTIAL FLOOR PLAN @ SERV. C
A3B	OPTIONAL SEAR SANDBOOM PLANS
A3C	PARTIAL PLANS @ OPT. SEAR SANDBOOM & FAMILY ROOM EXT.
A3D	PARTIAL PLANS @ OPT. 4'-0" FAMILY ROOM EXT.
A4	FRONT ELEVATION (A&J)
A4A	FRONT ELEVATION (EXIST)
A4B	FRONT ELEVATION (B&B)
A4C	FRONT ELEVATION (SEAR)
A4D	FRONT ELEVATION (C&C)
A4E	FRONT ELEVATION (TYP)
A4F	FRONT ELEVATION (L)
A4G	FRONT ELEVATION (I)
A5	REAR ELEVATION
A5A	REAR SIDE ELEVATION
A5B	LEFT SIDE ELEVATION
A5C	PARTIAL REAR ELEVATION @ OPT. SEAR SANDBOOM
A6	READING SECTIONS
SE-1	SEAR SIDE SANDBOOM
SE-2	SEAR SIDE SANDBOOM
E-001	GENERAL NOTES
E-002	SCHEDULES
E-003	FOUNDATION PLAN
E-004	PARTIAL FOUNDATION PLAN
E-005	PARTIAL FOUNDATION PLAN
E-006	PARTIAL FOUNDATION PLAN
E-007	FIRST FLOOR FRAMING PLAN
E-008	SECOND FLOOR FRAMING PLAN
E-009	SECOND FLOOR FRAMING PLAN
E-010	ROOF FRAMING PLAN
E-011	ROOF FRAMING PLAN
E-012	PARTIAL FRAMING PLANS
E-013	PARTIAL FRAMING PLANS
E-014	PARTIAL FRAMING PLANS
E-015	PARTIAL FRAMING PLANS
E-016	PARTIAL FRAMING PLANS
E-017	FOUNDATION DETAILS
E-018	FOUNDATION DETAILS
E-019	FRAMING DETAILS
E-020	FRAMING DETAILS
E-021	FRAMING DETAILS
E-022	WALL BRACKING DETAILS
E-023	WALL BRACKING DETAILS
E-024	WALL BRACKING DETAILS
E-025	WALL BRACKING DETAILS
E-026	WALL BRACKING DETAILS
E1	ELECTRICAL ON BASINMENT
E2	ELECTRICAL ON 1ST FLOOR
E3	ELECTRICAL ON 2ND FLOOR
D1	DETAILS
D2	DETAILS

ktgy
ARCHITECTURE-PLANNING

CLIENT: D.R. HORTON
CAPITAL DIVISION
1356 BEVERLY RD., SUITE #300
MCLEAN, VA 22101
P: 703-385-8001

CONTRACT NO.:

