

RELAY OWNED BY H.O.A.
MAINTAINED BY H.O.A. & HO. CO.
FACILITY No. 2
MICRO-POOL FACILITY
FOR W4 & C4
HAZARD CLASS 'A'
WET POOL EL = 354.00
C4 EL = 355.20

EXISTING DRIVEWAY & CULVERT
TO REMAIN WITHIN FLOODPLAIN
LIMITS FOR PEDESTRIAN PATHWAY SYSTEM

WETLANDS

PROPOSED
LEVEL SPREADER

FOREST CONSERVATION
EASEMENT NO. 9
1.86 AC.
0.97 AC. PLANTING
0.93 AC. CREDITED RETENTION
0.23 AC. NON-CREDITED FLOODPLAIN

H.O.A.
NON-BUILDABLE
PRESERVATION
PARCEL 'G'
109.39 AC.

LOT 14
38,074 sq.ft.

LOT 13
45,659 sq.ft.

LOT 18
36,826 sq.ft.

LOT 12
35,943 sq.ft.

LOT 19
48,466 sq.ft.

LOT 20
37,070 sq.ft.

Approved Parcels

NON-BUILDABLE
PRESERVATION
PARCEL 'G'
109.39 AC.

SHEPPARD MINOR COLONY
(60' R/W)
PRIVATE 21' WIDE USE-WAY EASEMENT
ACCESS EASEMENT FOR LOTS 15, 18, 19, 20

EX. 80' WIDE BALTIMORE GAS &
ELECTRIC COMPANY EASEMENT
L. 292, P. 112

ROAD 74
PUBLIC ACCESS PLACE

LOT 10

LOT 11

P15
To Remain

P16

P16

Ex. Pile
To Remain

169

LOT 15
33,542 sq.ft.

Ex. Pole
To Remain

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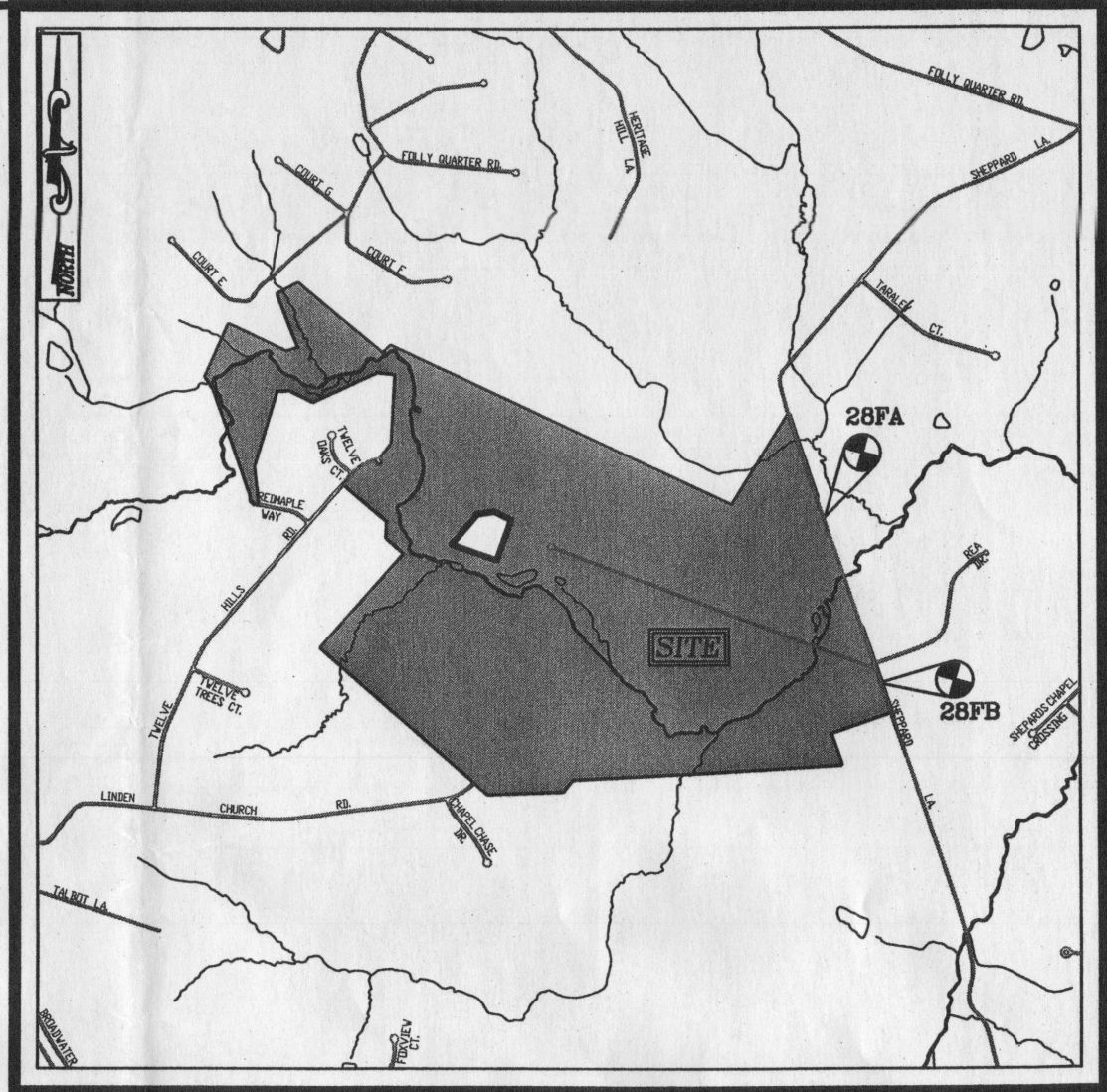
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LEGEND

