



Building Permit Application

Howard County Maryland
Department of Inspections, Licenses and Permits
3430 Court House Drive
Permits: 410-313-2455
www.howardcountymd.gov

Date Received: 8-8-14

Permit No.: B14002938

Building Address: 15045 Old Frederick Rd
 City: Woodbine State: MD Zip Code: 21797
 Suite/Apt. # _____ SDP/WP/BA #: _____
 Census Tract: 604001 Subdivision: Harbin Acres
 Section: - Area: - Lot: 6
 Tax Map: 8 Parcel: 19-0250 Grid: 9
 Zoning: RC-DEO Map Coordinates: 4692-ET Lot Size: 30702 sq ft

Property Owner's Name: Shirley Harbin
 Address: 15055 Old Frederick Rd
 City: Woodbine State: MD Zip Code: 21797
 Phone: 4103705320 Fax: _____
 Email: sharbin@howardcountymd.gov

Existing Use: Vacant
 Proposed Use: SFD
 Estimated Construction Cost: \$ 125,000.00
 Description of Work: place 3BR Modular home Model F11400 Westmoreland
 Occupant or Tenant: N/A
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Applicant's Name & Mailing Address, (if other than stated herein)
 Applicant's Name: same as above
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Contractor Company: Homeowner
 Contact Person: Matt Harbin
 Address: 15055 Old Frederick Rd
 City: Woodbine State: MD Zip Code: 21797
 License No.: _____
 Phone: 3014733336 Fax: _____
 Email: sharbin@howardcountymd.gov

Engineer/Architect Company: Foremost
 Responsible Design Prof.: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Commercial Building Characteristics	Residential Building Characteristics
Height: _____	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse
No. of stories: _____	Depth _____ Width _____
Gross area, sq. ft./floor: _____	1 st floor: _____ 2 nd floor: _____
Area of construction (sq. ft.): _____	Basement: _____
Use group: _____	<input type="checkbox"/> Finished Basement <input checked="" type="checkbox"/> Unfinished Basement <input type="checkbox"/> Crawl Space <input type="checkbox"/> Slab on Grade
Construction type:	<input type="checkbox"/> Reinforced Concrete <input type="checkbox"/> Structural Steel <input type="checkbox"/> Masonry <input type="checkbox"/> Wood Frame <input type="checkbox"/> State Certified Modular
<input type="checkbox"/> Reinforced Concrete	No. of Bedrooms: <u>3</u>
<input type="checkbox"/> Structural Steel	<u>Multi-family Dwelling</u>
<input type="checkbox"/> Masonry	No. of efficiency units: _____
<input type="checkbox"/> Wood Frame	No. of 1 BR units: _____
<input type="checkbox"/> State Certified Modular	No. of 2 BR units: _____
	No. of 3 BR units: _____
	Other Structure: _____
	Dimensions: _____
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings: _____
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof: _____
Roadside Tree Project Permit # _____	<input type="checkbox"/> State Certified Modular <input type="checkbox"/> Manufactured Home

Utilities	
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Electric: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Gas: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Heating System	
<input checked="" type="checkbox"/> Electric <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane Gas	
<input type="checkbox"/> Other: _____	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number: <u>G14000256</u>	
Building Shell Permit Number: _____	

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Shirley Harbin
 Email Address: sharbin@howardcountymd.gov
 Title/Company: Homeowner

Print Name: Shirley Harbin
 Date: 8/8/14

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY

AGENCY			DATE	SIGNATURE OF APPROVAL	DPZ SETBACK INFORMATION	Filing Fee
<input checked="" type="checkbox"/>	State Highways				Front: _____	\$ <u>100.00</u>
<input checked="" type="checkbox"/>	Building Officials				Rear: _____	\$
<input checked="" type="checkbox"/>	PSZA (Zoning)				Side: _____	\$
<input checked="" type="checkbox"/>	PSZA (Engineering)				Side St.: _____	\$
<input checked="" type="checkbox"/>	Health		<u>9/11/14</u>	<u>H. OSWALD</u>	All minimum setbacks met? <input type="checkbox"/> Yes <input type="checkbox"/> No	\$
					Is Entrance Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No	\$
					Historic District? <input type="checkbox"/> Yes <input type="checkbox"/> No	\$
					Lot Coverage for New Town Zone: _____	\$
					SDP/Red-line approval date: _____	\$
						Sub-Total Paid \$
						Balance Due \$
						Check # <u>279</u>

Distribution of Copies: White: Building Officials Green: PSZA, Zoning Yellow: PSZA, Engineering Pink: Health Gold: SHA
 T:\Operations\Updated Forms\Building applmp 8.2012.docx Need subcontractor list

Oswald, Hank

B14002938 (15045 Old Frederick Rd)

From: Harbin, Shirley
Sent: Wednesday, September 10, 2014 10:30 AM
To: Oswald, Hank
Subject: Re: RE: RE: *Basement Layout*

Unfinished

Sent from my iPhone

> On Sep 10, 2014, at 5:38 AM, "Oswald, Hank" <hoswald@howardcountymd.gov> wrote:
>
> I think I was looking to confirm the basement layout. Is it finished or unfinished?
>
> -----Original Message-----
> From: Harbin, Shirley
> Sent: Tuesday, September 09, 2014 11:41 AM
> To: Oswald, Hank
> Subject: Re: RE:
>
> Oh my. I am in California. I hate to hold up things. Can u remind me
> what this document was supposed to be? Maybe I can get my daughter in
> law to send
>
> Sent from my iPhone
>
>> On Sep 9, 2014, at 8:13 AM, "Oswald, Hank" <hoswald@howardcountymd.gov> wrote:
>>
>> The pdf comes up blank.
>>
>> -----Original Message-----
>> From: Harbin, Shirley
>> Sent: Friday, September 05, 2014 1:26 PM
>> To: Oswald, Hank
>> Subject: FW:
>>
>> Does this help
>>
>> -----Original Message-----
>> From: SavinScanner@howardcountymd.gov
>> [<mailto:SavinScanner@howardcountymd.gov>]
>> Sent: Friday, September 05, 2014 1:20 PM
>> To: Harbin, Shirley
>> Subject:
>>
>> This E-mail was sent from "RNP145014" (9228).
>>
>> Scan Date: 09.05.2014 13:19:40 (-0400) Queries to:
>> SavinScanner@howardcountymd.gov

Oswald, Hank

B14002938 (15045 Old Frederick Rd)

From: Harbin, Shirley
Sent: Friday, September 05, 2014 12:42 PM
To: Oswald, Hank
Subject: Re: ?

The current plans reflects the house to be built. No revisions to the plan to be made. And the only basement plan I have would be the one in the Foremost packet

Sent from my iPhone

On Sep 5, 2014, at 9:08 AM, "Oswald, Hank" <hoswald@howardcountymd.gov> wrote:

Yes, thank you. If the foundation is being moved or resized as indicated below, then a new scaled site plan will need to be submitted as a hard copy (as I am not able to print to scale) to the Health Department. Also, do you have basement floor plans for this project?

From: Harbin, Shirley
Sent: Thursday, September 04, 2014 9:31 AM
To: Oswald, Hank
Subject: FW: ?

is this what you need?

From: Bruce Burton [bburton@ldeinc.net]
Sent: Thursday, September 04, 2014 9:06 AM
To: Harbin, Shirley
Subject: Re: ?

Hi Shirley,

The information they are looking for possibly got cut off when copies were made at DILP. I've attached an enlarged chart showing the inverts they need. Also the PDF plans that they should have been sent.

Regardless, the system was installed with a Septic Permit by Level Land.

Also as a reminder the house dimensions changed so we should take a look at the architectural plans and check the stakes previously set to confirm correctness prior to digging the foundation. Can you send me a set of the house plans?

Let me know if you need anything else.
Take care Bruce

----- Original Message -----

From: Harbin, Shirley
To: Bruce Burton
Sent: Thursday, September 04, 2014 7:08 AM
Subject: ?

Do you have a site plan that shows the invert elevations of the septic line to the house and the septic tank connection? Health dept is asking for this.... If not -who would provide such a thing?!

Shirley Harbin
Howard County State's Attorney's Office
Victim Witness Unit

410 313 3178

410 370 5320 cell



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: [HowardCoHealthDep](https://twitter.com/HowardCoHealthDep)

Maura J. Rossman, M.D., Health Officer

September 3, 2014

Shirley Harbin
15055 Old Frederick Road
Woodbine, MD 21797

Sent via email to: sharbin@howardcountymd.gov

**RE: Building Permit B14002938
15045 Old Frederick Road
Woodbine, MD 21797**

Dear Mrs. Harbin:

This letter is in response to building permit # B14002938. The application describes the construction of a 3 bedroom modular home. Upon review of the application, the submittal did not include a copy of the floor plans. Floor plans are required in order to confirm the number of bedrooms.

At this time, the building permit application has been placed on hold until a copy of the floor plans have been received and reviewed by the Health Department. Should any questions or concerns arise, please contact me directly at (410) 313 - 1786 or hoswald@howardcountymd.gov.

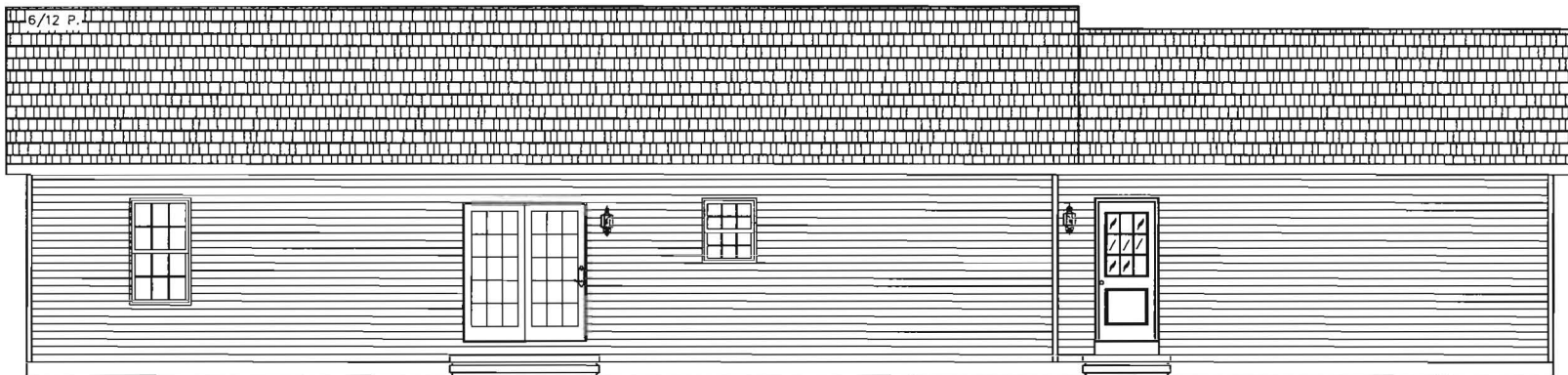
Sincerely,

Hank Oswald


Hank Oswald, L.E.H.S.
Howard County Health Department
Well & Septic Program



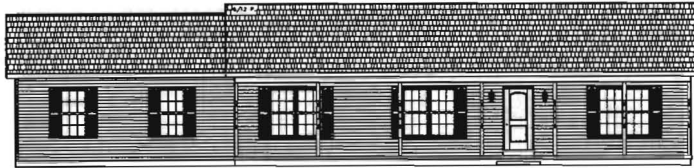
FRONT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

 FOREMOST INDUSTRIES INC. innovations in modular HOUSING 2375 Buchanan Trail West Greencastle, PA 17225 Ph: (717) 597-7166			
DWN. LUC	DATE	REVISION	BY
	5/14/14		
CKD.	SCALE		
	1/4"=1'-0"		
APP.			
ELEVATIONS			
FOREMOST, 2 SECTION			
28' WIDE 2 / BOX RANCHER			
UNIT #	SECTION	PLAN	DATE
FI-1400		HARBIN	
REV. NO.	FILE NUMBER		
			A1

F FOREMOST
INDUSTRIES
BUILDING SOLUTIONS
FOREMOST INDUSTRIES, INC.



MODEL FI-1400
WESTMORELAND

PLANS PROVIDED FOR:
CUSTOMER: SHIRLEY HARBIN

PROJECT NAME AND LOCATION:

SHIRLEY HARBIN
15045 OLD FREDERICK ROAD
WOODBINE, MD 21797

DRAWING INDEX

CS1	COVER SHEET
CS2	NOTES AND SPECIFICATION SHEET
DATA	DATA PLATE
RECHK	RESCHECK
FLR. CERT.	MI-TEK SEAL DWG.
RF. CERT.	MI-TEK SEAL DWG.
ELECT.LD	ELECTRICAL LOAD CALCULATIONS
A1	FRONT & REAR ELEVATIONS
A2	SIDE ELEVATIONS
A3	FOUNDATION PLAN
A4	1ST FLOOR PLAN
A5	CROSS SECTION
E1	1ST FLOOR ELECTRICAL PLAN
P1	PLUMBING PLAN
WB	WALL BRACING
S1	1ST FLOOR FRAMING PLAN
S2	ROOF FRAMING

SQUARE FOOTAGE

1ST FLOOR PLAN:	1400	SQUARE FEET
GARAGE:	576	SQUARE FEET
PORCHES AND DECKS :		SQUARE FEET
2ND FLOOR PLAN:	300	SQUARE FEET
BONUS ROOM		SQUARE FEET
BASEMENT(UNFINISHED):	1400	SQUARE FEET

TOTAL SQ.FT.(LIVING SPACE): 2276 SQ. FT
O.A. TOTAL SQUARE FOOTAGE: 3676 SQ. FT

FOREMOST INDUSTRIES INC. innovations in modular HOUSING 2375 Buchanan Trail West Greencastle, PA 17225 Ph:(717) 597-7166			
DWN. LJC	DATE 3/14/14	BY	DATE
CKD.	REVISIONS		
APP. NTS			
TITLE COVER SHEET			
PROJECT FOREMOST 2 SECTION 28' WIDE 2 / BOX RANCHER			
Model # FI-1400	Client Name HARBIN	SHEET CS1	
Proj. No.	Proj. Name	Title	

FOREMOST INDUSTRIES

BUILDING SOLUTIONS

FOREMOST INDUSTRIES, INC.

