

LAYOUT 3/26/08 INSP 4 \_\_\_\_\_  
 INSP 2 4/4/08 INSP 5 \_\_\_\_\_  
 INSP 3 4/11/08 INSP 6 \_\_\_\_\_

ISSUE DATE: 3/25/08

P 528860

APPROVAL DATE: 4/17/08

A 525628

# PERMIT

*Logged Into Permit Manager*  
 TAXID # 05385393

## ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

Cumberland and Co., Inc. IS PERMITTED TO INSTALL  ALTER

ADDRESS: 16391 A E Mullinix Rd, Woodbine PHONE NUMBER: 301-854-6838

SUBDIVISION: \_\_\_\_\_ LOT NUMBER: \_\_\_\_\_

ADDRESS: 11719 Bragdon Wood PROPERTY OWNER: Mark & Jennifer Johnson

SEPTIC TANK CAPACITY (GALLONS): 2000 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): \_\_\_\_\_ COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 4 *Inlet 4.5' Trenches 2'*

SQUARE FEET PER BEDROOM: \_\_\_\_\_ *Bottom 7.5' Wide 130' Trench*

LINEAR FEET OF TRENCH REQUIRED: 105 112' ← 50'+62' *787.5*

TRENCHES:	<del>Trench to be 3.0 feet wide. Inlet 4.0 feet below original grade. Bottom maximum depth 6.0 feet below original grade. Effective area begins at 4.0 feet below original grade. 2.0 feet of stone below distribution pipe.</del>
LOCATION:	1) Set distribution box at north corner of easement. 2) Install 1x50" & 1x55" trenches on contour.
NOTES:	1) Stake septic easement corners. 2) Call for layout inspection. 3) Stone tickets must be available for inspector.

PLANS APPROVED: Robert Bricker *Brian Baker 3/26/08* DATE: 10/11/07

- NOTE: PERMIT VOID AFTER 2 YEARS
- NOTE: CONTRACTOR RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
- NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT CALL 410-313-1771 FOR INSPECTION OF SEPTIC SYSTEM**

*296*

NOT TO SCALE

See As-Built Drawing  
On Separate Sheet

ROAD

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
2'	4.5'	7.5'
NUMBER OF TRENCHES		2
TOTAL LENGTH		111'
ABSORPTION AREA		333 x 2
DISTRIBUTION BOX LEVEL		Levelers
DISTRIBUTION BOX BAFFLE		Yes
DISTRIBUTION BOX PORT		Yes