EXISTING CONTOUR	382 380
EXISTING TREES TO REMAIN	
SOIL BOUNDARY	
PROPERTY LINE	
EXISTING WELL FIELD LOCATED	
PROP. REPLACEMENT WELL	
APPROVED WELL AREA	
PROPOSED WELL AREA	



VICINITY MAP
SCALE: 1"=2000'
ADC MAP: 14, E2

GENERAL NOTES:

1. THE PROPERTY OUTLINE IS BASED ON A FIELD RUN SURVEY PERFORMED BY FISHER, COLLINS, & CARTER, INC., DATED AUGUST 2004
2. THE TOPOGRAPHY SHOWN HEREON IS BASED ON AERIAL TOPOGRAPHIC SURVEY PREPARED BY HARFORD AERIAL SURVEYS, INC. DATED FEBRUARY, 2004.
3. ALL EXISTING WELLS SHOWN HEREON HAVE BEEN FIELD LOCATED.
4. THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
5. ALL WELLS AND SEPTIC SYSTEMS WITHIN 100' FROM THE PROPERTY BOUNDARIES HAVE BEEN SHOWN.
6. ANY CHANGE TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.

OWNER/DEVELOPER

TRINITY HOMES
3675 PARK AVENUE, SUITE 301
ELLCOTT CITY, MARYLAND 21043
(410) 480-0023

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	SOIL GROUP
BeA	BENEVOLO SILT LOAM, 0 TO 3 PERCENT SLOPES	B
BeB	BENEVOLO SILT LOAM, 3 TO 8 PERCENT SLOPES	B
BeC	BENEVOLO SILT LOAM, 8 TO 15 PERCENT SLOPES	B
Co	CODORUS AND HATBORO SILT LOAMS, 0 TO 3 PERCENT SLOPES	C
Ha	HATBORO-CODORUS SILT LOAMS, 0 TO 3 PERCENT SLOPES	D
MaC	MANOR LOAM, 8 TO 15 PERCENT SLOPES	B
WhA	WILTSHIRE SILT LOAM, 0 TO 3 PERCENT SLOPES	C
WhB	WILTSHIRE SILT LOAM, 3 TO 8 PERCENT SLOPES	C

NOTE: USDA WEB SOIL SURVEY

THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF AT LEAST 10,000 SQ. FT. AS REQUIRED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS EASEMENT ARE RESTRICTED. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A REVISED SEWERAGE EASEMENT SHALL NOT BE NECESSARY.

NOTE:
THE PURPOSE OF THIS REVISED PERCOLATION CERTIFICATION PLAN IS TO REMOVE THE TWO PROPOSED ALTERNATE WELL LOCATIONS ON LOT 13 AND ESTABLISH A WELL ENVELOPE AROUND THE EXISTING WELL LOCATED ON LOT 13.