MODULAR HOME PLANS APPROVED TESTING FACILITY (A.T.F.)

MFG.: FOREMOST INDUSTRIES INC.
2375 BUCHANAN TRAIL WEST
GREENCASTLE, PA. 17225
INSTALLER / LICENSE # 312

T.R. ARNOLD & ASSOCIATES
APPROVED TESTING FACILITY (A.T.F.)
I.R. ARNOLD ASSOCIATES
P.O. BOX 1081
ELKHART, IN. 36515

STATE APPROVALS

THIS HOME BEARS THE INSIGNIA OF THE STATE OF FINAL LOCATION AND THE INSIGNIA OF THE A.T.F. LISTED ABOVE. THIS HOME ALSO BEARS THE MANUFACTURER'S DATA PLATE AS REQUIRED. THESE ITEMS ARE AFFIXED TO THE INTERIOR OF A BASE CABINET LOCATED IN THE KITCHEN UNDER THE SINK OR COOK-TOP APPLIANCE. IN THE EVENT OF THE DELETION OF KITCHEN CABINETRY, THE INSIGNIAS AND DATA PLATE SHALL BE LOCATED IN A CLOSET.

MARYLAND CODE COMPLIANCE

- 2012 INTERNATIONAL RESIDENTIAL CODE
- MARYLAND SAFETY GLAZING LAWS
- 2012 IECC & MODEL PERFORMANCE CODES (COMAR 05.02.07)
- 2011 NEC
- SPRINKLER SYSTEM:
- THE REQUIRED SPRINKLER SYSTEM IS PARTIALLY INSTALLED AT THE MANUFACTURING PLANT AND ON MARYLAND LICENSED CONTRACTOR.
- DESIGN AND ALL ON-SITE CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
- MECHANICAL VENTILATION ON SITE BY BUILDER PER TABLE M1507.3.3(1)
- LIGHTING TO BE PROVIDED ON SITE PER N1104.1
- VISUAL INSPECTION OF THE INSULATION INSTALLATION IS TO BE DOCUMENTED BY THE QC DEPARTMENT

THIS HOME IS NOT DESIGNED FOR INSTALLATION IN THE FOLLOWING COUNTIES OF MARYLAND:

- CAROLINE
- DORCHESTER
- SUMMERS
- TALBOT
- WICOMICO
- WORCHESTER

PENNSYLVANIA CODE COMPLIANCE

- COMMONWEALTH OF PENNSYLVANIA DEPT. OF COMMUNITY AND ECONOMIC DEVELOPMENT INDUSTRIAL HOUSING ACT.
- 2009 INTERNATIONAL RESIDENTIAL CODE INDUSTRIALIZING HOUSING ACT RULES AND REGULATIONS - SECTION 29.41 (b) (c)
- 2008 NATIONAL ELECTRICAL CODE
- 2009 IECC

THIS HOME IS NOT DESIGNED FOR INSTALLATION IN THE FOLLOWING COUNTIES OF PENNSYLVANIA:

- LACKAWANNA
- LUZERNE
- MCCOMB
- MONROE
- PIKE
- SUSQUEHANNA
- WATKINS
- WYOMING

VIRGINIA CODE COMPLIANCE

- 2009 IRC
- 2009 VIRGINIA UNIFORM STATEwide BUILDING CODE
- 2009 IECC
- 2009 NEC
- STAR GEOMETRY PER VA/VA

WEST VIRGINIA CODE COMPLIANCE

- 2009 IRC w/ STATE AMENDMENTS
- 2003 IECC
- 2009 NFPA
- 2008 NEC

PENNSYLVANIA MODULAR HOME NOTE:

THE MANUFACTURER OF THIS STRUCTURE, FOREMOST INDUSTRIES, INC., 6100 BUCHANAN TRAIL WEST GREENCASTLE, PA. 17225, CERTIFIES THAT:

- THIS STRUCTURE IS NOT A MANUFACTURED HOME SUBJECT TO THE PROVISIONS OF THE NATIONAL MANUFACTURED HOUSING CONSTRUCTION AND SAFETY STANDARDS ACT AND IS DESIGNED ONLY FOR ERECTION OR INSTALLATION ON A SITE-BUILT PERMANENT FOUNDATION.
- NOT DESIGNED TO BE MOVED ONCE ERECTED OR INSTALLED.
- DESIGNED OR MANUFACTURED TO COMPLY WITH THE IRC AND
- TO THE MANUFACTURER'S KNOWLEDGE IS NOT INTENDED TO BE USED OTHER THAN ON A SITE-BUILT PERMANENT FOUNDATION.

GENERAL NOTES:

- BATH FAN OUTPUT--50 CFM. KITCHEN EXHAUST FAN 180 CFM.
- SAFETY GLASS OR THE INSTALLATION OF A HORIZONTAL MEMBER SHALL BE USED IF GLASS IS LESS THAN 20" HIGH AND 24" WIDE.
- CERTIFICATION LABELS WILL BE LOCATED UNDER THE KITCHEN UNDER THE SINK (CABINET).
- ALL STAIR HANDRAILS SHALL BE INSTALLED AT 34" MIN. - 36" MAX.
- VENTILATION OF ATTIC SPACE IS PROVIDED BY A COMBINATION OF EAWE AND RIDGE VENTS. THE MIN. NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE SPACE VENTILATED.
- INDIVIDUAL COMPONENTS IN WHOLE SUCH AS STRUCTURAL SYSTEMS, LIVING ROOMS, DENS, BEDROOMS, CLOTHES, LINEN, GUEST, OR PANTRY CLOSETS, UTILITY AREAS, BATHS, KITCHENS, GARAGES, ETC. MAY BE INTEGRATED WITH ANY FLOOR PLAN. THEY MAY BE ROTATED 90 DEGREES.
- FOR ALL STAIRS, EACH DWELING UNIT SHALL CONTAIN AT LEAST ONE HABITABLE SPACE WITH A 150 SQ. FT. MIN. SLEEPING SPACE SHALL NOT BE LESS THAN 80 SQ. FT. MIN. WITH A 7'-0" MIN. LENGTH IN ANY DIRECTION. KITCHEN SHALL HAVE NOT LESS THAN 50 SQ. FT. OF FLOOR AREA.
- SILL PLATE ANCHORAGE SHALL BE INSTALLED PER MFG'S SPECIFICATION CONFORMING TO I.R.C. BUILDING CODE (AVAILABLE FROM FOREMOST) NO BOLTS !!
- ALL HVAC TO BE INSTALLED @ SITE EITHER BY FOREMOST OR BY OTHERS.
- SEE CROSS SECTION FOR BASEMENT STAIR DETAILS.
- SHOW PARTITION, WINDOW, AND DOOR LOCATIONS IN BASEMENT ON THESE PLANS FOR LOCAL PERMIT APPLICATIONS, FOR LIGHT/VENTILATION & EGRESS REQUIREMENTS.
- THE UNDER-FLOOR SPACE BETWEEN THE BOTTOM OF THE FLOOR JOISTS AND THE EARTH UNDER ANY BUILDING (EXCEPT SPACE OCCUPIED BY A BASEMENT) SHALL HAVE VENTILATION OPENINGS THROUGH THE FOUNDATION WALLS OR EXTERIOR WALLS. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT (.0920 SQ. M.) FOR EACH 150 SQUARE FEET (14 SQ. M.) OF UNDER-FLOOR SPACE AREA. ONE SUCH VENTILATING OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER. * ALTERNATE NON-VENTED CRAWL SPACE MUST COMPLY WITH IRC R408.3.
- ALL INTERIOR WALL DIMENSIONS GIVEN ARE ROUGH FRAMING DIMENSIONS.
- DIMENSIONS GIVEN ARE FOR HOUSE ONLY. ALLOWANCES MUST BE MADE FOR ANY BRICK AND/OR ADDITIONAL INSULATION ADDED TO THE OVER ALL FOUNDATION DIMENSIONS.
- JACK POSTS AS SHOWN ON FOUNDATION PLAN SUPPORT WOOD GIRDERS. WOOD GIRDERS EXTEND ON TO THE FOUNDATION WALL WHERE SUPPORT IS REQ'D. DO NOT LOCATE WINDOWS, DOORS, VENTS, ETC. AT THESE LOCATIONS.
- REQ'D FOUNDATION WALL SIZE IS THE RESPONSIBILITY OF FOUNDATION CONTRACTOR AND SHALL MEET THE REQUIREMENTS OF THE APPLICABLE BUILDING CODE OF THE AUTHORITY HAVING JURISDICTION.
- MIN. 18" X 24" ACCESS OPENING REQ'D. ON CRAWL SPACE FOUNDATIONS. IF FOREMOST IS INSTALLING A HVAC HEATING SYSTEM IN A CRAWL SPACE HOME, A 24" X 32" MIN. ACCESS OPENING IS REQUIRED.
- CUSTOMER'S RESPONSIBILITY TO FURNISH AND INSTALL HANDRAIL FOR BASEMENT STAIRS.
- ALL PLUMBING LOCATED IN UNCONDITIONED AREAS, SUCH AS CRAWL SPACES OR UNHEATED BASEMENTS, SHALL BE PROTECTED FROM FREEZING IN ACCORDANCE WITH NATIONAL AND LOCAL CODES. FREEZE PROTECTION IS NOT PROVIDED BY FOREMOST AND IS THE RESPONSIBILITY OF THE SITE CONTRACTOR.

DOORS & WINDOWS

1. ONE EMERGENCY ESCAPE (EGRESS) WINDOW WITH A NET CLEAR OPENING HEIGHT OF MIN. 24" AND A NET CLEAR OPENING WIDTH OF MIN. 20" (5.7 S.F.) SHALL BE PROVIDED IN EACH SLEEPING ROOM AND IN BASEMENTS WITH HABITABLE SPACE. SILL HEIGHT SHALL NOT EXCEED 44" FROM FINISH FLOOR. ESCAPE AND RESCUE WINDOW OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AS FOLLOWS:
HORIZONTAL DIMENSIONS SHALL ALLOW THE DOOR OR WINDOW TO BE FULLY OPENED. THE HORIZONTAL DIMENSIONS OF THE WINDOW WELL SHALL PROVIDE A NET CLEAR AREA OF 9 SQUARE FEET WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES.

2. WINDOWS OF TEMPERED GLASS SHALL BE USED AS FOLLOWS: ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR, IF THE BOTTOM EDGE OF THE WINDOW IS LESS THAN 18" FROM SEPARATION.

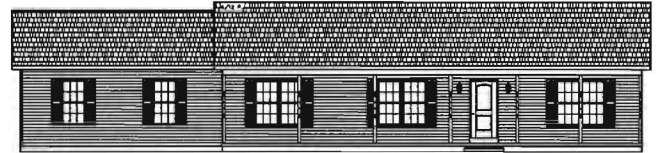
1. GARAGES SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE-X GYPSUM BOARD. (SEE I.R.C. FOR SPRINKLER SYSTEMS)

1. THE REQUIRED SPRINKLER SYSTEM WILL BE PARTIAL CONSTRUCTION AT THE MANUFACTURING PLANT AND ON-SITE WORK. ON-SITE SPRINKLER SYSTEM SHALL BE INSTALLED AND TESTED BY THE NOEL'S FIRE PROTECTION - SPRINKLER.
THE REQUIRED ON-SITE INSPECTION(S) VERIFICATION OF THE SPRINKLER SYSTEM FINAL CONNECTION INSTALLATION AND TESTING SHALL BE SIGNED OFF ON BY THE MARYLAND LICENSED SPRINKLER CONTRACTOR. THE NOEL'S FIRE PROTECTION-SPRINKLER
ALL ON-SITE INSPECTIONS AND APPLICATION OF THE MARYLAND STATE INSIGNIA MUST BE COMPLETED BY THE ENERGY TESTING DONE BY:

PATRICK AARON
TOTAL COMFORT HVAC-BLOWER DOOR TEST
5W MOOSE LAKE
SMITHSBURG, MD. 21783
1. ENERGY CODE TESTING PERFORMED ON-SITE AND PASSED IN ACCORDANCE WITH THE IRC SECTION N1103.1.1 (IECC SECTION R403.1.1) & IRC SECTION N1103.2.2 (IECC SECTION R404.2.2)
ALL ON-SITE INSPECTIONS AND APPLICATION OF THE MARYLAND STATE INSIGNIA MUST BE COMPLETED BY SITE PRIOR TO ISSUANCE OF THE LOCAL USE AND OCCUPANCY PERMIT.