SEPTIC TANK DATA

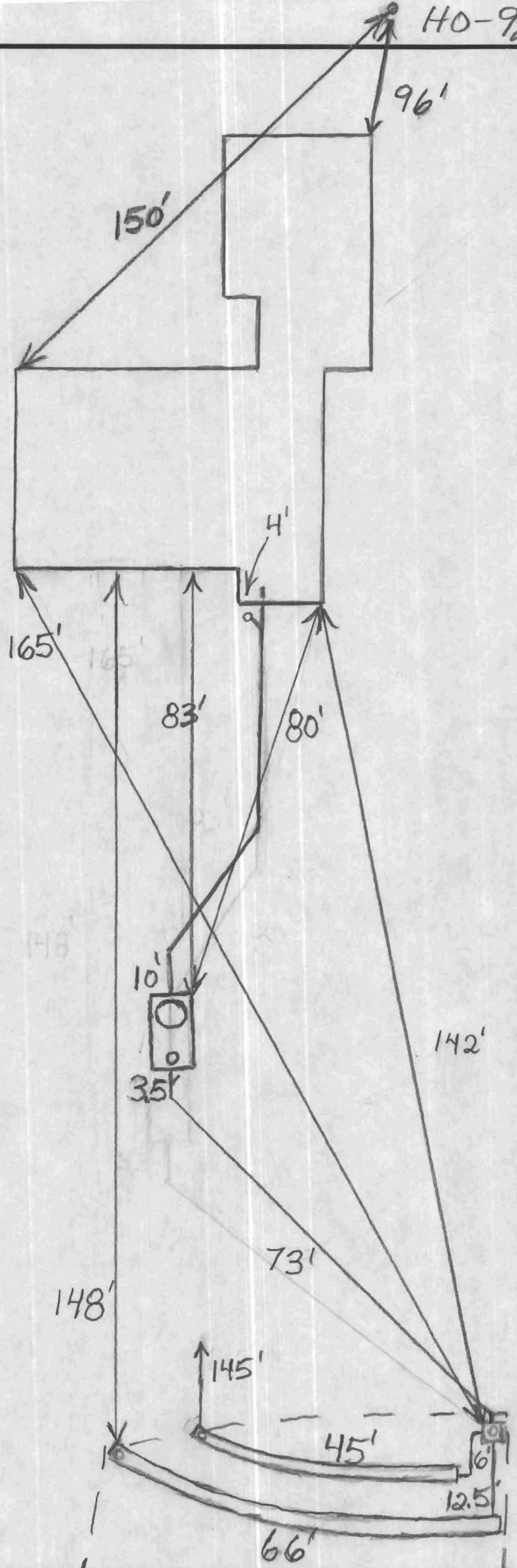
SEPTIC TANK 1 LEVEL	Yes
CAPACITY	2000 GAL
SEAM LOC	Top
TANK LID DEPTH	1'-2'
BAFFLES	Yes
BAFFLE FILTER	No
MANHOLE LOC	Front
6" PORT LOC	Rear
WATERTIGHT TEST	No
SEPTIC TANK 2 LEVEL	N/A
CAPACITY	_____ GAL
SEAM LOC	_____
TANK LID DEPTH	_____
BAFFLES	_____
BAFFLE FILTER	_____
MANHOLE LOC	_____
6" PORT LOC	_____
WATERTIGHT TEST	_____

PRE-CONSTRUCTION 3/26/08 No transit on site. Trench layout postponed. Should be able to install a 50' trench across the top of the easement and a 62' trench directly below it. O.K. to install tank further downhill than shown on plan. (BB) 4/4/08 Tank set. Trenches laid out. (BB) 4/11/08 Plumbing to tank mostly covered. Couldn't get measurements. Contractor needs to install levelers in dist. box. (BB) 4/17/08 Levelers installed. (BB)