#4426 - THE SOMERSET

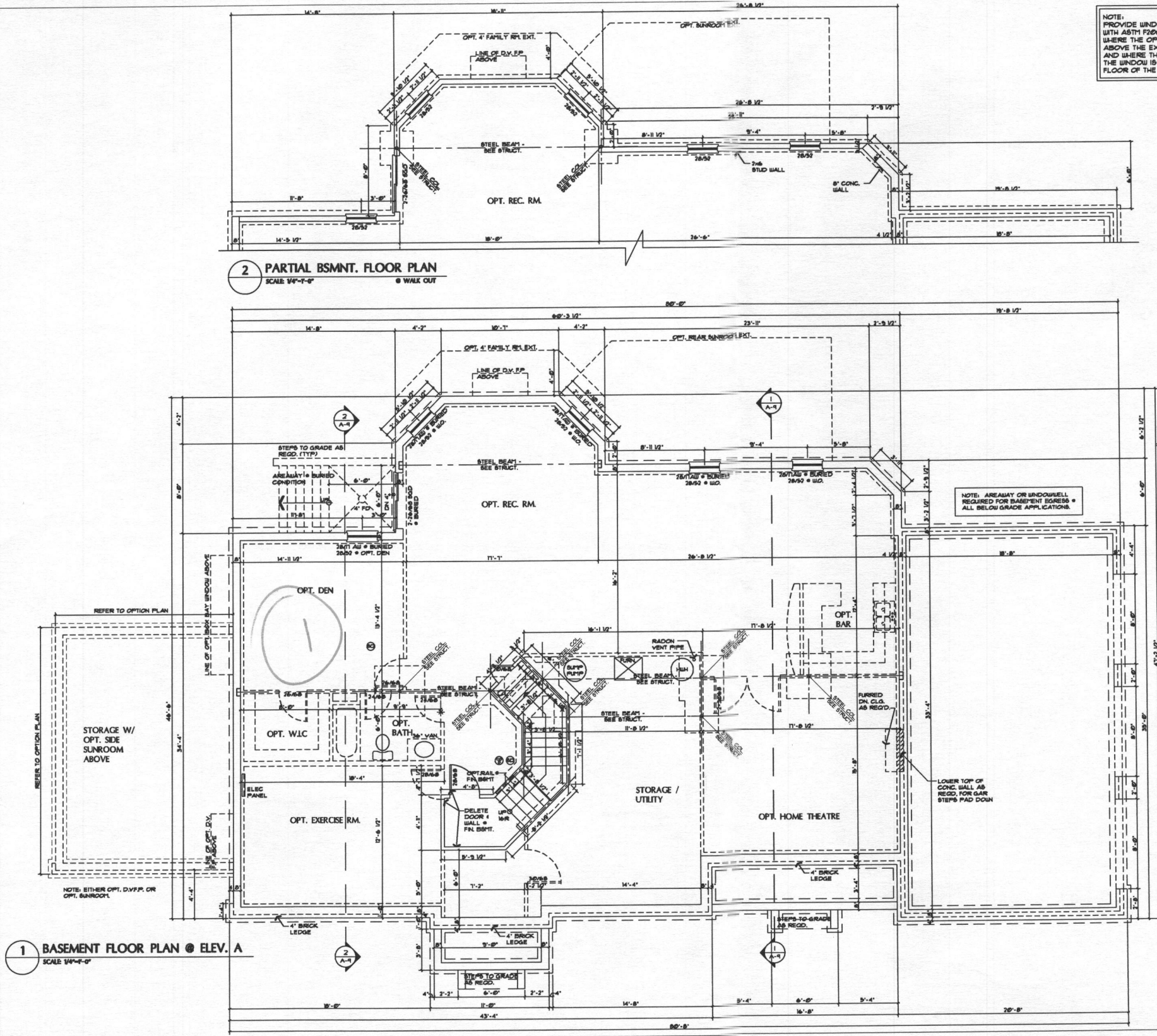
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COVER SHEET

SHEET NUMBER:
CS

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NOTE: PROVIDE WINDOW FALL PREVENTION DEVICE IN COMPLIANCE WITH ASTM F2096 OR F2098 ON ALL OPERABLE WINDOWS WHERE THE OPENING IS LOCATED MORE THAN 20" (INCHES) ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW, AND WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" (INCHES) ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.

2 PARTIAL BSMNT. FLOOR PLAN
SCALE 1/4"=1'-0" @ WALK OUT

3 OPT. MASONRY FIRE PLACE
SCALE 1/4"=1'-0"

RADIATION NOTE: THE FOLLOWING COMPONENTS OF A PASSIVE SOLAR HEATING/COOLING SYSTEM SHALL BE INSTALLED: DASHED COMPONENTS AND PVC OR BRASS-EM END THAT SHALL BE SPACED VERTICALLY INTO THE SLAB ACCORDATE OR OTHER PERMISSIBLE MATERIAL. BEFORE THE SLAB IS CAST. FITTER OR EQUIVALENT METHOD SHALL BE USED TO INSURE THAT THE FINE OPENING REMAINS STRAIGHT THROUGH THE SLAB. THE HIGH PIPE SHALL BE FINISHED DIRECTLY INTO AN INTERIOR PERIMETER DRAIN THE LOOP OR THROUGH A WALL TO BURY COVER. WHERE THE LOOP IS EXPOSED TO THE EXTERIOR, IT SHALL BE PROTECTED BY AN APPROPRIATE OR CORROSION-RESISTANT DRAINAGE SYSTEM. THE PIPE SHALL BE EXTENDED UP THROUGH THE BUILDING FLOOR, TERMINATE AT LEAST 6 INCHES ABOVE THE SURFACE OF THE ROOF IN A LOCATION AT LEAST 10 FEET AWAY FROM ANY BRIDGE OR OTHER STRUCTURE THAT LIES WITHIN 3 FEET BELOW THE EXHAUST POINT, AND MUST MEET ANY RADON OR OTHER OPENING IN ADJACENT OR ADJACENT BUILDING.