CONCRETE / MASONRY

- THE PRESUMPTIVE BEARING CAPACITY OF THE EXISTING UNDISTURBED SOIL SHALL BE A MINIMUM OF 3,000 P.S.I.
- ALL CONCRETE FOOTERS SHALL BEAR ON UNDISTURBED SOIL OR ENGINEERED FILL.
- MINIMUM DIMENSIONS FOR CONCRETE FOOTERS SHALL BE PROVIDED AS FOLLOWS:
ONE-STORY STRUCTURES:
MIN. 16" WIDE X MIN. 8" DEEP, BOTTOM MIN. 36" BELOW GRADE.
TWO-STORY STRUCTURES:
FOOTING MIN. 20" WIDE X MIN. 8" DEEP, BOTTOM MIN. 36" BELOW GRADE.
- FOOTINGS SHALL PROJECT MIN. 2" BEYOND THE FOUNDATION WALL AND SHALL NOT EXCEED THE THICKNESS OF THE FOOTING. CONCRETE AND MASONRY FOUNDATION WALLS SHALL COMPLY WITH THE IRC.
- ANCHOR STRAPS SHALL BE INSTALLED PER THE SPECIFIC MANUFACTURER'S INSTRUCTIONS. ANCHOR STRAP TYPES ARE SPECIFIC TO EACH PROJECT AND APPLICATION AS FOLLOWS: (SEE FOUNDATION PLAN)
1.) NO BRICK OR BRICK VENEER
2.) BRICK TO GRADE
6.) FOUNDATION VENTING SHALL BE PROVIDED AT 1/150 OF CRAWL SPACE AREA. ONE OPENING SHALL BE WITHIN 3'-0" OF EACH CORNER. ACCESS SHALL BE PROVIDED BY MIN. ONE 24" X 18" OPENING. (R408.1) 7. MIN. SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE SHALL BE AS FOLLOWS:
BASEMENT WALLS, FOUNDATIONS AND CONC. NOT EXPOSED TO THE WEATHER:2,500 PSI
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR:2,500 PSI
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO THE WEATHER:3,000 PSI
CONCRETE WORK EXPOSED TO THE WEATHER:3,000 PSI
PORCHES, CARPORT SLABS, STEPS EXPOSED TO WEATHER, AND GARAGE SLABS:3,500 PSI
CONCRETE SHALL BE AIR ENTRAINED BETWEEN 5% AND 7%.
- ALTERNATE FOUNDATIONS SUPPLIED BY OTHER AS FOLLOWS: (OTHER TO PROVIDE GIRDER POCKET AND SUPPORT INTEGRAL TO FOUNDATION WALL)
FOREMOST INDUSTRIES, INC. WILL PROVIDE A PRE-CAST "SUPERIOR WALLS" FOUNDATION AS STANDARD IF ORDERED BY THE CUSTOMER. IN THE EVENT THAT AN ALTERNATE FOUNDATION SYSTEM IS TO BE INSTALLED BY OTHER, THE FOLLOWING SPECIFICATIONS SHALL BE MET. (SEE ALSO FOUNDATION PLAN)
a) BUILDING CROSS-SECTIONS, DETAILS AND SPECIFICATIONS SHALL BE PROVIDED BY OTHER.
b) FULL-BASEMENT WALLS SHALL BE PROVIDED BY OTHER AS FOLLOWS:
* PLAIN MASONRY - MIN. 10" SOLID-GROUTED HOLLOW UNITS WITH STEEL REINFORCEMENT PER IRC (SEE TABLES) TYPE "M" OR "B" MORTAR SHALL BE USED.
* POURED-IN-PLACE CONCRETE - MIN. 10" THICK WITH REINFORCEMENT PER TABLE (SEE TABLES)
c) CRAWL-SPACE FOUNDATIONS SHALL BE PROVIDED BY OTHER AS FOLLOWS: (VERIFY THE LOCAL JURISDICTION'S REGULATIONS)
* PLAIN MASONRY - MAX. 5'-0" HIGH - MIN. 8" HOLLOW UNITS.
9. PRE-CAST "SUPERIOR WALLS" SHALL BE 8"-2" HIGH, TYP. 9"-0" WALLS AVAILABLE BY SPECIAL ORDER.



MODULAR HOME NOTES

MANUFACTURER:
FOREMOST INDUSTRIES, INC.
6100 BUCHANAN TRAIL WEST
GREENCASTLE, PA 17236
PHONE (717) 597-7166

APPROVED TESTING FACILITY: (A.T.F.)
T.R. ARNOLD & ASSOCIATES

THIS HOME IS DESIGNED BY THE MANUFACTURER, WITH A STRUCTURAL SYSTEM APPROVED BY THE A.T.F. LISTED ABOVE. THE SPECIFICATIONS AND CALCULATIONS FOR STRUCTURAL ELEMENTS IN THIS SYSTEM ARE INCLUDED IN A CALCULATION MANUAL THAT HAS BEEN REVIEWED AND APPROVED BY THE A.T.F. LISTED ABOVE. THIS CALCULATION MANUAL IS ON FILE AT THE OFFICE OF THE A.T.F. AND OF THE MANUFACTURER. THE STRUCTURAL ELEMENTS IN THE CALCULATION MANUAL INCLUDE, BUT ARE NOT LIMITED TO:

- FLOOR JOISTS
- RIDGE BEAMS
- FLOOR GIRDERS
- BEARING WALL HEADERS & JAMBS
- ROOF TRUSSES

NOTE: THIS MODEL IS TO BE UNDER THE APPROVED MARYLAND MODULAR BUILDING SYSTEM

ALL PRE-ENGINEERED TRUSS COMPONENTS USED IN THE CONSTRUCTION OF THIS HOME ARE DESIGNED BY MITEX INDUSTRIES, INC. AND BEAR THE SEAL OF A REGISTERED ARCHITECT OR ENGINEER. THESE TRUSS DESIGNS ARE INCLUDED IN THE APPROVED CALCULATION MANUAL AS OUTLINED ABOVE.

FRAMING / STRUCTURAL / CONSTRUCTION TYPE: WOOD FRAME

- ALL FRAMING LUMBER SHALL BE MINIMUM S.P.F., GRADE #2 UNLESS NOTED OTHERWISE ON DRAWINGS.
- ALL FRAMING HEADERS AT EXTERIOR WALL OPENINGS AND INTERIOR BEARING WALL OPENINGS SHALL BE MIN. TRIPLE 2X12 S.P.F., GRADE #2 UNLESS NOTED OTHERWISE.
- DESIGN LOADS SHALL BE AS FOLLOWS:
* OCCUPANCY CLASSIFICATION: VA = R-5 / PA, MO, WV = SINGLE FAMILY
* ROOF: SNOW LOAD = 45 psf PG (GROUND SNOW LOAD) ALLEGANY AND GARRETT COUNTIES IN MD. 55 psf PG
* FLOOR: 40 psf LIVE LOAD & 10 psf DEAD LOAD @ L/360
* ATTICS W/ STORAGE: 20# PSF LIVE LOADS
* GUARDRAIL AND HANDRAILS: 200# CONCENTRATED LIVE LOAD
* STAIRS: 40# UNIFORMLY DISTRIBUTED LIVE LOAD OR A 300# CONCENTRATED LOAD ACTING OVER AN AREA OF 4" SQ.IN.
* MAXIMUM WIND SPEED: PA = 90MPH / MD. = 90 MPH / VA = 100 MPH / WV = 80 MPH
* WIND EXPOSURE: PA = CATEGORY B / MD, VA, WV = CATEGORY C
* SEISMIC ZONE: PA, VA, WV = N/A / MD. = B
* U-FACORY CEILING :.026, WALLS :.062, FLOOR: .033
- PRE-ENGINEERED/FABRICATED WOOD PRODUCTS (TRUSSES, JOISTS, ETC.) SHALL NOT BE CUT, NOTCHED OR BORED UNLESS THE RESPECTIVE MANUFACTURER'S DESIGN ALLOWS FOR IT.
- ATTIC SPACES SHALL BE PROVIDED WITH A 22" X 30" ACCESS WITH 30" OF HEADROOM.
- ALL WOOD EXPOSED TO WEATHER MUST BE PRESSURE TREATED.
- WOOD STUD WALLS SHALL BE CONSTRUCTED AS FOLLOWS: (R602.3.1[90 MPH WIND SPEED])
* SUPPORTING ONE FLOOR AND A ROOF - 2X6 @ 16" O.C. / MAX. 18'-0" HEIGHT.
* SUPPORTING TWO FLOORS AND A ROOF - 2X6 @ 16" O.C. / MAX. 14'-0" HEIGHT.
* SUPPORTING A ROOF ONLY - 2X6 @ 16" O.C. / MAX. 18'-0" HEIGHT.
* GARAGE WALLS SUPPORTING ONE FLOOR AND A ROOF - 2X4 @ 16" O.C. / MAX. 10'-0" HEIGHT
* INTERIOR PARTITION - 2X4 @ 16" O.C.
- PRE-MANUFACTURED WOOD TRUSSES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- PRE-MANUFACTURED WOOD JOISTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

FOREMOST INDUSTRIES INC.

innovations in modular HOUSING

2375 Buchanan Trail West Greencastle, PA 17225 Phc (717) 597-7166

DWG. L.C.	DATE	REVISION	BY	CHK.
	5/14/14			
CKD.				
APP.	N/A			
COVER SHEET				
FOR FOREMOST 2 SECTION				
28" WIDE 2" BOX RANCHER				
Model #	FI-1400	Design Package	Client Name	Block
			HARBIN	CS2

DOOR SCHEDULE

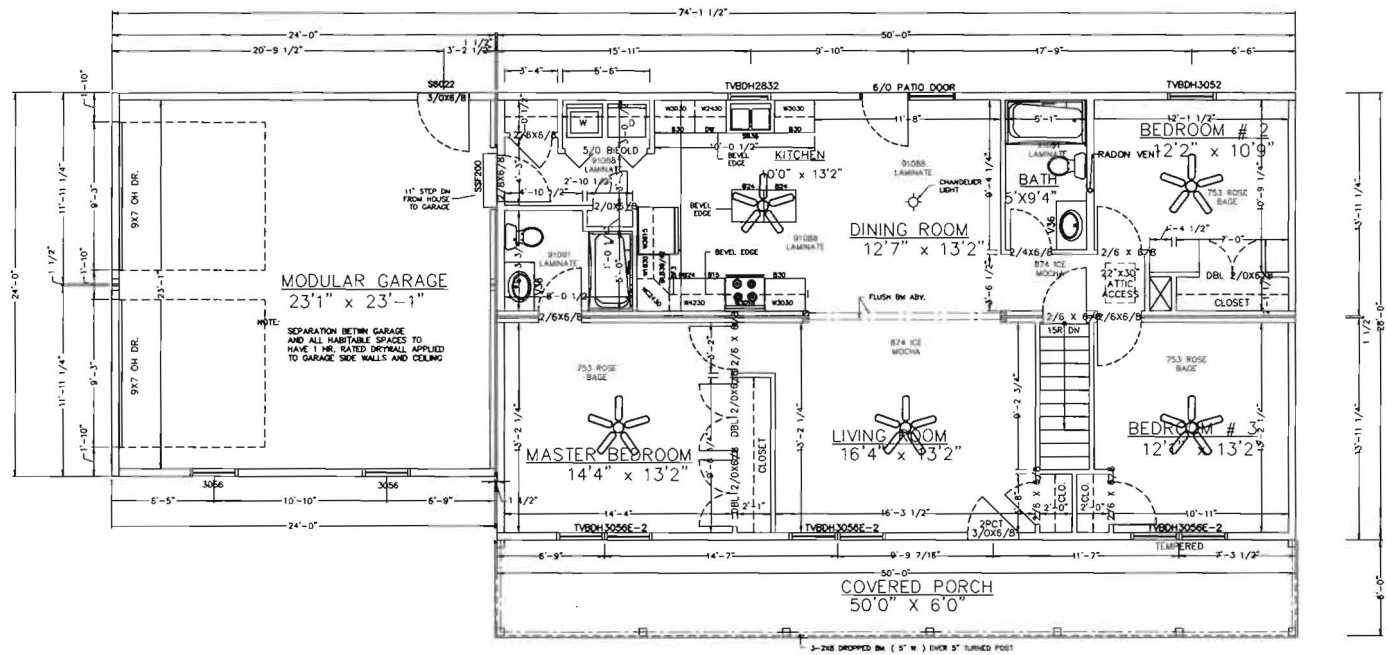
NO.	SIZE	ROUGH OPENING	TYPE
EXTERIOR DOORS			
E1	2/8x8/8	34 1/2" X 82 1/2"	0-LITE HD STEEL 499CM-1
E2	3/8x8/8	38 1/2" X 82 1/2"	2-PANEL HD STEEL 2PCT
E3	6/0 PATIO	53 1/2" X 82 1/2"	15-LITE HD STEEL 9915CM
E4			
INTERIOR DOORS			
I1	2/0 X 6/8	26 1/2" X 82 1/2"	RAISED PANEL / HOLLOW CORE
I2	2/4 X 6/8	30 1/2" X 82 1/2"	RAISED PANEL / HOLLOW CORE
I3	2/8 X 6/8	32 1/2" X 82 1/2"	RAISED PANEL / HOLLOW CORE
I4	DBL 2/6x8/8	62 1/2" X 82 1/2"	RAISED PANEL / HOLLOW CORE
I5			
I6			
I7			
I8			
I9			
CASED OPENINGS			
C1	3/0 X 6/8	38 1/2" X 82 1/2"	
C2	4/8 X 6/8	56 1/2" X 82 1/2"	

PLY GEM DOUBLE HUNG PRO SERIES WINDOW SCHEDULE

NO.	UNIT NO.	SERIES	ROUGH OPENING	SQ. FT. LIGHT VENT	TYPE	EGRESS MIN. CLR. OPC. SF
W1	TVBDH2832	PRO WHTY	32" X 36"	5.00	SINGLE HUNG	---
W2	TVBDH3052	PRO WHTY	36" X 60"	11.0	SINGLE HUNG	5.70
W3	TVBDH3056	PRO WHTY	72" X 60"	23.80	SINGLE HUNG	6.13
W4						
W5						
W6						
W7						
W8						
W9						

BAY WINDOW OPTION

* WINDOW SILL HEIGHTS MEET IRC REQUIREMENTS WHEN FINISHED GRADE IS 36" OR LESS FROM TOP OF FOUNDATION WALL. IF EXTERIOR GRADING EXCEEDS 36" TO TOP OF FOUNDATION WALL, WINDOW GUARDS CONFORMING TO IRC MAY NEED TO BE INSTALLED TO OBTAIN LOCAL CERTIFICATE OF OCCUPANCY. FOREMOST DOES NOT PROVIDE WINDOW GUARDS. WHEN LOCATED ON THE 2ND FLOOR OF TWO STORY HOMES, THESE WINDOWS ARE SUPPLIED WITH WINDOW GUARDS TO MEET IRC SILL HIGHT. REQUIREMENTS.