FINAL INSPECTOR B. Baker

DATE OF APPROVAL 4/17/08

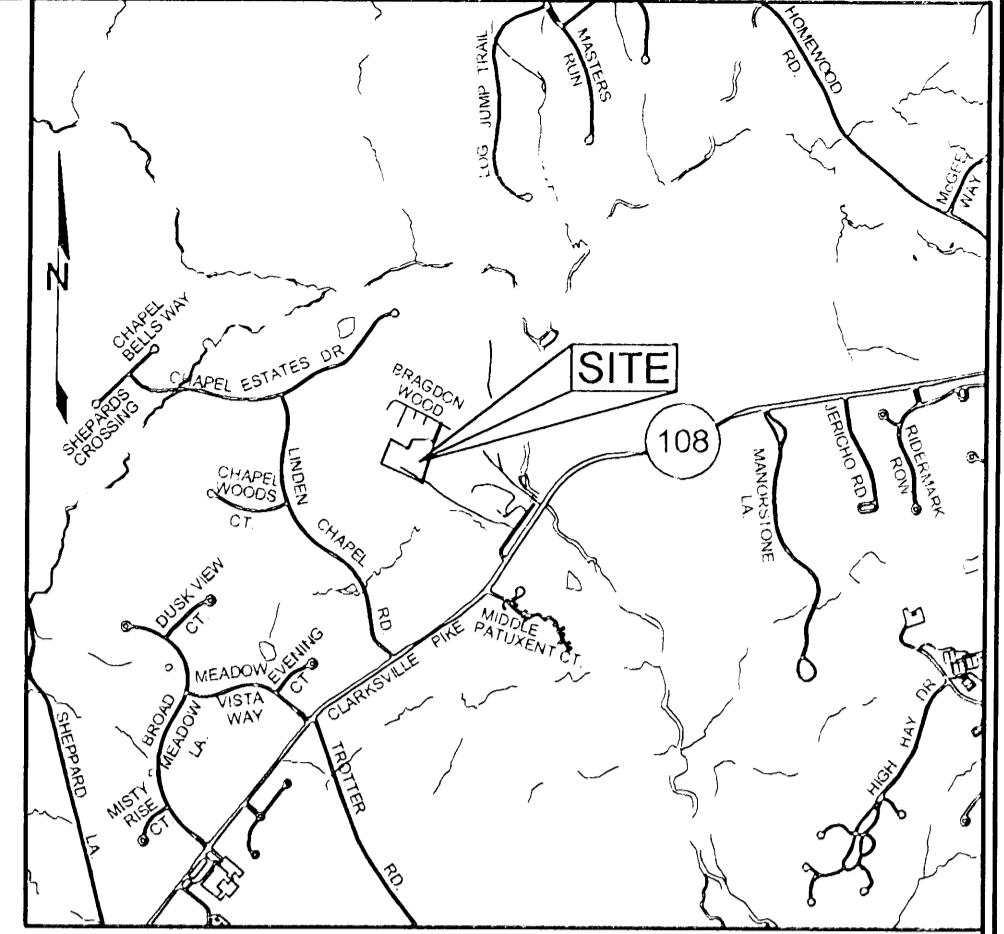
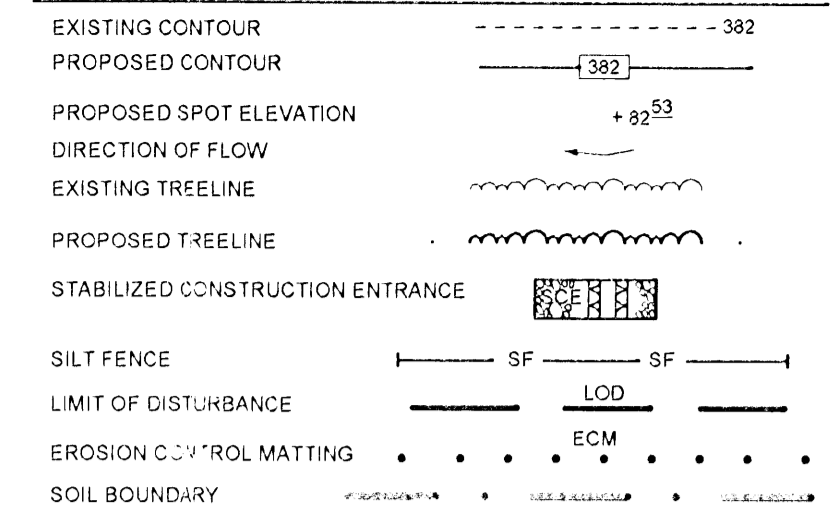
HO-92-0015



NOT TO SCALE

SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	GROUP
CgB2	CHESTER GRAVELLY SILT LOAM 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
GIB2	GLENELG LOAM 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
MgB2	MANOR GRAVELLY LOAM 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
MgC2	MANOR GRAVELLY LOAM 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
MID2	MANOR LOAM 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	B
MID3	MANOR LOAM 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	B