1 BASEMENT FLOOR PLAN @ ELEV. A
SCALE 1/4"=1'-0"



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CAPITAL DIVISION
1306 Beverly Rd, Suite #300
McLean, VA 22101
P: 703-385-8001

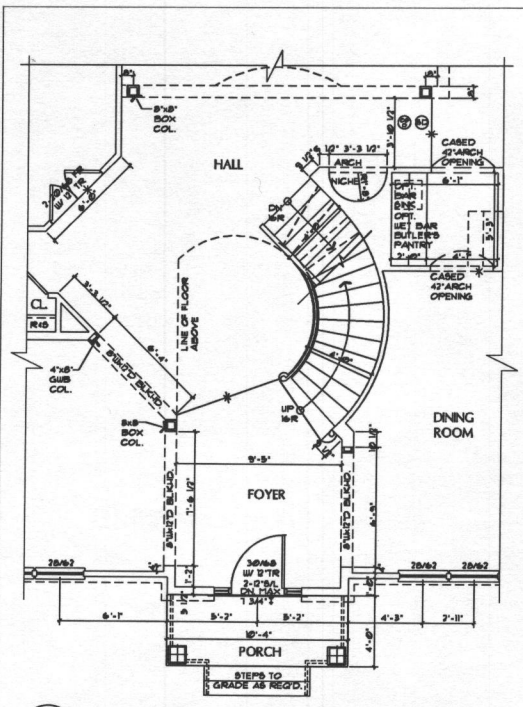
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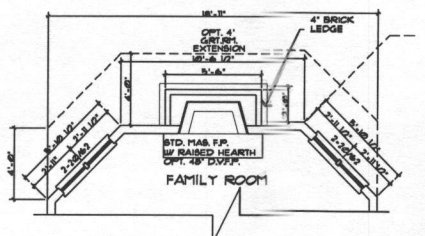
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FOUNDATION/
BASEMENT PLAN