PERCOLATION CERTIFICATION:
I CERTIFY THAT THE LOCATIONS SHOWN HEREON ARE BASED ON FIELD LOCATIONS DONE UNDER MY DIRECT SUPERVISION, AND ARE CORRECT, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

Thomas M. Hoffman, Jr.
THOMAS M. HOFFMAN, JR.
LAND SURVEYOR No. 267
DATE: 9.18.13

APPROVED: FOR PRIVATE WATER AND ^{shared} PRIVATE SEWERAGE SYSTEM.
Maureen Rosoman
COUNTY HEALTH OFFICER
DATE: 10/27/2013

REVISED PERCOLATION CERTIFICATION PLAN

**WALNUT CREEK - PHASE ONE
LOT 13**

TAX MAP 28
BLOCK 17 & 18
5TH ELECTION DISTRICT

PARCEL 49
ZONED RC-DEO & RR-DEO
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLCOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

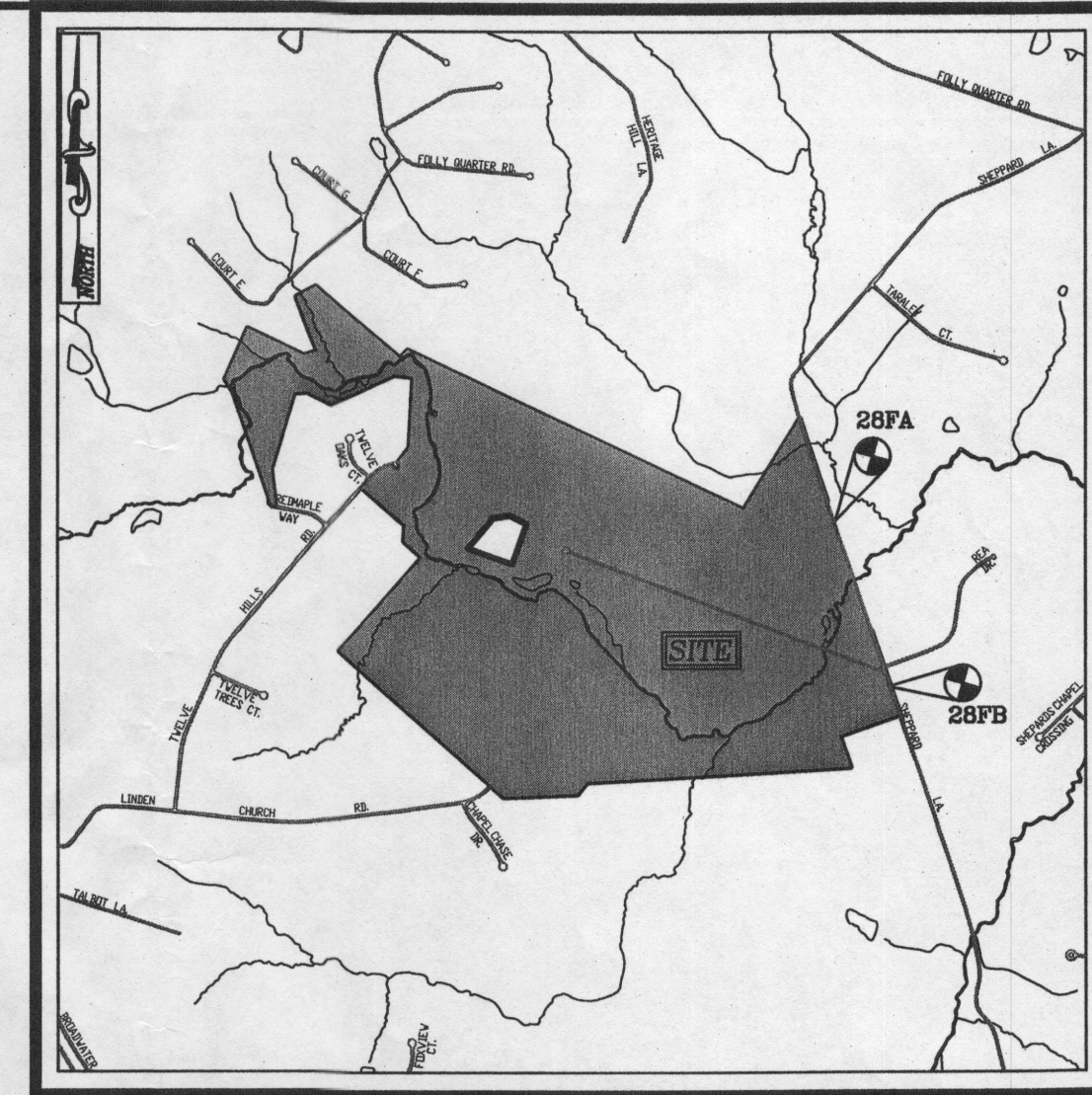
DESIGN BY: RHV
DRAWN BY: JMR
CHECKED BY: RHV
DATE: SEPTEMBER, 2013
SCALE: 1"=50'
W.O. NO.: 13-21

ROBERT H. VOGEL, PE No.16193



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EXISTING TREES TO REMAIN	
SOIL BOUNDARY	— — — — —
PROPERTY LINE	- - - - -
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