**LEGEND**



**GENERAL NOTES**

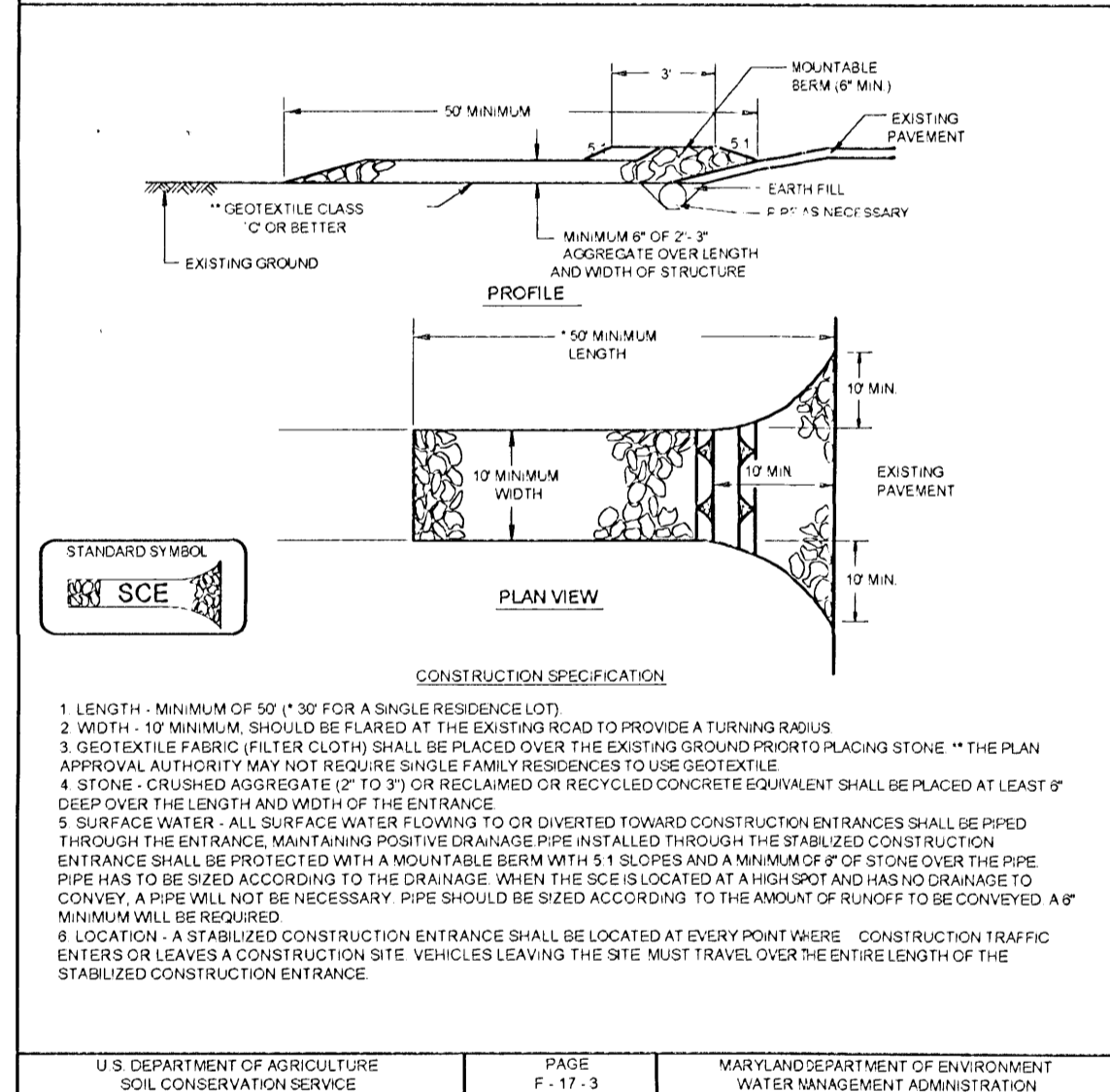
- SUBJECT PROPERTY ZONED RC-DO PER 02/02/04 COMPREHENSIVE ZONING PLAN
- TOTAL AREA OF PROPERTY 3.741 ACRES±
- PRIVATE WATER AND PRIVATE SEWER WILL BE USED WITHIN THIS SITE.
- THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT OF AT LEAST 10,000 SF AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (S.D.) IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
- THE PROPERTY BOUNDARY IS BASED ON HOWARD COUNTY TAX MAP INFORMATION AND DEED PLOTS.
- EXISTING TOPOGRAPHY BASED ON HOWARD COUNTY AERIAL TOPOGRAPHY FLOWN IN 1998 AND HAS BEEN FIELD VERIFIED.
- PROPERTY ADDRESS: 11719 BRAGDON WOOD
- DEED REFERENCE: LIBER 10985, FOLIO 368
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- LIMIT OF DISTURBANCE: 0.41 ACRES±
- IN ACCORDANCE WITH THE MARYLAND STORMWATER DESIGN MANUAL, PROJECTS SHALL BE EXEMPT FROM STORMWATER MANAGEMENT OBLIGATIONS IF IT HAS LESS THAN 5,000 SQUARE FEET OF LAND COVER CHANGE. THIS PLAN PROPOSES 3,705 SQUARE FEET OF LAND COVER CHANGE AND THEREFORE IS EXEMPT FROM PROVIDING STORMWATER MANAGEMENT.