SHEET NUMBER:
A.1

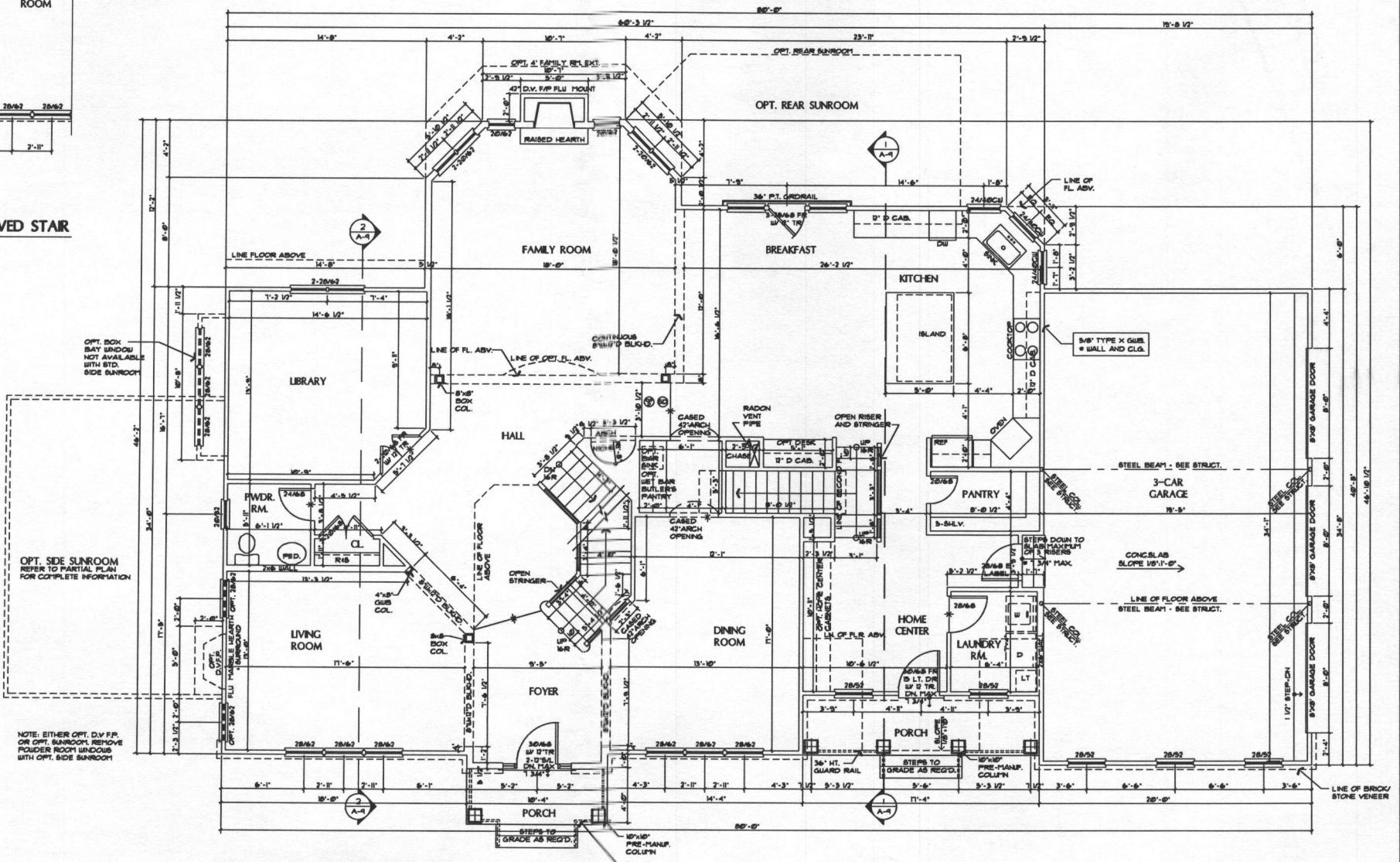


2 PARTIAL FIRST FLOOR PLAN @ CURVED STAIR
SCALE 1/4"=1'-0"



3 OPT. MASONRY FIRE PLACE
SCALE 1/4"=1'-0"

NOTE:
PROVIDE WINDOW FALL PREVENTION DEVICE IN COMPLIANCE WITH ASTM F2092 OR F2093 ON ALL OPERABLE WINDOWS WHERE THE OPENING IS LOCATED MORE THAN 12" (INCHES) ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW, AND WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" (INCHES) ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.



1 FIRST FLOOR PLAN @ ELEV. A
SCALE 1/4"=1'-0"
AREA=2348 SQFT.

OPT. BOX - MAY WINDOW NOT AVAILABLE WITH STD. SIDE SUNROOM

OPT. SIDE SUNROOM REFER TO PARTIAL PLAN FOR COMPLETE INFORMATION

NOTE: EITHER OPT. D.V.F.P. OR OPT. SUNROOM REMOVE POWDER ROOM WINDOWS WITH OPT. SIDE SUNROOM



D.R. HORTON
CAPITAL DIVISION
1356 Beverly Rd, Suite #300
McLean, VA 22101
P: 703-365-8001