FLOOR PLAN

SCALE: 3/16"=1'-0"

GENERAL NOTES:

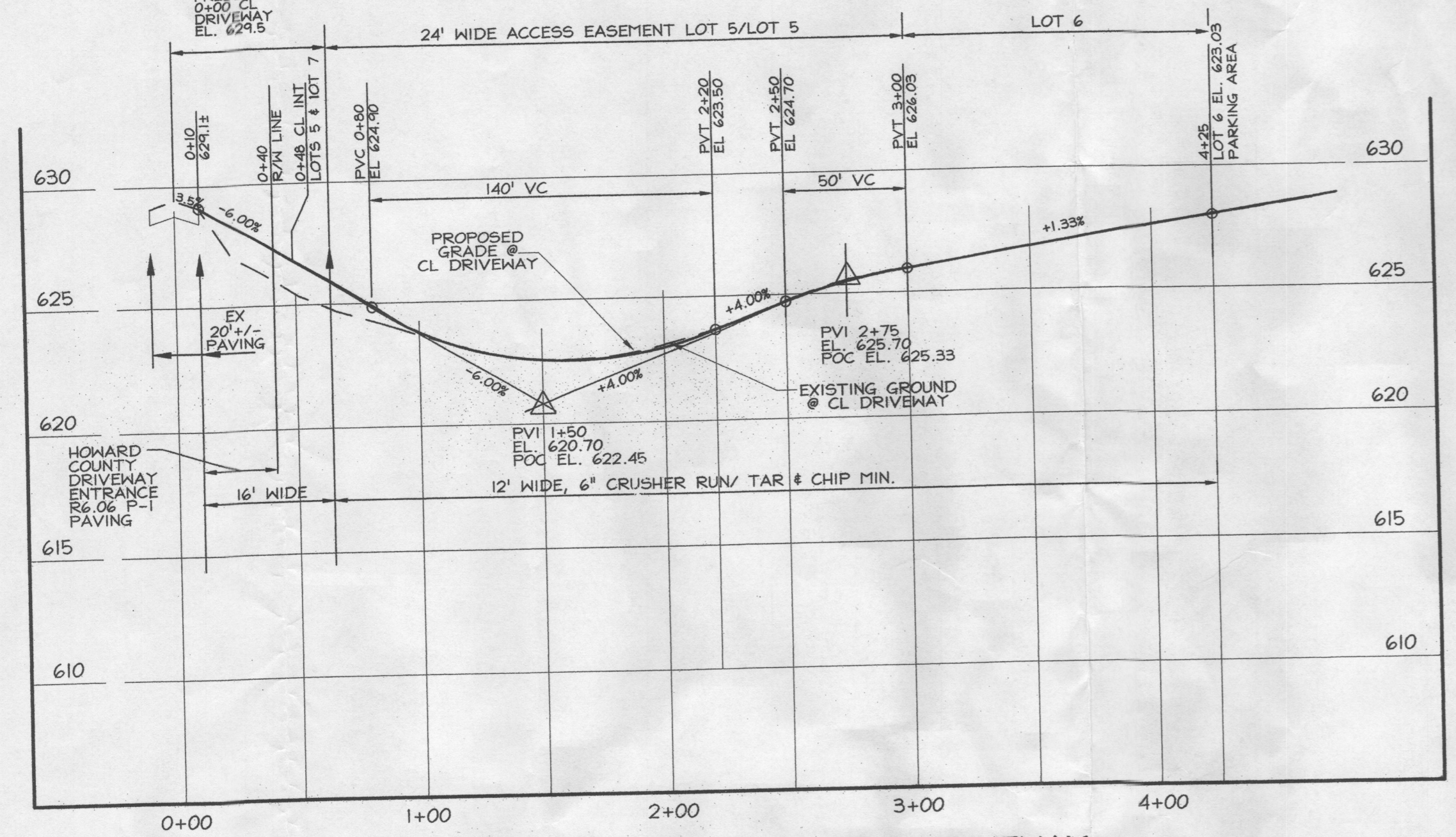
1. BATH FAN OUTPUT--50 CFM. KITCHEN EXHAUST FAN 180 CFM.
2. SAFETY GLASS OR THE INSTALLATION OF A HORIZONTAL MEMBER SHALL BE USED IF GLASS IS LESS THAN 18" A.F.F. AND EXCEEDS 9 SQ. FT. OF AREA.
3. CERTIFICATION LABELS WILL BE LOCATED IN THE KITCHEN UNDER THE SINK (CABINET).
4. ALL STAIR HANDRAILS SHALL BE INSTALLED AT 34" MIN. - 36" MAX.
5. VENTILATION OF ATTIC SPACE IS PROVIDED BY A COMBINATION OF EAVE AND RIDGE VENTS. THE MIN. NET FREE VENTILATION AREA SHALL BE 1/300 OF THE AREA OF THE SPACE VENTILATED.
6. INDIVIDUAL COMPONENTS IN WHOLE SUCH AS STRUCTURAL SYSTEMS, LIVING ROOMS, DENS, BEDROOMS, CLOTHES, LINEN, GUEST, OR PANTRY CLOSETS, UTILITY AREAS, BATHS, KITCHENS, GARAGES, ETC. MAY BE INTEGRATED WITH ANY FLOOR PLAN. THEY MAY BE ROTATED 90 DEGREES AND/OR REVERSED IN ANY DIRECTION.
7. FOR ALL STATES, EACH DWELLING UNIT SHALL CONTAIN AT LEAST ONE HABITABLE SPACE WITH A 150 SQ. FT. MINIMUM. SLEEPING SPACE SHALL NOT BE LESS THAN 80 SQ. FT. MIN. WITH A 7'-0" MIN. LENGTH IN ANY DIRECTION. KITCHEN SHALL NOT HAVE LESS THAN 50 SQ. FT. OF FLOOR AREA.
9. DO NOT BACK FILL AROUND FOUNDATION UNTIL HOUSE IS SET.
10. SEE CROSS SECTION FOR BASEMENT STAIR DETAILS.
11. SHOW PARTITION, WINDOW, AND DOOR LOCATIONS IN BASEMENT ON THESE PLANS FOR LOCAL PERMIT APPLICATIONS, FOR LIGHT/VENTILATION & EGRESS REQUIREMENTS.
12. THE UNDER-FLOOR SPACE BETWEEN THE BOTTOM OF THE FLOOR JOISTS AND THE EARTH UNDER ANY BUILDING (EXCEPT SPACE OCCUPIED BY A BASEMENT) SHALL HAVE VENTILATION OPENINGS THROUGH THE FOUNDATION WALLS OR EXTERIOR WALLS. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT (.0920 SQ. M.) FOR EACH 150 SQUARE FEET (14 SQ. M.) OF UNDER-FLOOR SPACE AREA. ONE SUCH VENTILATING OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER. * ALTERNATE NON-VENTED CRAWL SPACE MUST COMPLY WITH IRC R408.3.
13. ALL INTERIOR WALL DIMENSIONS GIVEN ARE ROUGH FRAMING DIMENSIONS.
14. DIMENSIONS GIVEN ARE FOR HOUSE ONLY. ALLOWANCES MUST BE MADE FOR ANY BRICK AND/ OR ADDITIONAL INSULATION ADDED TO THE OVERALL FOUNDATION DIMENSIONS.
15. JACK POSTS AS SHOWN ON FOUNDATION PLAN SUPPORT WOOD GIRDERS. WOOD GIRDERS EXTEND ONTO THE FOUNDATION WALL WHERE SUPPORT IS REQ'D. DO NOT LOCATE WINDOWS, DOORS, VENTS, ETC. AT THESE LOCATIONS.
16. REQ'D. FOUNDATION WALL SIZE IS THE RESPONSIBILITY OF FOUNDATION CONTRACTOR AND SHALL MEET THE REQUIREMENTS OF THE APPLICABLE BUILDING CODE OF THE AUTHORITY HAVING JURISDICTION.
17. MIN. 18" X 24" ACCESS OPENING REQ'D. ON CRAWL SPACE FOUNDATIONS. IF FOREMOST IS INSTALLING AN HVAC HEATING SYSTEM IN A CRAWL SPACE HOME, A 24" X 32" MIN. ACCESS OPENING IS REQUIRED.
18. CUSTOMER'S RESPONSIBILITY TO FURNISH AND INSTALL HANDRAIL FOR BASEMENT STAIRS.
19. ALL PLUMBING LOCATED IN UNCONDITIONED AREAS, SUCH AS CRAWL SPACES OR UNHEATED BASEMENTS, SHALL BE PROTECTED FROM FREEZING IN ACCORDANCE WITH NATIONAL AND LOCAL CODES. FREEZE PROTECTION IS NOT PROVIDED BY FOREMOST AND IS THE RESPONSIBILITY OF THE SITE CONTRACTOR.

DOOR & WINDOW NOTES

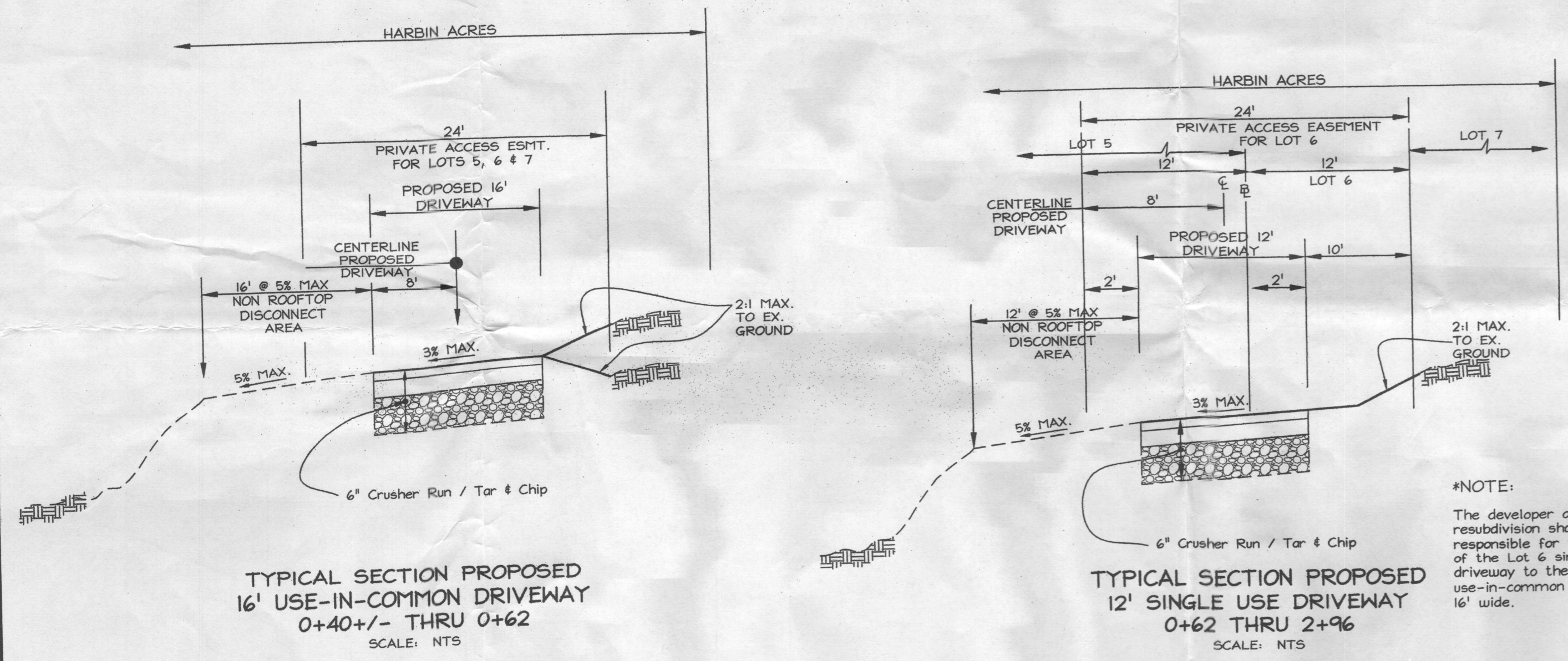
1. FOR EGRESS WINDOWS, THE MINIMUM WIDTH OF CLEAR OPENING SHALL BE 20"
2. FOR EGRESS WINDOWS, THE MINIMUM WIDTH OF CLEAR OPENING SHALL BE 24"
3. WINDOW AREA OF HABITABLE SPACE (LIVING, DINING, INCLUDING KITCHEN DINING IF NO OTHER DINING & SLEEPING SPACE) SHALL BE 8% OF FLOOR AREA FOR NATURAL LIGHT WITH 4% OPENING FOR VENTILATION MINIMUM. IF NOT VENTED MECHANICALLY TO EXTERIOR, BATHROOMS AND TOILET ROOMS SHALL HAVE A MINIMUM OPENABLE AREA OF 1 1/2 SQ. FT. 3 SQ. FT. FOR KITCHENETTES & KITCHENS (60 SQ. FT. OR MORE SHALL HAVE 4% OF AREA OPENING FOR MINIMUM VENTILATION.

FOREMOST INDUSTRIES INC. innovations in modular HOUSING					
2375 Buchanan Trail West Greencastle, PA 17225 Ph: (717) 597-7166					
DWN.	LUC	DATE	REVISION	BY	DATE
		5/14/14			
CKD.		SCALE			
APP.		3/16"=1'-0"			
1ST FLOOR PLAN					
FOREMOST 2 SECTION 28' WIDE 2 / BOX RANCHER					
NO.	REV.	DATE	DESCRIPTION	BY	DATE
		FI-1400	Drawn	HARBIN	
			CHK		
			DATE		

A4



PROFILE - PROPOSED LOT 6 DRIVEWAY
SCALE: 1" = 5' VERT
1" = 50' HORIZ

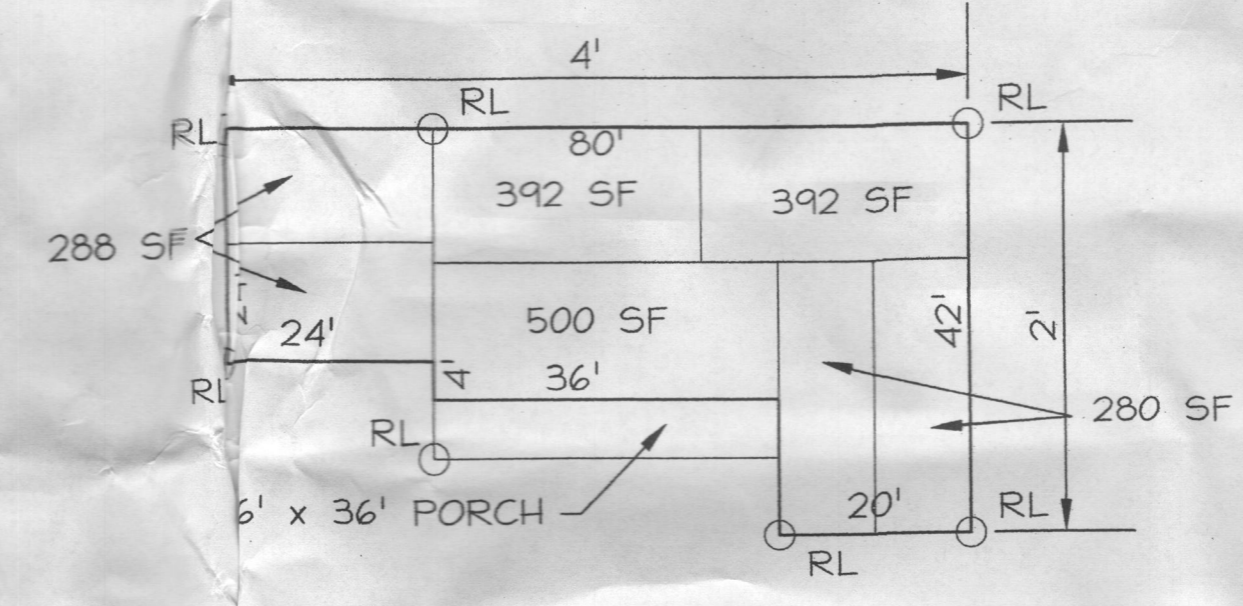


*NOTE:
The developer of the Lot 4 resubdivision shall be responsible for the widening of the Lot 6 single use driveway to the minimum use-in-common standard of 16' wide.