**SEDIMENT CONTROL NOTES**

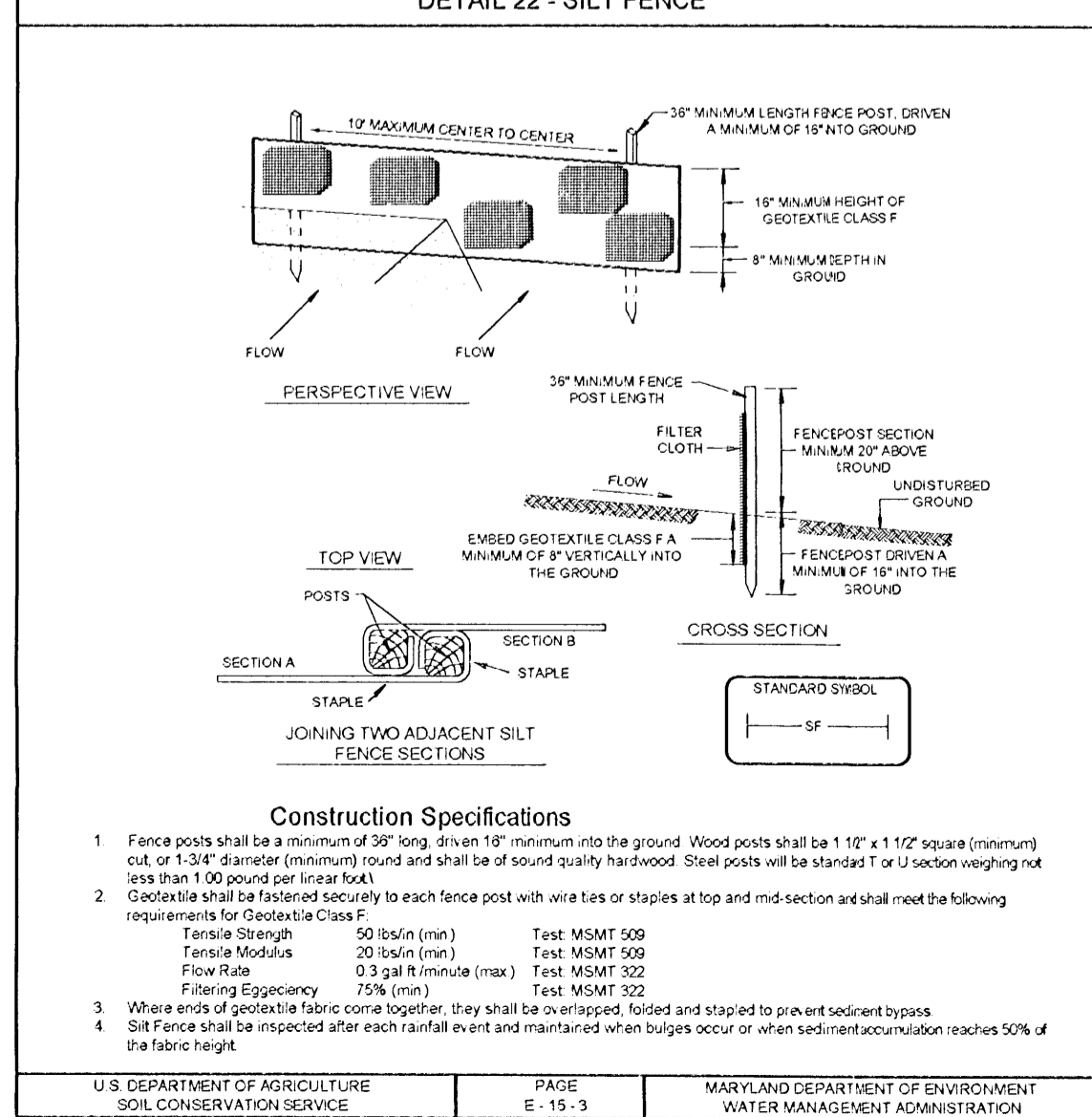
- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSE AND PERMITS SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410-313-1855).
- ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERE TO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN (A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1, (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS, BASINS, SHOVENS MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING AND MULCHING (SEC. 5). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:
 