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FIRST FLOOR PLAN

SHEET NUMBER:
A.2

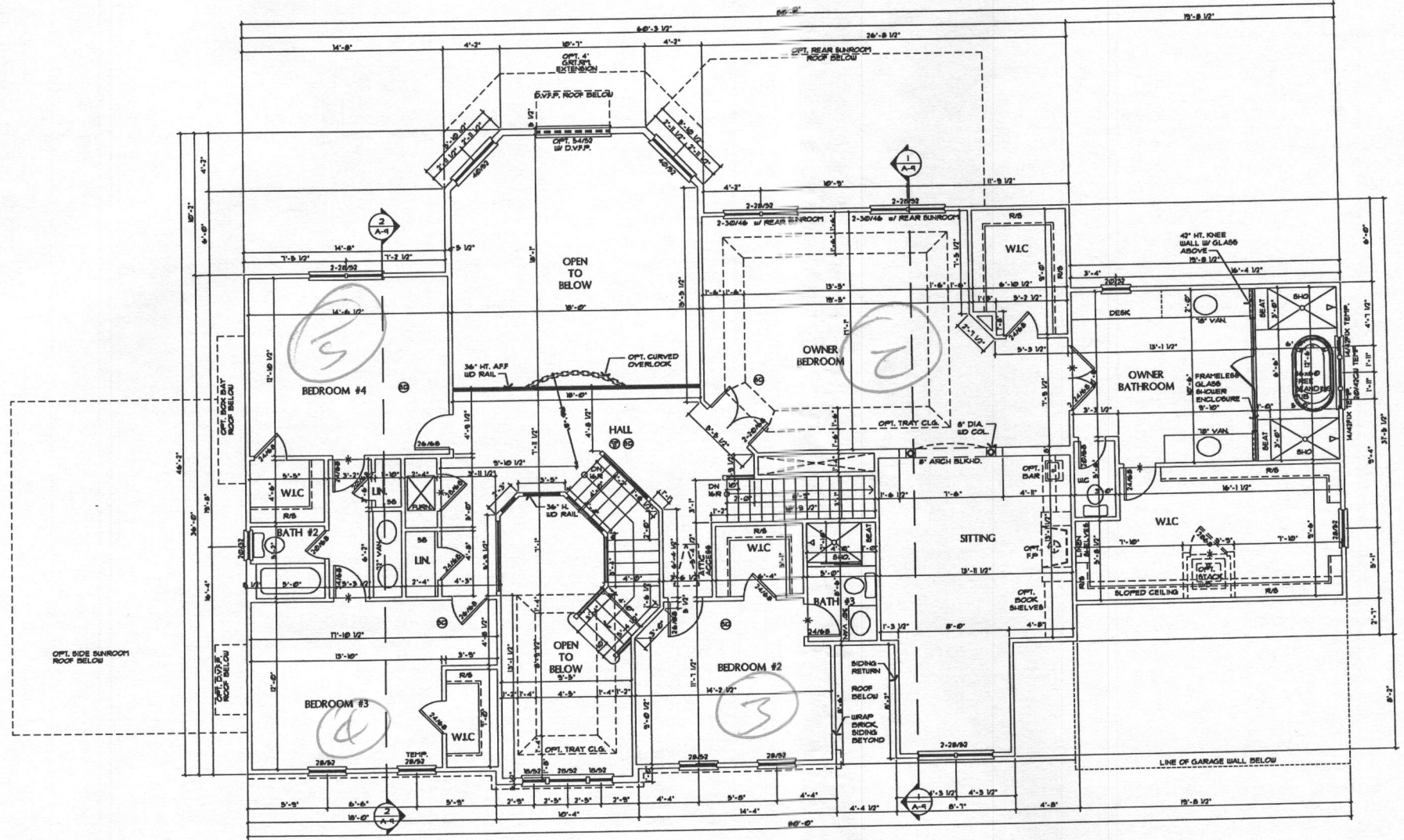
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NOTE:
 PROVIDE WINDOW FALL PREVENTION DEVICE IN COMPLIANCE WITH ASTM F2096 OR F2090 ON ALL OPERABLE WINDOWS WHERE THE OPENING IS LOCATED MORE THAN 12" (INCHES) ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW, AND WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" (INCHES) ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.



D.R. HORTON
 CAPITAL DIVISION
 1256 Beverly Rd., Suite #300
 McLean, VA 22101
 P: 703-385-8001

CONSULT:



1 SECOND FLOOR PLAN @ ELEV. A
 SCALE: 1/4" = 1'-0"
 AREA: 2287 SQ. FT.

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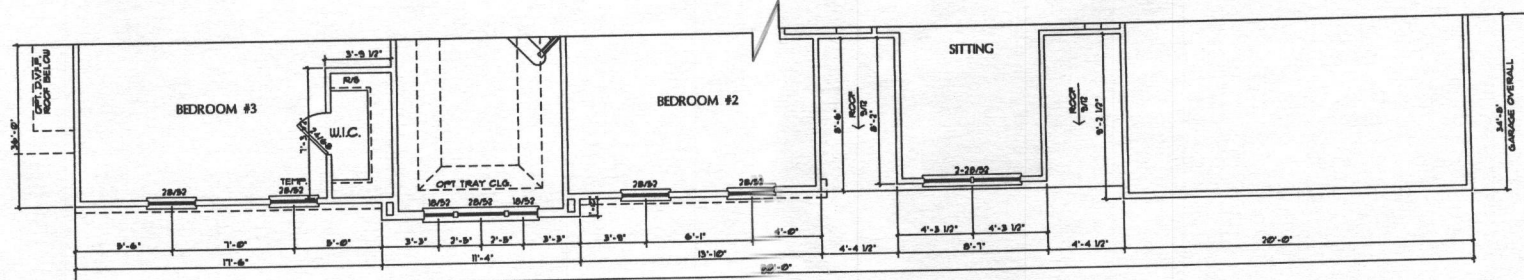
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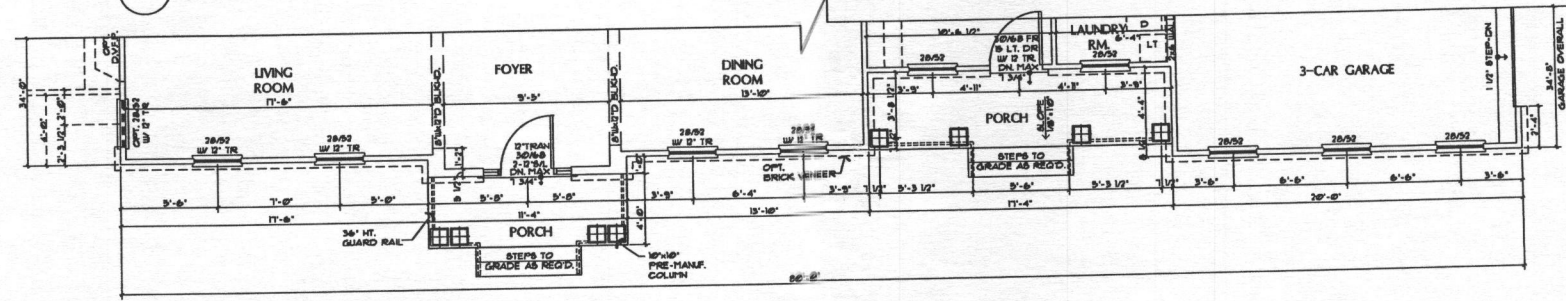
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SECOND FLOOR PLAN