SECTION	ROAD AND STREET INFORMATION	CALIFORNIA DESIGN RATIO (CDR)				
		3 TO 10	10 TO 15	15 TO 20	20 TO 25	
P-1	16' WIDE ACCESS DRIVEWAY	MIN. SUPERELEVATION (SHOULDER)	1.0	1.0	1.0	1.0
		MIN. SUPERELEVATION (DRIVEWAY)	1.0	1.0	1.0	1.0
P-2	12' WIDE ACCESS DRIVEWAY	MIN. SUPERELEVATION (SHOULDER)	1.0	1.0	1.0	1.0
		MIN. SUPERELEVATION (DRIVEWAY)	1.0	1.0	1.0	1.0
P-3	16' WIDE ACCESS DRIVEWAY	MIN. SUPERELEVATION (SHOULDER)	1.0	1.0	1.0	1.0
		MIN. SUPERELEVATION (DRIVEWAY)	1.0	1.0	1.0	1.0
P-4	12' WIDE ACCESS DRIVEWAY	MIN. SUPERELEVATION (SHOULDER)	1.0	1.0	1.0	1.0
		MIN. SUPERELEVATION (DRIVEWAY)	1.0	1.0	1.0	1.0

MAINTENANCE CRITERIA FOR DISCONNECTION OF ROOFTOP RUNOFF
MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE AREAS RECEIVING RUNOFF SHOULD BE PROTECTED FROM FUTURE COMPACTION.

MAINTENANCE CRITERIA FOR DISCONNECTION OF NON-ROOFTOP RUNOFF
MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE AREAS RECEIVING RUNOFF SHOULD BE PROTECTED FROM FUTURE COMPACTION.



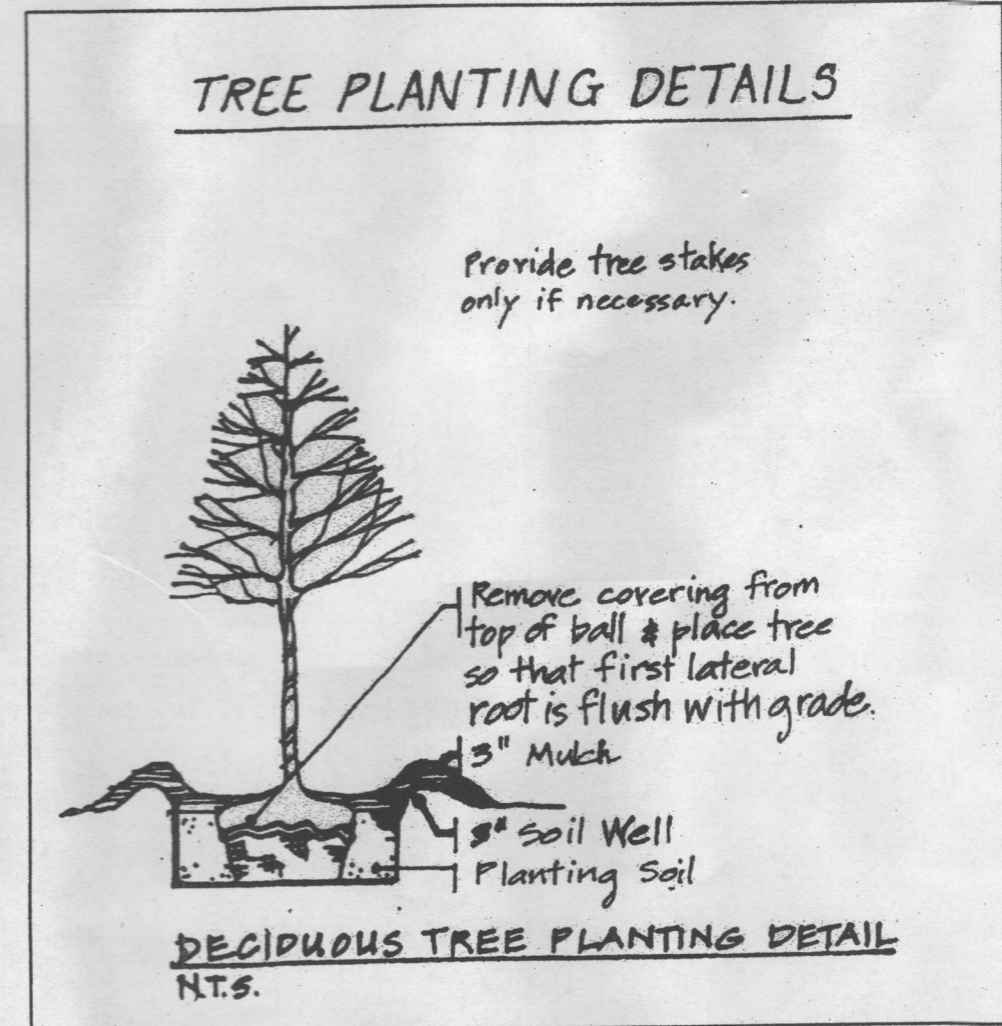
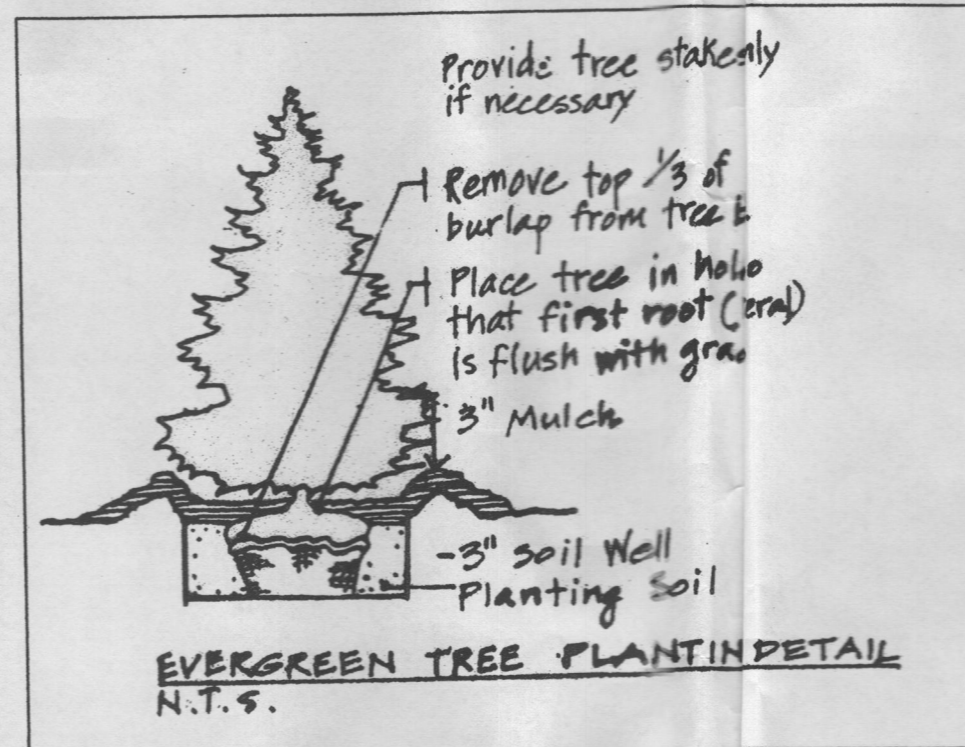
HOUSE PLAN
NOT TO SCALE

NOTE: ALL ROOF AREAS UTILIZE ROOFTOP DISCONNECTION CREDIT

LANDSCAPE PLAN NOTES & DETAILS

- GENERAL NOTES**
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code, Landscape Manual and Forest Conservation Manual.
 - The Owner/Developer is responsible for the planting of all plant material required to meet the standards established by the Howard County Landscape Manual.
 - Financial Surety for the required landscaping will be posted as part of the Builder's Grading Permit for Lot 6 in the amount of \$ 1,500.00.
 - Should any tree designated for preservation for which landscaping credit is given, die prior to release of bonds, the owner will be required to replace the tree with the equivalent species or with a tree which will obtain the same height, spread and growth characteristics. The replacement tree must be a minimum of 3 inches in caliper and installed as required in the Howard County Landscape Manual.
 - The owner, tenant and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant material shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition and when necessary repaired and replaced.
 - At the time of installation, all shrubs and other plantings herewith listed and approved for this site, shall be of the proper height requirements in accordance with the Howard County Landscape Manual. In addition, no substitutions or relocation of required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from this approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revision made to applicable plans and certificates.

- TREE PLANTING NOTES**
- Notify "Miss Utility" 72 hours prior to installation of all plant material.
 - Plant installation must conform to the minimum standards cited in the latest edition of Landscape Specification Guidelines, published by the Landscape Contractors Association.
 - Plants to be located in the field by the owner or owner's representative. Notify owner 72 hours in advance of planting.
 - A Certification of Landscape Installation is required as per the Howard County Landscape Ordinance.
 - The number, size, location of plants shall not be changed without the approval of the Landscape Architect. Substitutions must be included in the recommended plant list in the Howard County Landscape Ordinance.
 - Trees may not be planted within 5 feet of drain inlets, 5 feet of an open space access strip and 10 feet of a driveway.
 - Balled and burlapped plant material shall not be accepted if ball is cracked or broken before or during planting. Protect all plants from drying by either sun or wind.
 - Tree pits shall be backfilled with 50% topsoil, 25% peat 25% sand with one pound of 10-10-10 fertilizer per pit.
 - Top soil shall be sandy loam soil free from noxious weeds or grasses, roots, clay clumps, stones, sticks, etc. Peat moss shall be commercial with pH 4.5 to 5.5, free of woody material or harmful minerals.
 - All plants shall be watered at planting with weekly watering thereafter for the first 80 days. Watering shall continue bimonthly or as necessary to maintain plants in a healthy condition during the guarantee period.
 - Maintain the site in an orderly manner. Streets and sidewalks shall be swept clean. All rejected or dead materials shall be immediately removed from the site.
 - Plant material to be alive and healthy at the time of the guarantee period (one year), as specified in the Howard County Landscape Ordinance.
 - Maintenance shall begin immediately after planting and continue to the end of guaranteed period.
 - Maintenance consists of pruning, watering, weeding, re-mulching, resetting plants to proper grades as needed and repairing guys and stakes as needed.
 - All plant materials shall come from a local nursery within 100 miles of the site.



SCHEDULE A PERIMETER LANDSCAPE EDGE		
Category	Adjacent to Perimeter Properties (1)	Adjacent to Noise Source (3)
Perimeter	# 1 - SFD TO SFD = TYPE "A"	# 2
Landscape Type	A	
Linear Feet of Roadway Frontage / Perimeter	379 L.F.	425 L.F.
Credit for Existing Vegetation* (Yes, No, Linear Feet)	2 SHADE TREES (2)	No
Credit For Wall, Fence or Berm (Yes, No, Linear Feet)	NO	No
Number of Plants Required	1 per 60 Shade Trees = 6.3 Required	1 for 20' = 21 Required
Number of Plants Provided	CREDIT 2 SHADE TREES PROVIDED	23 Evergreens Provided
Shade Trees	5	
Flowering Trees	0	
Evergreens	0	
Shrubs	0	

PERIMETER PLANTING SCHEDULE				
NO	KEY	BOTANICAL / COMMON NAME	SIZE	COMMENT
SHADE TREES				
5	⊙	Acer saccharum 'Green Mountain' / Green Mountain Sugar Maple	2-1/2"-3" cal.	B4B
23	⊙	Pinus strobus / White Pine	5-6 HT.	B4B

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
Bruce D. Burton 5/22/13
SIGNATURE OF ENGINEER: BRUCE D. BURTON, P.E. 19184 DATE

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.
George E. Harbin 5-22-13
SIGNATURE OF DEVELOPER DATE