TOTAL AREA:	3.74 ACRES
AREA TO BE ROOFED OR PAVED:	0.41 ACRES
AREA TO BE VEGETATIVELY STABILIZED:	0.30 ACRES
TOTAL CUT:	* 640 CY
OFFSITE WASTE/BORROW AREA LOCATION:	* 524 CY
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER GRADING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- EARTHWORK QUANTITIES ARE SOLELY FOR THE PURPOSE OF CALCULATING FEES. CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO THE START OF CONSTRUCTION.
- TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT.

**DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE**



**DETAIL 22 - SILT FENCE**



**OWNER**  
MARK AND JENNIFER JOHNSON  
342 CENTRAL AVENUE  
GLYNDEN, MARYLAND 21029

**DEVELOPER**  
CUMBERLAND DEVELOPMENT  
18391 MULLIN ROAD  
WOODHIE, MARYLAND 21797  
301.854.6838

**PLOT PLAN**  
**JOHNSON RESIDENCE**

TAX MAP 29 GRID 14  
3RD ELECTION DISTRICT

PARCEL 35  
HOWARD COUNTY, MARYLAND

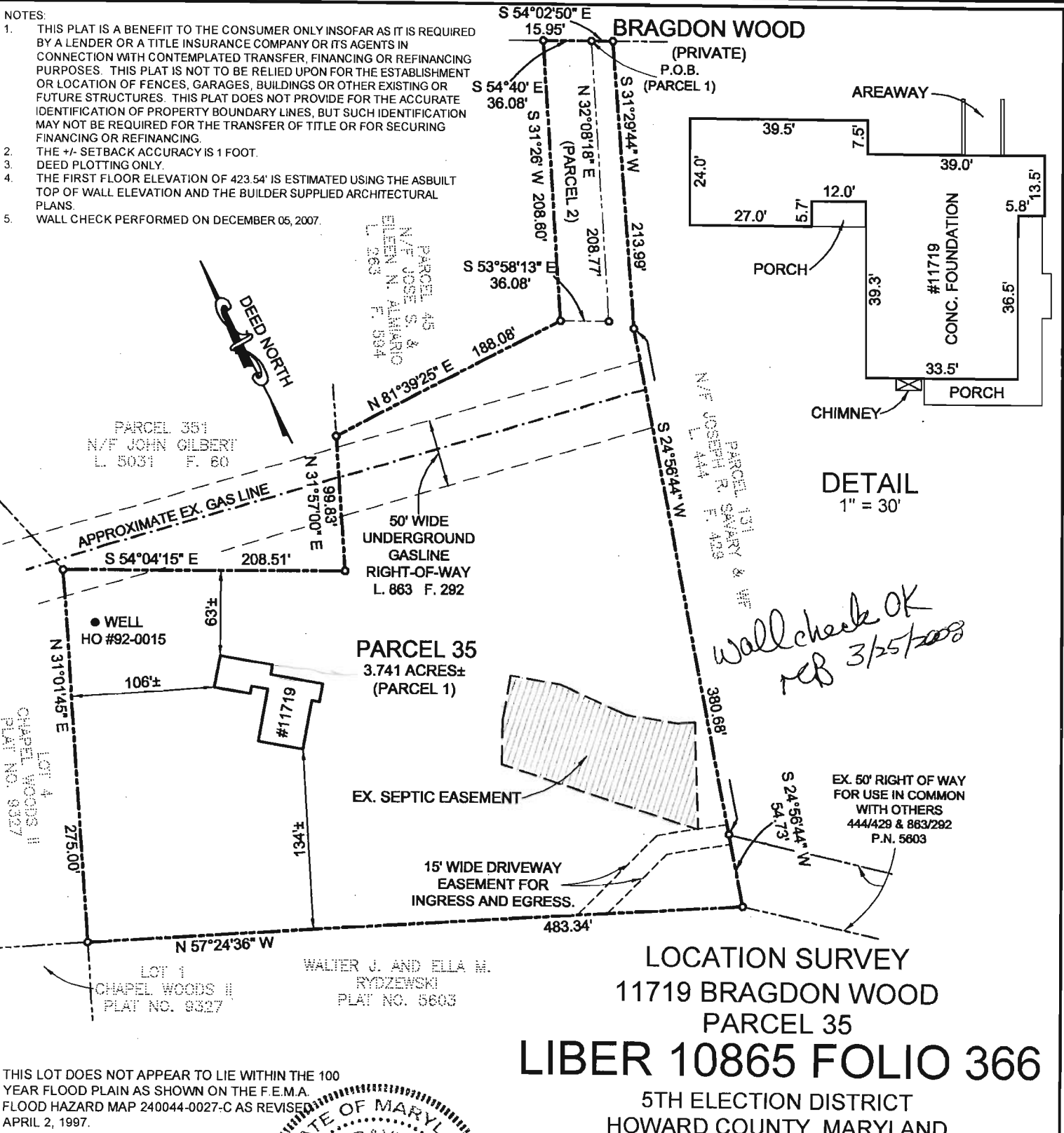
**Sill · Adcock & Associates · LLC**  
Engineers · Surveyors · Planners