SHEET NUMBER:
A.3

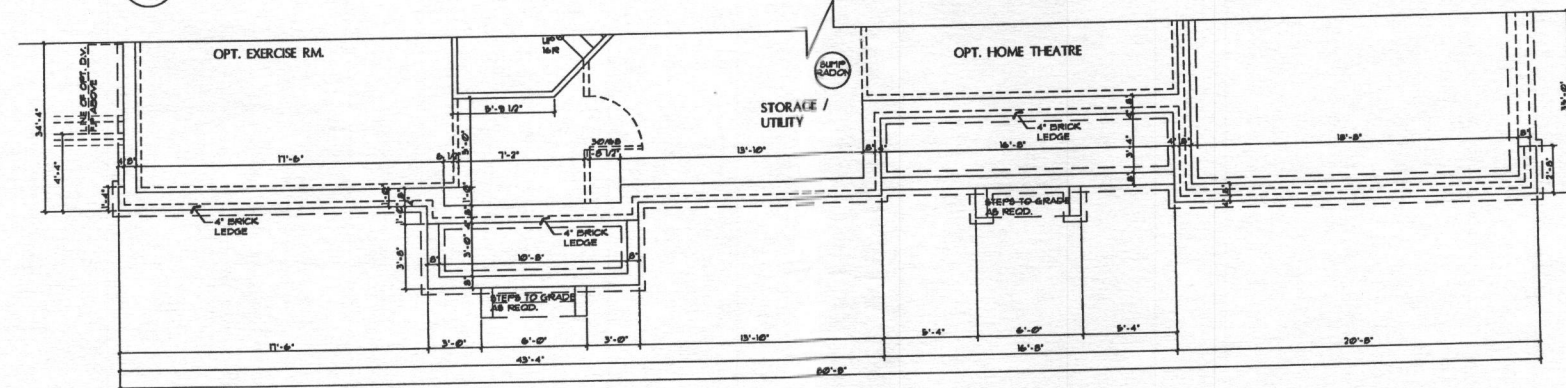
NOTE:
 PROVIDE WINDOW FALL PREVENTION DEVICE IN COMPLIANCE WITH ASH F1006 OR F1009 ON ALL OPERABLE WINDOWS WHERE THE OPENING IS LOCATED MORE THAN 12" (INCHES) ABOVE THE EXTERIOR FINISHED GRADE OR SURFACE BELOW AND WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 24" (INCHES) ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED.



3 PARTIAL SECOND FLOOR PLAN @ B
 SCALE 1/4"=1'-0"



2 PARTIAL FIRST FLOOR PLAN @ B
 SCALE 1/4"=1'-0"



1 PARTIAL BASEMENT FLOOR PLAN @ B
 SCALE 1/4"=1'-0"



D.R. HORTON
 CAPITAL DIVISION
 1256 Beverly Rd., Suite #300
 McLean, VA 22101
 P: 703-365-8001

CONSULTANT:

#4426 - THE SOMERSET

CLIENT: D.R. HORTON CAPITAL DIVISION

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PARTIAL FLOOR PLAN @ ELEV. B

SHEET NUMBER:
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