REVISIONS

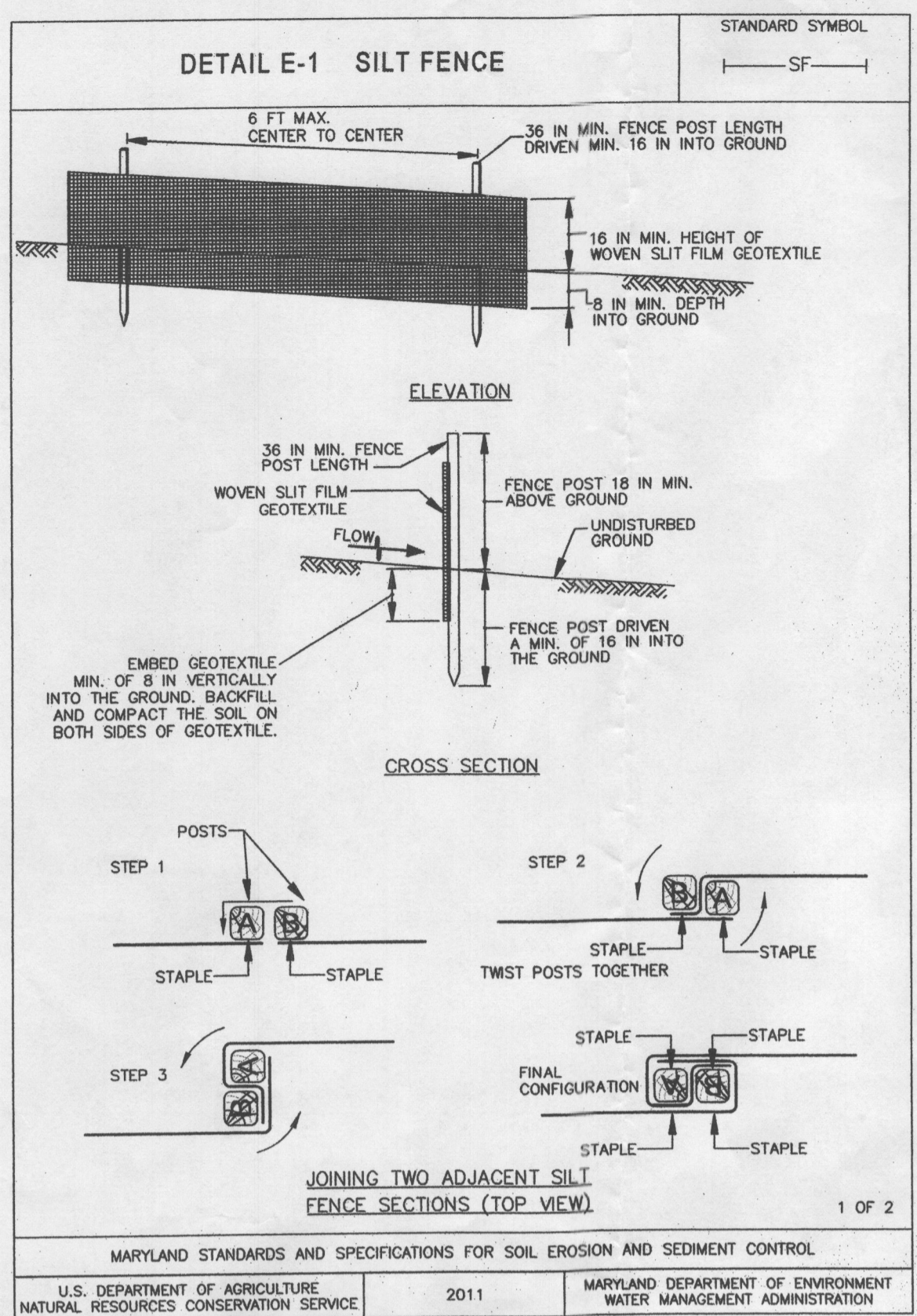
No.	Date	Description

- Perimeter Landscaping required only for new Lot and not along internal subdivision lines. One (1) Perimeter Required along western boundary @ "Liban Acres", Lot 26.
- Retain Specimen Tree "C" and one (1) Non-Specimen along Perimeter #1. See Sheet 2
- The evergreen screening along perimeter #2 is not required to be bonded because the lot line is an internal subdivision line.

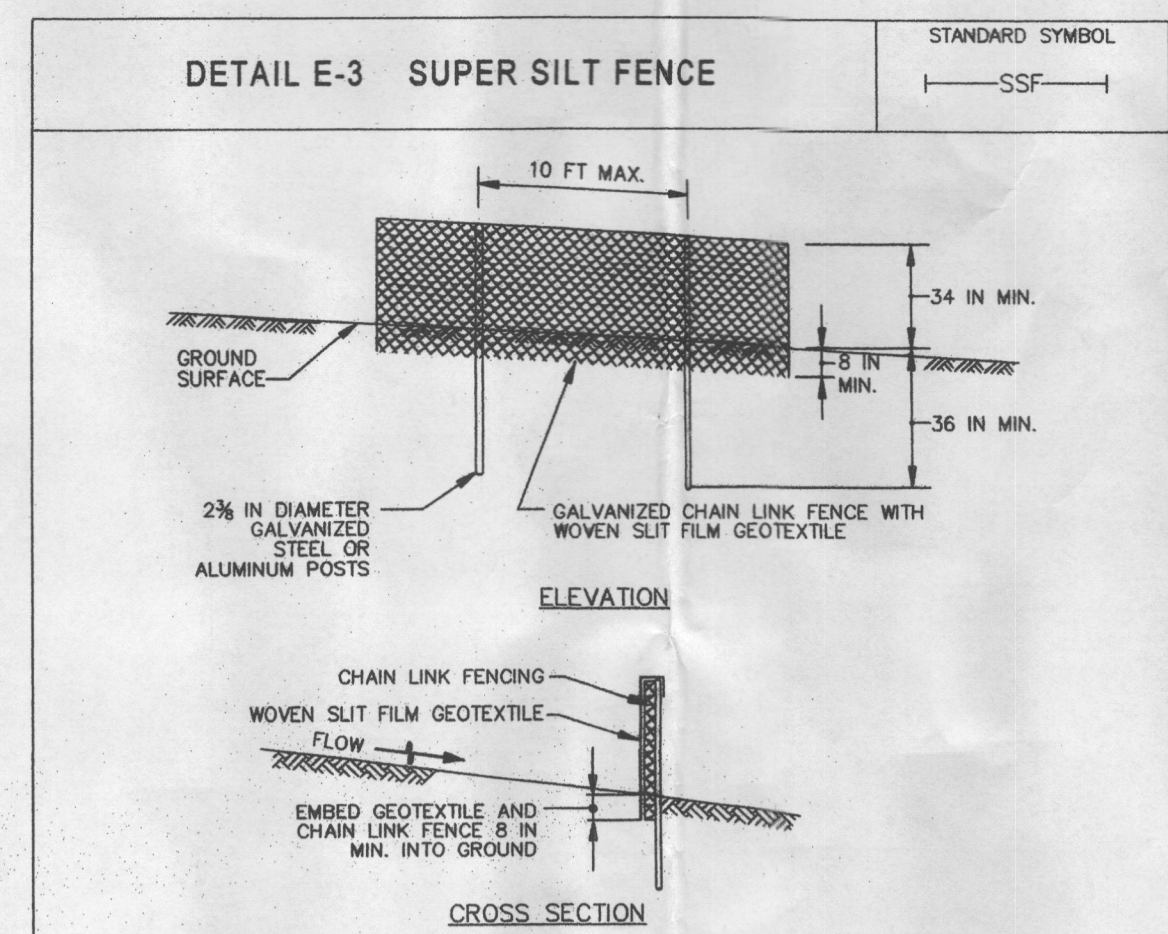
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
Bruce D. Burton 5/30/13
HOWARD SOIL CONSERVATION DISTRICT DATE

LDE Inc.
Engineers • Surveyors • Planners
Historic Carriage House • 7520 Main Street • Suite 203 • Sykesville, Maryland • 21784
(410)795-6391 • (410)795-6392 • FAX(410)795-9540 • www.Landsurveyormd.com

DESIGNED	CONSTRUCTION, LANDSCAPE NOTES AND DETAILS PLAN	SCALE
BDB		A5 SHOWN
DRAWN		DRAWING
LDE	HARBIN ACRES LOTS 5, 6 AND 7 A Resubdivision of Harbin Acres Lots 3 & 4 - Plat #19702 (# 15055 & #15015 Old Frederick Road) Tax Map No. 8 Grid No. 9 Parcel 19 & 350 4th Election District - Howard County, Maryland - Zoned RC-DEO Previous Submittals: VP 76-95, F 81-42, WP 07-14, F 07-62, EPC 11-014, WP 12-079, HDC 12-09, F12-046, WP 13-078	3 of 3
CHECKED		JOB NO.
BDB		09-003
DATE	OWNER/DEVELOPER:	FILE NO.
5/2013	George & Shirley Harbin 15055 Old Frederick Road Woodbine, MD 21794 410-464-4158	GP13-071



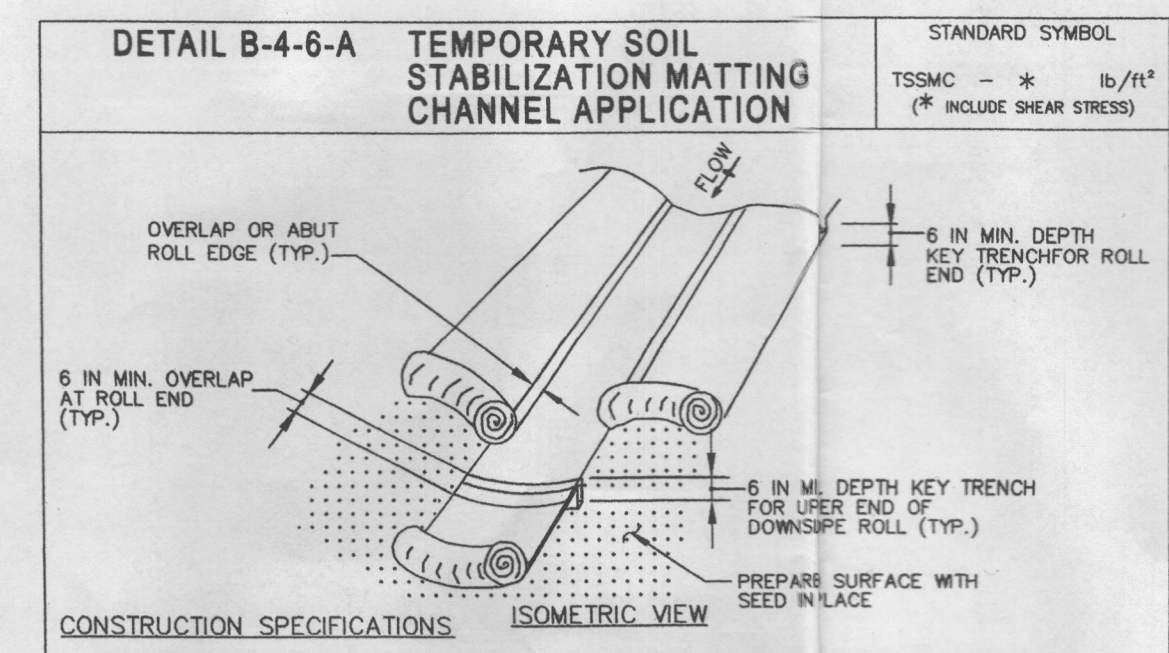
MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- INSTALL 2 1/2 INCH DIAMETER GALVANIZED STEEL POSTS OF 0.095 INCH WALL THICKNESS AND SIX FOOT LENGTH SPACED NO FURTHER THAN 10 FEET APART. DRIVE THE POSTS A MINIMUM OF 36 INCHES INTO THE GROUND.
- FASTEN 8 GAUGE OR HEAVIER GALVANIZED CHAIN LINK FENCE (2 1/2 INCH MAXIMUM OPENING) 42 INCHES IN HEIGHT SECURELY TO THE FENCE POSTS WITH WIRE TIES OR HUG RINGS.
- FASTEN WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS, SECURELY TO THE UPSLOPE SIDE OF CHAIN LINK FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP AND MID SECTION. EMBED GEOTEXTILE AND CHAIN LINK FENCE A MINIMUM OF 8 INCHES INTO THE GROUND.
- WHERE ENDS OF THE GEOTEXTILE COME TOGETHER, THE ENDS SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO PREVENT SEDIMENT BY PASS.
- EXTEND BOTH ENDS OF THE SUPER SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SUPER SILT FENCE.
- PROVIDE MANUFACTURER CERTIFICATION TO THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN. IF UNDERMINING OCCURS, REINSTALL CHAIN LINK FENCING AND GEOTEXTILE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (ASTS 6 MONTHS MINIMUM) NATURAL OR MAN-MADE FIBERS (MOSTLY ORGANIC). MAT MUST HAVE UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND BE SMOOTHER RESISTANT (EMGALS) USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND CERTIFICATION AND NON-INJURIOUS TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH MAXIMUM MESH OPENING OF 2-2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERLINE LONGITUDINAL AXES OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PAPER MATERIAL.
- SECURE MATTING USING STEEL STAPLES, WOOD STAKES, OR BIODEGRADABLE EQUIVALENT. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES AND BE A MINIMUM OF 8 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH INCH LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUND-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1 1/2 INCHES IN CROSS SECTION, AND WEDGED SHAPED AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDING PREPARATION AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- UNROLL MATTING IN DIRECTION OF WATER FLOW, CENTERING THE FIRST ROLL ON THE CHANNEL CENTERLINE. WORK FROM CENTER OF CHANNEL OUTWARD WHEN PLACING ROLLS. LAY MAT SMOOTHLY AND FIRMLY ON THE SEEDING SURFACE. AVOID STRETCHING THE MATTING.
- KEY-IN UPSTREAM END OF EACH MAT ROLL BY DIGGING A 6 INCH (MINIMUM) TRENCH AT THE UPSTREAM END OF THE MATTING, PLACING THE ROLL END IN THE TRENCH, STAPLING THE ROLL IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SETTLE THE MAT END.
- OVERLAP OR ABUT THE ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSLOPE MAT OVERLAPPING ON TOP OF THE DOWNSTREAM MAT.
- STAPLE/STAKE MAT IN A STAGGERED PATTERN ON A FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION 4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

B-4.1 STANDARDS AND SPECIFICATIONS

SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION
The process of preparing the soils to maintain adequate vegetative stabilization.

PURPOSE
To provide a suitable soil medium for vegetative growth.

CONDITIONS WHERE PRACTICE APPLIES
Where vegetative stabilization is to be established.

CRITERIA

A. Soil Preparation

- Soil preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chain plows or ripper mounted on construction equipment. After the soil is loosened, it must not be rolled or dragged smooth but left in the rough condition. Slopes 3:1 or flatter are to be tilled with ridges running parallel to the contour of the slope.
- Apply fertilizer and lime as prescribed on the plans.
- Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means.

B. Topsoiling

- Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low nutrient content, low nutrient levels, and/or unstable topsoil layers, and/or soil conditions that prevent normal seedling preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seeding broadcast may be necessary on any undisturbed areas.
- The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
- The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
- The original soil to be vegetated contains material toxic to plant growth.
- The soil is so acidic that treatment with limestone is not feasible.

C. Soil Amendments (Fertilizer and Lime Specifications)

- Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on areas having disturbed areas of 1/2 acre or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analysis.
- Fertilizers must be suitable in composition, slow releasing and suitable for accurate application by appropriate equipment. Measures may be undertaken for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site daily according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
- Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroxide) which contain at least 50 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #200 mesh sieve.
- Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
- When the material is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

PERMANENT SEEDING NOTES

Scope: Planting permanent, long lived vegetative cover on graded and/or cleared areas and areas that have been in temporary vegetation for more than 6 months.