3300 North Ridge Road, Suite 160  
Ellicott City, Maryland 21043  
Phone: 410.325.7682 Fax: 410.325.7685  
Email: info@sandl.com

DESIGN BY: PS  
DRAWN BY: MRM  
CHECKED BY: PS  
SCALE: 1"=30'  
DATE: SEPT 19, 2007  
PROJECT #: 07-082  
SHEET #: 1 of 1

NOTES:

1. THIS PLAT IS A BENEFIT TO THE CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING PURPOSES. THIS PLAT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE STRUCTURES. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR FOR SECURING FINANCING OR REFINANCING.
2. THE +/- SETBACK ACCURACY IS 1 FOOT.
3. DEED PLOTTING ONLY.
4. THE FIRST FLOOR ELEVATION OF 423.54' IS ESTIMATED USING THE ASBLUT TOP OF WALL ELEVATION AND THE BUILDER SUPPLIED ARCHITECTURAL PLANS.
5. WALL CHECK PERFORMED ON DECEMBER 05, 2007.



THIS LOT DOES NOT APPEAR TO LIE WITHIN THE 100 YEAR FLOOD PLAIN AS SHOWN ON THE F.E.M.A. FLOOD HAZARD MAP 240044-0027-C AS REVISED APRIL 2, 1997.

LOCATION SURVEY  
 11719 BRAGDON WOOD  
 PARCEL 35  
**LIBER 10865 FOLIO 366**

5TH ELECTION DISTRICT  
 HOWARD COUNTY, MARYLAND

CERTIFICATION

I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY AND THAT UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS.

*Michael D. Adcock*  
 MICHAEL D. ADCOCK  
 PROFESSIONAL LAND SURVEYOR, NO. 21257



**S. J. Adcock & Associates · LLC**  
 Engineers · Surveyors · Planners

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 Phone: 443.325.7682 Fax: 443.325.7685  
 Email: info@saaland.com

REFERENCE:  
 LIBER 10865 FOLIO 366

DATE:  
 DECEMBER 5, 2007

SCALE:  
 1"=100'

FILE NO.:  
 07-082