Standards: The following notes shall conform to Section B-4 of the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2.

For sites over 5 ac. soil tests will be performed. Soil tests will be conducted by the University of Maryland or a recognized commercial laboratory. Minimum soil conditions shall meet the requirements of section B-4-2-A-2-a, otherwise soil amendments or topsoil will need to be applied. Topsoiling may occur when soil conditions meet the minimum requirements as stated in section B-4-2-B. Soil amendments must meet the requirements as set forth in section B-4-2-C and must be applied as indicated by the soil tests.

For sites of 5 ac. or less of disturbance, the following fertilizer and lime rates shall apply. Fertilizer shall consist of a mixture of 10-20-20 and be applied at the following rates:
N = 45 lb. per acre (1 lb. per 1000 sq. ft.) P2O5 = 90 lb. per acre (2 lb. per 1000 sq. ft.) K2O = 90 lb. per acre (2 lb. per 1000 sq. ft.)
Lime shall be applied at a rate of 2 tons per acre (90 lb. per 1000 sq. ft.)

Seed type, fertilizer or soil application shall meet the requirements in section B-4-3. Seed tags shall be made available to the inspector to verify the type and application rate of seed used. Multiple types and its application will meet the requirements in section B-4-3, b, and c, and will be applied along with seed or immediately after seeding.

Seeding mixtures shall be selected from or will be equal to those on Table B.1. The seeding chart below will need to be placed on and filled in on the sediment control plan.

No.	Species	Application Rate (lb/acre)	Seeding Dates	Seeding Depths	Fertilizer Rate (10-20-20)			Lime Rate
					N	P2O5	K2O	
7	Creeping Red Fescue (Fescue Rubra Var. Rubra)	60	3/1 - 5/15	1/4 - 1/2 in	45 lbs/acre (10 lb/1000 sq ft)	90 lbs/acre (2 lb/1000 sq ft)	90 lbs/acre (2 lb/1000 sq ft)	2 tons/acre (90 lb/1000 sq ft)
	Kentucky Bluegrass (poa Pratensis)	15	8/1 - 10/15	1/4 - 1/2 in				

TEMPORARY SEEDING NOTES

Scope: Planting short term (no more than 6 months) vegetation to temporarily stabilize any areas where soil disturbance has occurred, until the area can be permanently stabilized with vegetative or non-vegetative practices.

Standards: The following notes shall conform to Section B-4 of the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL published jointly by the Maryland Department of Environment - Water Management Administration, the National Resource Conservation Service and the Maryland Association of Soil Conservation Districts.

The seed bed shall be prepared by loosening the soil to a depth of 3 to 5 inches and incorporating the lime and fertilizer into this loosened layer of soil. See section B-4-2.

For temporary stabilization, fertilizer shall consist of a mixture of 10-20-20 and be applied at a rate of 45 lb. per acre (1 lb. per 1000 sq. ft.) and will meet the requirements in section B-4-2. Lime shall be applied at a rate of 2 tons per acre (90 lb. per acre) and shall meet the requirements in section B-4-2 and B-4-4.

Seed type and application shall meet the requirements in section B-4-3. Seed tags shall be made available to the inspector to verify the type and rate of seed used. Multiple types and its application will meet the requirements in section B-4-3, b, and c, and will be applied along with the seed or immediately after seeding.

Seeding mixtures shall be selected from or will be equal to those on Table B.1. (page B.20).

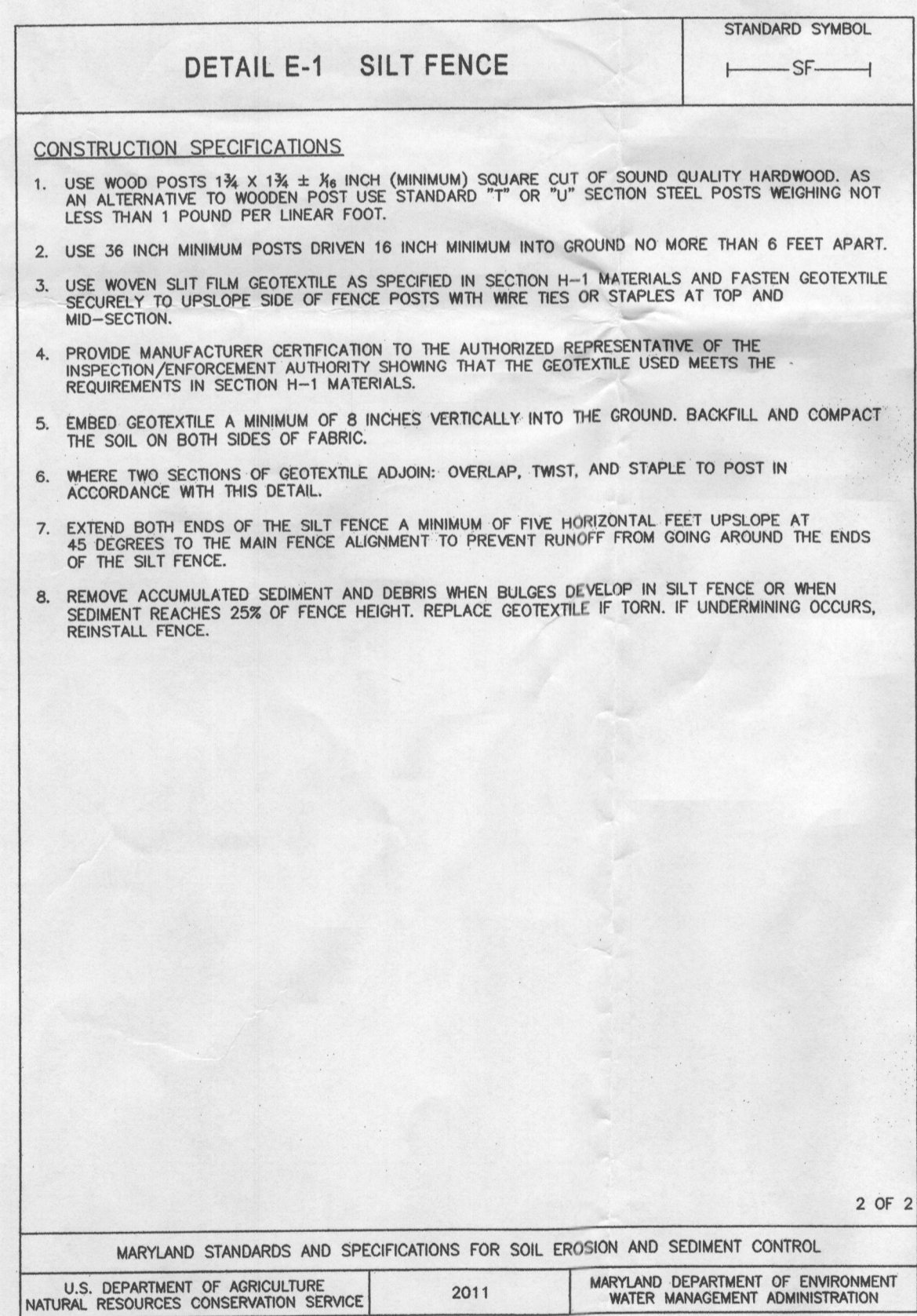
The seeding chart below will need to be placed on and filled in on the sediment control plan.

No.	Species	Application Rate (lb/acre)	Seeding Dates	Seeding Depths	Fertilizer Rate (10-20-20)			Lime Rate
					N	P2O5	K2O	
	Annual Ryegrass (Lolium Perenne sp. multiflorum)	40	3/1 - 5/15	0.5"	45 lb/acre (10 lb/1000 sq ft)			2 tons/acre (90 lb/1000 sq ft)

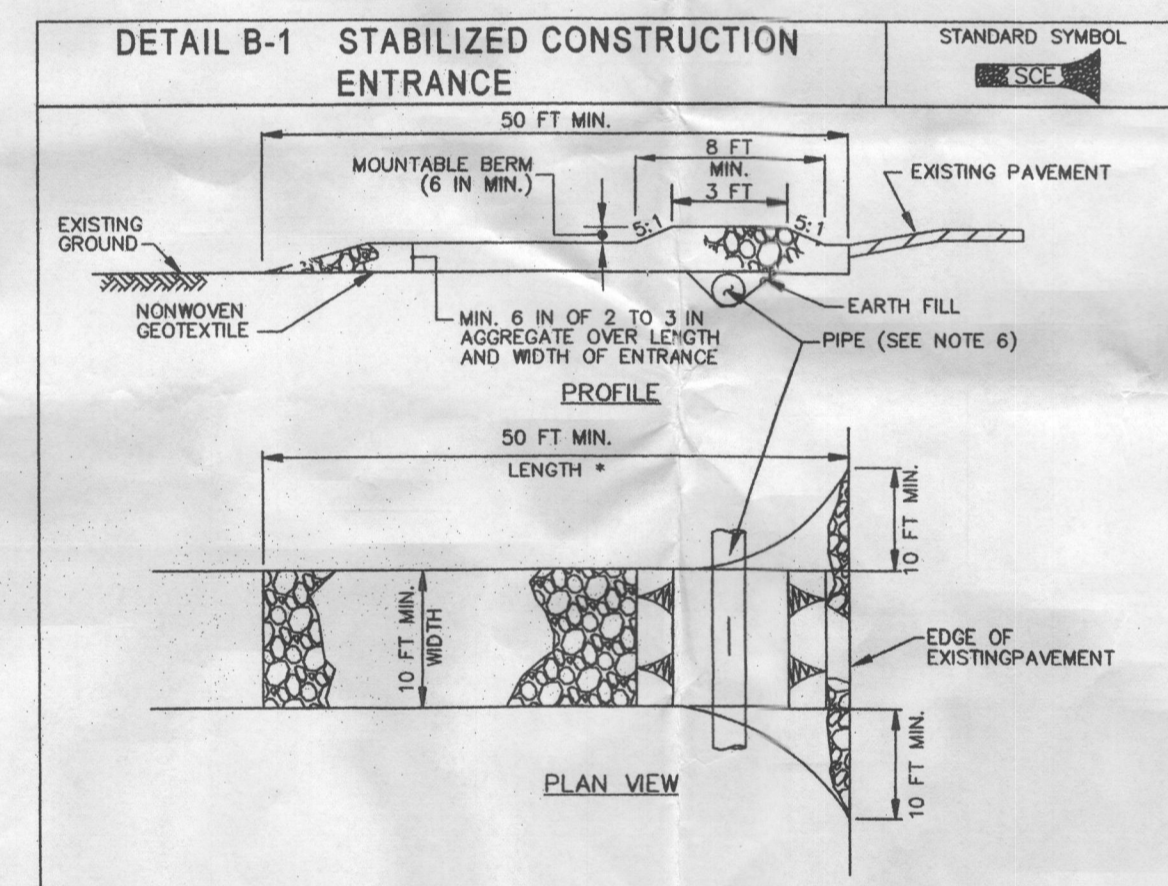
SEQUENCE OF CONSTRUCTION:

- Obtain Grading Permit 1 Day
- Notify the Howard County Dept. of Inspections, Licenses and Permits at least 24 hours prior to starting work. 1 Day
- Construct Stabilized Construction Entrance 1 Day
- Install Super Silt Fence as shown hereon. 5 Days
- Clear & grub site to subgrade. 5 Days
- Begin excavation for house foundation and begin house construction. 180 Days
- The Contractor shall inspect and provide necessary maintenance on the sediment and erosion control structures shown hereon after each rainfall and on a daily basis. Daily
- Remove sediment from roadways and dress Stabilized Construction Entrance as required. Maintenance
- Fine grade and stabilize with permanent seeding mixture and straw mulch. Install individual driveway and house walk. 5 Days
- Install septic system and trenches. 5 Days
- With permission from the Sediment Control Inspector, remove all sediment and erosion control measures, tree protection fence and stabilize any remaining disturbed areas with permanent seeding mixture and straw mulch. 2 Days

Total Time: 205 Days



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (*50 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE. MAINTAIN POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction. (313-1055)
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in compliance with the most current MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
- Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within a) 3 calendar days for all perimeter sediment control structures, dikes, perimeter slopes on all slopes greater than 3:1, b) 7 days as to all other disturbed or graded areas on the project site.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, permanent seeding (Section B-4-3), temporary seeding (Section B-4-4), and mulching (Section B-4-3). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place a) are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area of Site	12	Acres
Area Disturbed	02	Acres
Area to be roofed or paved	05	Acres
Area to be vegetatively stabilized	05	Acres
Total Cut	7	Cu. Yds.
Total Fill	7	Cu. Yds.
Offsite waste area location	N	
- Any sediment control practice which is disturbed by grab activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to toe pipe lengths or that which can be back-filled and stabilized by the end of each work, whichever is shorter.
- Any changes or revisions to the sequence of construction must be reviewed and approved by the plan approval authority prior to proceeding with construction.
- A project is to be sequenced so that grading activities on one grading unit (maximum acreage of 20 ac. per grading unit) at a time may proceed to a subsequent grading unit when at least 50 percent of 1 disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority. Unless otherwise specified and approved by approval authority, no more than 30 acres cumulatively may be disturbed at any time.

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

Signature: Bruce D. Burton
DATE: 5/22/13

DEVELOPER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: Bruce E. Moran
DATE: 5-22-13

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19184, EXPIRATION DATE: 6/30/15.

Signature: Bruce D. Burton
DATE: 5/22/13

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature: John E. Burton
DATE: 5/30/13

REVISIONS

No.	Date	Description

LDE Inc.
Engineers • Surveyors • Planners
Historic Carriage House • 7520 Main Street • Suite 203 • Sykesville, Maryland • 21784
(410)795-6391 • (410)795-6392 • FAX (410)795-9540 • www.Landsurveyormd.com

DESIGNED	GRADING AND SEDIMENT CONTROL DETAILS	SCALE	AS SHOWN
DRAWN	HARBIN ACRES Lots 5, 6 AND 7	DRAWING	2 of 3
CHECKED	A Resubdivision of Harbin Acres Lots 3 & 4 - Plat #19702 (# 15055 & #15015 Old Frederick Road) Tax Map No. 8 - Grid No. 9 - Parcel 19 & 350 4th Election District - Howard County, Maryland - Zoned: RC-DEO	JOB NO.	09-003
DDB	Previous Submittals: VP 76-95, F 81-42, WP 07-14, F 07-62, ECP 11-014, WP 12-074, HDC 12-03, F12-046, WP 13-078	FILE NO.	GP13-071
DATE	OWNER/DEVELOPER: George & Shirley Harbin 15055 Old Frederick Road Woodbine, MD 21794 410-464-4158		

LEGEND

- Existing Contour (2' Interval) - 500
- Existing Contour (10' Interval) - Mac
- Soils Boundary - GmB
- Existing Driveway
- Proposed Driveway
- Existing Treeline
- Existing Tree To Be Retained
- Existing Septic Easement
- Proposed Septic Easement
- Primary Well Site
- Alternate Well Site
- Existing Well
- Proposed 2' Contour
- Proposed 10' Contour
- Existing Driveway to be Removed
- Rooftop Disconnection from Roof Leader (RL) 500 SF Max
- Proposed Paving

HATCH LEGEND

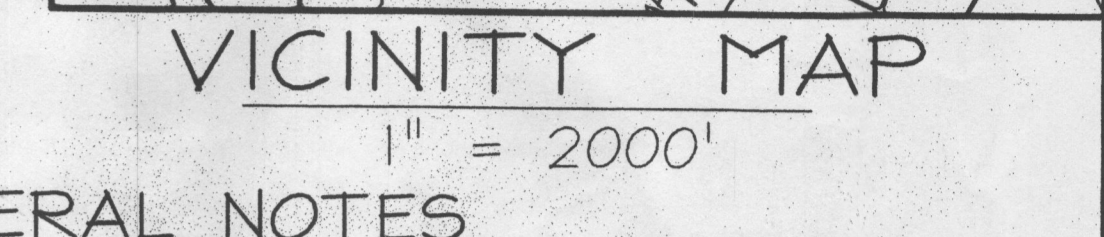
- NON-ROOFTOP DISCONNECTION AREAS
- HEALTH DEPARTMENT STORMWATER MANAGEMENT SETBACK / EXCLUSION ZONE
- EXISTING DRIVEWAY TO BE REMOVED

INDEX OF SHEETS

No.	Description
1	GRADING & SEDIMENT CONTROL PLAN
2	GRADING & SEDIMENT CONTROL DETAILS
3	CONSTRUCTION, LANDSCAPE NOTES AND DETAILS

NOTE:

There are no onsite contiguous areas of steep slopes located on LOT 6 which comprise an area of 20,000 sq ft or greater.



GENERAL NOTES

- The Subject property is zoned RC-DEO per 2/02/2004 Comprehensive Zoning Plan and per the 'Camp Lite' Zoning Regulation Amendments effective 7/25/06.
- Parcel 350 Liber 222 Folio 47
- Parcel 1049 Folio 202
- Total area of property: 12.3809 Ac.±
- Limit of disturbance: 0.82 Ac.±
- No wetlands, streams or their buffers, Forest Conservation Easement or 100 Year Floodplain exist on Lots 5 or 6.
- The lot shown herein comply with the minimum lot area and ownership width as required by the Maryland Department of the Environment (MDE).
- All existing wells and septic systems within 100 feet of the lot which may affect this proposal have been shown.
- The topography shown is taken from Howard County aerial photography and field run topography within the buildable area of the lots and driveway.
- The boundary shown herein is based on a field run boundary survey performed by LDE, Inc. dated January, 2005.
- Administrative easements shall require a revised percolation certification plan.
- These areas designate a private sewage disposal. Improvements of any nature in this area are restricted until public sewage is available. These easements shall be a minimum of 10,000 square feet as required by the Maryland Department of the Environment. The County Health Officer shall have the authority to grant variances for encroachments into the private sewage easement.
- Recreation of a modified sewage easement shall not be necessary.
- The Howard County Health Department approved the percolation certification plan for these lots on 4/11/08 and Revised Percolation Certification Plan on 7/23/2009.
- There are existing dwellings and structures located on proposed Lots 5 and 7 to remain. No new lots, extensions or additions to the existing dwellings or structures are to be constructed at a distance less than the zoning regulations require.
- This plan has been prepared in accordance with the provisions of Section 16.024 of the Howard County Code and the Landscaping Manual. Financial Survey for Landscaping (5 shade trees) of a 1500.00 will be posted with the Builder's Grading Permit for Lot 6.
- See Sheet 3 for Landscaping Schedule 'A', Planting Details, Landscape Notes and Landscape Perimeter Summary.
- There are no on-site and off-site contiguous areas of steep slopes located on this project which comprise an area of 20,000 sq ft or greater.
- Stormwater management is provided for Lot 6 by use of disconnection credits. The on-site stormwater management for Lot 6 is subject to a recorded Declaration of Covenants (DOC).
- Soils data shown based on USDA Natural Resources Conservation Service - Web Soil Survey 2.0 - Version 5, Sept 21, 2006 - Howard County. The soils on site are designated as Glenelg loam. Glenelg is listed as Hydrologic Soil Group 'B'. The computations herein utilize Hydrologic Soil Group 'C' for the stormwater analysis.
- The maintenance agreements for the shared driveway have been recorded with the F12-046 plat.
- For flag or pipeline sale, snow removal and road maintenance are provided to the junction of the flag or pipeline and road right-of-way line and not onto the pipeline lot driveway.
- Driveway(s) shall be provided prior to residential occupancy to insure safe access for fire and emergency vehicles per the following minimum requirements:
 - Width - 12' (6 feet serving more than one residence).
 - Surface - 4 inches of compacted crusher run base with tar and chip coating.
 - Clearance - 12' minimum clearance and minimum 45 feet turning radius.
 - Structures (culverts/bridges) capable of supporting 25 gross tons (H25 loading).
 - Drainage Elements - Capable of safely passing 100 year flood with no more than 1 foot depth over driveway surface.
 - Structure clearance - minimum 12 feet.
 - Maintenance sufficient to insure all weather use.
- The detailed investigation was completed by LDE, Inc. dated March, 2010. There are no Wetlands onsite.
- No 100 Yr Floodplain areas are located within this subdivision.
- This plan is subject to HP-07-14. On September 15, 2006 the Planning Director approved the request to waive Section 16.19(f)(1) to allow direct driveway access from Old Frederick Road, Section 16.220(a)(1) to allow lots to derive direct access from a major collector road, Old Frederick Road, and Section 16.220(b)(5) which states for residential subdivision a noise study may be required in accordance with the Design Manual.
- The subdivision layout shall ensure that the noise level in the rear yard does not exceed the standard set in the Design Manual. All of the frontage along Old Frederick Road is restricted for vehicular ingress and egress except for the two specified 24' wide access points for driveway access. Either Lot 3 or 4 is resubdivided, the existing driveways will be shared by the new lots created from Lot 3 and compliance with all County and State Regulations will be required at the time Lot 3 and 4 are resubdivided. Upon resubdivision of either Lot 3 or Lot 4 to create additional lots, a noise study and appropriate mitigation, Landscaping, Forest Conservation and Storm Water Management will be required.
- The 65 dBA noise contour line drawn on this subdivision plan is advisory as required by the Howard County Design Manual, Chapter 5, revised February, 1992 and cannot be considered to exactly locate the 65 dBA noise exposure. The 65 dBA noise line was generally accepted noise levels established by the U.S. Department of Housing and Urban Development.
- This subdivision complies with the requirements of Section 16.200 of the Howard County Code for Forest Conservation by placement of 2.52 Acres of retention easement in the Quartz Hill Forest Conservation Bank (502-10-104).
- This plan is subject to HP-07-09, on December 13, 2011, the Planning Director approved the request to waive Section 16.200(b)(1) and (ii) which states for residential subdivision, a noise study may be required in accordance with the Design Manual and where residential lots are impacted by excessive noise levels from a highway, noise mitigation shall be provided, and have minimum lot frontages on approved parcels, or bulk parcels for single-family detached dwelling shall be 20 feet for single pipeline and non-pipeline lots and preservation parcels which cannot be further subdivided under current zoning. This waiver applies to new lots which has a proposed 12 foot wide pipeline for frontage subject to 7 conditions.
 - Compliance with the Development Engineering Division comments dated November 16, 2011.
 - The Maryland State Highway Administration is not responsible for noise mitigation now or in the future for the subject Lots 5, 6, & 7.
 - The petitioner shall add a note on the plat across Lots 6 and 7 to read as follows: "This lot is within an area considered to exceed generally accepted noise levels established by the U.S. Department of Housing and Urban Development."
 - The petitioner shall add a General Note to the plat, indicating the noise mitigation measures to be installed, used, and description of the regulation waived, action and date of action.
 - The petitioner shall provide evergreen plantings between the new house for Lot 6 and the I-70 noise source to help lessen excessive noise levels. The number and type of evergreen trees are to be evaluated and determined on the supplemental landscape plan under F-12-046.
 - The following house design guidelines shall apply to the new house for Lot 6 to be constructed:
 - The new house shall be located on the subject lot as close as possible to the front 75' building restriction line away from the I-70 right-of-way.
 - The new house shall be oriented on the subject lot to afford the optimal protection from the I-70 noise source.
 - The new house shall be constructed with acoustic insulation and other noise attenuation materials such as insulated siding, double or triple pane windows and insulated doors, etc. to provide maximum protection from excessive noise levels.
- Compliance with SBC agency comments for F-12-046.
 - The Planning Director denied the request to waive Section 16.200(b)(4)(ii)(b), which prohibits floodplains, wetlands, streams, their buffers and forest conservation easements on lots or buildable preservation parcel under 10 acres in size. The waiver request is to allow forest conservation easements for afforestation on-site within Lot 7 which is 6.06 acres in size, and Section 16.200(c) "Net Tract Area" means the total area to the nearest 1/2 acre, whether forested or not, of a proposed development, exclusive of any 100 year floodplain, utility transmission line easements, or preservation parcels as referenced in the zoning regulations. "Net Tract Area" is to be used in calculating any reforestation or afforestation obligations that may be created by the proposed development. This request is to allow the net tract calculation to be based on Lots 5, 6 and the driveway portion of Lot 7.
 - Trash and recycling pickup will be at Old Frederick Road within 5' of the roadway.
 - The 25' building restriction line shown on Lot 6 and Lot 7 is a Design Manual requirement as it relates to the 65dBA noise line.
 - This project was presented to the Historic District Commission on April 5, 2002 for advisory comments HDC (2-04).
 - In accordance with approval conditions to HP-07-14, the required right-of-way dedication for Old Frederick Road is provided herein, noted as "Land Dedicated to Howard County, Maryland, For Purposes of a Public Road". However, the owners retain ability to use the 100' minimum lot size reduction for the resubdivision of Lot 7 per Section 16.200.2.1.
 - The existing hand dug well on Lot 7 has been abandoned and filled by a licensed well driller. The existing septic system on Lot 7 has been abandoned.
 - The residue area for Lot 7 of 3.0702 acres was excluded from the forest conservation calculations and requirements with this subdivision because there is no change in use of the property, however, upon further resubdivision of Lot 7, then separate forest conservation calculations and requirements will be provided based on acreage size.
 - Due to the close proximity of the existing plot on adjoining Lot 5 to the proposed grading required for the driveway to Lot 6, the standard silt fence specified on this plan may be upgraded to Super Silt Fence at the direction of the Sediment Control Inspector.
 - If the stoop(s) proposed on Lot 6 exceeds 15 feet in height, the side slopes shall be benched in accordance with Standard B3-3.1.

SOILS LEGEND

HYDROLOGIC SOIL GROUP	SOIL SYMBOL	DESCRIPTION	REMARKS
B	GgA	Glenelg loam, 0% - 3% slopes,	-
B	GgB	Glenelg loam, 3% - 8% slopes,	-
B	GgC	Glenelg loam, 8% - 15% slopes,	-
B	UaF	Udorthents, Highway	-

The soils on site are designated as Glenelg loam. Glenelg is listed as Hydrologic Soil Group "B". The computations herein will utilize Hydrologic Soil Group "C" for the stormwater analysis.

SEWAGE SYSTEM DESIGN DATA

- Invert at foundation wall: 620.50 basement service
- 1500 gallon septic tank (4 bedrooms) provides manhole to finished grade.
 - existing ground over tank: 622.50
 - proposed grade over tank: 622.50
 - invert in: 619.50
 - invert out: 619.50
- Distribution box : (provide 3 outlets minimum)
 - existing ground over tank: 622.00
 - proposed grade over tank: 622.00
 - invert in: 619.00

Note: Trench design may be revised at time of installation based on site conditions.

SPECIMEN TREE TABLE

DESIGNATION	SPECIES	SIZE (dbh)	CONDITION	REMARKS
A	RED MAPLE	32"	FAIR	RETAIN
B	SILVER MAPLE	35"	FAIR	RETAIN
C	WHITE OAK	44"	GOOD	RETAIN
D	RED MAPLE	43"	POOR	RETAIN

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature DATE 5/20/13

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature DATE 5/21/13

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature DATE 5-22-13

REVISIONS

No.	Date	Description
1	5/7/14	REVISE HOUSE MODEL

LDE Inc.

Engineers • Surveyors • Planners
Historic Carriage House • 7520 Main Street • Suite 203 • Sykesville, Maryland • 21784
(410)795-6391 • (410)795-6392 • FAX(410)795-9540 • www.Landsurveyormd.com

DESIGNED	GRADING AND SEDIMENT CONTROL PLAN	SCALE
BDB	HARBIN ACRES	1"=50'
DRAWN	LOTS 5, 6 AND 7	DRAWING
LDE	A Resubdivision of Harbin Acres	1 of 3
CHECKED	Lots 3 & 4 - Plat #19702	JOB NO.
BDB	(# 15055 & #15015 Old Frederick Road)	09-003
DATE	Tax Map No. 8 - Grid No. 9 - Parcel 19 # 350	FILE NO.
5/2013	4th Election District - Howard County, Maryland - Zoned: RC-DEO	GP13-071
	ICP 11-014, WP 12-079, HDC 12-09, F12-046, WP 13-078	
	OWNER/DEVELOPER: George & Shirley Harbin	
	15055 Old Frederick Road	
	Woodbine, MD 21784	
	410-484-4158	

GP13-071